



To: Members of the Board of Adjustment, Applicants & Neighboring Property Owners
From: Jonathan B. Kanipe, Town Manager
Date: August 7, 2025
Re: **Board of Adjustment Meeting – August 18, 2025**

Applicants:

You or a representative **MUST** attend the meeting to have the matter considered.

Members of the Board of Adjustment & staff will conduct a site visit prior to the meeting. Site visit times listed are approximate.

Neighbors:

You are receiving this notice because your property is adjacent to an applicant on this month's agenda.

You may review applications & plans for the projects on this agenda at <http://www.biltmoreforest.org/board-of-adjustment>

You are invited to attend the scheduled meeting at the Town Hall and make comment when called upon.

Additional information regarding the meeting will be provided on the Town's website no later than August 14, 2025.

*****PROPOSED AGENDA*****

The following items of business will be considered by the Biltmore Forest Board of Adjustment on Monday, August 18th, 2025 at 4:00 p.m. at the Biltmore Forest Town Hall at 355 Vanderbilt Road, Biltmore Forest, NC 28803.

1. The meeting will be called to order and roll call taken.
2. The minutes of the July 28th, 2025 regular meeting will be considered.
3. Hearing of Cases (Evidentiary Hearings, Deliberations & Determinations).

Case 1: 7 Brookside Road- Special Use Request for an accessory building(garage) in the rear yard.

Site visit: 3:30 pm

Case 2: 47 Forest Road- Variance request for multiple retaining wall accessory structures within the front yard.

Site Visit: 3:45

MINUTES OF THE BOARD OF ADJUSTMENT
MEETING HELD MONDAY, July 28, 2025

The Board of Adjustment met at 4:00 p.m. on Monday, July 28th, 2025

Chairman Greg Goosmann, Ms. Lynn Kieffer, Mr. Robert Chandler, Ms. Rhoda Groce, Ms. Martha Barnes, and Ms. Janet Whitworth were present. Mr. Tony Williams, Town Planner, and Town Attorney Mr. Billy Clarke were also present. Town Manager, Jonathan Kanipe was not present.

Chairman Greg Goosmann called the meeting to order at 4:00 p.m.

Mr. Robert Chandler made a motion to approve the minutes from the June 16th, 2025 meeting. Ms. Lynn Kieffer seconded the motion and was unanimously approved.

Chairman Goosmann swore in the following:

Mr. Tony Williams

Mr. Anthony Adams

Mr. Ed Broadwell

HEARING (Evidentiary):

The first matter is for a Variance request for a driveway marker and drainage system at 37 Hilltop Road. Mr. Williams said this case was tabled last month. The property owner is presenting plans for a large stone driveway marker along with a stone drainage area by the

roadway. The large stone is located by the driveway and within the front setback and six and a half feet from the edge of the road. The stone drainage ditch is located on the edge of the road within the front setback and right of way. The application does not meet the requirements for location and setbacks, therefore would require a Variance. The property owner, Mr. Anthony Adams explained their ongoing battle with water intrusion and erosion, which has been exacerbated by increased stormwater runoff due to deforestation within the Town. The Board agreed that the property's unique topography and drainage issues justified granting the Variance, particularly given the safety concerns raised by Mr. Adams. Mr. Billy Clarke said they are a target for stormwater and would qualify for a hardship.

DELIBERATION AND DETERMINATION:

Mr. Williams restated the facts and said the property owner at 37 Hilltop is presenting plans for a large stone driveway marker along with a stone drainage area by the roadway. The large stone is located by the driveway and within the front setback and six and a half feet from the edge of the road. The stone drainage ditch is located on the edge of the road within the front setback and right of way. The application does not meet the requirements for location and setbacks, therefore would require a Variance.

Ms. Martha Barnes moved that a Variance be granted to Mr. Anthony Adams at 37 Hilltop for a driveway marker and drainage system and the facts as recited by Tony Williams and his summation be accepted as findings and facts to support this grant. The Board has inspected this site and no neighboring property owner has objected.

Further, she moved that by granting this Variance further satisfies the applicable Sections of 153.110(D) and paragraphs one through four and would not be contrary to the public interest where, owing to special conditions, literal enforcement of the provisions of this Ordinance would, in this case, result in practical difficulty or unnecessary hardship. She further moved the Board to find the spirit of the ordinance would be observed, public safety and welfare secured, and substantial justice done. The applicant has been informed that he/she is to report to the

Zoning Administrator within seven (7) days of completion of the project in order that the Zoning Administrator can determine that the project has been completed in accordance with plans submitted to the Town. The motion was seconded by Mr. Robert Chandler. The motion was unanimously approved.

HEARING (Evidentiary):

The second matter is for a Variance request at 392 Vanderbilt Road for multiple accessory structures. The property owner, Mr. Ed Broadwell, is presenting plans for multiple boulder accessory structures within the front yard. The proposed stones are located by the driveway and in the front yard near the roadway. They are located within the front setback and approximately 10 feet or more from the edge of the road outside of the right of way. The application does not meet the requirements for location and setbacks for accessory structures, therefore would require a Variance.

The Board had concerns about the uniqueness of the slope and potential precedent-setting. Mr. Clarke commented on the hardship aspect due to lost trees and boulders. Ms. Barnes raised questions about consistency in applying this Variance.

DELIBERATION AND DETERMINATION:

Mr. Williams restated the facts and said the homeowners at 392 Vanderbilt Road, are presenting plans for multiple boulder accessory structures within the front yard. The proposed stones are located by the driveway and in the front yard near the roadway. They are located within the front setback and approximately 10 feet or more from the edge of the road outside of

the right of way. The application does not meet the requirements for location and setbacks for accessory structures, therefore would require a Variance.

Ms. Lynn Kieffer made a motion that a Variance request be granted to Mr. Ed Broadwell at 392 Vanderbilt and the facts as recited by Tony Williams and his summation be accepted as findings and facts to support this grant. The Board has inspected this site and no neighboring property owner has objected. Further, she moved that by granting this Variance further satisfies the applicable Sections of 153.110(D) and paragraphs one through four and would not be contrary to the public interest where, owing to special conditions, literal enforcement of the provisions of this Ordinance would, in this case, result in practical difficulty or unnecessary hardship. She further moved the Board to find the spirit of the ordinance would be observed, public safety and welfare secured, and substantial justice done. The applicant has been informed that he/she is to report to the Zoning Administrator within seven (7) days of completion of the project in order that the Zoning Administrator can determine that the project has been completed in accordance with plans submitted to the Town.

Ms. Rhoda Groce seconded the motion. Ms. Lynn Kieffer voted aye, Mr. Robert Chandler voted aye, Ms. Janet Whitworth voted aye, Ms. Martha Barnes abstained from voting.

The next meeting is scheduled for Monday, August 18th, 2025 at 4 pm.

The meeting was adjourned at 4:19 pm.

ATTEST:

Greg Goosmann, Chairman

Laura Jacobs, Town Clerk



BOARD OF ADJUSTMENT MEETING

STAFF MEMORANDUM

August 18, 2025

CASE

Property Address: 7 Brookside Rd

Property Owner: Nick Anagnostopoulos

Request: Special Use Request for an Accessory Building(Garage)

Background

The property owner is presenting plans to add an accessory building in their rear yard. The proposed structure will be a 750 square foot garage apartment that meets the location and setback requirements. All accessory buildings within Town require a special use for approval.

Special Use

Sections 153.029 and 153.037 (attached) of the Town's Zoning Ordinance regulates accessory structures and buildings which require a special use permit from the Board of Adjustment. Special use findings are covered in section 153.110 (C) (attached) of the Towns Zoning Ordinance.

153.037 ACCESSORY STRUCTURES OR BUILDINGS UTILIZED AS DWELLINGS.

(A) Upon adoption of this chapter, accessory buildings used as dwelling units and occupied by a "family" (see definition in § [153.004](#)) member shall be a conforming use. Such units occupied by a non-family member shall be nonconforming uses.

(B) (1) The definitions and provisions of this chapter provide for this situation.

(2) Therefore, the following shall apply:

(a) An existing accessory structure occupied at the time of adoption of this chapter by a non-family member can continue to be used for such purpose. If the unit occupied by a non-family member becomes vacant for more than 60 days (see § [153.036](#)(C)(2)(c)4.), then such unit could only be reoccupied by a family member.

(b) New accessory structures intended for use as dwellings shall only be occupied by a family member.

(Ord. passed 10-19-1983; Ord. passed 6-8-2021)

153.110 (C) *Special uses.*

(1) Upon application, the Board of Adjustment may grant in particular cases and subject to appropriate conditions and safeguards, permits for special uses as authorized by this chapter, and set forth as special uses under the various use districts.

(2) A special use permit may be granted by the Board of Adjustment only after making the following findings:

(a) An application for the special use has been submitted as prescribed by this chapter;

(b) 1. If the Board of Adjustment finds, in the particular case in question, that the use, including any proposed structures:

a. Will not materially endanger the public health or safety if located where proposed and developed according to the plan as submitted and approved;

b. Meets all required conditions and specifications of this chapter and other applicable rules, regulations, and standards;

c. Will not substantially injure the value of adjoining or abutting property;

d. Will be in general conformity with the plan of development of the town and its environs;

e. Will be reasonably compatible with significant natural and topographic features on the site and within the immediate vicinity of the site given the proposed site design and structure design;

f. Will be in harmony with scale, bulk, height, coverage, density, and character of the area or neighborhood in which it is located; or

g. Is appropriately located with respect to transportation facilities, water supply, fire and police protection, waste disposal, and similar facilities, and will not cause undue traffic congestion or create a traffic hazard.

2. In granting such a permit, the Board of Adjustment may designate such conditions in connection therewith that will, in its opinion, assure that the proposed use will conform to the requirements and spirit of this chapter. However, the Board of Adjustment shall not impose conditions on special use permits that the town is not statutorily allowed to impose.

(c) Before any special use permit is issued, the Board shall make written findings certifying compliance with the specific rules governing the individual special use (see § [153.008](#)), and that satisfactory provision and arrangement has been made for at least the following, where applicable:

1. Satisfactory ingress and egress to property and proposed structures thereon, with particular reference to automotive and pedestrian safety and convenience, traffic flow, and control;
2. Provision of off-street parking and loading areas where required, with particular attention to the items in division (C)(2)(c)1. above, and the economic, noise, and odor effects of the special use on adjoining properties in the area;
3. Adequate and proper utilities, with reference to locations, availability, and compatibility;
4. Buffering, with reference to type, location, and dimensions;
5. Signs, if any, and proposed exterior lighting, with reference to glare, traffic safety, economic effect, and compatibility and harmony with properties in the district;
6. Playgrounds, open spaces, yards, landscaping, access ways, pedestrian ways, with reference to location, size, and suitability;
7. Buildings and structures, with reference to location, size, and use;
8. Hours of operation, with particular reference to protecting and maintaining the character of the neighborhood;
9. With the exception of Americans with Disabilities Act, being 42 U.S.C. § 12101, lighting requirements and street lighting, the design standards as outlined in § [153.047](#), "Site Design and Form and Mass Commercial Buildings," shall apply when exterior lighting is proposed and/or required;
10. A site plan has been submitted as required in § [153.008](#); and
11. The applicant/landowner must provide written consent to conditions placed on a special use permit by the Board of Adjustment.

(d) 1. The Zoning Administrator shall make periodic inspections during construction as well as a final inspection after construction is complete to determine whether the conditions imposed and agreements made in the issuance of the permit have been met as well as whether all other requirements of this chapter have been met. The Zoning Administrator shall report his or her findings to the Board of Adjustment.

2. If at any time after a special use permit has been issued, the Board of Adjustment determines that the conditions imposed and agreements made have not been or are not being fulfilled by the holder of a special use permit, the permit shall be terminated and the operation of such use discontinued.

3. If a special use permit is terminated for any reason, it may be reinstated only after reapplying for a special use permit.

Zoning Compliance Application

Town of Biltmore Forest

Name

Nick Anagnostopoulos

Property Address

7 Brookside Rd

Phone

(828) 273-3389

Email

na89@charter.net

Parcel ID/PIN Number

964663665500000

ZONING INFORMATION

Current Zoning

R-1

Lot Size

1.2 acres

Proposed Roof Coverage Total

1,000 square ft

Proposed Impervious Surface Coverage

4950 square ft

Front Yard Setback

60 feet (R-1 District)

Side Yard Setback

20 feet (R-1 District)

Rear Yard Setback

25 feet (R-1 District)

Building Height

25ft

Description of the Proposed Project

A 750 square foot two level garage apartment, the roof and the style of the building will match the existing home. Photos of the current home are attached below. Roofing (shingles) will be the same as the existing home. The front of the apartment/ garage columns will match the existing home cedar and rock. Exterior walls will have rock base and smart board and is going to be painted the same as the home. We have not yet picked a color for the home but it will be the same color for both. Add two entry post at the bottom of the driveway

Estimated Start Date

9/1/2025

Estimated Completion Date

4/1/2026

Estimated Cost of Project

\$175,000.00

Supporting Documentation (Site Plan, Drawings, Other Information)

Garage Elevations.pdf

Garage Floor Plan.pdf

image1.jpeg

image0.jpeg

image2.jpeg

7 Brookside.pdf

Applicant Signature

Date

7/2/2025

Nick Anagnostopoulos

Special Use Permit Application

Town of Biltmore Forest

Name

Nick Anagnostopoulos

Address

7 Brookside Rd

Phone

(828) 273-3389

Email

na89@charter.net

Please select the type of special use you are applying for:

Accessory Buildings

The applicant must show that the proposed use will not materially endanger public health or safety or injure value of adjoining or abutting property. In addition, the proposed use must be in general conformity with the plan of development of the town and be in harmony with scale, bulk, height, coverage, density, and character of the neighborhood.

Please provide a description of the proposed project:

Garage /apartment matching the style of existing house garage will be used for car storage and apartment for occasionally visiting guests or family members, driveway for parking .

Explain why the project would not adversely affect the public interest of those living in the neighborhood:

Apartment will be built in the back portion of the property and will not be visible from the road and mostly obscured by trees and bushes from surrounding neighborhood and apartment will only be used for occasional family or guest visits

I hereby certify that all of the information set forth above is true and accurate to the best of my knowledge.

Signature

Date

7/31/2025

Nick Anagnostopoulos

Have you paid the \$100 special use permit application fee? Your permit application will not be reviewed until payment has been received. You can visit the link below to pay. Copy & paste the link in your browser.

I plan to pay in person or mail a check

ORDINANCE 2025-03

**AN ORDINANCE TO AMEND THE
TOWN OF BILTMORE FOREST ZONING ORDINANCE**

WHEREAS, the Town of Biltmore Forest has adopted a Zoning Ordinance which regulates the use of land within its corporate limits; and

WHEREAS, the Town of Biltmore Forest desires to revise a portion of the existing zoning ordinance; and

WHEREAS, the Town of Biltmore Forest Planning Commission recommended approval of this zoning ordinance amendment and found it consistent with the Town of Biltmore Forest's comprehensive plan.

NOW THEREFORE BE IT ORDAINED BY THE BOARD OF COMMISSIONERS OF THE TOWN OF BILTMORE FOREST THAT THE FOLLOWING SECTIONS OF CHAPTER 153, TOWN OF BILTMORE FOREST ZONING ORDINANCE, BE AMENDED AS FOLLOWS:

SECTION 1.

§ 153.029 ACCESSORY STRUCTURES AND BUILDINGS.

(A) Accessory structures and/or necessary buildings shall not detract from nor interfere with adjacent properties. No accessory structure or building shall be constructed, erected, or located within any front yard or within any side yard or rear yard setback.

(B) (1) Accessory buildings are allowed with a special use permit in accordance with the following chart, provided that the requirements in items a-h below, where applicable, are met:

Accessory Buildings					
Lot Size (Acres)	Max # of Accessory Buildings	Accessory Building # 1	Accessory Building # 2	Accessory Building # 3	Accessory Building # 4 or more
0 - .99	1	25%	N/A	N/A	N/A
1 - 1.99	2	25%	15%	N/A	N/A
2 - 2.99	3	25%	15%	10%	N/A
3 - 3.99	4	25%	15%	10%	5%
4 - 4.99	5	25%	15%	10%	5%
5+	5+	25%	15%	10%	5%

Notes

(a) The total roof coverage for all buildings may not exceed the maximum allowable roof coverage for a parcel, as found in § 153.043;

(b) The primary residence provides the basis for the accessory building percentage;

- (c) The maximum height for accessory buildings shall be 25 feet;
- (d) The accessory building must be screened by vegetation or other buffer as set forth in § 153.008;
- (e) The accessory building must be located behind a line parallel to the rear of the principal structure on the lot;
- (f) The accessory building should be constructed in the same architectural style as the principal structure;
- (g) Properties greater than five (5) acres may only exceed five (5) accessory buildings if approved by the Board of Adjustment;
- (h) An accessory building may be a maximum of 1,000 square feet of roof coverage OR the percentage relative to the primary residence, whichever is greater.

Section 2. Effective Date.

This ordinance amendment shall take effect upon adoption.

5-13-25

Date

Laura Jacobs

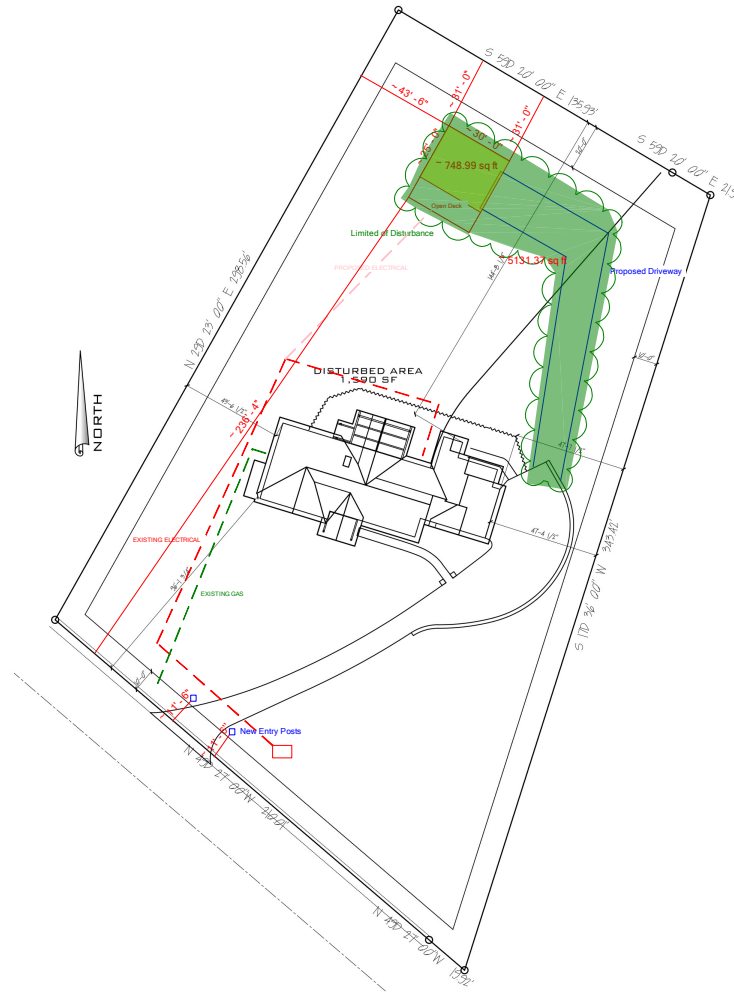
Laura Jacobs


Town Clerk

George F. Goosmann III

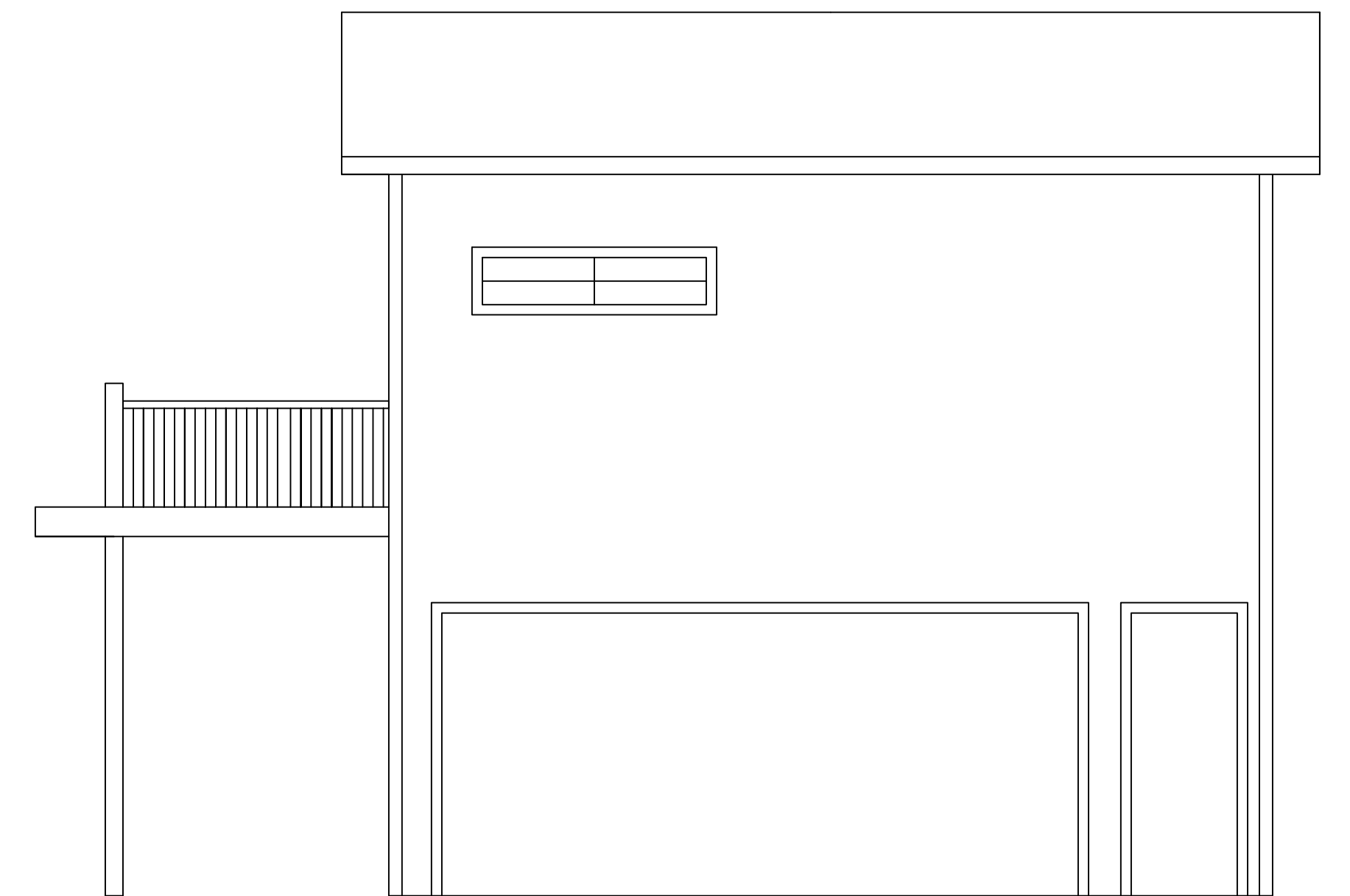
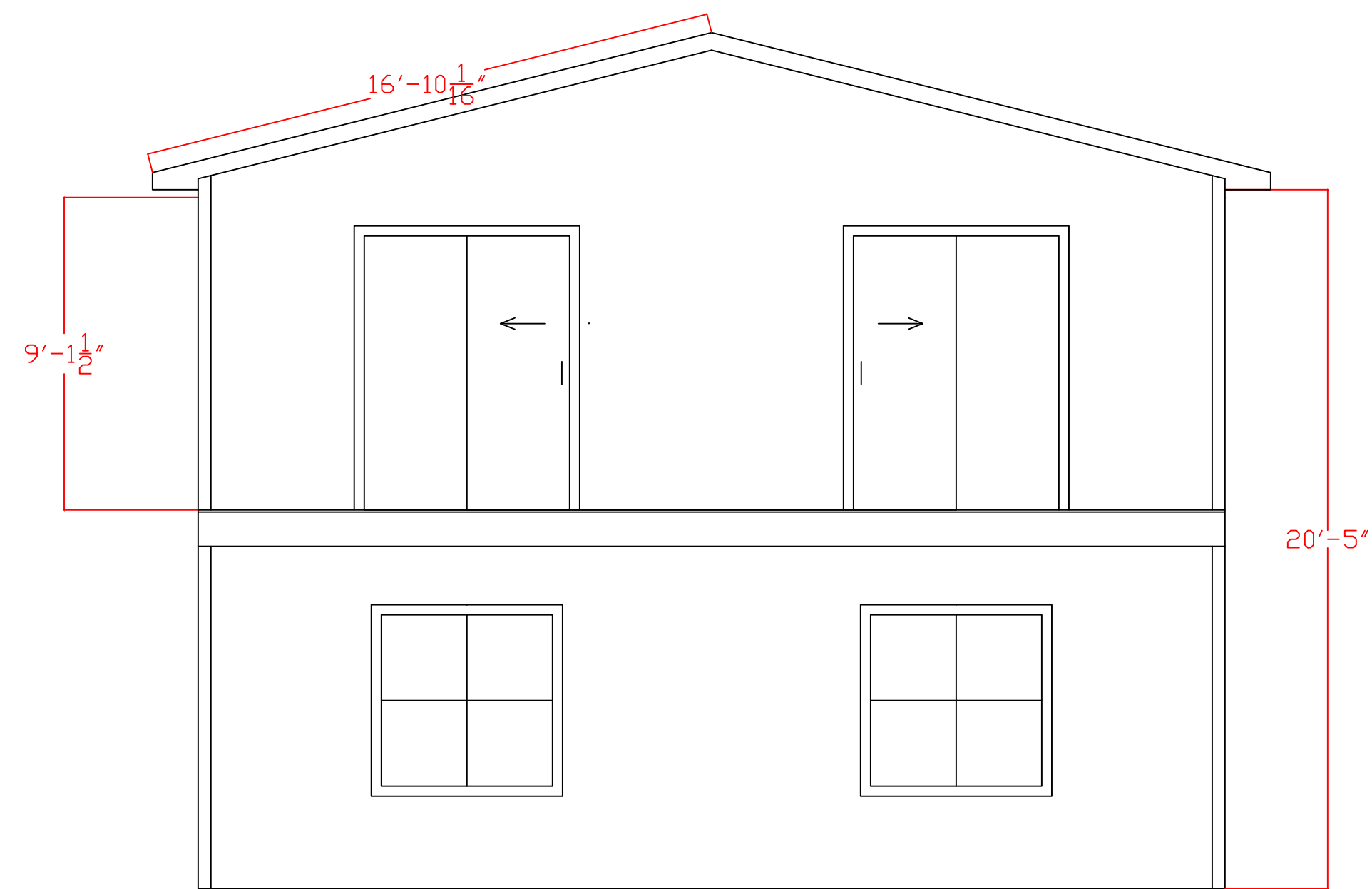
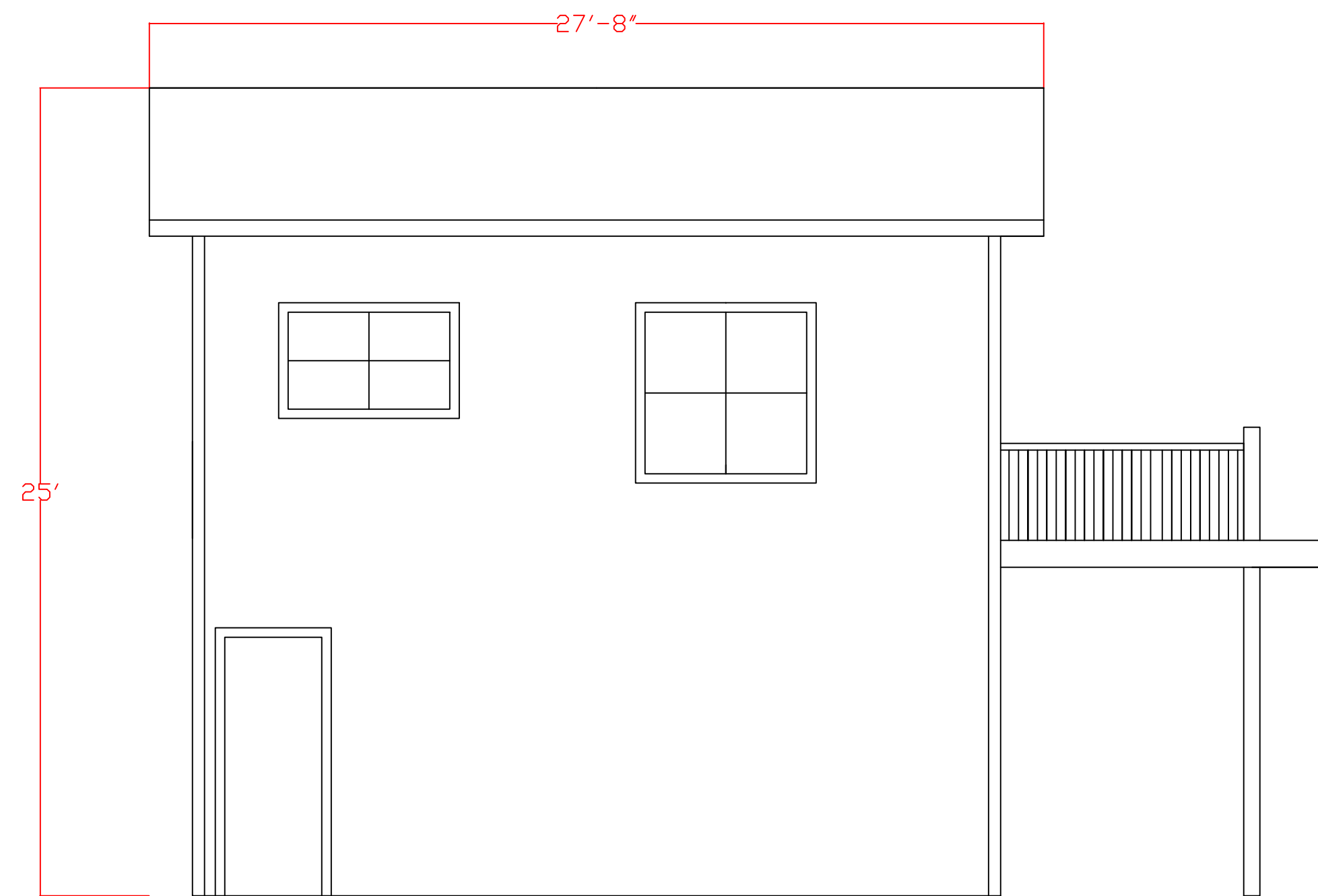
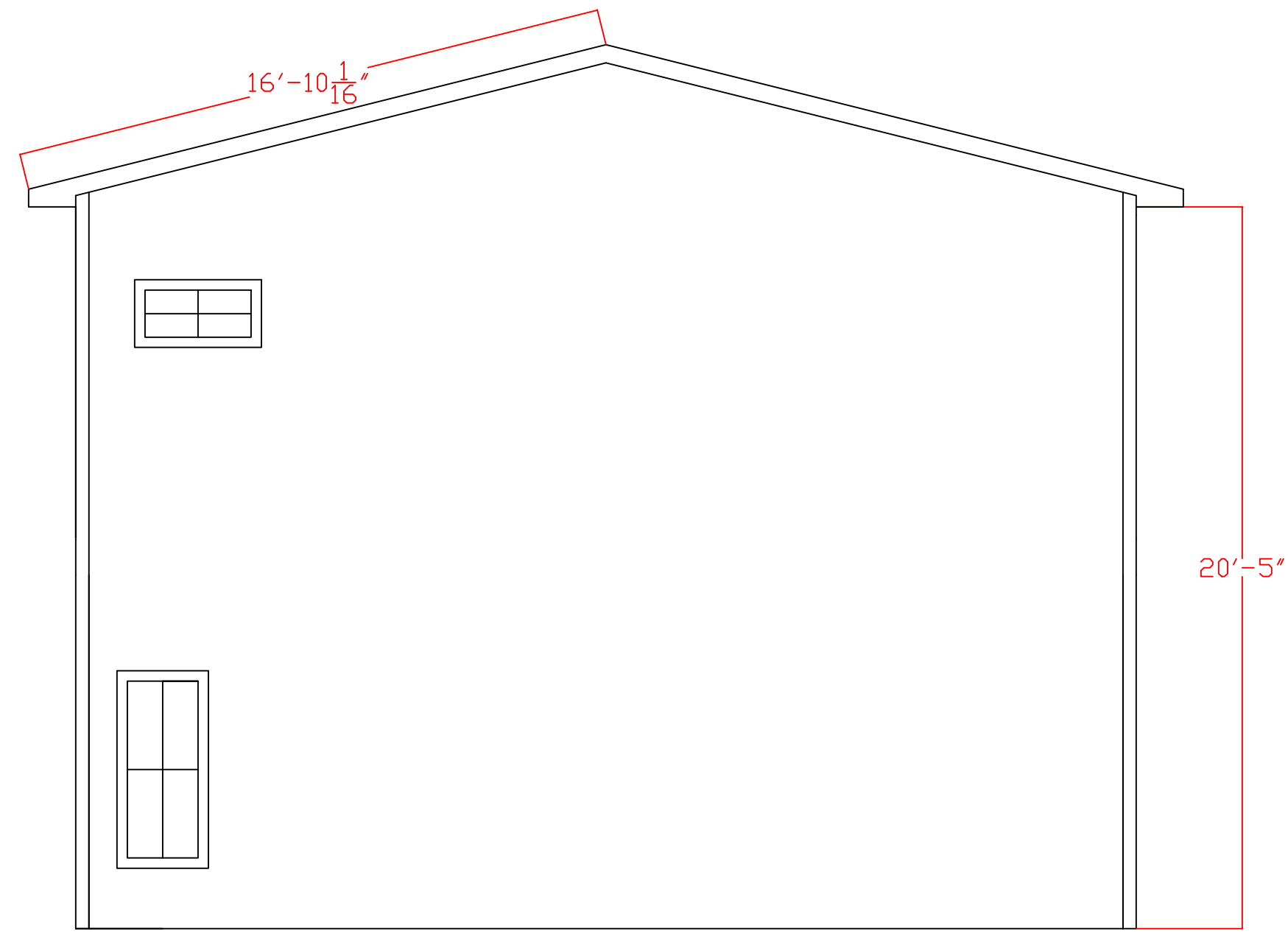
George F. Goosmann, III

Mayor

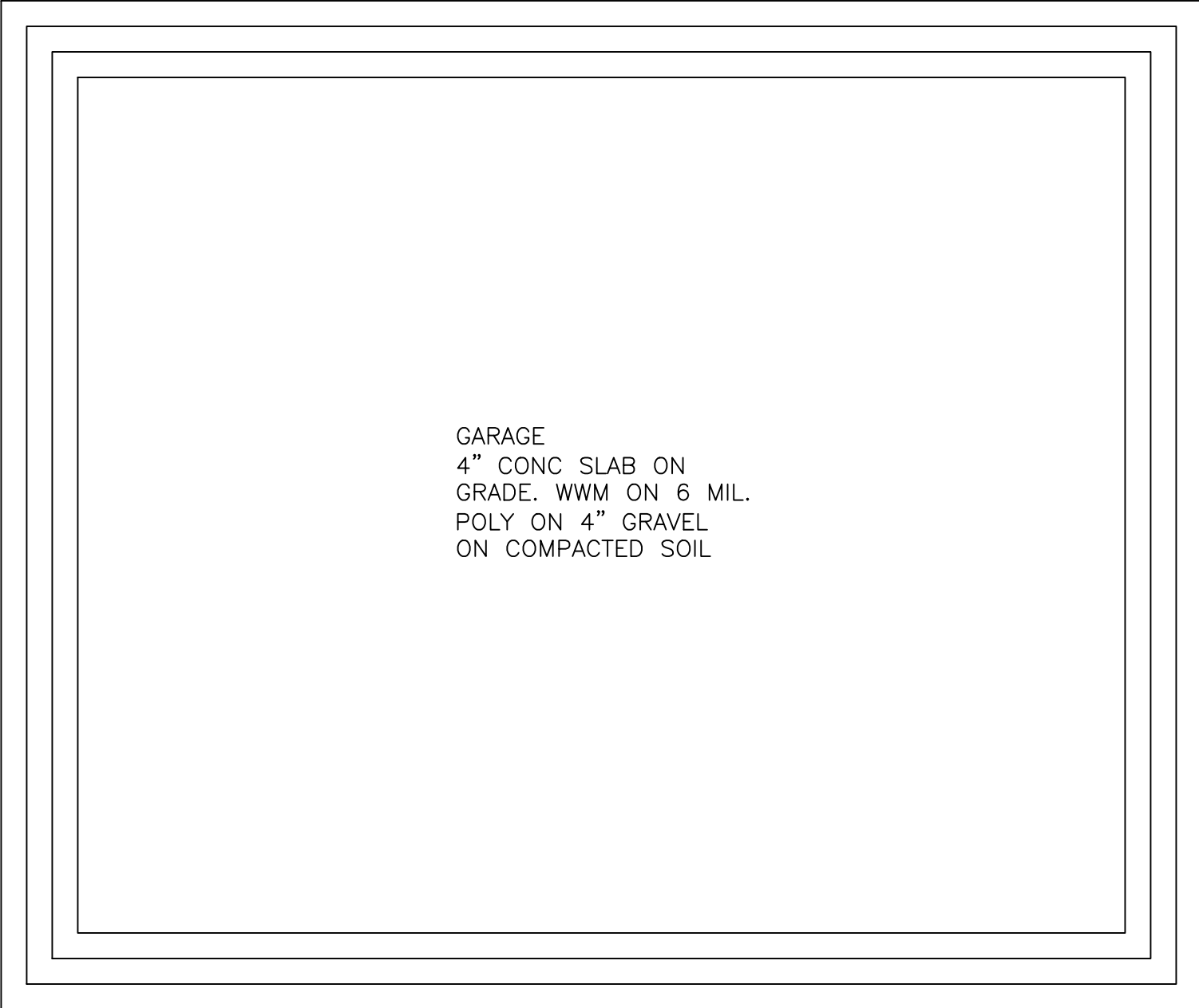


 <p>SHAMBURGER ARCHITECTURAL GROUP</p> <p>Wayland Shamburger, AIA Architect</p> <p>421 Fifth Avenue West</p> <p>Hendersonville, NC, 28739</p> <p>(P) 828-692-2737 (F) 828-694-0737</p> <p>wayland@sdsaia.com</p>	
<p>A Renovation For The</p> <p>AGNOSTOPOLOUS FAMILY</p> <p>7 Brookside Road Ashville NC 28803</p>	
<p>THIS DRAWING MAY NOT BE COPIED OR REPRODUCED, IN WHOLE OR IN PART, WITHOUT PERMISSION FROM SHAMBURGER ARCHITECTURAL GROUP PLLC</p> <p>©COPYRIGHT ©2021</p>	
<p>General Contractor to comply with all state and local codes. Any discrepancies in plans shall be discussed with Shamburger Architectural Group prior to assembly, ordering, and construction.</p>	

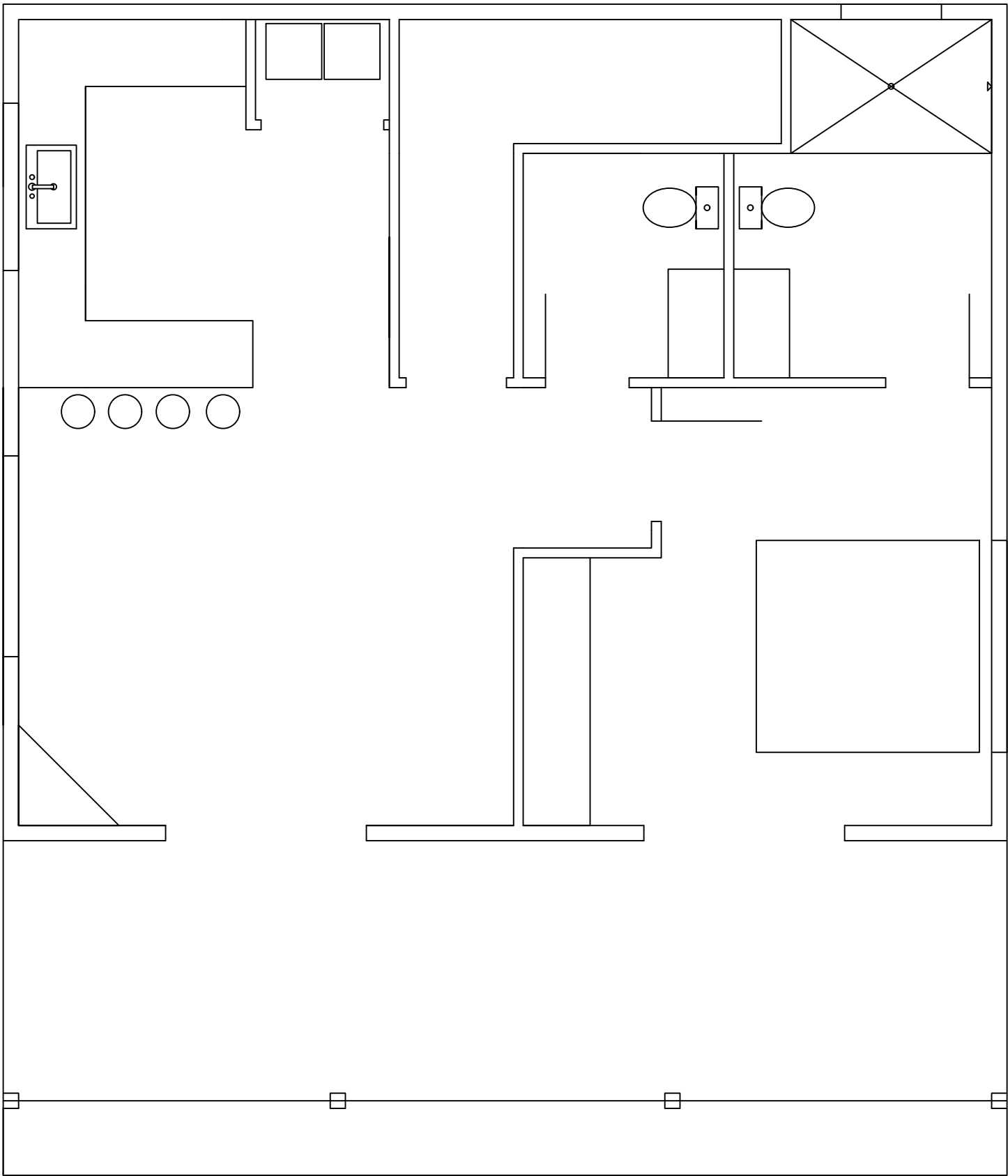
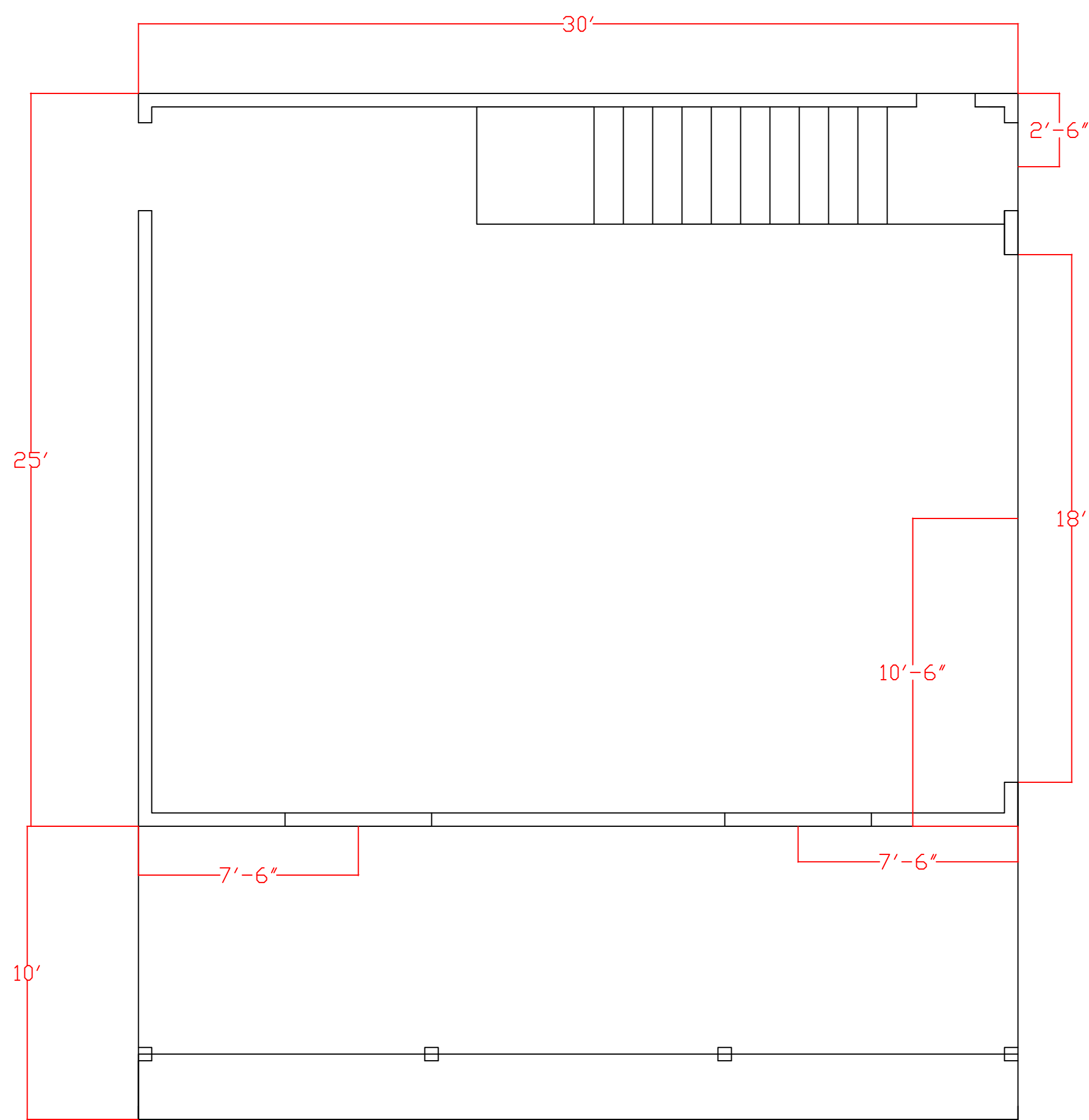




Project:
Location:
Drawing Name:
Scale: 1/4" = 1'-0"
Date:



24" X12" CONTINUOUS
CONC FOOTING



Project:
Location:
Drawing Name:
Scale: 1/4" = 1'-0"
Date:



BOARD OF ADJUSTMENT MEETING

STAFF MEMORANDUM

August 18, 2025

CASE

Property Address: 47 Forest Rd

Property Owner: Janet and Taylor Sword

Request: Variance Request for Multiple Accessory Structures

Background

The property owner is presenting plans for multiple wall accessory structures within the front yard. The first proposed retaining wall would be four feet tall, one hundred and five linear feet and located in the front yard. The second would be five feet tall, seventy-six linear feet and also located within the front yard but within the side setback. The application does not meet the requirements for location and setbacks for accessory structures, therefore it would require a variance.

Variance

The proposed structures do not comply with the placement being within the rear yard as well as being out of the setback, therefore would require a variance. Section 153.110 (D) (attached) addresses the approval requirements for a variance.

(D) *Variances*. Upon application, when unnecessary hardships would result from carrying out the strict letter of a zoning ordinance, the Board of Adjustment shall vary any of the provisions of the ordinance upon a showing of all of the following:

(1) Unnecessary hardship would result from the strict application of the ordinance. It shall not be necessary to demonstrate that, in the absence of the variance, no reasonable use can be made of the property;

(2) The hardship results from conditions that are peculiar to the property, such as location, size, or topography. Hardships resulting from conditions that are common to the neighborhood or the public may not be the basis for granting a variance;

(3) The hardship did not result from actions taken by the applicant or the property owner. The act of purchasing property with knowledge that circumstances exist that may justify the granting of a variance shall not be regarded as a self-created hardship; and

(4) The requested variance is consistent with the spirit, purpose, and intent of the ordinance, such that public safety is secured, and substantial justice is achieved.

(Ord. passed 10-19-1983; Ord. passed 6-8-2021)

Zoning Compliance Application

Town of Biltmore Forest

Name

Peter Stebbing

Property Address

47 Forest Road

Phone

(828) 225-4945

Email

pstebbing@siteworkstudios.com

Parcel ID/PIN Number

9647-70-0046

ZONING INFORMATION

Current Zoning

R-4

Lot Size

1.985

Proposed Roof Coverage Total

4589

Proposed Impervious Surface Coverage

13164.5

Front Yard Setback

50 feet (R-2, R-3, R-4, and R-5 Districts)

Side Yard Setback

15 feet (R-2, R-3, R-4, and R-5 Districts)

Rear Yard Setback

20 feet (R-2, R-3, R-4, and R-5 Districts)

Building Height

26'

Description of the Proposed Project

Install new 'loop' driveway, addition to residence on front and at porch in rear. Grading and storm water management will also be required.

Estimated Start Date

10/6/2025

Estimated Completion Date

5/31/2026

Estimated Cost of Project

\$500,000.00

Supporting Documentation (Site Plan, Drawings, Other Information)

47 Forest Rd..pdf

2503.01- Sword Residence- DD Set- 06.24.2025.pdf

Applicant Signature

Date
7/22/2025

Peter Stebbins

VARIANCE APPLICATION

Town of Biltmore Forest

Name

Steven Lee Johnson

Address

47 Forest Rd

Phone

(828) 273-2869

Email

j.swordlsinteriordesign@gmail.com

Current Zoning/Use

Residential

Requested Use

Residential

APPLICATION REQUIREMENTS: An application to the Board of Adjustment for a variance must be submitted to the Town of Biltmore Forest Town Manager at least 21 days prior to the meeting at which the application will be considered. A pre-application meeting with Town staff is required prior to application submittal to the Board of Adjustment.

What would you like to do with your property?

This application is submitted on behalf of Janet and Taylor Sword. They would like to construct a new driveway and build necessary retaining walls (2) that will minimize site disturbance. Also, there is a planned addition to existing home. The first retaining wall is within the front yard and is 105 LF. This wall would not exceed 4' ht., and would have stone veneer to match the new stone on the residential addition. The second wall is within the left setback and is 76 LF. It would be constructed using landscape boulders. Height for this wall would not exceed 5'.

What does the ordinance require?

The ordinance requires that proposed retaining walls in the front and side yards receive approval from the Board of Adjustment.

BOARD OF ADJUSTMENT: N.C.G.S. 160A-388(D) requires that the Board of Adjustment shall vary the provisions of the Zoning Ordinance only upon a showing of ALL the items below. The Board of Adjustment must follow strict procedure and all determinations must be decided by a concurring vote of four-fifths of the members of the Board. It is important to provide detailed supporting documentation for the Board of Adjustment to review. If necessary, additional sheets may be attached to this application.

REQUIRED FINDINGS: Please provide a thorough response to each.**Unnecessary hardship would result from the strict application of the ordinance.**

Without the use of some walls, excessive and steep slopes would be required, creating a dangerous and difficult to maintain situation. Additional land disturbance would also be required on property that was severely damaged by Helene.

The hardship results from conditions that are peculiar to the property, such as location, size, or topography.

The existing steep slopes on the property make the use of appropriate retaining walls in the front yard and side setback necessary. A proper, safe guest arrival driveway and parking are needed at the existing front door.

The hardship did not result from actions taken by the applicant or the property owner.

The steep slopes are existing. The Owners wish to not only repair the property from Helene damage but also create a more suitable and safe arrival sequence to their existing front door.

The requested variance is consistent with the spirit, purpose, and intent of the ordinance, such that public safety is secured, and substantial justice is achieved.

The requested variance would be consistent with the spirit, purpose and intent of the ordinance by beautifying the property, creating a more safe guest arrival experience, responsibly manage stormwater and minimize further site disturbance by using retaining walls constructed of natural masonry.

I hereby certify that all of the information set forth above is true and accurate to the best of my knowledge.

Signature

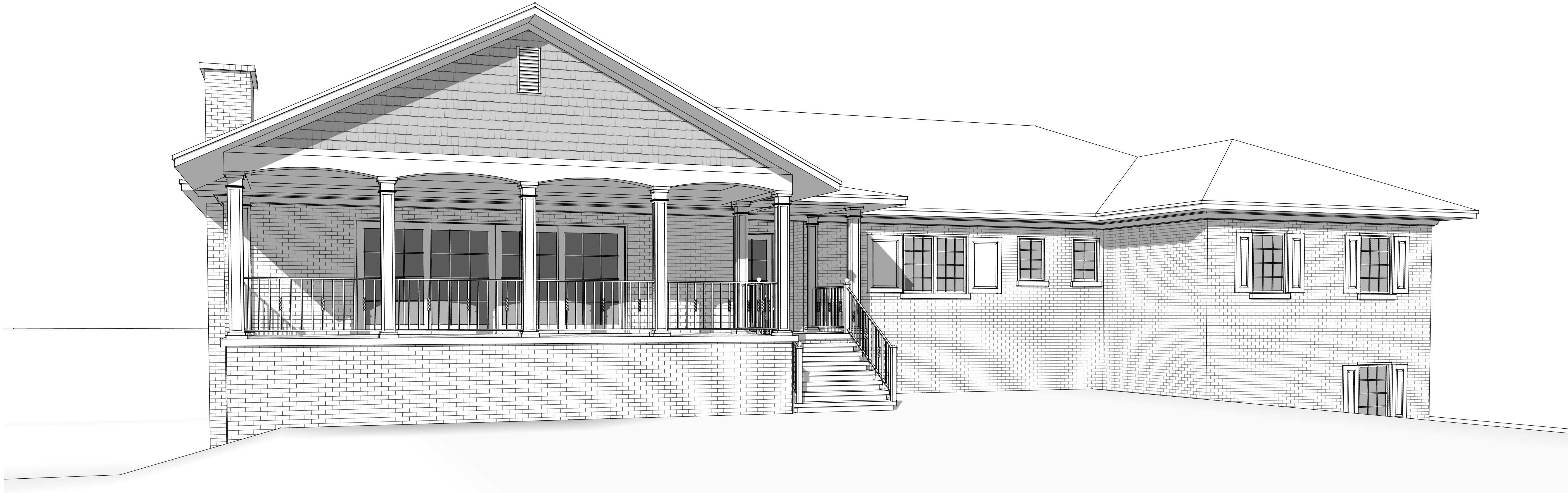
Date

8/4/2025

A handwritten signature in black ink, appearing to read "Stanley Lee Johnson". The signature is fluid and cursive, with a long horizontal line extending from the end.

Have you paid the \$300 variance application fee? Your permit application will not be reviewed until payment has been received. You can visit the link below to pay. Copy & paste the link in your browser.

Yes



SWORD RESIDENCE

DESIGN DEVELOPMENT SET

06.24.2025

AREA CALCULATIONS

MAIN HOUSE:		
EXISTING FIRST FLOOR-		3,028 SQ/FT
NEW FIRST FLOOR-		196 SQ/FT
TOTAL 1ST FLR.(HEATED)=		3,224 SQ/FT

DRAWING INDEX

A0.0-	COVER SHEET
A0.1-	DEMOLITION FLOOR PLAN & NEW WALL SECTIONS
A1.1-	FIRST FLOOR PLAN
A3.1-	FRONT ELEVATION FRONT PERSPECTIVE
A3.2-	LEFT ELEVATION LEFT PERSPECTIVE
A3.3-	REAR ELEVATION REAR PERSPECTIVE



T.A.D. Architect, PLLC
Thomas A. Dotson, Jr.
4 Maplewood Road
Asheville, NC 28804
v. 828.712.5582
e. tad@tadarchitect.com
w. www.tadarchitect.com



NOT FOR CONSTRUCTION

DRAWING NOTE:
Scale as stated herein are valid on the original drawing. The dimensions of which are 24" x 36".

This drawing is the property of T.A.D. Architect, PLLC and is not to be reproduced or copied in whole or in part without express written permission from T.A.D. Architect, PLLC. It is only to be used for the project and site specifically identified herein and is not to be used on any other project.

CLIENT
Janet and Taylor Sword
47 Forest Road
Biltmore Forest, NC 28803
c. 828.273.2859
J.Swordsinteriordesign@gmail.com

PROJECT
2503.01- Sword Residence- Addition

Janet and Taylor Sword
47 Forest Road

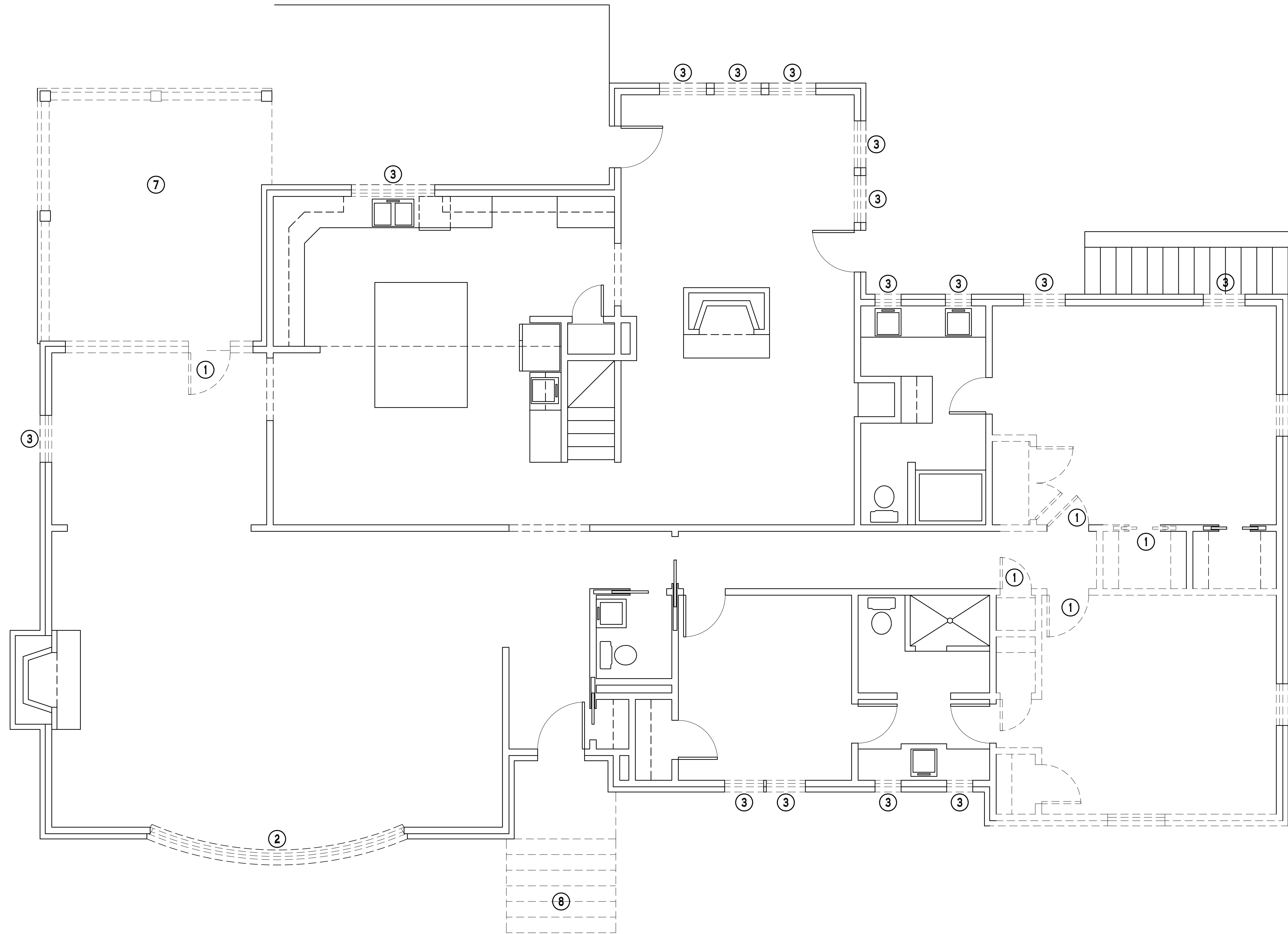
DRAWN BY
TAD

ISSUE
06.24.2025- Design Development Set

RE-ISSUE
00.00.2025(1)

SHEET DESCRIPTION
Cover Page

A0.0



- 1 REMOVE EXISTING DOOR
- 2 REMOVE EXISTING WINDOW
- 3 REMOVE EXISTING WINDOW AND REPLACE WITH CASEMENT WINDOWS. CONTRACTOR TO VERIFY EXISTING SIZE
- 4 REMOVE EXISTING SINK, CABINETS AND APPLIANCES.
- 5 REMOVE EXISTING WALL AND PROVIDE NEW STRUCTURAL HEADER TO SUPPORT NEW SPAN OPENING
- 6 REMOVE EXISTING FIXTURES
- 7 REMOVE CEILING AND PREPARE EXISTING CEILING FRAMING TO VAULT CEILING
- 8 REMOVE STAIRS

GENERAL NOTES:

ALL WORK TO CONFORM TO ALL APPLICABLE CODES & ORDINANCES.

ALL EXTERIOR DOORS TO BE WEATHERSTRIPPED.

EXTERIOR WOOD TO BE TREATED APPEARANCE GRADE. COORDINATE STAINS & PAINTS W/ OWNER.

INTERIOR GYPSUM BOARD TO BE TAPED, SPACKLED, AND SANDED AND RECEIVE 1 COAT LATEX PRIMER AND 2 COATS FLAT LATEX PAINT UNLESS OTHERWISE NOTED. COLOR BY OWNER.

INSULATION IN EXTERIOR WALL TO BE 3 1/2" FIBERGLASS BATT (R-15) W/ KRAFT PAPER VAPOR BARRIER, INSULATION IN SLOPING ROOF SECTIONS TO BE BATT INSULATION R-38. INSULATION ABOVE FLAT CEILINGS TO BE BATT INSULATION R-38.

NEW FLOORING 3/4" TONGUE & GROOVE PLYWOOD, GLUE W/ CONSTRUCTION GRADE ADHESIVE AND FASTEN WITH 1 1/4" SCREWS @ 8" C.C.

ALL PLUMBING INSTALLED PER CODE. WASTE AND WATER PIPING TO BE PVC SCHEDULE 40, PROVIDE ADDITIONAL 12" AIR CHAMBER TO PREVENT WATER SHOCK @ ALL PIPING TO CONTROL VALVES. INSTALL DISCONNECT VALVES @ ALL FIXTURES.

THE EXTENT TO WHICH MATERIALS WILL BE REPAIRED AND REUSED WILL BE DETERMINED BY THE CONTRACTOR IN THE FIELD AND VERIFIED BY THE OWNER, ARCHITECT AND/OR ENGINEER.

BEFORE BEGINNING WORK, AND THROUGHOUT THE COURSE OF THE WORK, INSPECT AND VERIFY THE LOCATION AND CONDITION OF EVERY ITEM AFFECTED BY THE WORK AS PRESCRIBED IN THE FOLLOWING DRAWINGS, AND REPORT DISCREPANCIES TO THE ARCHITECT AND/OR ENGINEER BEFORE DOING WORK RELATED TO THAT BEING INSPECTED.

BEFORE BEGINNING WORK AT THE SITE, INSPECT THE EXISTING BUILDING AND DETERMINE THE EXTENT OF EXISTING FINISHES, SPECIALTIES, CASEWORK, EQUIPMENT, AND OTHER ITEMS WHICH MUST BE REMOVED OR REPAIRED.

INCIDENTAL WORK MAY ALSO BE NECESSARY IN AREAS NOT SHOWN ON THE DRAWINGS DUE TO CHANGES AFFECTING MECHANICAL, ELECTRICAL, PLUMBING, OR OTHER SYSTEMS. SUCH INCIDENTAL WORK IS ALSO A PART OF THIS CONTRACT.

REPAIR, PATCH, AND FINISH OR REFINISH AS APPLICABLE, TO MATCH ADJACENT EXISTING FINISHES, THOSE EXISTING SURFACES DAMAGED OR NEWLY EXPOSED DURING PERFORMANCE OF THE WORK.

DETERMINE LOCATION OF PARTITIONS NOT DIMENSIONED BY THEIR RELATION TO COLUMN FACE OR CENTER, WINDOW JAMB OR MULLION, OR OTHER SIMILAR FIXED ITEM.

DIMENSIONS TO NEW STUD PARTITIONS ARE TO FACE OF STUD.

WHERE PERMANENT REMOVAL OF EXISTING MILLWORK, CASEWORK, CABINTWORK, ACCESSORIES, EQUIPMENT OR FURNISHINGS IS REQUIRED, AND PREVIOUSLY CONCEALED SURFACES ARE TO REMAIN EXPOSED, PATCH SUCH SURFACES TO MATCH ADJACENT EXPOSED SURFACES. WHERE SUCH SURFACES ARE SCHEDULED TO RECEIVE NEW FINISHES, PREPARE THE SURFACES TO RECEIVE THE NEW FINISHES.

WHERE CONDUITS, DUCTS, PIPES, AND SIMILAR ITEMS ARE SHOWN TO BE INSTALLED IN EXISTING WALLS, NEATLY CHASE THE WALLS OR PARTITIONS, INSTALL THE ITEMS, AND PATCH THE WALLS OR PARTITIONS TO MAKE THE INSTALLATION NOT DISCERNIBLE IN THE FINISHED WORK.

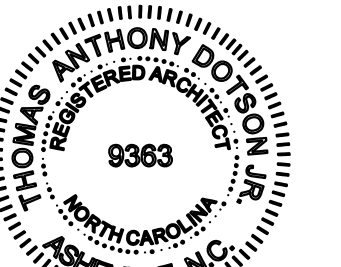
JUNCTURES BETWEEN EXISTING MASONRY AND PATCHES OR EXTENSIONS SHALL BE MADE TO CLEAN-CUT LINES OR NEATLY TOOTHED IN.

SALVAGE REMOVED CMU; CLEAN AND REUSE APPROVED UNITS FOR FILLING IN OPENINGS IN CMU AND FOR BUILDING NEW CMU WALLS. DO NOT USE DAMAGED CMU. PROVIDE NEW CMU WHERE APPROVED SALVAGED CMU IS NOT AVAILABLE INSUFFICIENT QUANTITY TO CARRY OUT THE NEW WORK.

SEE ATTACHED PLANS (BY OTHERS) FOR EXISTING CONDITIONS/PARTITIONS/ELEVATIONS, ETC.



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PROJECT
2503.01- Sword Residence-Addition

Janet and Taylor Sword
47 Forest Road

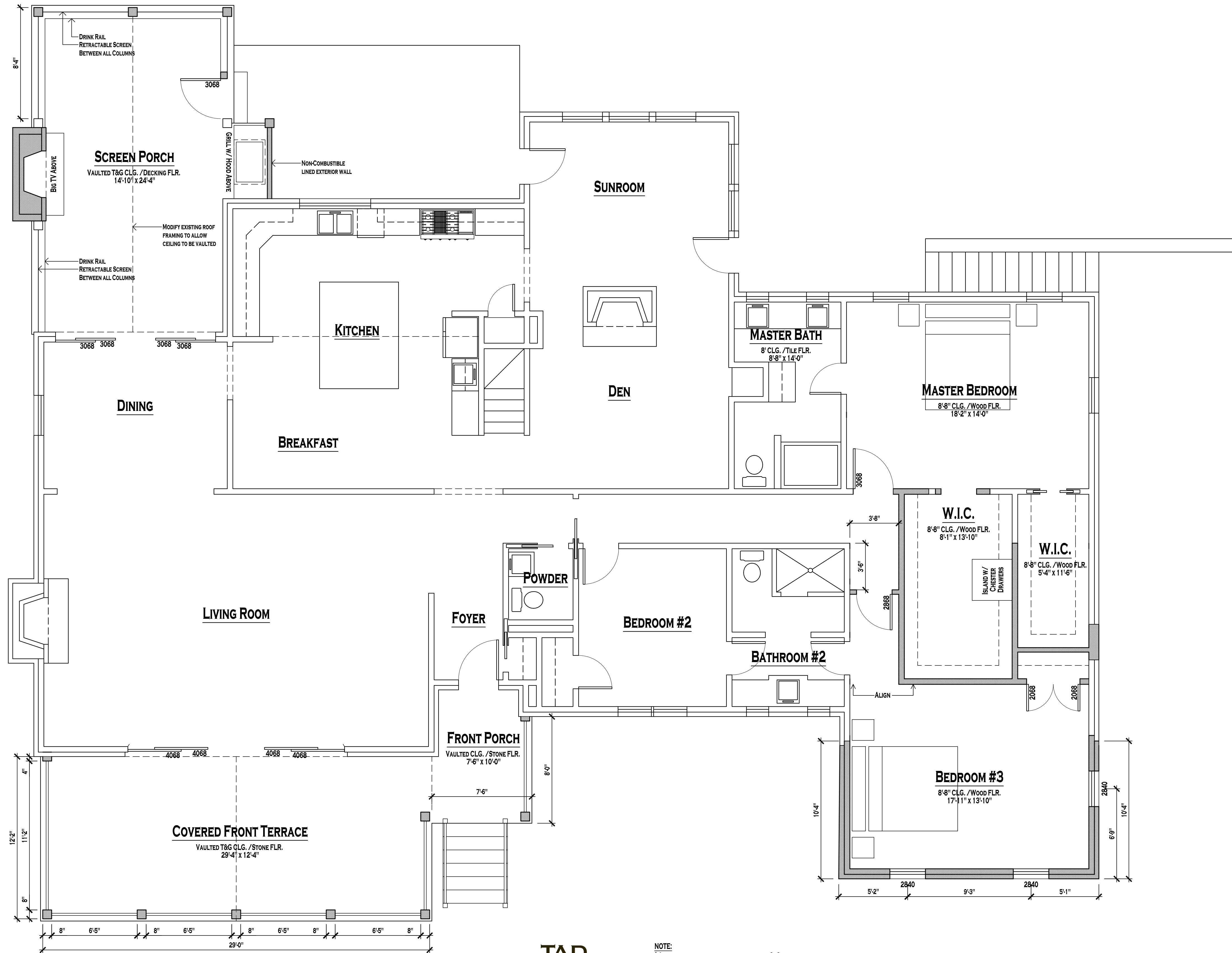
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TAD

ISSUE
06.24.2025- Design
Development Set

RE-ISSUE
00.00.2025(1)- Amendment #1

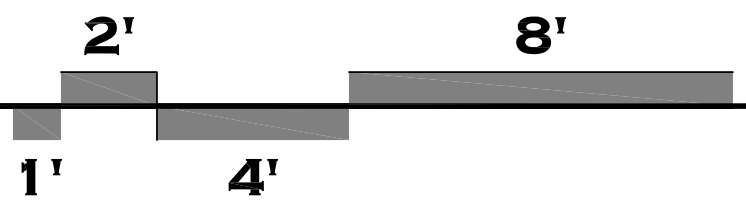
SHEET DESCRIPTION
Demolition Floor Plans

A0.1



FIRST FLOOR PLAN

3,028 SQ./FT. (EXISTING HEATED)
196 SQ./FT. (NEW HEATED)
3,224 SQ./FT. (TOTAL HEATED)



NOTE:
* ALL EXTERIOR WALLS ARE TO BE BUILT WITH 2X6 STUDS.
* ALL INTERIOR WALLS ARE TO BE BUILT WITH 2X4 STUDS, UNLESS IN POCKET DOOR WALL OR CALLED OUT DIFFERENTLY ON PLAN
* ALL WALLS WITH POCKET DOORS TO BE BUILT WITH 2X6 STUDS.
* ALL DIMENSIONS ARE TO FACE OF STUDS AND FACE OF CMU.
* WINDOW MANUFACTURER TO CONFIRM THAT WINDOWS IN BEDROOMS MEET THE REQUIRED SQUARE FOOTAGE FOR EMERGENCY/RESCUE OPENING.



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SHEET DESCRIPTION
Floor Plans- Option #1

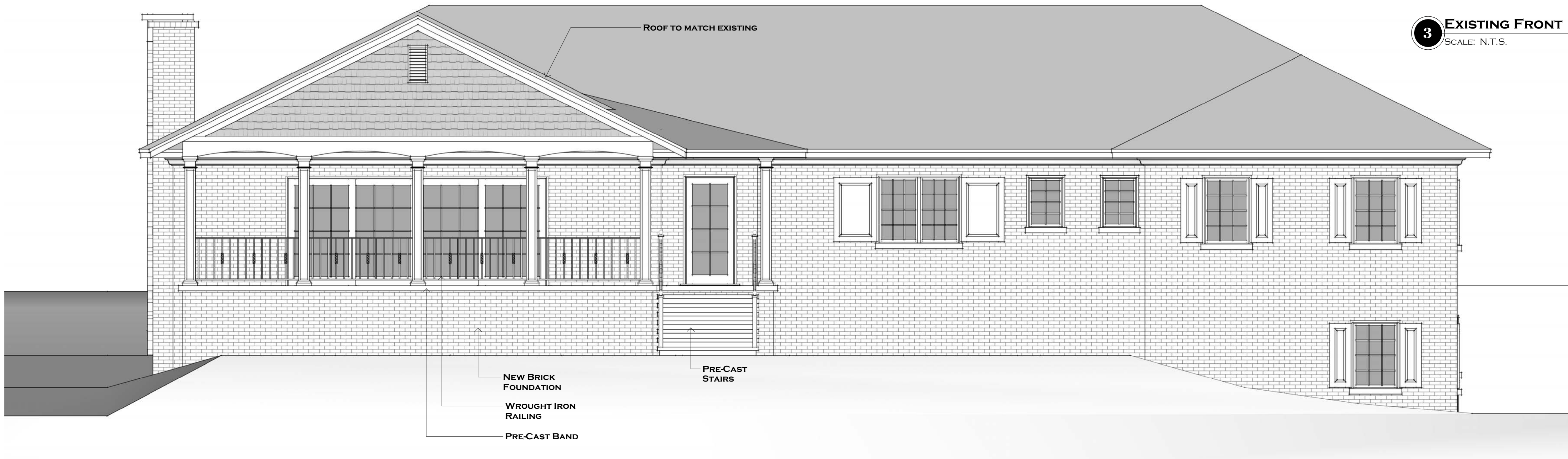
A1.1



1 FRONT PERSPECTIVE
SCALE: N.T.S.



3 EXISTING FRONT
SCALE: N.T.S.



2 FRONT ELEVATION
SCALE: 1/4" = 1'-0"



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00.00.2025(1)

SHEET DESCRIPTION
Elevations

A3.1



1 LEFT PERSPECTIVE
SCALE: N.T.S.



2 LEFT ELEVATION
SCALE: 1/4" = 1'-0"



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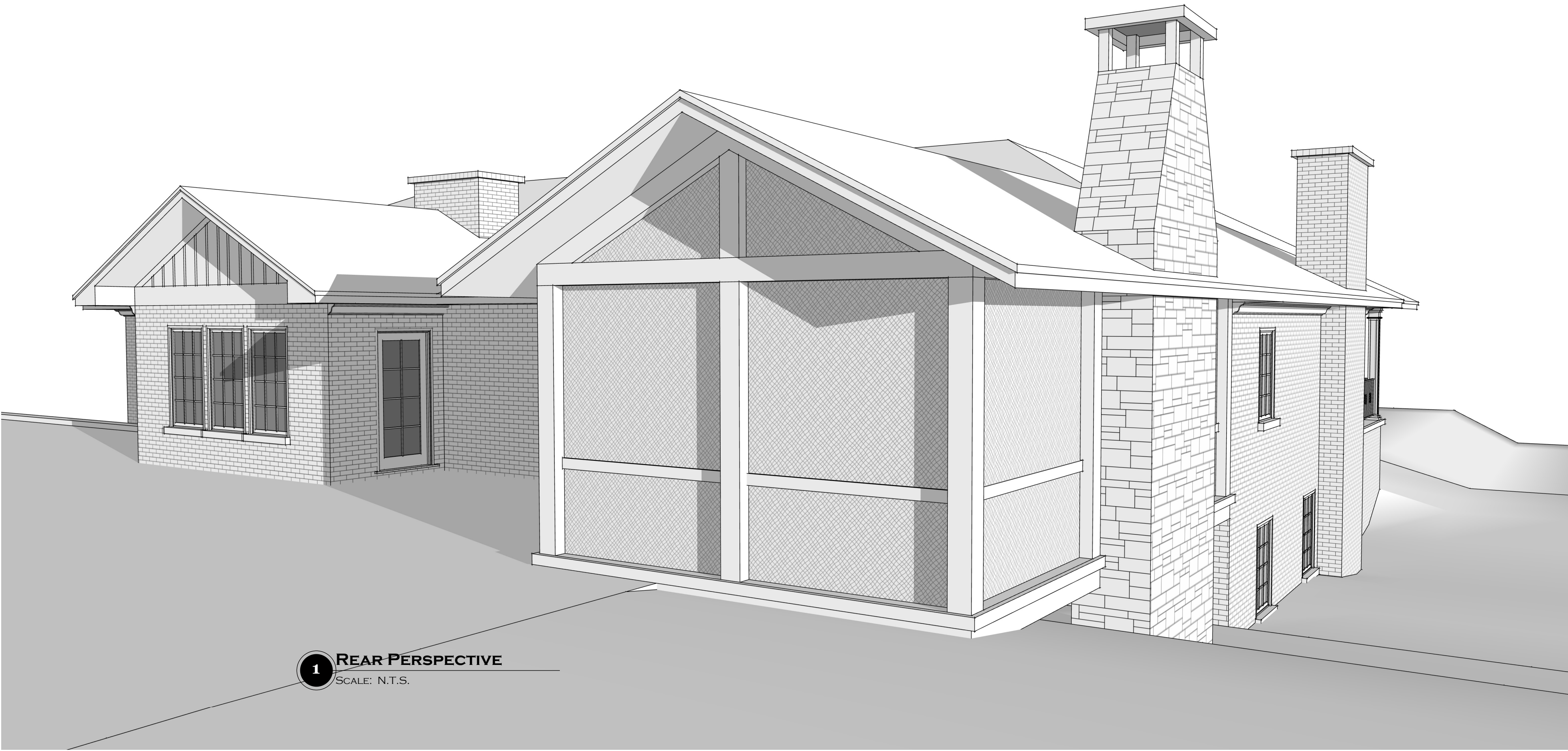
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ISSUE
06.24.2025- Design Development Set

RE-ISSUE
00.00.2025(1)

SHEET DESCRIPTION
Elevations

A3.2



1 REAR PERSPECTIVE
SCALE: N.T.S.



2 REAR ELEVATION
SCALE: 1/4" = 1'-0"



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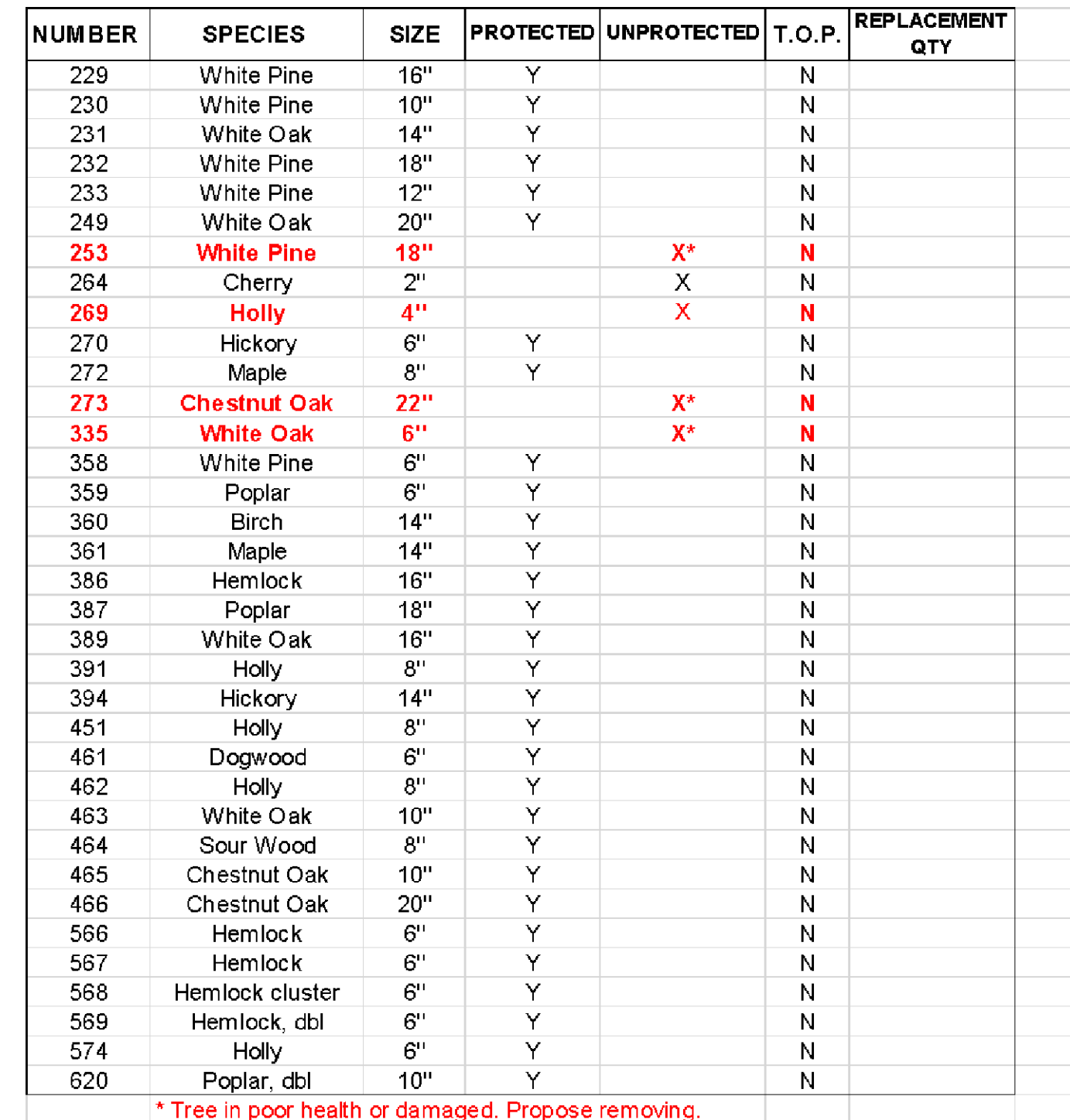
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06.24.2025- Design Development
Set

RE-ISSUE
00.00.2025(1)

SHEET DESCRIPTION
Elevations

A3.3






NUMBER	SPECIES	SIZE	PROTECTED	UNPROTECTED	T.O.P.	REPLACEMENT QTY
229	White Pine	16"	Y		N	
230	White Pine	10"	Y		N	
231	White Oak	14"	Y		N	
232	White Pine	18"	Y		N	
233	White Pine	12"	Y		N	
249	White Oak	20"	Y		N	
253	White Pine	18"		X*	N	
264	Cherry	2"		X	N	
269	Holly	4"		X	N	
270	Hickory	6"	Y		N	
272	Maple	8"	Y		N	
273	Chestnut Oak	22"		X*	N	
335	White Oak	6"		X*	N	
358	White Pine	6"	Y		N	
359	Poplar	6"	Y		N	
360	Birch	14"	Y		N	
361	Maple	14"	Y		N	
386	Hemlock	16"	Y		N	
387	Poplar	18"	Y		N	
389	White Oak	16"	Y		N	
391	Holly	8"	Y		N	
394	Hickory	14"	Y		N	
451	Holly	8"	Y		N	
461	Dogwood	6"	Y		N	
462	Holly	8"	Y		N	
463	White Oak	10"	Y		N	
464	Sour Wood	8"	Y		N	
465	Chestnut Oak	10"	Y		N	
466	Chestnut Oak	20"	Y		N	
566	Hemlock	6"	Y		N	
567	Hemlock	6"	Y		N	
568	Hemlock cluster	6"	Y		N	
569	Hemlock, dbl	6"	Y		N	
574	Holly	6"	Y		N	
620	Poplar, dbl	10"	Y		N	

* Tree in poor health or damaged. Propose removing.

* Tree in poor health or damaged. Propose removing

TREES IN RED TO BE REMOVED

LEGEND:

-  TREE TO BE REMOVED
-  TO BE REMOVED
-  TREE PROTECTION

CONSULTANT

SWORD RESIDENCE

PREPARED FOR:

JANET AND TAYLOR SWORD
47 Forest Road
Biltmore Forest, NC 28803

sitework
STUDIOS

LANDSCAPE ARCHITECTURE
82 Patton Avenue | Suite 700 | Asheville, NC 28801 | 828.225.4945

REVISIONS	
NO.	REMARKS

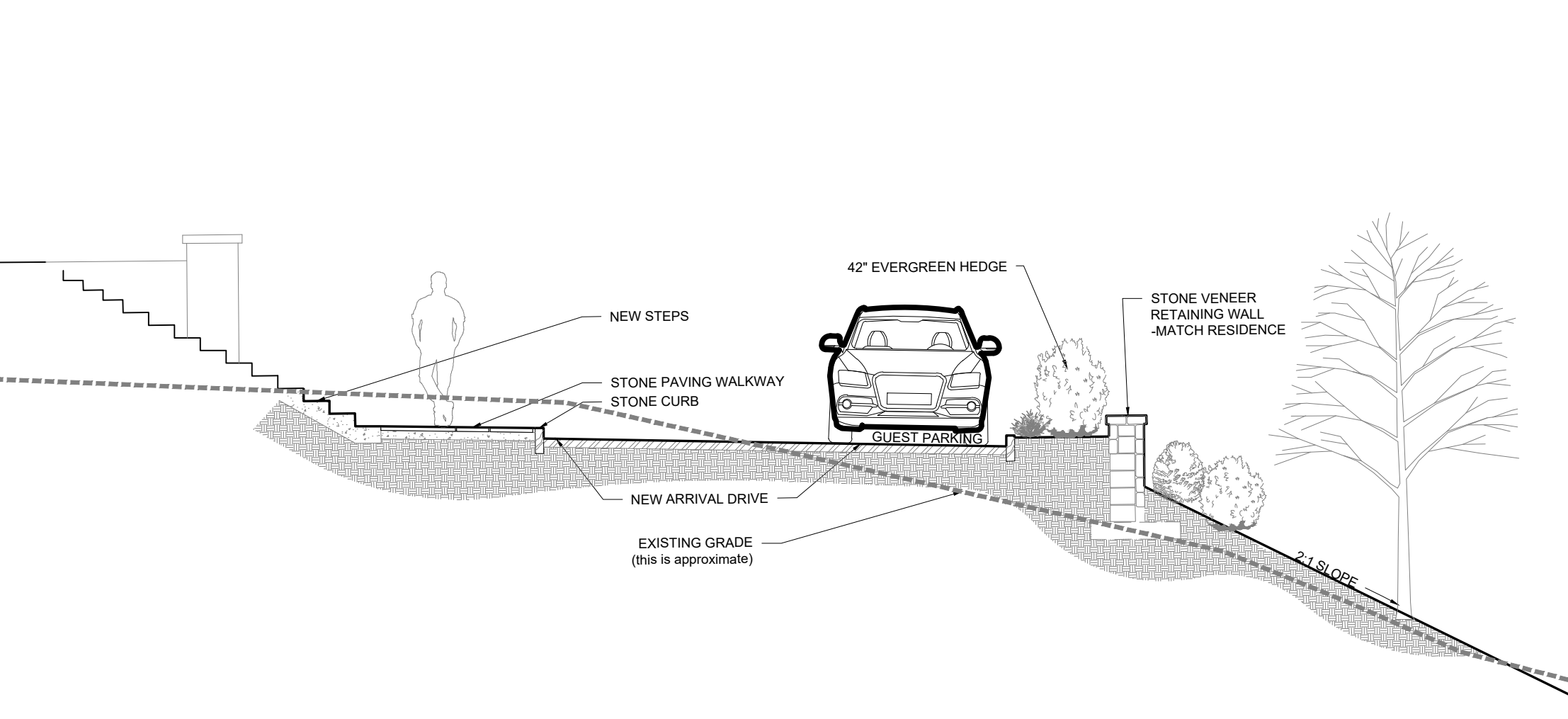
NOT FOR CONSTRUCTION

DATE:
07.28.25
SHEET TITLE

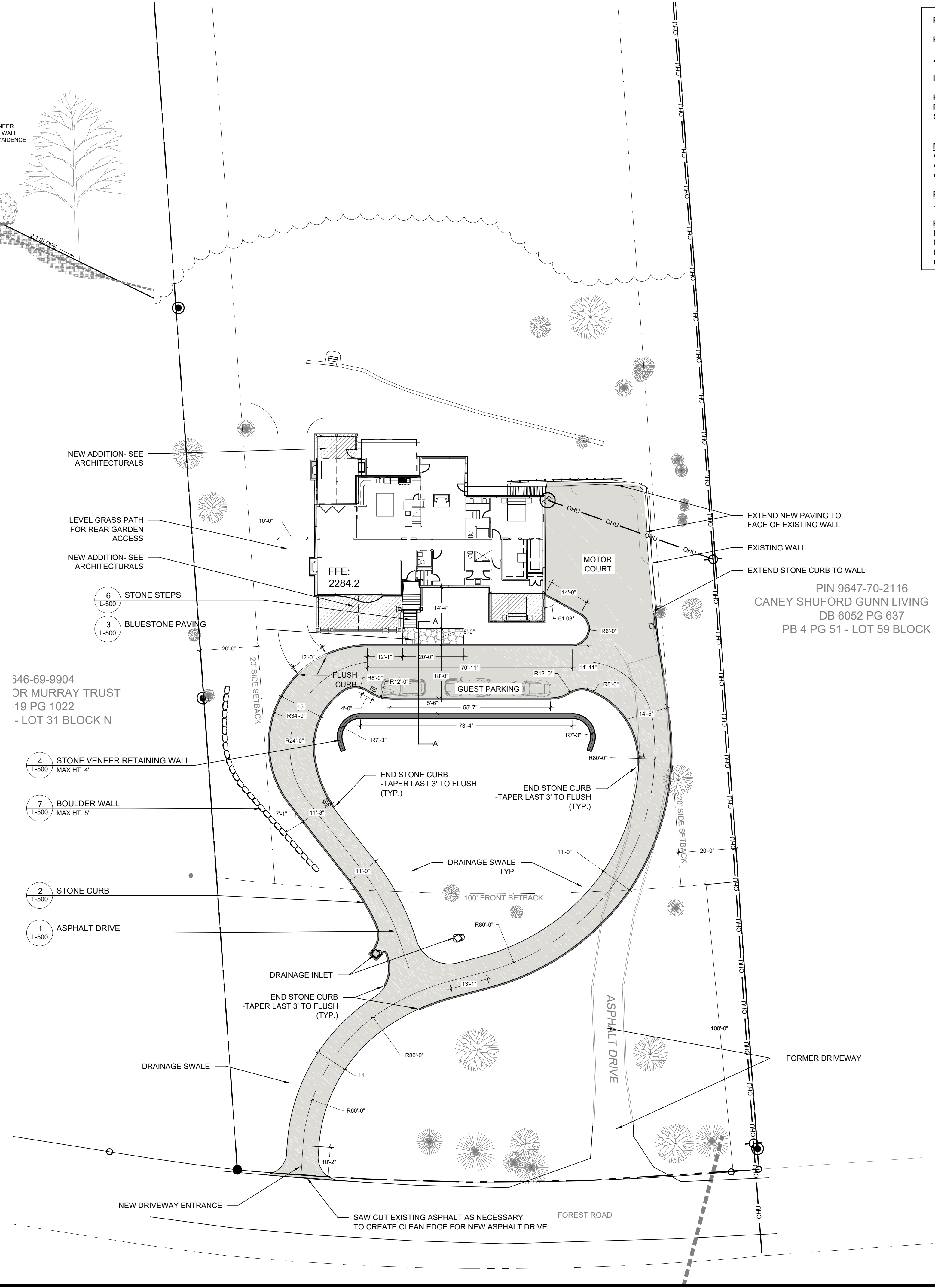
TREE REMOVAL & DEMOLITION PLAN

SHEET NO.

L-101



SECTION 'A'

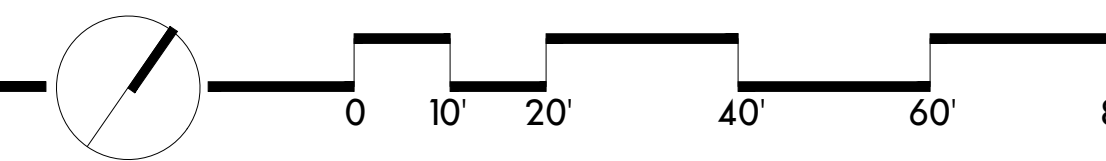


PROPERTY ADDRESS: 47 FOREST ROAD
PIN: 9647-70-0046
ZONING: R1
LOT SIZE: 1.98 AC (86,248.8 SF)
FRONT SETBACK: 60'
REAR SETBACK: 25'
SIDE SETBACK: 20'
MAXIMUM IMPERVIOUS SURFACE COVERAGE:
• UP TO 1 AC - 27.5%
• 1-3 AC - 25%
• 3-6 AC - 20%
PROPOSED LIMITS OF DISTURBANCE:
.64 AC - 32% (27,885 SF)
PROPOSED IMPERVIOUS SURFACE COVERAGE:
MAX. IMPERVIOUS SURFACE: 21,562 SF (25%)
EXISTING IMPERVIOUS SURFACE: 7,482.6 SF
PROPOSED IMPERVIOUS: 13,164.5 SF
0.30 AC - 15% (13,164.5 SF)

346-69-9904
OR MURRAY TRUST
.19 PG 1022
- LOT 31 BLOCK N

PIN 9647-70-2116
CANEY SHUFORD GUNN LIVING
DB 6052 PG 637
PB 4 PG 51 - LOT 59 BLOCK

- 6 L-500 STONE STEPS
- 3 L-500 BLUESTONE PAVING
- 4 L-500 STONE VENEER RETAINING WALL
MAX HT. 4'
- 7 L-500 BOULDER WALL
MAX HT. 5'
- 2 L-500 STONE CURB
- 1 L-500 ASPHALT DRIVE



CONSULTANT

sitework

STUDIOS

LANDSCAPE ARCHITECTURE
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SWORD RESIDENCE

PREPARED FOR:
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Biltmore Forest, NC 28803

REVISIONS		
NO.	REMARKS	DATE

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C-188

DATE:
07.28.25

SHEET TITLE:
SITE PLAN

SHEET NO.

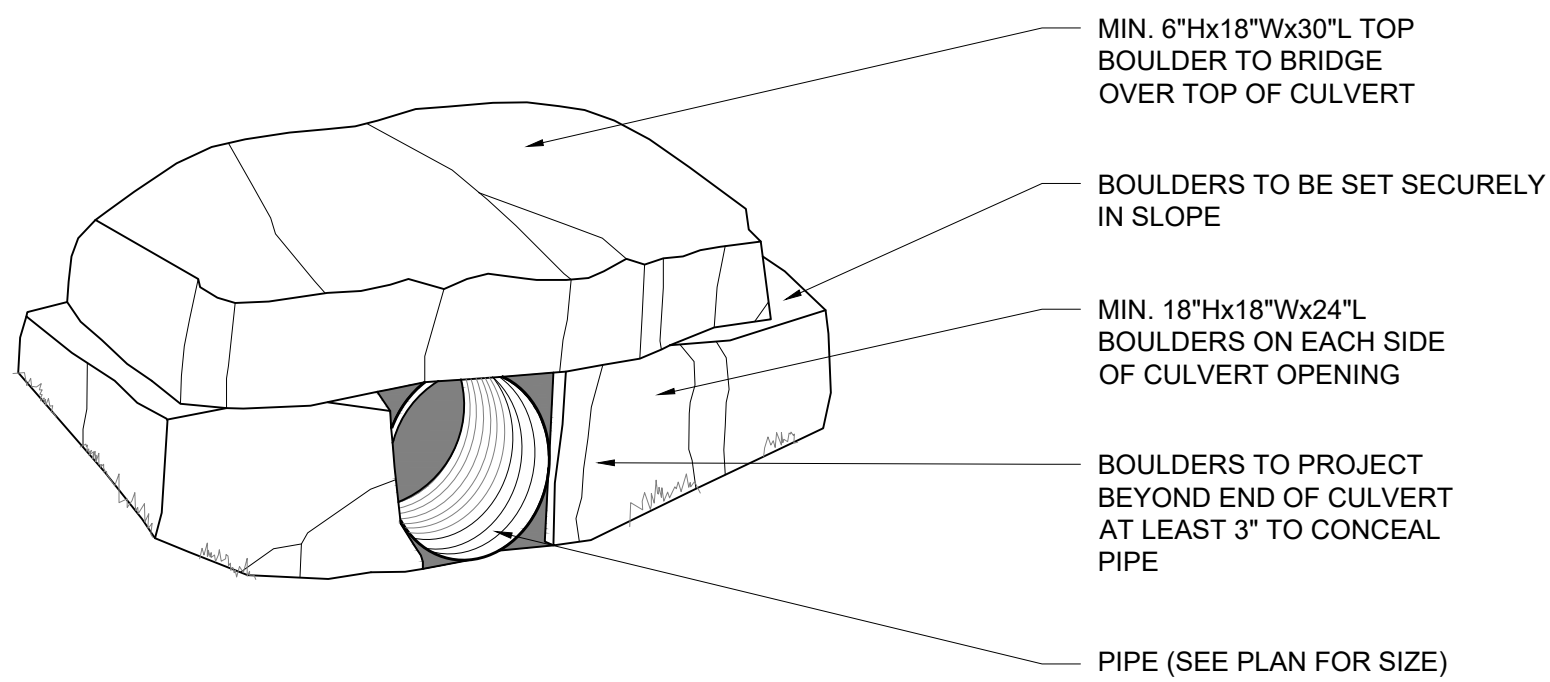
L-200



1

STONE SLAB OVER CATCH BASIN

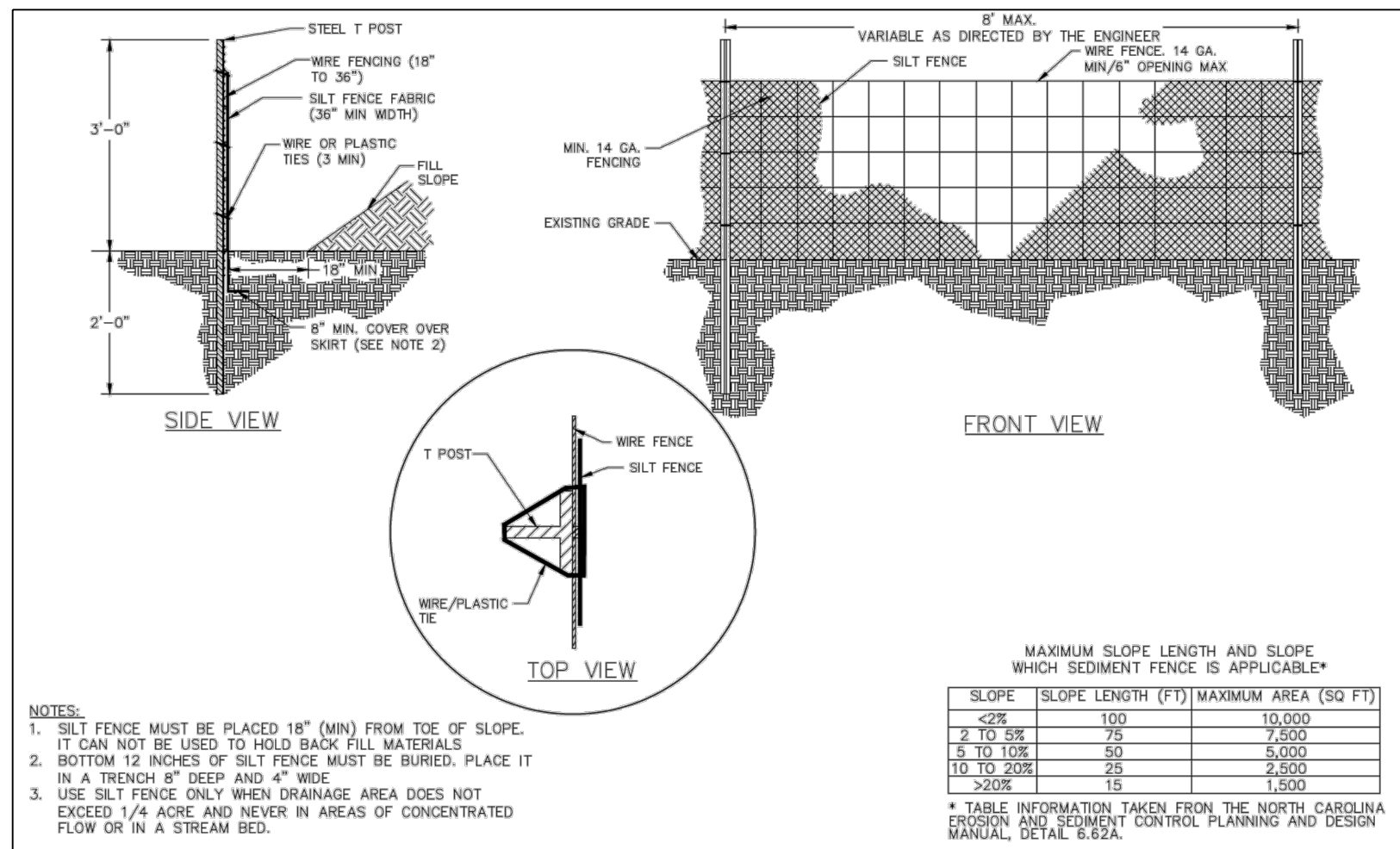
NTS



2

BOULDER HEADWALL AT PIPE OUTLET

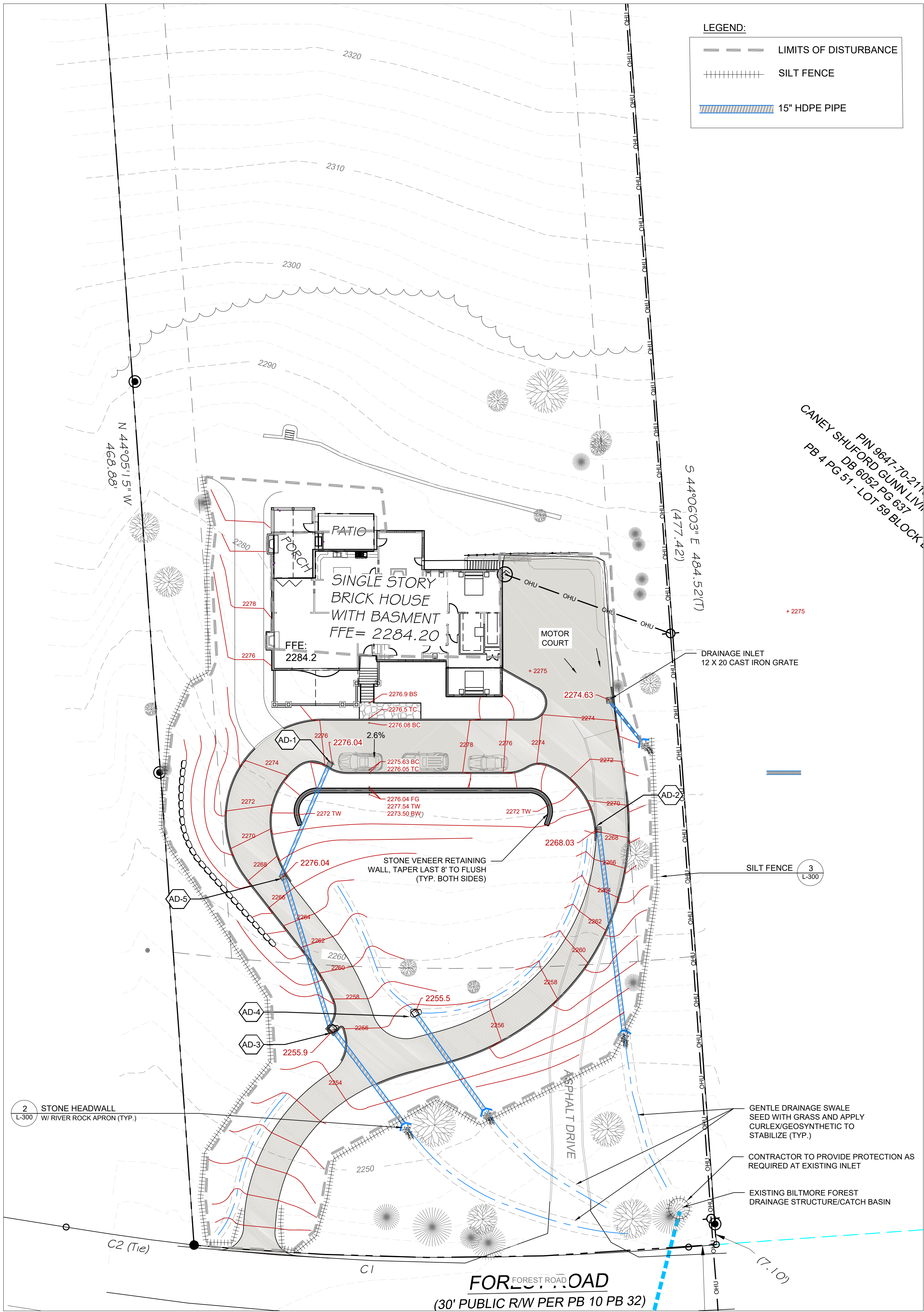
NTS



3

SILT FENCE

NTS



PROPERTY ADDRESS: 47 FOREST ROAD

PIN: 9647-70-0046

ZONING: R1

LOT SIZE: 1.98 AC (86,248.8 SF)

FRONT SETBACK: 60'

REAR SETBACK: 25'

SIDE SETBACK: 20'

MAXIMUM IMPERVIOUS SURFACE COVERAGE:

- UP TO 1 AC - 27.5%
- 1-3 AC - 25%
- 3-6 AC - 20%

PROPOSED LIMITS OF DISTURBANCE:

.64 AC - 32% (27,885 SF)

PROPOSED IMPERVIOUS SURFACE COVERAGE:

MAX. IMPERVIOUS SURFACE: 21,562 SF (25%)

EXISTING IMPERVIOUS SURFACE: 7,482.6 SF

PROPOSED IMPERVIOUS: 13,164.5 SF

0.30 AC - 15% (13,164.5 SF)

- GRADING NOTES
1. VERIFY GRADES, DIMENSIONS & BUILDING LOCATION IN FIELD. NOTIFY LANDSCAPE ARCHITECT OR ARCHITECT IF ANY GRADE CONFLICTS OR AMBIGUITIES ARISE.

2. CONTRACTOR IS TO MAINTAIN EXISTING ROAD DRAINAGE SYSTEM IN WORKING CONDITION.

3. MATCH EXISTING GRADES SMOOTHLY WHERE PROPOSED FEATURES MEET EXISTING FEATURES.

4. THE CONTRACTOR SHALL ENSURE POSITIVE DRAINAGE AWAY FROM BUILDING DURING ALL PHASES OF CONSTRUCTION.

5. EROSION CONTROL MEASURES ARE GENERAL IN NATURE. CONTRACTOR IS RESPONSIBLE FOR ADDITIONAL MEASURES AS REQUIRED TO PREVENT ON- OR OFF- SITE RUNOFF AND EROSION.

6. ALL INLETS TO HAVE TEMPORARY INLET PROTECTION INSTALLED IMMEDIATELY AFTER INLET HAS BEEN CONSTRUCTED.

7. CONTRACTOR IS RESPONSIBLE FOR WEEKLY INSPECTION OF ALL EROSION CONTROL AND SEDIMENT PRACTICES. NEEDED REPAIRS ARE TO BE COMPLETED IMMEDIATELY. MAINTAIN SILT FENCE BY CLEARING OUT WHEN HALF FULL. INSPECTION IS REQUIRED AFTER ALL RAIN EVENTS.

8. REMOVE ALL TEMPORARY EROSION CONTROL MEASURES AFTER DISTURBED AREAS HAVE BEEN STABILIZED AND COMPLETED.

9. ALL PROPOSED INLET STRUCTURES SHALL CONNECT TO PROPOSED STORM DRAIN LINES AND SHALL OUTFALL ON THE PROPERTY WITH ADEQUATE EROSION CONTROL MEASURES AT THE OUTFALL.

10. ALL PROPOSED STORM DRAIN LINES SHALL HAVE A MINIMUM OF 18" OF COVER.

11. THE CONTRACTOR SHALL PROVIDE FINISHED GRADES AS SHOWN ON THE PLAN WITHIN A 1/2" TOLERANCE.

12. ALL TREES AND VEGETATION TO REMAIN SHALL BE PROTECTED FROM INJURY DURING ANY LAND CLEARING AND CONSTRUCTION.

13. THE CONTRACTOR SHALL NOT PARK VEHICLES, STORE MATERIALS OR TRENCH WITHIN DRIPLINE OF TREES TO REMAIN, OR WITHIN BARRIERS PROTECTING ANY VEGETATION TO REMAIN.

14. THE CONTRACTOR SHALL NOT CAUSE OR ALLOW THE CLEANING OF EQUIPMENT, STORAGE OR DISPOSAL OF MATERIALS SUCH AS PAINTS, SOLVENTS, ASPHALT OR CONCRETE, OR ANY MATERIAL THAT CAN DAMAGE THE HEALTH OF VEGETATION WITHIN THE DRIPLINE OF PROTECTED VEGETATION.
- EROSION CONTROL NOTES:

1. ALL CONSTRUCTION SHALL BE IN ACCORDANCE WITH LOCAL ORDINANCE AND LOCAL STANDARD SPECIFICATIONS AND DETAILS.

2. ALL WORK SHALL BE PERFORMED BY A LICENSED NORTH CAROLINA CONTRACTOR.

3. EROSION CONTROL IS A FIELD BASED ACTIVITY. ADDITIONAL SILT FENCE, DIVERSION DITCHES AND OTHER MEASURES MAY NEED TO BE ADDED IN ADDITION TO THE APPROVED PLAN AS NECESSARY. MEASURES SHOWN CAN AND SHOULD BE ADJUSTED TO ASSURE MAXIMUM PROTECTION ON SITE WITH APPROVAL OF EROSION CONTROL OFFICER AND SITEWORK STUDIOS.

4. CONTRACTOR IS RESPONSIBLE FOR INSTALLING, MAINTAINING AND REMOVING ALL NECESSARY EROSION AND SEDIMENTATION CONTROL MEASURES.

5. ADD MEASURES AS NEEDED FOR ENVIRONMENTALLY SENSITIVE AREAS.

6. CONTRACTOR IS RESPONSIBLE FOR KEEPING ACCURATE LOG OF SITE CONDITIONS IN ACCORDANCE WITH APPLICABLE PERMITS.

7. EXISTING DRAINAGE PATTERNS AND CONTOURS TO REMAIN INTACT EXCEPT WHERE SHOWN.

DRAINAGE SCHEDULE:

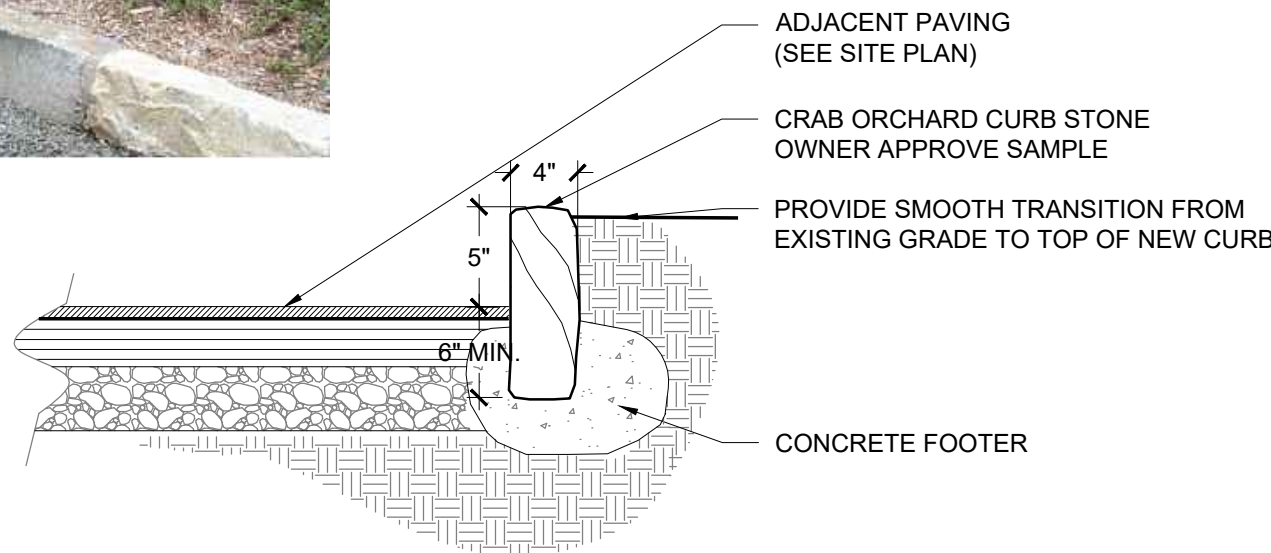
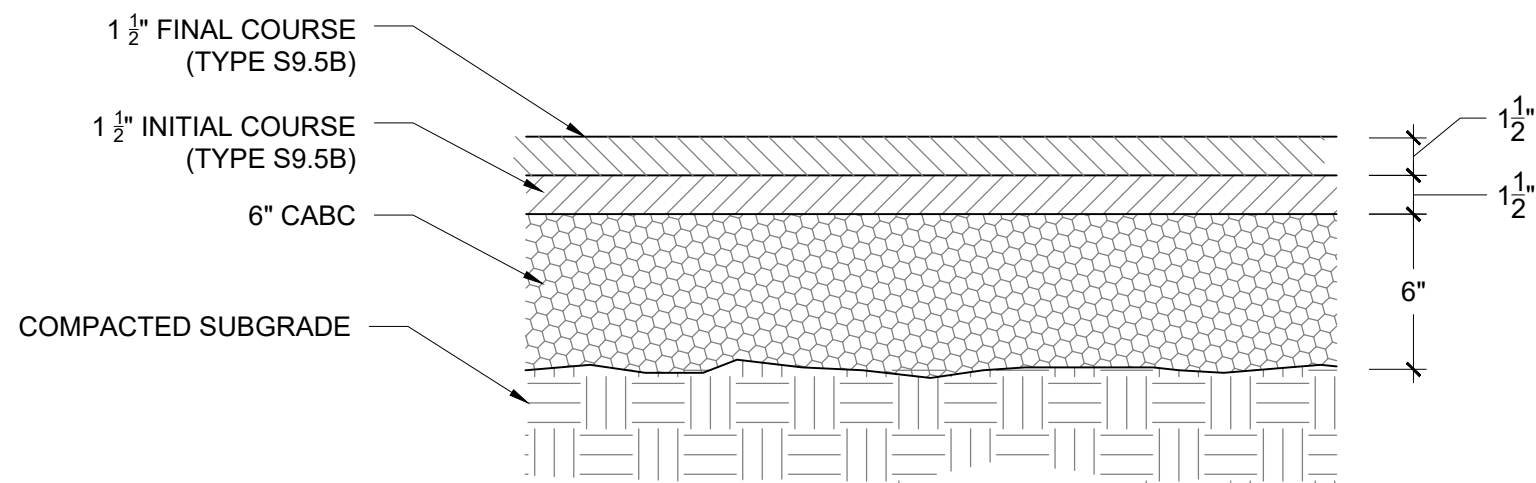
* All horizontal drain pipes to be Sch.40 PVC unless otherwise noted. Pipe sizes indicated on plan.

* All drainage pipe shall maintain a min. 2% slope.

*Drain inlets in courtyard must align with landscape design.

*River rock collars around all yard inlets (2-3" avg. size)

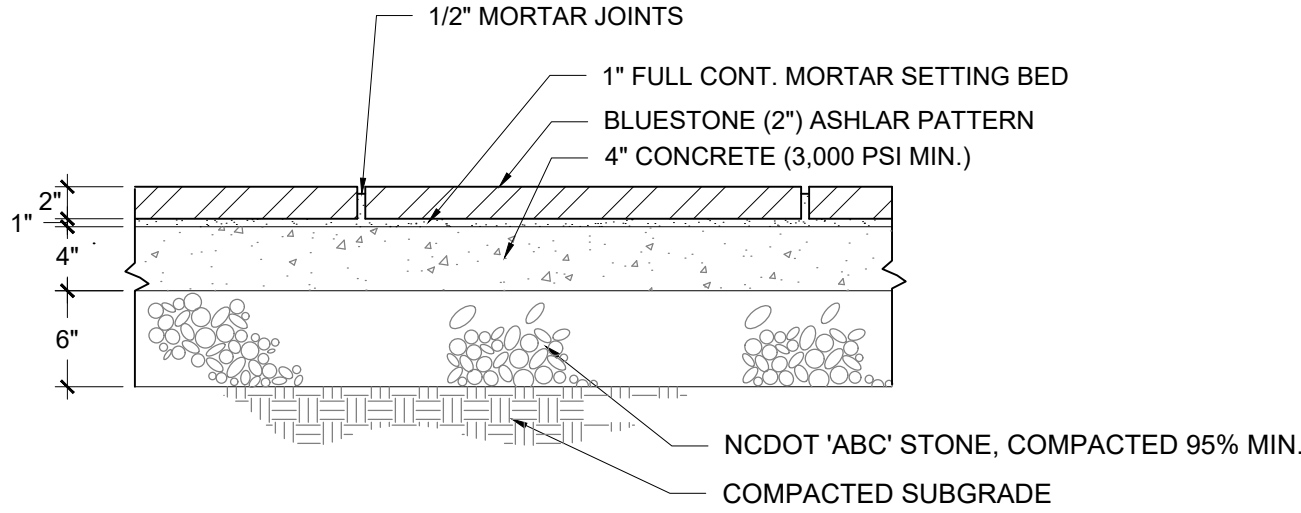
AD-1	24"x24" Concrete Catch Basin w/ 12"x18" Cast Iron Grate TG = 2276.04
AD-2	24"x24" Concrete Catch Basin w/ 12"x18" Cast Iron Grate TG = 2268.03
AD-3	24"x24" Concrete Catch Basin w/ concrete weir & flat stone cap. TG = 2255.9
AD-4	24"x24" Concrete Catch Basin w/ concrete weir & flat stone cap. TG = 2255.5
AD-5	24"x24" Concrete Catch Basin w/ 12"x18" Cast Iron Grate. TG = 2276.04



NOTES:
1. STONE CURB TO BE CRAB ORCHARD CUT STONE 3' LENGTH (AVERAGE), 8" HT., 4" THICK (AVERAGE).
CUT STONE LENGTH AS REQUIRED AT RADII TO CREATE SMOOTH CURVES.
PROVIDE SAMPLE FOR OWNER REVIEW AND APPROVAL.



ASHLAR PATTERN,
GROUT COLOR TBD.



1 ASPHALT PAVING - STANDARD DUTY

NTS

2 STONE CURB

NTS

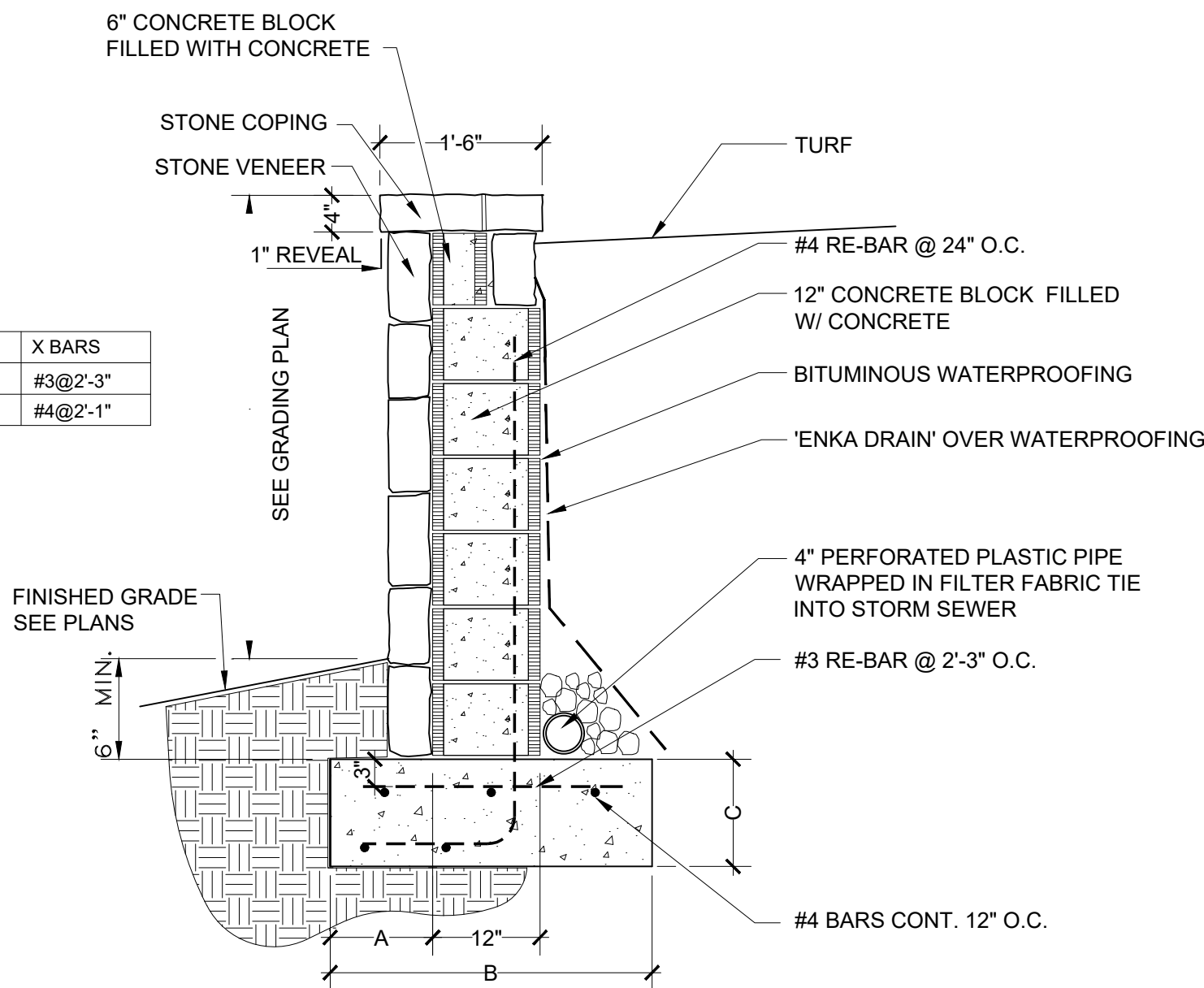
3 BLUESTONE PAVING

NTS

MASONARY RETAINING WALL					
HEIGHT	A	B	C	BLOCK	X BARS
3'-4" - 4'-8"	10"	2'-8"	10"	12"	#4@24"
4'-8" - 6'-0"	14"	3'-8"	10"	12"	#5@24"

NOTE: HEIGHT VARIES, SEE GRADING PLAN

NOTE: STONE MASONRY FOR WALL TO MATCH RESIDENCE

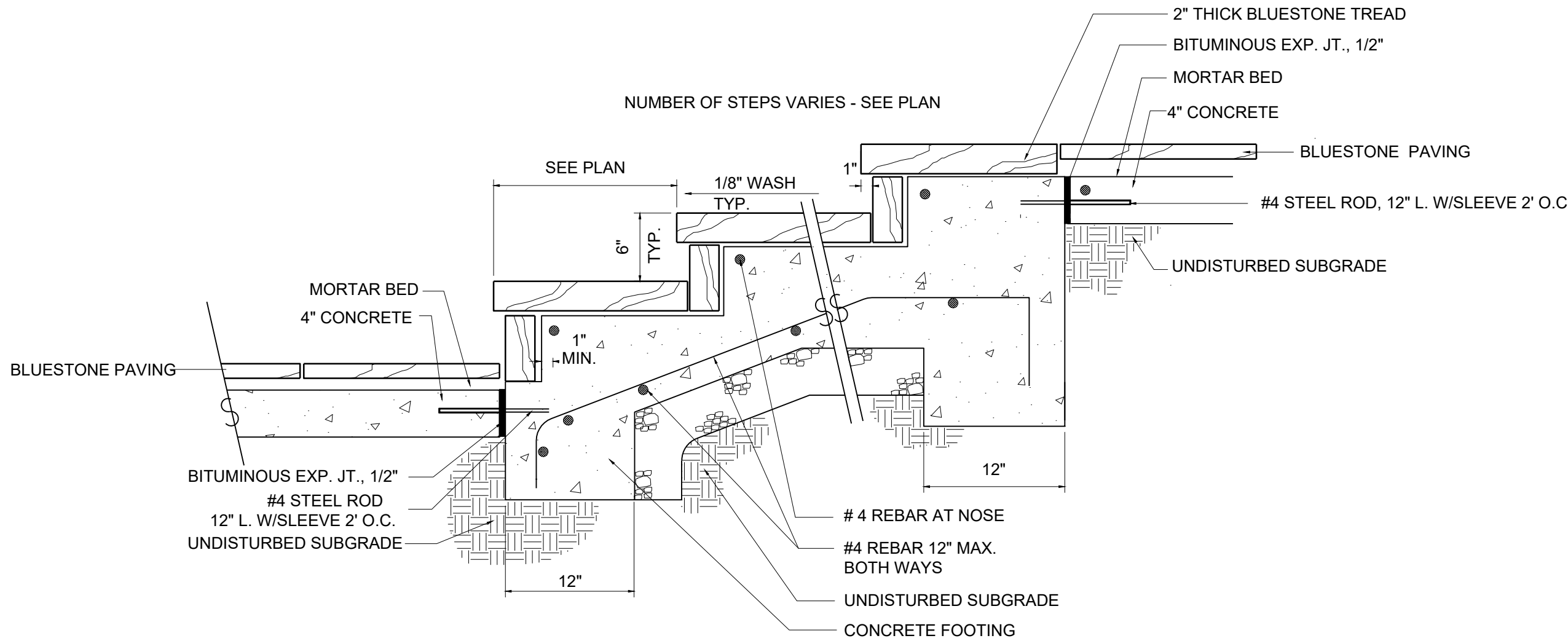
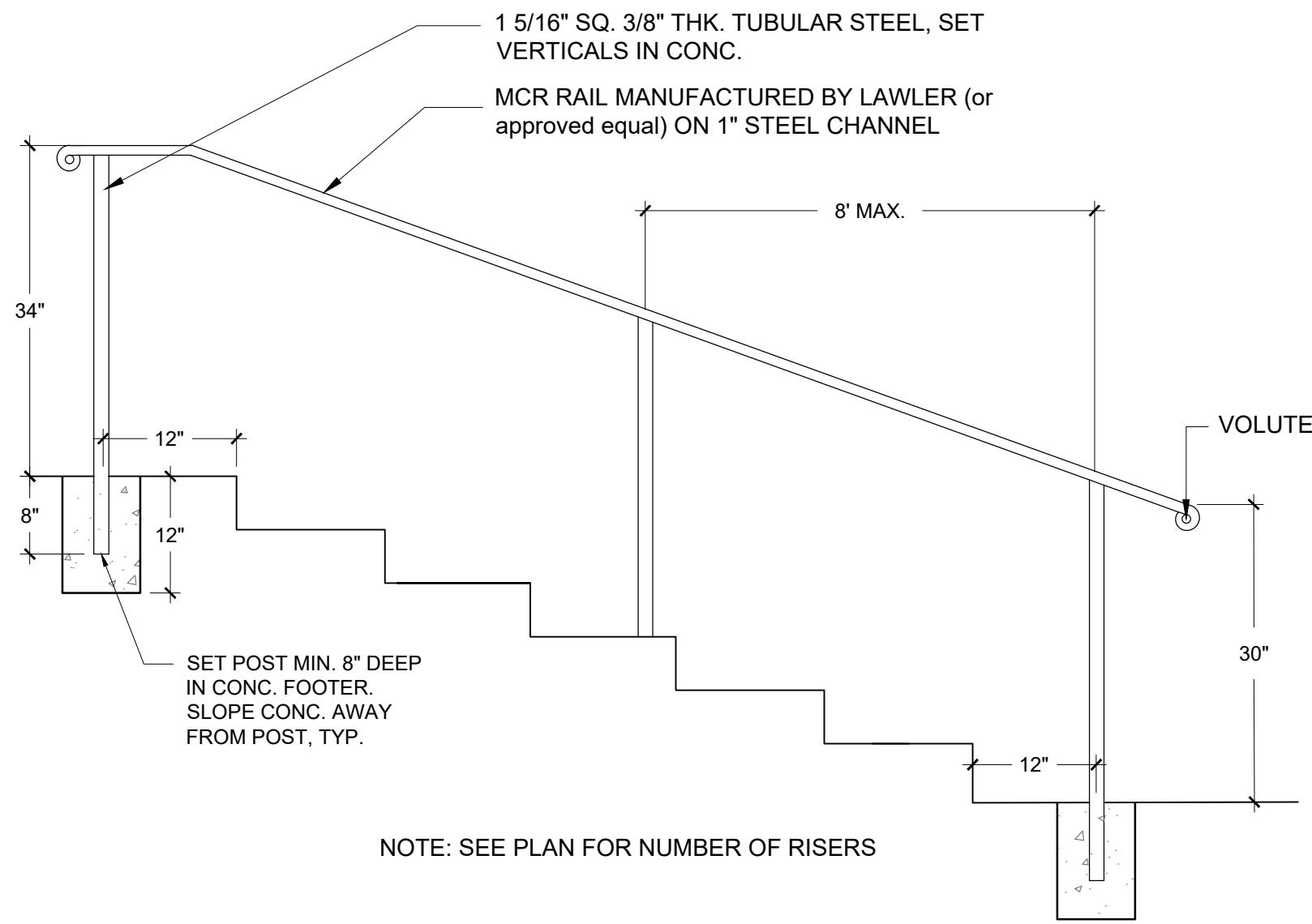


4 STONE VENEER WALL

NTS

5 STEEL HANDRAIL

NTS

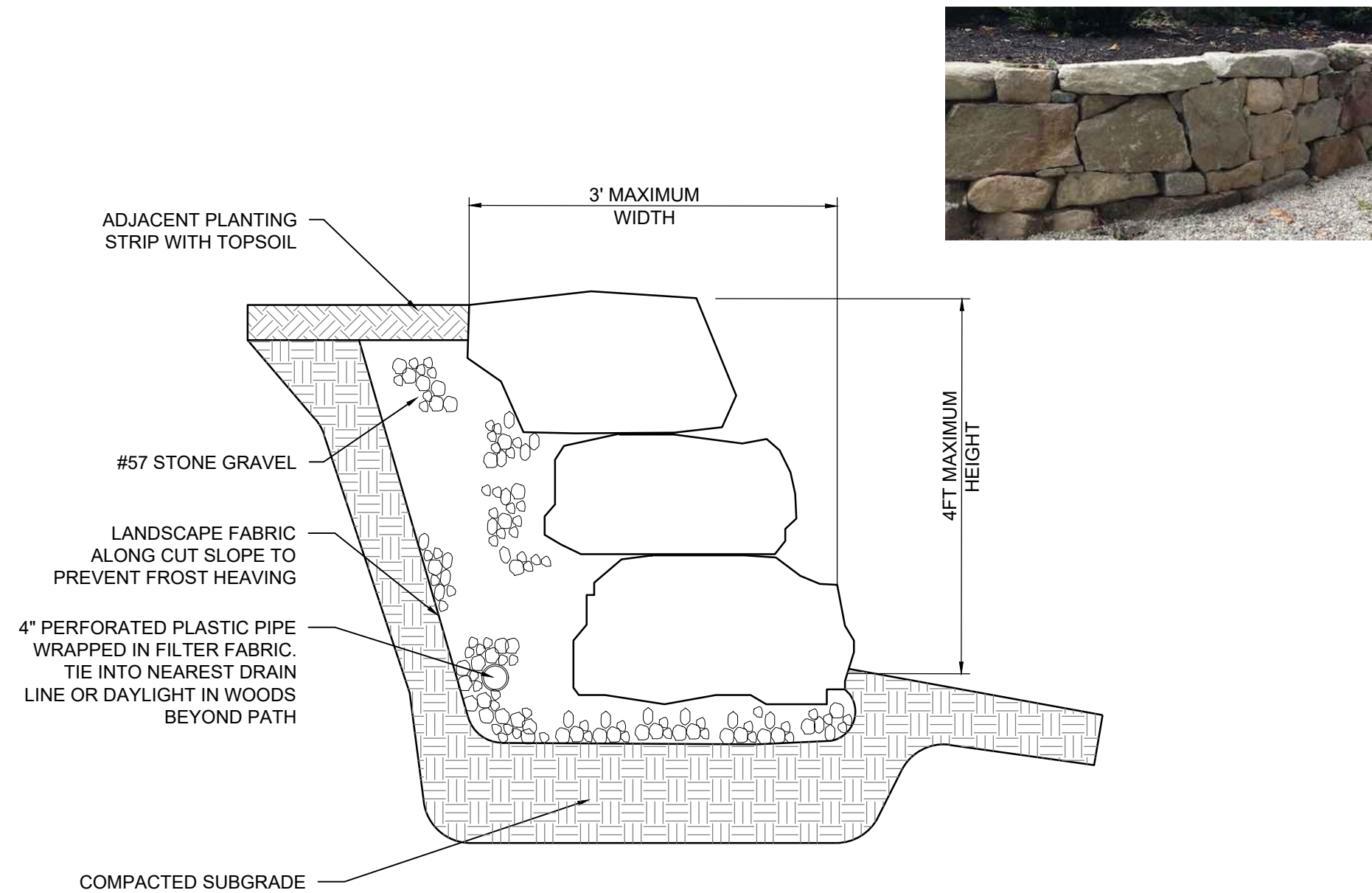


6 STONE STEPS

NTS

7 DRY STACKED BOULDER WALL

NTS



CONSULTANT

SWORD RESIDENCE

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47 Forest Road
Biltmore Forest, NC 28803

REVISIONS		
NO.	REMARKS	DATE

NOT FOR
CONSTRUCTION

DATE:
07.28.25
SHEET TITLE:

SITE
DEVELOPMENT
DETAILS

SHEET NO.
L-500