



To: Members of the Board of Adjustment, Applicants & Neighboring Property Owners
From: Jonathan B. Kanipe, Town Manager
Date: March 11th, 2026
Re: **Board of Adjustment Meeting – March 23rd, 2026**

Applicants:

You or a representative **MUST** attend the meeting to have the matter considered.

Members of the Board of Adjustment & staff will conduct a site visit prior to the meeting. Site visit times listed are approximate.

Neighbors:

You are receiving this notice because your property is adjacent to an applicant on this month's agenda.

You may review applications & plans for the projects on this agenda at <http://www.biltmoreforest.org/board-of-adjustment>

You are invited to attend the scheduled meeting at the Town Hall and make comment when called upon.

Additional information regarding the meeting will be provided on the Town's website no later than March 19th, 2026.

*****PROPOSED AGENDA*****

The following items of business will be considered by the Biltmore Forest Board of Adjustment on Monday, March 23rd, 2026 at 4:00 p.m. at the Biltmore Forest Town Hall at 355 Vanderbilt Road, Biltmore Forest, NC 28803.

1. The meeting will be called to order and roll call taken.
2. The minutes of the February 16th, 2026 regular meeting will be considered.
3. Hearing of Cases (Evidentiary Hearings, Deliberations & Determinations).

Case 1: Lot#7 Cedar Hill Drive- Variance request for exceeding maximum roof coverage and driveway outside the adjusted setback.

Site visit: 3:00

Case 2: 1 Amherst Road- Variance request for a home addition and exceeding maximum roof coverage.

Site visit: 3:20 pm

Case 3: 16 Forest Road- Special Use request for an accessory building within the rear yard.

Site visit: 3:40 pm

MINUTES OF THE BOARD OF ADJUSTMENT
MEETING HELD MONDAY, FEBRUARY 16, 2026

The Board of Adjustment met at 4:00 p.m. on Monday, February 16, 2026

Chairman Greg Goosmann, Ms. Lynn Kieffer, Ms. Rhoda Groce, Ms. Janet Whitworth, and Mr. Robert Chandler were present. Mr. Tony Williams, Town Planner and Town Attorney, Mr. Billy Clarke were also present. Town Manager, Mr. Jonathan Kanipe was not present. Ms. Martha Barnes was not present.

Chairman Greg Goosmann called the meeting to order at 4:00 p.m.

Chairman Goosmann swore in the following:

Mr. Tony Williams

Ms. Miller Graves

Mr. Teddy Hogan

Mr. Robert Chandler made a motion to approve the minutes from the December 15, 2025, meeting. Ms. Lynn Kieffer seconded the minutes and was unanimously approved.

HEARING (Evidentiary):

Mr. Tony Williams presented the following facts: The homeowners at 1 Hilltop Road are requesting a Variance for a driveway within the side setback. The driveway does not meet the requirements for driveway location and therefore requires a Variance.

The applicant's representative, Ms. Miller Graves explained that they would like to build a garage addition with a new driveway that winds through the trees instead of cutting them

down. The project will require removing three trees with one additional tree needing removal. The driveway encroaches into the setback by approximately 208 square feet.

Ms. Lynn Kieffer inquired about buffering plans, noting discussions from the site visit about the applicant's willingness to provide buffering if requested by neighboring property owners. The applicant's representative confirmed their commitment to extensive buffering, explaining that existing laurels would be moved immediately into the setback area, with additional buffering added as needed during final grading. Ms. Graves emphasized that the area where the driveway infringes into setbacks is not directly adjacent to the neighbor's main living area.

Ms. Graves also confirmed that the new building construction is compliant with setback requirements, and they are working with AT&T regarding an overhead utility easement that runs along the property, with plans to underground the utilities as part of Biltmore Forest's broader undergrounding initiative.

Ms. Graves said Mr. Abraham committed to planting two trees for every one removed and confirmed their willingness to work with neighbors on buffering concerns. Mr. Robert Chandler noted that the proposed garage addition location has healthy trees that will be relocated to provide additional buffering on the west side.

DELIBERATION AND DETERMINATION

Ms. Lynn Kieffer made a motion to approve the Variance request be granted to James Abraham at 1 Hilltop Road. and the facts as recited by Tony Williams and his summation be accepted as findings and facts to support this grant. The Board has inspected this site and no neighboring property owner has objected. Further, she moved that by granting this Variance further satisfies the applicable Sections of 153.110(D) and paragraphs one through four and would not be contrary to the public interest where, owing to special conditions, literal enforcement of the provisions of this Ordinance would, in this case, result in practical difficulty or unnecessary hardship. She further moved the Board to find the spirit of the ordinance would

be observed, public safety and welfare secured, and substantial justice done. The applicant has been informed that he/she is to report to the Zoning Administrator within seven (7) days of completion of the project in order that the Zoning Administrator can determine that the project has been completed in accordance with plans submitted to the Town.

Mr. Robert Chandler seconded the motion and was unanimously approved.

HEARING (Evidentiary):

Mr. Williams presented the following facts: The homeowners at 9 Park Road, have plans for an overall landscaping and renovation project that includes a gas fire pit located within the front yard and two driveway entrance columns. The fire pit is made of stone with a 5.5-foot outside diameter, and the columns are 4.5 feet tall, also made of stone. The application does not meet requirements for accessory structures being located within the rear yard.

Mr. Teddy Hogan explained that the goal is post-storm property improvement through landscape and hardscape enhancements. At the road frontage, they plan to replace an existing standalone mailbox with one embedded in a masonry column to match other homes in the neighborhood. Near the home, they will replace an existing deteriorating concrete terrace with the same footprint while adding an exterior gas fire pit for gathering outside the living room.

Ms. Lynn Kieffer raised an important question about whether the proposed fire pit location is actually in the front yard or side yard, given that the house is not parallel to the road and curves around. The Board noted that the fire pit would be completely hidden from the street and well buffered by existing tall hedges and new evergreens near the road.

Mr. Billy Clarke advised that the Board could approve the application by stating they reviewed it and that to the extent a Variance is needed, it is approved. He suggested the Board could reference the layout of the house and note their determination about the yard classification. The Board agreed they believed the location was more accurately described as a side yard rather than front yard, but acknowledged it definitely was not in the rear yard as required by ordinance.

Mr. Hogan confirmed the lighting plan includes only half lights, down wall lights, or shrouded wash lights with no uplighting or spotlights, maintaining compliance with dark sky principles using low voltage LED fixtures. They also expressed openness to suggestions about buffering and confirmed plans to use canopy trees in the front instead of shrubs.

DELIBERATION AND DETERMINATION

Ms. Rhoda Groce moved that a Variance request be granted to Deborah and David Baker of 9 Park Road for an accessory structure within what was applied for as the front yard, which the Board has considered and determined is more accurately a side yard structure that is heavily buffered and the facts as recited by Tony Williams are accepted as findings of fact to support this grant. The board has inspected the site and no neighboring property owner has objected. Further, she moved that by granting this Variance further satisfies the applicable Sections of 153.110(D) and paragraphs one through four and would not be contrary to the public interest where, owing to special conditions, literal enforcement of the provisions of this Ordinance would, in this case, result in practical difficulty or unnecessary hardship. She further moved the Board to find the spirit of the ordinance would be observed, public safety and welfare secured, and substantial justice done. The applicant has been informed that he/she is to report to the Zoning Administrator within seven (7) days of completion of the project in order that the Zoning Administrator can determine that the project has been completed in accordance with plans submitted to the Town.

Mr. Robert Chandler seconded the motion, and was passed unanimously.

The next meeting would be held on March 23rd, 2026. The meeting was adjourned at 4:24 pm.

ATTEST:

Greg Goosmann, Chairman

Laura Jacobs, Town Clerk



BOARD OF ADJUSTMENT MEETING

STAFF MEMORANDUM

March 23, 2026

CASE

Property Address: Lot #7 Cedar Hill Dr

Property Owner: Bob and Angelee Bouchard

Request: Review of Landscaping Plan Associated with New Residential Construction and Variances for Roof Coverage and Driveway in Adjusted Setback.

Background

The property owners are presenting plans for a new home construction. As part of this construction, they have submitted the proposed tree removal and replacement schedule. The application does not meet the requirements set forth in the ordinance for max roof coverage or driveways/motor courts being located out of the setback, and will therefore require a variance.

Board of Adjustment Review for New House Construction

Landscaping and grading plans with land disturbance of twenty percent or more will require the Board's approval. The pertinent section, Chapter 153.034, is attached.

Variance

The proposed structure as designed is over on max roof coverage at 6250 sqft. The ordinance has a max roof coverage of 5250 sqft for a 1.3 acre lot. The plan also has the driveway/motor court located within the adjusted setback. Neither the roof coverage nor the driveway/motor court meet the requirements of the ordinance and therefore require a variance. Section 153.110 (D) (attached) addresses the approval requirements for a variance. Section 153.043 Maximum Roof Coverage attached also.

153.034 LANDSCAPING AND GRADING PLANS, LAND DISTURBANCE, AND SEDIMENTATION CONTROL.

(A) *Plans required.* A landscaping and grading plan, as defined in the town's zoning application process, are required for any or all of the following activities.

(1) Any land-disturbing activity, such as grading projects or removal of natural vegetation, that involves the disturbance of 20% or more of the land area of any lot. Prior to commencing such activity in a public service district, any land-disturbing activity, such as grading projects or removal of natural vegetation other than routine maintenance, shall be subject to approval by the Town Board of Adjustment regardless of the area to be disturbed.

(2) Any residential construction activity that results in an addition of greater than 500 square feet of roof coverage.

(3) Any non-residential construction activity as defined in § [153.061](#).

(B) All landscape and grading plans shall demonstrate compliance with the town's tree protection and preservation regulations as found in §§ 153.050 through 153.059 and § [153.061](#)(C) for existing residential and non-residential tree maintenance and new construction activities, respectively.

(C) *Pre-construction conference and supervision.*

(1) Prior to the commencement of any pre-construction land-clearing or soil disturbance, a pre-construction conference will take place between a representative of the town and the applicant to review procedures for protection and management of protected trees and other landscape elements identified in the approved landscape plan. The applicant will designate one or more persons responsible for ensuring the protection of new or existing landscaping elements to be preserved. The responsible person shall be present on site whenever activity is taking place that could damage or disturb such landscape elements, and will notify the Ordinance Administrator that such activity is taking place.

(2) The applicant shall provide the following at least seven days prior to the pre-construction conference.

(a) Approved landscaping plan, showing all protected and unprotected trees to be removed, and all replacement trees to be planted.

(b) Chart showing the quantity of trees, scientific species name, and tree designation (protected, unprotected, or tree of preference) and replacement quantities required.

(c) Final grading plan showing tree preservation limits and limits of disturbance.

(D) *Construction supervision and additional compliance requirements.*

(1) The town shall have developed sites inspected periodically to ensure work is conforming to the approved landscape plan and the applicable sections of this subchapter. Prior to the commencement of any pre-construction land-clearing or soil disturbance, the developer/contractor shall be required to sign a document agreeing to abide by the conditions stipulated in this subchapter. At the option of the town, a compliance bond may be required.

(2) Compliance with G.S. § 113A-54. Where applicable, all proposed development projects or land-disturbing activities shall comply with G.S. § 113A-54, and *Rules and Regulations for Erosion and Sediment Control* as established by the State Sedimentation Control Commission, State Department of Natural Resources and Community Development.
 (Ord. passed 10-19-1983; Ord. passed 6-8-2021; Ord. 2023-05, passed 10-9-2023)

153.110 (D) Variances. Upon application, when unnecessary hardships would result from carrying out the strict letter of a zoning ordinance, the Board of Adjustment shall vary any of the provisions of the ordinance upon a showing of all of the following:

(1) Unnecessary hardship would result from the strict application of the ordinance. It shall not be necessary to demonstrate that, in the absence of the variance, no reasonable use can be made of the property;

(2) The hardship results from conditions that are peculiar to the property, such as location, size, or topography. Hardships resulting from conditions that are common to the neighborhood or the public may not be the basis for granting a variance;

(3) The hardship did not result from actions taken by the applicant or the property owner. The act of purchasing property with knowledge that circumstances exist that may justify the granting of a variance shall not be regarded as a self-created hardship; and

(4) The requested variance is consistent with the spirit, purpose, and intent of the ordinance, such that public safety is secured, and substantial justice is achieved.
 (Ord. passed 10-19-1983; Ord. passed 6-8-2021)

Editor's note:

This amendatory language was passed during a Board meeting, May 14, 2014

153.043 MAXIMUM ROOF COVERAGE.

(A) (1) (a) The **MAXIMUM ROOF COVERAGE** is defined as the total area under roof, of all primary and accessory structures and buildings, on the lot. This is measured from the outside edge of the gutter, if any, vertically to the ground.

(b) The maximum roof coverage assures the total size of buildings and structures is proportional to the size of the lot.

(2) The maximum roof coverage permitted is as follows:

The below table can also be used by simply rounding up or down to the nearest lot acreage. For lots larger than five and one-half acres or for exact MRC allowances for lots falling between points in the below table, the below equation shall be used as the definitive allowance.

<i>Lot Size (Acres)</i>	<i>Max. Roof Coverage (Ft.²)</i>	<i>Lot Size (Acres)</i>	<i>Max. Roof Coverage (Ft.²)</i>	<i>Lot Size (Acres)</i>	<i>Max. Roof Coverage (Ft.²)</i>
-----------------------------	-----------------------------------------------------	-----------------------------	-------------------------------------------------	-----------------------------	-------------------------------------------------

<i>Lot Size (Acres)</i>	<i>Max. Roof Coverage (Ft.²)</i>	<i>Lot Size (Acres)</i>	<i>Max. Roof Coverage (Ft.²)</i>	<i>Lot Size (Acres)</i>	<i>Max. Roof Coverage (Ft.²)</i>
0.50	2,552	1.60	5,836	3.25	7,837
0.60	3,067	1.70	6,008	3.50	8,047
0.70	3,502	1.80	6,169	3.75	8,241
0.80	3,879	1.90	6,322	4.00	8,424
0.90	4,212	2.00	6,467	4.25	8,595
1.00	4,509	2.20	6,736	4.50	8,756
1.10	4,779	2.40	6,981	4.75	8,921
1.20	5,024	2.60	7,207	5.00	9,054
1.30	5,250	2.80	7,417	5.25	9,191
1.40	5,459	3.00	7,611	5.50	9,325
1.50	5,654				

(B) (1) *Lots exceeding six acres in size.* Multiply the lot size by 43,560; multiply this number by 3.25% (0.0325); provided, that the result is less than 9,647, structures on the lot may have maximum roof coverage of 9,647 square feet.

(2) If the result is greater than 9,647, structures on the lot may have maximum roof coverage equal to the result produced by the multiplication.

(C) All structures exceeding the maximum roof coverage for the lot on which they are located shall require approval of a variance by the Board of Adjustment in accordance with the procedures and standards set forth in § [153.110](#)(D).

(D) The equation which may also be used to calculate MRC is: $MRC = 2823.5 \text{ LN (Acreage)}$, where 'LN' is the natural logarithm mathematical function. This may be calculated using Excel, if needed.
(Ord. 2023-04, passed 7-1-2023)

Zoning Compliance Application

Town of Biltmore Forest

Name

Bob & Angelee Bouchard

Property Address

Cedar Hill Drive (Lot 7)



Parcel ID/PIN Number

9646432280

ZONING INFORMATION

Current Zoning

R-1

Lot Size

1.3 acres

Proposed Roof Coverage Total

6,250

Proposed Impervious Surface Coverage

8890

Front Yard Setback

60 feet (R-1 District)

Side Yard Setback

20 feet (R-1 District)

Rear Yard Setback

25 feet (R-1 District)

Building Height

40 feet

Description of the Proposed Project

A three-story, traditional home with four bedrooms, 5 baths, and 2 half baths. The exterior has a European-inspired aesthetic with 6" stone veneer, natural siding and a slate roof.

Estimated Start Date

3/15/2027

Estimated Completion Date

3/16/2029

Estimated Cost of Project

\$7,000,000.00

Supporting Documentation (Site Plan, Drawings, Other Information)

BouchardResidence_01.23.26.pdf

Signature

Date

1/23/2026

Bob Bouchard

Have you paid the \$100 zoning application fee? Your permit application will not be reviewed until payment has been received. You can visit the link below to pay. Copy & paste the link in your browser.

I plan to pay in person or mail a check

Important Notice: The Town will never mail your application and/or permit information to your home. The Town will also never ask you for a wire transfer, giftcards, or any other forms of payment.

VARIANCE APPLICATION

Town of Biltmore Forest

Name

Bob & Angelee Bouchard

Address

Cedar Hill Drive (Lot 7)



Current Zoning/Use

Residential



Requested Use

Residential

APPLICATION REQUIREMENTS: An application to the Board of Adjustment for a variance must be submitted to the Town of Biltmore Forest Town Manager at least 21 days prior to the meeting at which the application will be considered. A pre-application meeting with Town staff is required prior to application submittal to the Board of Adjustment.

What would you like to do with your property?

We are requesting that part of the auto court and driveway be located over the adjusted side setback. The auto court and driveway are currently located within the original side setbacks.

What does the ordinance require?

The ordinance requires that the driveway and auto court be located inside of the adjusted side setback.

BOARD OF ADJUSTMENT: N.C.G.S. 160A-388(D) requires that the Board of Adjustment shall vary the provisions of the Zoning Ordinance only upon a showing of ALL the items below. The Board of Adjustment must follow strict procedure and all determinations must be decided by a concurring vote of four-fifths of the members of the Board. It is important to provide detailed supporting documentation for the Board of Adjustment to review. If necessary, additional sheets may be attached to this application.

REQUIRED FINDINGS: Please provide a thorough response to each.

Unnecessary hardship would result from the strict application of the ordinance.

Shifting the house to the Northwest would require additional rock removal. Shifting the the house off of the top of the hill would require additional grading and disturbance to the site.

The hardship results from conditions that are peculiar to the property, such as location, size, or topography.

Because the house has no basement, the best location for the home is centered on the hilltop, which is also centered between the two side setbacks. The Northwest part of the property also has rock at the shallowest depth, which will require additional excavation and rock removal.

The hardship did not result from actions taken by the applicant or the property owner.

Rock was not discovered until after the property owner purchased the lot. The natural topography of the lot has a hilltop that is centered on the property.

The requested variance is consistent with the spirit, purpose, and intent of the ordinance, such that public safety is secured, and substantial justice is achieved.

In addition to the presence of rock and the topography, centering the house on the property will be the

most attractive from the street, with the auto court and drive not visible from that perspective. The auto court was also changed to a pervious material to reduce the environmental impact to the site.

I hereby certify that all of the information set forth above is true and accurate to the best of my knowledge.

Signature

Date

3/5/2026

Bob Bouchard

Have you paid the \$300 varience application fee? Your permit application will not be reviewed until payment has been received. You can visit the link below to pay. Copy & paste the link in your browser.

Yes

VARIANCE APPLICATION

Town of Biltmore Forest

Name

Bob & Angelee Bouchard

Address

Cedar Hill Drive (Lot 7)



Current Zoning/Use

Residential

Requested Use

Residential

APPLICATION REQUIREMENTS: An application to the Board of Adjustment for a variance must be submitted to the Town of Biltmore Forest Town Manager at least 21 days prior to the meeting at which the application will be considered. A pre-application meeting with Town staff is required prior to application submittal to the Board of Adjustment.

What would you like to do with your property?

We would like to apply for a variance of the allowed roof coverage. The current design has a roof coverage area of 6250 square feet.

What does the ordinance require?

For a 1.3 acre lot, the ordinance requires that the roof coverage not exceed 5250 square feet.

BOARD OF ADJUSTMENT: N.C.G.S. 160A-388(D) requires that the Board of Adjustment shall vary the provisions of the Zoning Ordinance only upon a showing of ALL the items below. The Board of Adjustment must follow strict procedure and all determinations must be decided by a concurring vote of four-fifths of the members of the Board. It is important to provide detailed supporting documentation for the Board of Adjustment to review. If necessary, additional sheets may be attached to this application.

REQUIRED FINDINGS: Please provide a thorough response to each.

Unnecessary hardship would result from the strict application of the ordinance.

Placing the master suite on the second floor will hurt resale potential. The home is located on a hilltop, because we wanted to avoid unnecessary disturbance to the property with the excavation of a basement. Additional storage and living space is located on the main floor and in the attic, due to the absence of a basement. Also, pushing the house closer to the street would result in a less attractive facade, because it would create a walk-out lower level on the street-side of the house.

The hardship results from conditions that are peculiar to the property, such as location, size, or topography.

After purchasing the lot, the Bouchard's had a geotechnical engineer provide test pits. Rock was discovered at depths that would require extensive excavation in order to build a lower level, with great disturbance to the site and neighbors. The topography of the lot has a natural hill towards the rear property line that is relatively centered between the two side property lines. This is the best location on the lot for a home. Unfortunately, this location doesn't lend itself to a basement, due to the lack of daylight and the required excavation.

The hardship did not result from actions taken by the applicant or the property owner.

There was the presence of subterranean rock on the property, before it was discovered by geotechnical excavation. This information was not disclosed to the Bouchard's prior to the purchase of the lot.

The requested variance is consistent with the spirit, purpose, and intent of the ordinance, such that public safety is secured, and substantial justice is achieved.

The layout of the house is designed to be more compact in order to reduce the frontage from the street. The roofs of the covered porch and much of the master suite will not be visible from the street. Keeping the master suite on the main level is consistent with age-in-place design. The house is designed to minimize the disturbance to the natural topography and to reduce it's scale relative to the view from the street. The home is over 60 feet from the side property lines (see site plan), exceeding the require 42.5 feet.

I hereby certify that all of the information set forth above is true and accurate to the best of my knowledge.

Signature

Date

1/23/2026

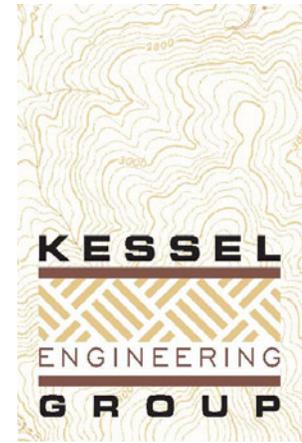
A handwritten signature in black ink that reads "Bob Bouchard". The signature is written in a cursive, flowing style.

Have you paid the \$300 varience application fee? Your permit application will not be reviewed until payment has been received. You can visit the link below to pay. Copy & paste the link in your browser.

Yes

August 4, 2025

Mr. Max Morgan
Morgan-Keefe Builders
maxm@morgankeefe.com



**Report of Test Pit Exploration
Bouchard Residence
Biltmore Forest, North Carolina
KEG Project No. JA25-5043-01**

Mr. Morgan:

Kessel Engineering Group, PLLC (KEG) is pleased to submit this report of test pit exploration for the proposed Bouchard Residence to be located in Biltmore Forest, North Carolina. The purpose of this exploration was to explore and document general site and subsurface conditions and to provide geotechnical recommendations for the proposed residential construction project. Our services were provided in general accordance with our Proposal No. PA25-4392-01, dated June 13, 2025, and authorized/received June 17, 2025.

PROJECT INFORMATION

Project information was provided by Mr. Max Morgan in email correspondences with our Mr. Ian Johnson, P.E. Additional information was gathered during multiple site visits by Mr. Johnson. We have also been provided with the following digital documents:

- *Topographic Survey for: Robert & Angelee Bouchard*, by Thomas Mully, PLS, dated January 13, 2025.
- A photograph of a sketch with file name *Bouchard House Orientation.jpg*, and showing the potential house and driveway locations at the site.

The project site is located on Cedar Hill Drive (PIN 964643228000000) in Biltmore Forest, North Carolina (see Figure 1). The approximately 1.3-acre site slopes gradually uphill from Cedar Hill Drive to a local knob feature near the northwest property line. The site is sparsely wooded with mature trees, and has recently been cleared of undergrowth. Loose scattered boulders/rock were observed at the ground surface across the site. Existing grades generally slope downhill from the knob feature at inclinations of approximately 4H:1V (horizontal to vertical) to 8H:1V based on the provided topographic information.

Project plans include the construction of a 3-story residential structure with attached garage. The potential house location is situated atop the knob feature near the northwest property line, and the proposed driveway will be located along the south half of the site. We have not been provided with proposed site grading plans or finished floor elevations at this time, and proposed cut and fill depths are unknown. Detailed foundation loading for the structure has also not been provided at this time; however, for the purpose of this exploration, we have assumed maximum individual column and continuous wall loads on the order of 75 kips and 7.5 kips per linear foot, respectively.

SITE GEOLOGY

The project site is located in the Blue Ridge Physiographic Province. The bedrock in this region is a complex crystalline formation that has been faulted and contorted by past tectonic movements. The rock has weathered to residual soils which form the mantle for the hillsides and hilltops. The typical residual soil profile in areas not disturbed by erosion or grading consists of clayey soils near the surface where weathering is more advanced, underlain by sandy silts and silty sands.

The boundary between soil and rock is not sharply defined and there is often a transitional zone, termed “partially weathered rock” overlying the parent bedrock. Partially weathered rock (PWR) is defined, for engineering purposes, as residual material with a standard penetration resistance in excess of 100 blows per foot. Weathering is facilitated by fractures, joints, and the presence of less resistant rock types. Consequently, the profile of the partially weathered rock is irregular even over short horizontal distances. Also, it is not unusual to find lenses and boulders of hard rock and/or zones of partially weathered rock within the soil mantle, well above the general bedrock level.

FIELD EXPLORATION

The site was explored by performing a series of eight test pits (TP-1 to TP-8) at the approximate locations shown on the attached Field Exploration Plan (see Figure 2). The test pit locations were determined by Mr. Johnson by referencing survey stakes placed by others, existing trees marked on the survey, and by scaling distances.

The pits were located within the proposed house and garage footprints (TP-1 to TP-7), and the proposed driveway footprint (TP-8). Test pits were excavated with a Bobcat E-35 mini-excavator. The soils encountered by the test pits were identified in the field from cuttings brought to the surface by the excavation equipment. Test pits were lengthened to attempt to determine if refusal materials extended laterally, which was regularly observed. Representative samples of the encountered materials were also collected and transported to the laboratory. In the laboratory, the samples were examined by a geotechnical engineer to verify the soil classifications made in the field. Test pits were backfilled at the completion of the field work. Prior to backfilling, a photograph of each test pit was taken. These are provided as attachments at the end of this report.

At regular intervals, the soil consistency of the encountered materials was measured by performing the Dynamic Cone Penetrometer test (DCP). The conical point was first seated to penetrate any loose cuttings and was then driven increments of 1¾ inches with blows from a 15-pound hammer dropped from a height of 20 inches. The number of blows required to achieve the penetration is recorded. The number of blows is then used as an index to the soil strength and foundation supporting capability. Soil descriptions and test data are tabulated on the attached test pit logs.

SUBSURFACE CONDITIONS

Test pits performed during this exploration typically encountered a surficial topsoil and rootmat layer on the order of 1 to 6 inches thick. Below the surficial layer, test pits typically encountered residual soils underlain by refusal materials. Residual soils consisted of loose to very firm silty sands (SM) regularly containing PWR or rock fragments, and firm to very stiff sandy silts (ML). Refusal materials were encountered below the residual soil stratum in six of the eight test pits performed during this exploration (TP-1 to TP-6). Refusal materials were encountered at depths ranging from approximately 1.7 to 6 feet below existing grades. Refusal materials are those materials which are sufficiently hard to prevent the vertical advancement of the excavation equipment. Refusal in residuum similar to that encountered in the test pits may result from very dense soils, partially weathered rock, boulders, lenses, ledges, or layers of relatively hard rock underlain by partially weathered rock or residual soil; refusal may also represent the surface of relatively continuous bedrock. Power drilling and core drilling procedures are required to penetrate refusal materials and to determine their character and continuity. Power drilling and core drilling were beyond the scope of this exploration. Two test pits (TP-7, TP-8) extended to their assigned termination depth of 9 feet.

Groundwater was not encountered in the test pits performed during this exploration. Groundwater levels may fluctuate several feet with season and rainfall variations. Normally, the highest groundwater levels occur in late winter and spring and the lowest levels occur in late summer and fall.

The above descriptions and Table 1 below provide a general summary of the subsurface conditions encountered. The attached logs contain detailed information recorded at each test pit location. These logs represent our interpretation of the field logs based on engineering examination of the field samples. The lines designating the interfaces between various strata represent approximate boundaries and the transition between strata may be gradual. Soil conditions may vary between the test pit locations. Ground surface elevations at test locations were estimated from the topographic data on the provided site plan. Locations and elevations provided in this report should be considered approximate.

TABLE 1						
SUMMARY OF SUBSURFACE CONDITIONS ENCOUNTERED BY TEST PITS						
(MEASURED IN FEET BELOW THE EXISTING GROUND SURFACE)						
Test Pit No.	Approx. Ground Surface Elevation at Test Pit (feet MSL)	Topsoil / Rootmat (feet)	Residuum			Refusal Depth (feet)
			Sandy SILT (feet)	Silty SAND (feet)	PWR (feet)	
TP-1	2233	0 to 0.5	-	0.5 to 1.8	1.8 to 2	2.0
TP-2	2233	0 to 0.5	-	0.5 to 1.5	1.5 to 2	2.0
TP-3	2234	0 to 0.1	-	0.1 to 1.7**	-	1.7
TP-4	2236	0 to 0.3	-	0.3 to 2.5**	-	2.5
TP-5	2232	0 to 0.3	-	0.3 to 4**	-	4.0
TP-6	2235	0 to 0.3	0.3 to 5.5	5.5 to 6	-	6.0
TP-7	2232	0 to 0.3	0.3 to 4	4 to 9**	-	9.0 (t)
TP-8	2229	0 to 0.3	0.3 to 5	5 to 9	-	9.0 (t)

Note 1: See Figure 2 for approximate test pit locations. Ground surface elevations at test pit locations are approximate.

(t) = Test pit terminated.

- = Not encountered in pit.

** = PWR or rock fragments encountered in soil stratum.

ANALYSES AND DESIGN RECOMMENDATIONS

Topsoil and Rootmat

Test pits typically encountered surficial topsoil and rootmat to depths of approximately 1 to 6 inches below existing grade. Foundations, retaining walls, grade slabs, pavements, and earthwork fills should not bear on surficial topsoil or rootmat. These materials are susceptible to excessive settlement and instability. Removal of these materials will be required to accommodate the proposed construction.

Difficult Excavations

Refusal materials were typically encountered within approximately 1.7 to 6 feet of the existing ground surface at test pits TP-1 to TP-6. Based on the shallow refusal depths encountered by the test pits, we anticipate that difficult excavations will be encountered during the proposed construction. As noted above, the surface of PWR and refusal materials can be erratic over short distances. Difficult excavations should be anticipated in PWR or refusal materials similar to those encountered during this exploration. Where excavations deeper than 1 to 3 feet are anticipated, adjustments to the grading plans or proposed finished floor elevations could help reduce the extent of difficult excavations encountered during construction.

We anticipate that some of the refusal materials encountered by the test pits could be removed by utilizing excavation equipment larger than the excavator utilized to perform test pits for this exploration. Heavy excavation equipment and heavy excavation equipment with ripping tools will be able to remove some of these materials. The ease of excavation of these materials cannot be specifically quantified and depends on the quality of grading equipment, skill of the equipment operators and geologic structure of the material itself, such as the direction of bedding, planes of weakness and spacing between discontinuities. In relatively open excavations, resistant areas could be approached from multiple directions with the ripper and thus align with a plane of weakness, facilitating excavation efforts. Blasting may be necessary to efficiently remove more resistant areas of refusal materials, if encountered. Confined excavations (footings, utility trenches, etc.) through refusal materials may require hydraulic rock hammers or light blasting. Prior to any blasting, we recommend that adjacent/nearby residential properties be “blast surveyed” to identify any pre-existing structural distress/cracks that should not be associated with potential blasting that may be required at the project site. Expansive rock grout could be considered as an alternative to blasting where more resistant refusal materials are encountered.

In areas where difficult excavation is encountered, consideration should be given to mass excavating below the design subgrade level to the bottom elevation for utilities and foundations, as boulders, rock lenses and massive rock could be more easily and more economically removed in a mass form than by local excavation. Also, depending upon the construction schedule, there may be a time advantage to completing a majority of rock excavation during mass grading. Over-excavated areas could be backfilled with engineered fill (described below), after which foundations and utility lines could then be excavated routinely.

Shallow Foundations

Satisfactory performance of the shallow foundations is subject to the design and site preparation recommendations contained in this report. Based on the test pit data and our experience with similar subsurface conditions, the residuum encountered at the project site is suitable for shallow foundation support of the proposed construction. Foundations may also be constructed on newly placed engineered fill constructed as noted in the *Engineered Fill* section of this report. Foundations bearing in residuum similar to that encountered in the test pits with DCP n-values of 12 or may be sized for an allowable bearing pressure of 4,000 psf. Foundations bearing in newly placed engineered fill may be sized for an allowable bearing pressure of 3,000 psf. If foundations will bear on a combination of residuum and engineered fill, an allowable bearing pressure of 3,000 psf should be utilized for design continuity across the structure.

We recommend that the minimum widths for individual column and continuous wall footings be 30 and 24 inches, respectively. The minimum widths are considered advisable to provide a margin of safety against a local or punching shear failure of the foundation soils. Exterior and interior footings should bear at least 24 inches and 18 inches, respectively, into approved residuum or newly placed engineered fill to develop the recommended bearing pressures, provide frost protection, and provide protective embedment. Footings constructed on sloping or adjacent to sloping ground require additional embedment. We recommend that footings constructed on or adjacent to sloped areas be embedded such that the horizontal distance between the bottom of the footing and the slope surface is a minimum of 8 feet.

In areas where refusal materials and/or rock is encountered prior to meeting the aforementioned minimum foundation embedment depths, the foundations may be pinned to underlying refusal materials and/or rock provided it is approved as being competent for pinning by the geotechnical engineer. Foundations bearing directly on uneven rock surfaces may be susceptible to radial cracking when bearing conditions differ across the footing. This type of cosmetic cracking should be expected.

Foundations which are pinned (doweled) to refusal materials and/or rock should be designed by the structural engineer to resist sliding. Dowels should consist of stainless steel or epoxy-coated rebar. Minimum dowel embedment depths will depend on the characteristics and continuity of the encountered rock and should be determined at the time of construction by the geotechnical engineer. Generally, dowels should extend at least 12 inches into rock. Additional foundation pinning may also be required where foliations and bedding plains in the bearing materials indicate unfavorable strike/dip of these materials. Longer dowel embedment lengths may also be required by the structural engineer to resist sliding. If continuous footings bear on a combination of residual soils (or engineered fill) and residual refusal materials (rock), over-excavation of the refusal materials approximately 1 foot and replacement with engineered fill or compacted aggregate base course is recommended to provide a continuous cushion.

We recommend that walls be provided with regular movement joints to accommodate some possible differential settlement. We note that, depending on final site layout and building finished floor elevations, the need for movement joints should be anticipated to accommodate possible differential settlement where portions of the building may be seated on a combination of refusal materials and newly placed engineered fill.

Residual soils classified as sandy silts (ML) may present difficulties during foundation construction, as these soils will be moderately susceptible to deterioration from excess moisture and construction traffic. Exposure to the environment may weaken the soils at the footing bearing level if the foundation excavations remain open for long periods of time. Therefore, we recommend that once each footing excavation is extended to final grade, the footing be constructed as soon as possible in order to minimize the potential for damage to bearing soils. The foundation bearing area should be level or benched and free of loose soil, ponded water and debris. Foundation concrete should not be placed on soils that have been disturbed by seepage. If surface water intrusion or exposure softens the bearing soils, the softened soils must be removed from the foundation excavation bottom prior to placement of concrete. If the excavations must remain open for an extended period of time, or if rainfall becomes imminent while the bearing soils are exposed, we recommend that a 2-inch to 4-inch mudmat of lean (2,000 psi) concrete be placed on the bearing soils before the placement of reinforcing steel for protection.

In order to verify that the soils encountered in footing excavations are similar to the residuum encountered by the test pits and that newly placed engineered fill has an adequate consistency, we recommend that foundation excavations be examined and checked with a dynamic cone penetrometer by an engineering technician working under the direction of the geotechnical engineer.

Grade Slabs and Driveway Pavements

Based on the test pit data and our experience with similar soils, onsite residual soils and newly placed engineered fill are suitable for support of grade slabs and pavements assuming that the site is prepared in accordance with the recommendations in this report. Topsoil and rootmat are not suitable for support of grade slabs and pavements and should be undercut to residuum and brought back to design grade with engineered fill.

Areas to support grade slabs and pavements should be proofrolled (as described below) prior to grade slab or pavement construction. The implementation of remedial measures, such as undercutting and replacing with new engineered fill, will be required if unsuitable soils are encountered during proofrolling performance testing.

Grade slabs should be jointed around columns and along footing supported walls so that the slab and foundations can settle differentially without damage. If slab thickness permits, joints containing dowels or keys may be used in the slab to permit movement between parts of the slab without cracking or sharp vertical displacements. Completed slabs should be protected from excessive surface moisture prior to and during periods of prolonged below-freezing temperatures to prevent subgrade freezing and resulting heave. For grade slabs bearing on a combination of engineered fill and refusal materials, over-excavation of the refusal materials approximately 12-inches and replacement with compacted engineered fill or compacted aggregate base course to provide a cushion is recommended.

If the building pad subgrade is to be exposed to construction traffic or inclement weather for an extended period of time, it may be advantageous to overbuild the pad during initial grading or to place a granular material (such as an aggregate base course material) of adequate thickness across the subgrade to help minimize deterioration.

Floor slabs supported on grade which will be carpeted, tiled, painted, or receive some other covering or sealant should incorporate a vapor barrier. At a minimum, the vapor barrier should be installed in accordance with the guidelines outlined in Chapter 3 of ACI Publication 302.1 (*Guide for Concrete Floor and Slab Construction*).

Lateral Earth Pressures

The design of retaining walls constructed on sloping sites is often governed by global stability. Sloping conditions should be considered during retaining wall design. Retaining wall design parameters including backfill requirements (such as select backfill) will likely be affected by the sloping conditions at the site. At a minimum, retaining wall foundations should adhere to the recommendations set forth in the *Shallow Foundations* section of this report. We note that retaining wall stability analyses and designs are beyond our current scope of service. Retaining walls should be designed by a professional engineer licensed in the State of North Carolina and should consider localized stability and global stability.

Site retaining walls (including below-grade basement walls) must be capable of resisting the lateral earth pressures that will be imposed on them. Based on our experience with similar soils, the following shear strength effective stress parameters are recommended for use during site retaining wall design. For walls retaining undisturbed residuum similar to that encountered in the test pits, we recommend an angle of internal friction value of 32 degrees, a cohesion value of 50 psf, and a soil unit weight of 120 pcf. For low plasticity ($PI < 10$), onsite silty sands and sandy silts such as those encountered in the test pits and used as engineered fill, we recommend an angle of internal friction value of 30 degrees, a cohesion value of 0 psf, and a soil unit weight of 120 pcf be utilized to calculate lateral earth pressure coefficients.

In lieu of using soil backfill, select backfill consisting of No. 57 stone may be used to reduce lateral earth pressures on the walls. No. 57 stone placed against retaining walls as select fill should extend from the base of the walls in a wedge with an angle of 45 degrees or shallower from horizontal in order that the following parameters may be used to reduce lateral earth pressures. For select backfill consisting of

No. 57 stone, we recommend an angle of internal friction value of 38 degrees, a cohesion value of 0 psf, and a soil unit weight of 105 pcf be utilized to estimated lateral earth pressure coefficients. Passive earth pressures should not be developed with No. 57 stone. Non-woven, needle-punched geotextile filter fabric (such as Mirafi 140N or equivalent) should be used to separate No. 57 stone from adjacent soils and prevent migration of fines into the stone. No. 57 stone must be placed such that it is permanently confined.

Frictional resistance along the base of wall foundations may be used to resist sliding. We recommend a coefficient of frictional resistance (f_s) value of 0.39 for retaining wall foundations bearing in undisturbed on-site residual soils and 0.36 for those bearing in engineered fill.

Lateral pressure arising from sloping surfaces, surcharge loading, earthquake loading, and groundwater (not expected within anticipated construction depths) will dramatically influence the earth pressure coefficients and should be included in the calculation of the total lateral pressures that the walls must resist. In addition, transient loads imposed on the walls by construction equipment during grading should be taken into consideration during design and construction. Excessively heavy grading equipment should not be allowed within about 5 horizontal feet of the walls.

Test pits performed during this exploration did not encounter groundwater within expected construction depths. However, provisions for the drainage of water which collects behind the retaining structures must be provided. The drainage system should have sufficient capacity to prevent the buildup of excess hydrostatic head behind the walls. The drainage system should incorporate appropriately graded sand or aggregate material and geotextile fabric to prevent the loss of fines which could be transported in the drainage system. Drain cleanouts should be provided.

The preceding values are based on our experience and testing of reasonably similar soils. Sloping backfill (or sloping soil surfaces in front of a footing when considering passive resistance) will dramatically influence lateral earth pressures. Kessel Engineering Group should be consulted concerning applicable earth pressure coefficients where sloping soil surfaces may be present.

Secondary Design Considerations

The following secondary design considerations are known to generally enhance performance of structural systems. Roof drainage should be collected by a system of gutters and downspouts and piped away from structures and slopes. Site grading and paving should result in positive drainage away from structures, walls, and slopes. Water should not be allowed to pond around structures or in such locations that would lead to saturation of their subgrade. A minimum slope of approximately $\frac{1}{4}$ to $\frac{1}{2}$ -inch per foot should provide adequate drainage. Backfill for utility lines should be placed in accordance with the requirements for engineered fill to minimize the potential for differential settlement.

SITE PREPARATION AND CONSTRUCTION RECOMMENDATIONS

Clearing and Grubbing

Existing topsoil, vegetation, disturbed soils, limbs, stumps, and surface soils containing organic matter or other deleterious materials should be removed from the area of the proposed construction. Topsoil and organic soils may be stockpiled for later use in areas to be landscaped. Stumps and other deleterious materials should be disposed of offsite or in areas of the site that will not be developed. Further construction of structures or pavement in areas containing limbs or stumps, organic soils, burn pit residue or other deleterious materials will first require that these materials be removed.

Proofrolling

We recommend that areas to provide support for grade slabs, pavements, and earthwork fills be observed and proofrolled by an engineering technician working under the supervision of the geotechnical engineer. For mountainside residential sites, where heavy excavation equipment encounters difficult site access, the general method of proofrolling should consist of rolling the exposed subgrade using a loaded dump truck, if feasible. Areas which wave, rut, or deflect excessively and continue to do so after several passes of the proofroller, or are otherwise deemed unsuitable, should be excavated to firmer soils and backfilled with engineered fill placed and compacted as recommended in this report. Proofrolling should not be performed on wet, saturated, or frozen subgrade or immediately following periods of precipitation.

Engineered Fill

Fill used for site retaining wall backfill, undercut replacement, or raising site grades should be uniformly compacted in thin (6-inch to 12-inch) horizontal lifts to at least 95% of the standard Proctor maximum dry density (ASTM D-698) and within 3% of optimum moisture. The upper 18 inches below grade slabs and pavements should be compacted to at least 98% of the same standard. Based on visual examination and our experience with similar soils, the on-site soils are generally suitable for re-use as engineered fill provided they are free of organics and are moisture conditioned. Soils with particle sizes larger than 6 inches should generally not be reused for engineered fill. If soils with particle sizes larger than 6 inches are to be reused as engineered fill, the geotechnical engineer should be contacted to examine the soils and develop recommendations on the suitability of their reuse at the site.

In general, soils having a Plasticity Index (PI) greater than 30 (less than 15 is preferable) should not be used for fill. Soils utilized as engineered fill should have a maximum dry density as determined in accordance with ASTM D698 (Standard Proctor test) of 90 pcf or higher (95 pcf or higher is preferred). Before filling operations begin, representative samples of each proposed fill material should be collected and tested to determine the compaction and classification characteristics. Once compaction begins, a sufficient number of density tests should be performed by an engineering technician working under the direction of the geotechnical engineer to measure the degree of compaction being obtained.

Engineered fill should be placed in horizontal lifts. Prior to each lift of fill placement, sloping areas should be benched with a level pad into residuum. The level pad will allow for better compaction of the fill materials. The resulting series of level benches will also serve to break the potential slip plane between the temporary slope and backfill materials.

The surface of compacted subgrade soils can deteriorate and lose its support capabilities when exposed to environmental changes or construction activity. Deterioration can occur from, but is not limited to, the effects of freezing temperatures, the formation of erosion gullies, exposure to extreme wetting/drying conditions, long term exposure to natural elements, and rutting caused by construction traffic. We recommend that surfaces of the subgrade that have deteriorated or softened be recompacted immediately prior to construction of grade slabs or pavements. Additionally, excavations through the subgrade soils, such as utility trenches, should be properly backfilled with compacted lifts of engineered fill. Recompaction of subgrade surfaces and compaction of backfill should be checked with a sufficient number of density tests to determine if adequate compaction is being achieved.

Groundwater and Surface Water

As previously described, groundwater was not encountered by test pits performed during this exploration. If groundwater is encountered during construction, especially at proposed excavations and/or cut slopes, the geotechnical engineer should be contacted immediately to develop recommendations for subsurface drainage control. Adequate control of groundwater could likely be accomplished by means of gravity ditches and/or pumping from gravel-line cased sumps. The contractor should be prepared to promptly remove surface water from the general construction area by similar methods.

Excavations and Slopes

Confined excavations such as for footing or utility installation should conform to OSHA regulations.

At this time, we have not been provided with a site grading plan, and the extent of proposed cut and fill slopes is unknown. For excavations that are not confined (i.e. cut slopes), our experience suggests that temporary excavation side slopes through undisturbed residuum should be laid back at a 0.5H:1V (horizontal:vertical) slope, or flatter, with maximum heights of 10 feet or less. Our experience suggests that permanent excavation side slopes through residuum at the site should be laid back at a 1H:1V, or flatter, with maximum heights of 10 feet or less. If bedrock is encountered during grading efforts, the bedrock could likely be excavated at steeper excavations as recommended by the geotechnical engineer during construction. It may be difficult to establish vegetation on cut slopes steeper than approximately 1.5H:1V at the site, and regular maintenance of surficial erosion may be required.

Permanent fill slopes constructed with newly placed engineered fill should be placed on a suitable foundation and should be constructed at 2H:1V, or flatter. Permanent fill slopes must be keyed and benched into suitable residuum as noted above in the *Engineered Fill* section of this report. Cut and fill slope surfaces should be protected from erosion by grassing or by other means. Permanent slopes of 3H:1V or flatter may be desirable for mowing.

SPECIFICATIONS REVIEW

We recommend that we be retained to make a review of the foundation and earthwork plans and specifications prepared from the recommendations presented in this report. We would then suggest any modifications so that our recommendations are properly interpreted and implemented. An additional fee would apply for review of plans and specifications.

BASIS OF RECOMMENDATIONS

The recommendations presented in this report are based on our understanding of the limited available project information, data obtained in our exploration, and our experience on similar projects. The general subsurface conditions utilized in our evaluation have been based on interpolation of the subsurface data between the widely spaced test locations. Subsurface conditions between the test locations may differ. If the project information is incorrect, please contact us so that our recommendations can be reviewed. Significantly different subsurface and groundwater conditions may be present at portions of the site not explored during this test pit exploration, and additional subsurface data should be gathered to develop revised recommendations if the location of the proposed construction footprint is significantly modified.

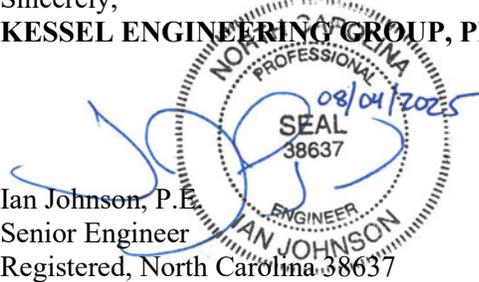
The discovery of site or subsurface conditions during construction which deviate from the data obtained in this exploration should be reported to us for our evaluation. The assessment of site environmental conditions for the presence or absence of pollutants in the soil, rock and groundwater of the site was beyond the scope of this exploration.

We appreciate the opportunity to offer our professional services on this project. If you have any questions concerning this report, please do not hesitate to contact us. We hope that you will give KEG consideration to providing construction materials testing services during the construction phase of this project.

Sincerely,

KESSEL ENGINEERING GROUP, PLLC (NC Firm License No. P-0420)

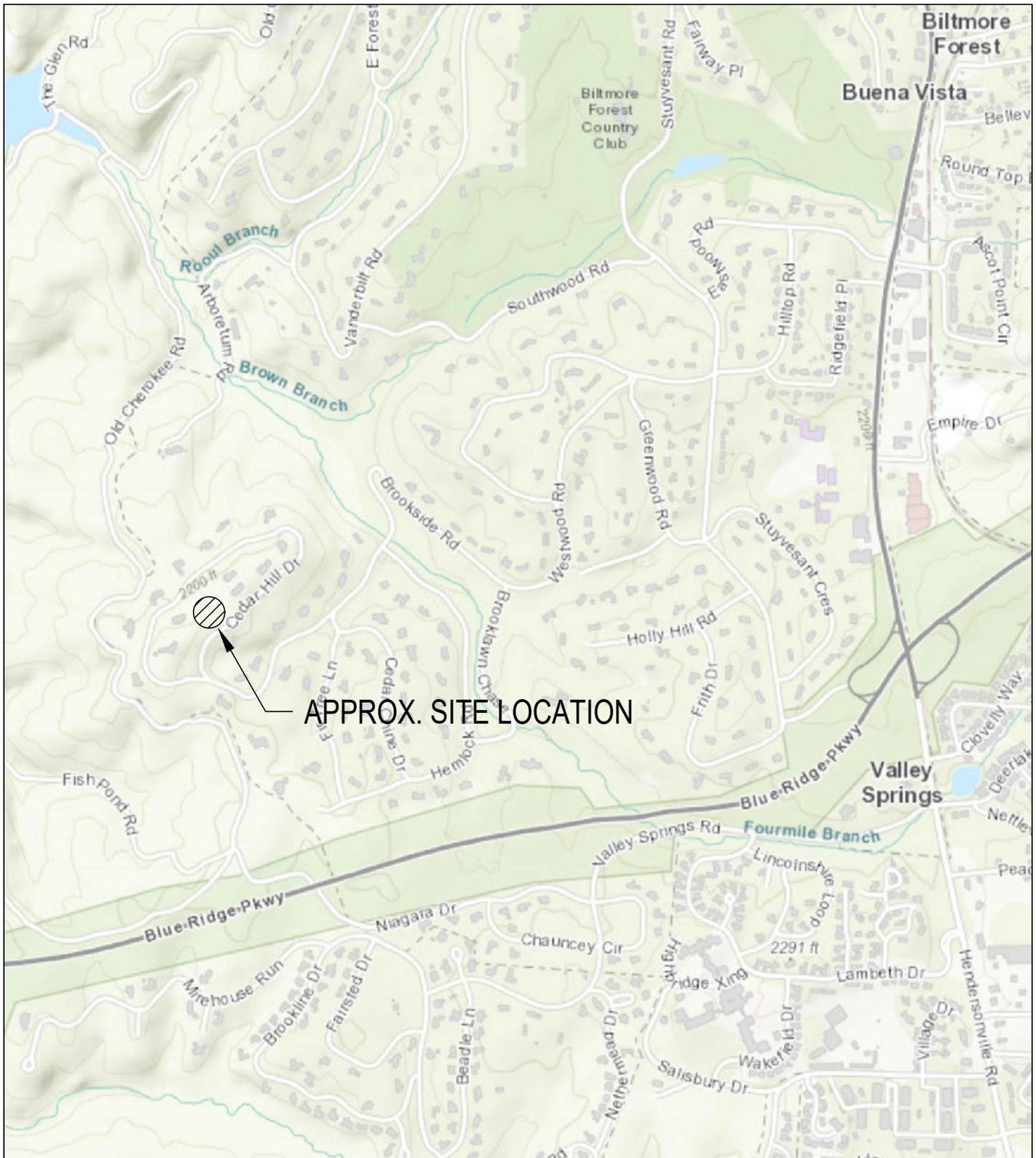
Ian Johnson, P.E.
Senior Engineer
Registered, North Carolina 38637



Courtney A. King, P.E.
Senior Engineer
Registered, North Carolina 33838

Attachments: Figure 1 - Site Location Plan
Figure 2 - Field Exploration Plan
Photographs 1 to 8
Test Pit Logs (TP-1 to TP-8)
Key to Soil Classifications and Consistency Descriptions

Distribution: Mr. Max Morgan, Morgan-Keefe Builders; maxm@morgankeefe.com



APPROX. SITE LOCATION



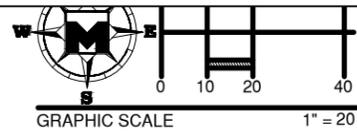
SITE LOCATION PLAN
 KEG PROJECT NO. JA25-5043-01
 DATE: 08-04-2025

BOUCHARD RESIDENCE
 BILTMORE FOREST, NORTH CAROLINA

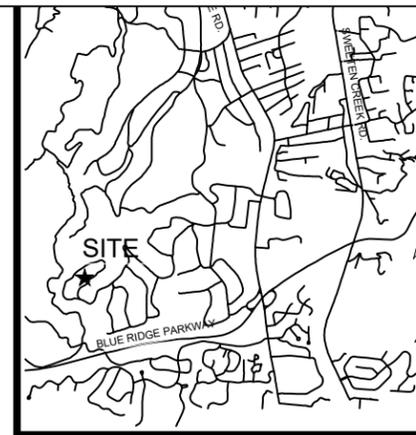
FIGURE
1

KESSEL ENGINEERING GROUP

582 HENDERSONVILLE ROAD SUITE ONE | ASHEVILLE NC 28803 | P:[828] 277-635 | F:[828] 277-6355
 WWW.THEKESSELGROUP.COM

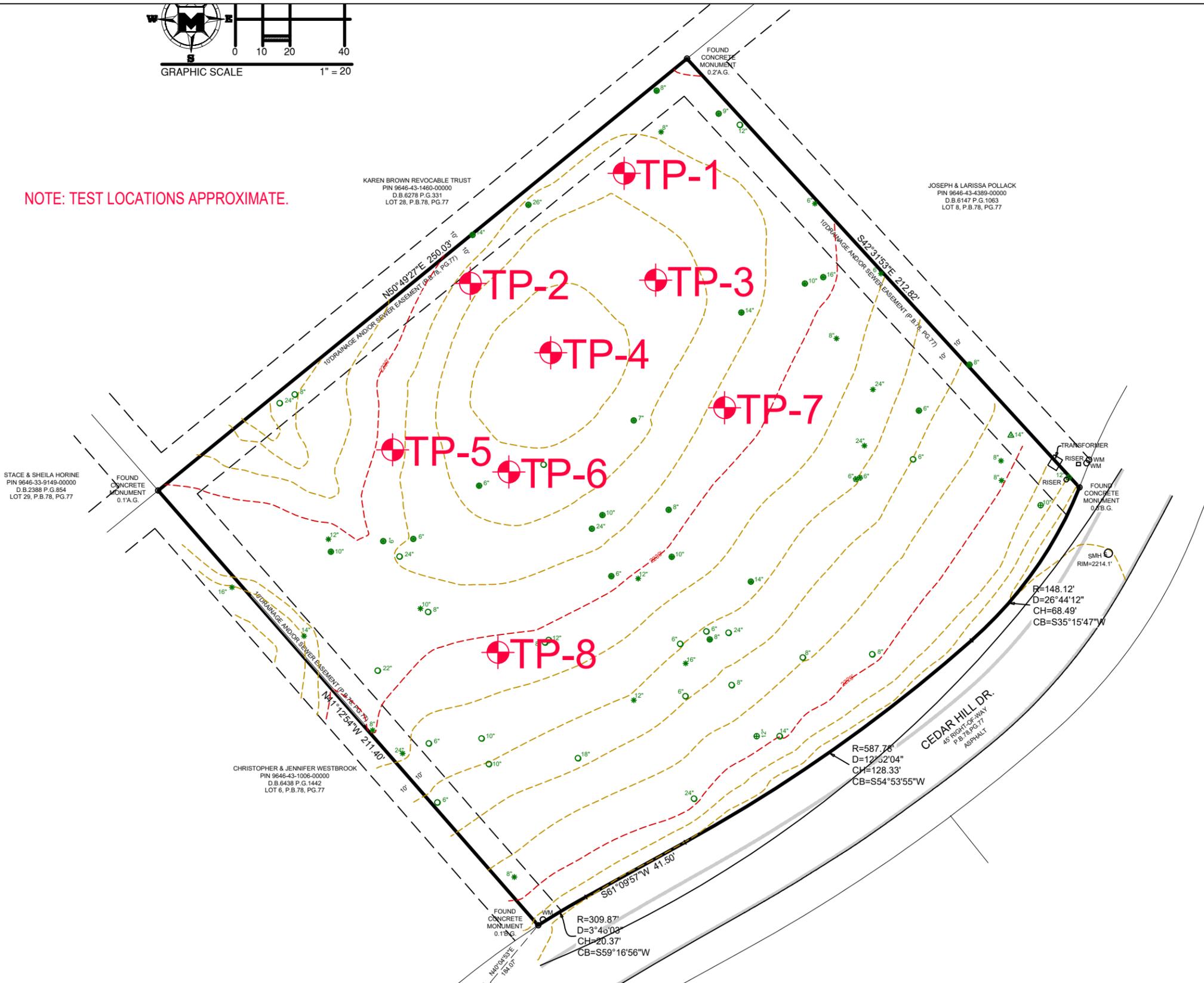


- D - DELTA ANGLE
- O.E. - OVERHEAD ELECTRIC LINES
- A.G. - ABOVE GROUND
- B.G. - BELOW GROUND
- SIR/CAP - SET IRON ROD & CAP
- D.B. - DEED BOOK
- P.B. - PLAT BOOK
- P.G. - PAGE
- AC - ACRES
- U.E. - UTILITY EASEMENT
- CONC. - CONCRETE
- CO. - CLEANOUT
- SMH - SANITARY MANHOLE
- CLF - CHAIN LINK FENCE
- S.F. - SQUARE FEET
- F.H. - FIRE HYDRANT
- FND. - FOUND
- I.R. - IRON ROD (REBAR)
- R.W. - RIGHT-OF-WAY
- W.V. - WATER VALVE
- W.M. - WATER METER
- OAK
- POPLAR
- SOURWOOD
- PINE
- ▲ TUPELO
- FOXGLOVE



VICINITY MAP
NOT TO SCALE

NOTE: TEST LOCATIONS APPROXIMATE.



DESCRIPTION: (PROPERTY SURVEYED) PIN 9646-43-2280-00000
ALL OF LOT 7 OF PLAT BOOK 78, PAGE 77, BEING ALL OF THAT LAND AS DESCRIBED IN DEED BOOK 2429, PAGE 20 OF THE PUBLIC RECORDS OF BUNCOMBE COUNTY, NORTH CAROLINA.

SAID LANDS CONTAINING 56,729 SQ. FT / 1.30 ACRES

NOTES:

1. LANDS SHOWN HEREON ARE NOT ABSTRACTED FOR RIGHTS-OF-WAY, EASEMENTS, OWNERSHIP, OR OTHER INSTRUMENTS OF RECORD AND ARE SUBJECT TO ANY AND ALL EASEMENTS, RIGHTS OF WAY, OR RESTRICTIONS THAT MAY LEGALLY AFFECT THIS PROPERTY.
2. BEARINGS SHOWN HEREON ARE BASED ON PLAT BOOK 78, PAGE 77.
3. UNDERGROUND FOUNDATIONS, LANDSCAPE FEATURES AND ROOF OVERHANGS WERE NOT LOCATED.
4. THIS IS AN ABOVE GROUND SURVEY. THE SURVEYOR MAKES NO CERTIFICATION TO THE EXISTENCE OF UNDERGROUND UTILITIES OR STRUCTURES. CALL 811 BEFORE DIGGING.
5. THERE WAS NO INVESTIGATION INTO THE EXISTENCE OF ENVIRONMENTALLY SENSITIVE AREAS.
6. OWNERSHIP, DEED AND PLAT INFORMATION IS PER THE BUNCOMBE COUNTY GIS WEBSITE.
7. NO HORIZONTAL CONTROL MONUMENTATION WAS RECOVERED WITHIN 2000' OF PROPERTY.
8. THE ELEVATIONS SHOWN ARE NAVD88 AS CALCULATED FROM G.P.S. OBSERVATIONS MADE USING SPECTRA PRECISION EPOCH 50 RECEIVER. CLASS "A" SURVEY, GEOID 12A, HORIZONTAL PRECISION 0.03 VERTICAL PRECISION 0.056.
9. THIS IS A "CALSS A" TOPOGRAPHIC SURVEY.
10. THE ACCURACY OF CONTOUR DATA SHOWN IS SUCH THAT THE CONTOUR LINES AS PLOTTED ARE WITH 1/2 OF THE CONTOUR INTERVAL 90% OF THE TIME.
11. TREE SPECIES IDENTIFICATION WAS DONE TO THE BEST OF THE SURVEYORS ABILITY. CLIENT IS ADVISED TO CONSULT AN ARBORIST FOR PROFESSIONAL IDENTIFICATION.

Topographic Survey
For : ROBERT & ANGELEE BOUCHARD
LIMESTONE TOWNSHIP, BUNCOMBE COUNTY, NORTH CAROLINA



REPORT OF TEST PIT EXPLORATION
BOUCHARD RESIDECE
BILTMORE FOREST, NORTH CAROLINA

FIELD EXPLORATION PLAN DATE: 08-04-2025
REFERENCE: Topographic Survey for: Robert & Angelee Bouchard, by
Thomas Mully, PLS, dated January 13, 2025.

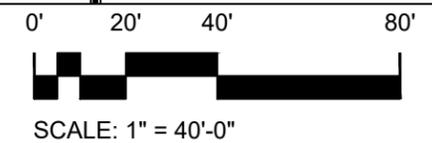


FIGURE
2



Photo 1: Test Pit TP-1



Photo 2: Test Pit TP-2



Photo 3: Test Pit TP-3



Photo 4: Test Pit TP-4



Photo 5: Test Pit TP-5



Photo 6: Test Pit TP-6



Photo 7: Test Pit TP-7



Photo 8: Test Pit TP-8



TEST PIT NO. TP-1

PROJECT: Bouchard Residence PROJECT NO.: JA25-5043-01
 CLIENT: Morgan Keefe Builders DATE START: 7-3-25 END: 7-3-25
 LOCATION: See Figure 2 ELEVATION: 2233 (feet)
 EXCAVATED BY: Frank P. Home Improvements LOGGED BY: I. Johnson
 EXCAVATION EQUIPMENT: Bobcat E35
 DEPTH TO - WATER> INITIAL ∇ AFTER 24 HOURS: ∇ CAVING > ⊗

ELEVATION/ DEPTH (FT)	DESCRIPTION	SOIL TYPE	SAMPLES	DYNAMIC CONE PENETRATION RESULTS BLOWS/1-3/4 inches																
				2,5	5,0	7,5	10,0	12,5	15,0	17,5	20,0	22,5								
2232	6-Inches TOPSOIL / ROOTMAT																			
	Firm, Brown, Silty, Fine to Medium SAND (Residuum)		6 18 25/1.75																	
2	Very Firm, Reddish Brown with White, Partially Weathered Rock with Rock Fragments Equipment refusal encountered at 2.0 feet. No groundwater encountered at time of excavation.		25/0	n = 25/0																
2230																				
4																				
2228																				
6																				
2226																				
8																				
2224																				
10																				
2222																				
12																				
2220																				

SOIL TEST BORING REVISED: 5043-01 BOUCHARD RESIDENCE: GPFJ_KESSEL_GROUP.GDT 7/25/25



TEST PIT NO. TP-2

PROJECT: Bouchard Residence PROJECT NO.: JA25-5043-01
 CLIENT: Morgan Keefe Builders DATE START: 7-3-25 END: 7-3-25
 LOCATION: See Figure 2 ELEVATION: 2233 (feet)
 EXCAVATED BY: Frank P. Home Improvements LOGGED BY: I. Johnson
 EXCAVATION EQUIPMENT: Bobcat E35
 DEPTH TO - WATER> INITIAL ∇ AFTER 24 HOURS: ∇ CAVING \times

ELEVATION/ DEPTH (FT)	DESCRIPTION	SOIL TYPE	SAMPLES	DYNAMIC CONE PENETRATION RESULTS BLOWS/1-3/4 inches
				2,5 5,0 7,5 10,0 12,5 15,0 17,5 20,0 22,5
2232	6-Inches TOPSOIL / ROOTMAT			
	Very Firm, Brown, Silty, Fine to Coarse SAND with Gravel (Residuum)		10 20 25/1.5	n = 25/1.5
2	Very Firm, Reddish Brown with White, Partially Weathered Rock with Rock Fragments		25/0	n = 25/0
	Equipment refusal encountered at 2.0 feet. No groundwater encountered at time of excavation.			
2230				
4				
2228				
6				
2226				
8				
2224				
10				
2222				
12				
2220				

SOIL TEST BORING REVISED: 5043-01 BOUCHARD RESIDENCE: GPFJ - KESSEL GROUP: GDT 7/25/25

Note: Refusal on apparent partially weathered rock or rock.



TEST PIT NO. TP-3

PROJECT: Bouchard Residence PROJECT NO.: JA25-5043-01
 CLIENT: Morgan Keefe Builders DATE START: 7-3-25 END: 7-3-25
 LOCATION: See Figure 2 ELEVATION: 2234 (feet)
 EXCAVATED BY: Frank P. Home Improvements LOGGED BY: I. Johnson
 EXCAVATION EQUIPMENT: Bobcat E35
 DEPTH TO - WATER> INITIAL ∇ AFTER 24 HOURS: ∇ CAVING > ⊗

ELEVATION/ DEPTH (FT)	DESCRIPTION	SOIL TYPE	SAMPLES	DYNAMIC CONE PENETRATION RESULTS BLOWS/1-3/4 inches																
				2,5	5,0	7,5	10,0	12,5	15,0	17,5	20,0	22,5								
2232 - 2	1-Inch TOPSOIL / ROOTMAT Very Firm, Brown, Slightly Moist, Fine to Coarse SAND with Rock Fragments (Residuum)		25/0	n = 25/0																
2230 - 4	Equipment refusal encountered at 1.7 feet. No groundwater encountered at time of excavation.																			
2228 - 6																				
2226 - 8																				
2224 - 10																				
2222 - 12																				

SOIL TEST BORING REVISED: 5043-01 BOUCHARD RESIDENCE: GPFJ_KESSEL.GROUP.GDT 7/25/25



TEST PIT NO. TP-4

PROJECT: Bouchard Residence PROJECT NO.: JA25-5043-01
 CLIENT: Morgan Keefe Builders DATE START: 7-3-25 END: 7-3-25
 LOCATION: See Figure 2 ELEVATION: 2236 (feet)
 EXCAVATED BY: Frank P. Home Improvements LOGGED BY: I. Johnson
 EXCAVATION EQUIPMENT: Bobcat E35
 DEPTH TO - WATER> INITIAL ∇ AFTER 24 HOURS: ∇ CAVING> ⊗

ELEVATION/ DEPTH (FT)	DESCRIPTION	SOIL TYPE	SAMPLES	DYNAMIC CONE PENETRATION RESULTS BLOWS/1-3/4 inches														
				2.5	5.0	7.5	10.0	12.5	15.0	17.5	20.0	22.5						
	3-Inches TOPSOIL / ROOTMAT																	
	Loose, Brown, Silty, Fine to Coarse SAND with Rock Fragments (Residuum)																	
2234	2	Very Firm, Reddish Brown, Slightly Micaceous, Silty, Fine to Coarse SAND with Partially Weathered Rock Fragments		8 7 12	n = 9													
		Equipment refusal encountered at 2.5 feet. No groundwater encountered at time of excavation.		25/0	n = 25/0													
2232	4																	
2230	6																	
2228	8																	
2226	10																	
2224	12																	

SOIL TEST BORING REVISED: 5043-01 BOUCHARD RESIDENCE.GPJ KESSEL.GROUP.GDT 7/25/25

Note: Refusal on apparent partially weathered rock or rock.

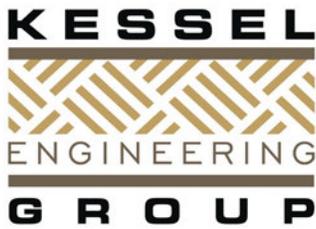


TEST PIT NO. TP-5

PROJECT: Bouchard Residence PROJECT NO.: JA25-5043-01
 CLIENT: Morgan Keefe Builders DATE START: 7-3-25 END: 7-3-25
 LOCATION: See Figure 2 ELEVATION: 2232 (feet)
 EXCAVATED BY: Frank P. Home Improvements LOGGED BY: I. Johnson
 EXCAVATION EQUIPMENT: Bobcat E35
 DEPTH TO - WATER> INITIAL ∇ AFTER 24 HOURS: ∇ CAVING > ⊗

ELEVATION/ DEPTH (FT)	DESCRIPTION	SOIL TYPE	SAMPLES	DYNAMIC CONE PENETRATION RESULTS BLOWS/1-3/4 inches																	
				2.5	5.0	7.5	10.0	12.5	15.0	17.5	20.0	22.5									
	4-Inches TOPSOIL / ROOTMAT																				
2230	Loose, Brown, Silty, Fine to Medium SAND with Trace Gravel (Residuum)		6 6 10	n = 8																	
2228	Very Firm, Reddish Brown, Slightly Micaceous, Silty, Fine to Medium SAND with Partially Weathered Rock Fragments		10 25/5	n = 25/5																	
2228	Equipment refusal encountered at 4.0 feet. No groundwater encountered at time of excavation.		25/1	n = 25/1																	
2226																					
2224																					
2222																					
2220																					

SOIL TEST BORING REVISED: 5043-01 BOUCHARD RESIDENCE.GPJ KESSEL.GROUP.GDT 7/25/25



TEST PIT NO. TP-6

PROJECT: Bouchard Residence PROJECT NO.: JA25-5043-01
 CLIENT: Morgan Keefe Builders DATE START: 7-3-25 END: 7-3-25
 LOCATION: See Figure 2 ELEVATION: 2235 (feet)
 EXCAVATED BY: Frank P. Home Improvements LOGGED BY: I. Johnson
 EXCAVATION EQUIPMENT: Bobcat E35
 DEPTH TO - WATER> INITIAL AFTER 24 HOURS: CAVING>

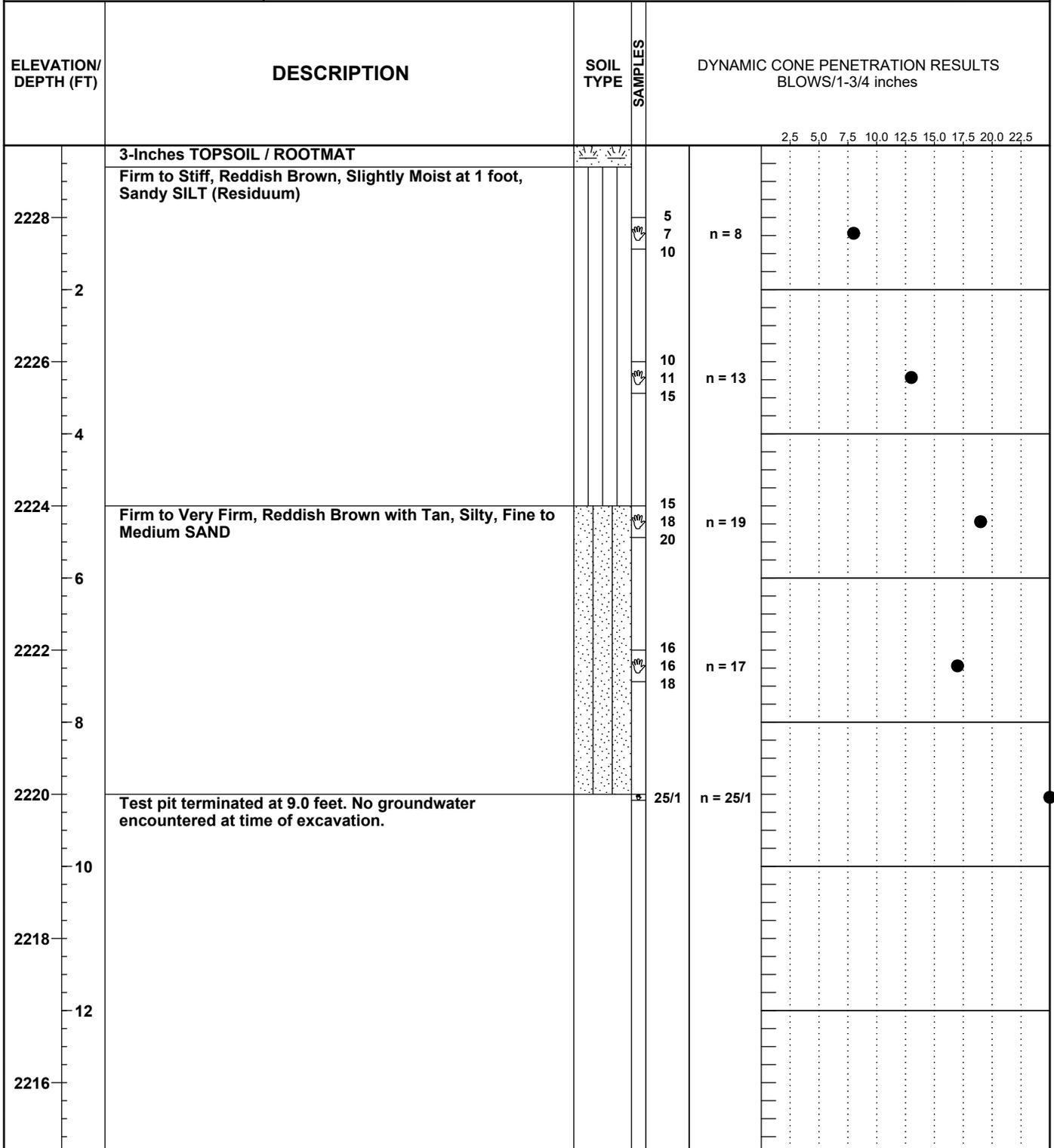
ELEVATION/ DEPTH (FT)	DESCRIPTION	SOIL TYPE	SAMPLES	DYNAMIC CONE PENETRATION RESULTS BLOWS/1-3/4 inches																	
				2,5	5,0	7,5	10,0	12,5	15,0	17,5	20,0	22,5									
2234	3-Inches TOPSOIL / ROOTMAT Stiff, Brown, Moist, Sandy SILT (Residuum)		9 12 15	n = 13																	
2232	Stiff to Very Stiff, Reddish Brown, Sandy SILT		6 15 16	n = 15																	
2230	Firm, Light Reddish Brown, Slightly Micaceous, Silty, Fine SAND		22 25/7.5	n = 25/7.5																	
2228	Equipment refusal encountered at 6.0 feet. No groundwater encountered at time of excavation.		16 25/1.75	n = 25/1.75																	
2226																					
2224																					
2222																					

SOIL TEST BORING REVISED: 5043-01 BOUCHARD RESIDENCE: GPJ KESSEL GROUP: GDT 7/25/25



TEST PIT NO. TP-8

PROJECT: Bouchard Residence PROJECT NO.: JA25-5043-01
 CLIENT: Morgan Keefe Builders DATE START: 7-3-25 END: 7-3-25
 LOCATION: See Figure 2 ELEVATION: 2229 (feet)
 EXCAVATED BY: Frank P. Home Improvements LOGGED BY: I. Johnson
 EXCAVATION EQUIPMENT: Bobcat E35
 DEPTH TO - WATER> INITIAL AFTER 24 HOURS: CAVING>



SOIL TEST BORING REVISED: 5043-01 BOUCHARD RESIDENCE.GPJ KESSEL.GROUP.GDT 7/25/25

KEY TO SOIL CLASSIFICATIONS AND CONSISTENCY DESCRIPTIONS

Cone Penetrometer Resistance Average blows over 3-1/2 in. increment

1 to 4
5 to 15
16 to 29
over 30

SANDS

Relative Density

Very Loose
Loose
Firm
Very Firm

Particle Size Identification

Boulder: Greater than 300 mm
Cobble: 75 to 300 mm
Gravel:
Coarse - 19 to 75 mm
Fine - 4.75 to 19 mm
Sand:
Coarse - 2 to 75 mm
Medium - 0.425 to 2 mm
Fine - 0.075 to 0.425 mm
Silt & Clay: Less than 0.075 mm

Cone Penetrometer Resistance Average blows over 3-1/2 in. increment

1 to 4
5 to 9
10 to 29
over 30

SILTS and CLAYS

Consistency

Soft
Firm
Stiff
Very Stiff

KEY TO DRILLING SYMBOLS



Grab Sample



Split Spoon Sample



Undisturbed Sample



Groundwater Table at Time of Drilling

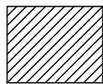


Groundwater Table 24 Hours after Completion of Drilling

KEY TO SOIL CLASSIFICATIONS



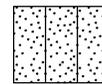
Well-graded Gravel
GW



Low Plasticity Clay
CL



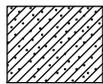
Clayey Silt
MH



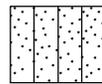
Silty Sand
SM



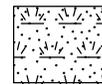
Poorly-graded Gravel
GP



Sandy Clay
CLS



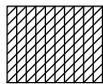
Sandy Silt
MLS



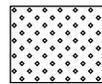
Topsoil
TOPSOIL



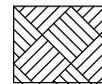
Partially Weathered
Rock
BLDRCBBL



Silty Clay
CL-ML



Sand
SW



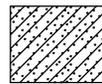
Bedrock
BEDROCK



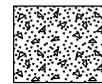
High Plasticity Clay
CH



Silt
ML



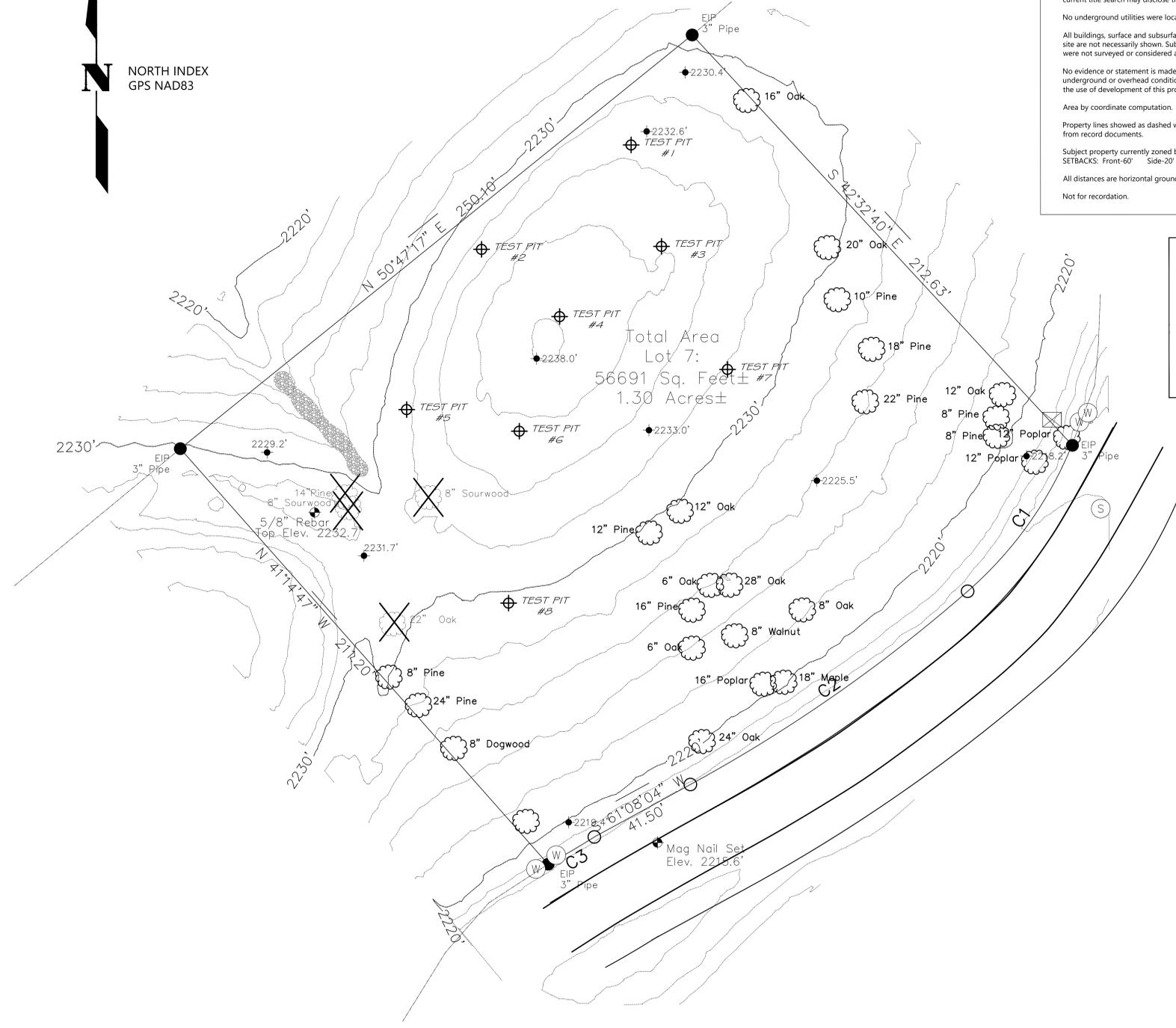
Clayey Sand
SC



Concrete
AS

CURVE	RADIUS	ARC LENGTH	CHORD LENGTH	CHORD BEARING	DELTA ANGLE
C1	148.12'	69.12'	68.49'	S 35°13'54" W	26°44'07"
C2	587.78'	128.59'	128.33'	S 54°52'02" W	12°32'04"
C3	309.87'	20.37'	20.37'	S 59°15'03" W	3°46'02"

NORTH INDEX
GPS NAD83



NOTES

This property is not located in a special flood hazard area as determined by the Federal Emergency Management Agency.

Surveyor was not provided with a legal title search. There may exist easements of record, encumbrances, restrictive covenants, ownership title evidence, or any other facts pertinent to this property that an accurate and current title search may disclose that are not shown on this survey.

No underground utilities were located. Call 1-800-632-4949 before digging.

All buildings, surface and subsurface improvements on an adjacent to the site are not necessarily shown. Subsurface and environmental conditions were not surveyed or considered as part of this survey.

No evidence or statement is made concerning the existence of underground or overhead conditions, containers, or facilities that may effect the use of development of this property.

Area by coordinate computation.

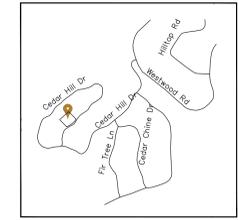
Property lines showed as dashed were not field surveyed. They were plotted from record documents.

Subject property currently zoned by Buncombe County.
SETBACKS: Front-60' Side-20' Rear-25' per Plat Book 78/77.

All distances are horizontal ground distances unless otherwise noted.

Not for recordation.

- LEGEND**
- NC GEODETIC CONTROL MONUMENT
 - CONCRETE MONUMENT (CM)
 - EXISTING IRON PIN (EIP)
 - 5/8" REBAR SET (NIP)
 - EXISTING STONE MARKER
 - MAGNAIL FOUND OR SET
 - UNMARKED POINT (CP)
 - UTILITY POLE (PP)
 - EASEMENT/RIGHT OF WAY
 - FIRE HYDRANT (FH)
 - WATER METER OR WELL
 - WATER VALVE (WV)
 - SANITARY SEWER MANHOLE
 - STORM DRAIN MANHOLE
 - CLEANOUT
 - DRAIN INLET
 - TRANSFORMER
 - BUILDING SETBACKS
 - NOW OR FORMERLY (N/F)
 - DEED BOOK & PAGE (DB)
 - PLAT BOOK & PAGE (PB)
 - RIGHT OF WAY (R/W)



REFERENCE DATA

SURVEYED: 10/01/2025
MAPPED: 10/06/2025



I, Amos J. Glaspy, professional land surveyor, certify that the survey is of an existing parcel or parcels of land or one or more existing easements and does not create a new street or change an existing street. GS 47-30 (f)(11)c1.

I, Amos J. Glaspy, certify that this plat was drawn under my supervision from an actual survey made under my supervision (deed description recorded in Book 6465, page 1673; that the boundaries not surveyed are clearly indicated as shown on plat; that the ratio of precision or positional accuracy as calculated is 1:10000; that this plat was prepared in accordance with G.S. 47-30 as amended. Witness my original signature, license number and seal this 6th day of October, A.D., 2025.

Amos J. Glaspy, PLS No. L5388

Amos J. Glaspy, PLS-5388
784 Glaspy Mountain Road
Hendersonville, NC 28792

glaspylandsurveying.com
amos.gls@gmail.com
828-974-1811



PLAT OF BOUNDARY/TOPOGRAPHIC SURVEY | PREPARED FOR
Bouchard Family Revocable Trust(owners)
Morgan Keefe Builders

Cedar Hill Drive, Buncombe County, NC
Lot 7, Plat Book 78/77
Limestone Township
PIN: 9646-32-2280
DEED: 6465/1673



Job# 25-748-B



THE BOUCHARD RESIDENCE
 LOT #7
 BILTMORE FOREST,
 NORTH CAROLINA

Print Record

21 NOV 2025	CLIENT REVIEW
12 DEC 2025	CLIENT REVIEW
02 JAN 2026	CLIENT REVIEW
08 JAN 2026	CLIENT REVIEW
12 JAN 2026	CLIENT REVIEW
23 JAN 2026	CLIENT REVIEW
27 FEB 2026	ZONING BOARD REVIEW

Date: 18 SEP 2025
Project #: 2510

Half-Size Plot

SURVEY

C1.0

Released for Construction
 Not Released for Construction

CURVE	RADIUS	ARC LENGTH	CHORD LENGTH	CHORD BEARING	DELTA ANGLE
C1	148.12'	69.12'	68.49'	S 35°13'54" W	26°44'07"
C2	587.78'	128.59'	128.33'	S 54°52'02" W	12°32'04"
C3	309.87'	20.37'	20.37'	S 59°15'03" W	3°46'02"

NORTH INDEX
GPS NAD83

NOTES

This property is not located in a special flood hazard area as determined by the Federal Emergency Management Agency.

Surveyor was not provided with a legal title search. There may exist easements of record, encumbrances, restrictive covenants, ownership title evidence, or any other facts pertinent to this property that an accurate and current title search may disclose that are not shown on this survey.

No underground utilities were located. Call 1-800-632-4949 before digging.

All buildings, surface and subsurface improvements on an adjacent to the site are not necessarily shown. Subsurface and environmental conditions were not surveyed or considered as part of this survey.

No evidence or statement is made concerning the existence of underground or overhead conditions, containers, or facilities that may effect the use of development of this property.

Area by coordinate computation.

Property lines showed as dashed were not field surveyed. They were plotted from record documents.

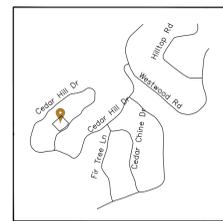
Subject property currently zoned by Buncombe County.
SETBACKS: Front-60' Side-20' Rear-25' per Plat Book 78/77.

All distances are horizontal ground distances unless otherwise noted.

Not for recordation.

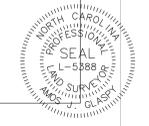
LEGEND

- NC GEODETIC CONTROL MONUMENT
- CONCRETE MONUMENT (CM)
- EXISTING IRON PIN (EIP)
- 5/8" REBAR SET (NIP)
- EXISTING STONE MARKER
- MAGNAIL FOUND OR SET
- UNMARKED POINT (CP)
- UTILITY POLE (PP)
- EASEMENT/RIGHT OF WAY
- FIRE HYDRANT (FH)
- WATER METER OR WELL
- WATER VALVE (WV)
- SANITARY SEWER MANHOLE
- STORM DRAIN MANHOLE
- CLEANOUT
- DRAIN INLET
- TRANSFORMER
- BUILDING SETBACKS
- NOW OR FORMERLY (N/F)
- DEED BOOK & PAGE (DB)
- PLAT BOOK & PAGE (PB)
- RIGHT OF WAY (R/W)



REFERENCE DATA

SURVEYED: 10/01/2025
MAPPED: 10/06/2025



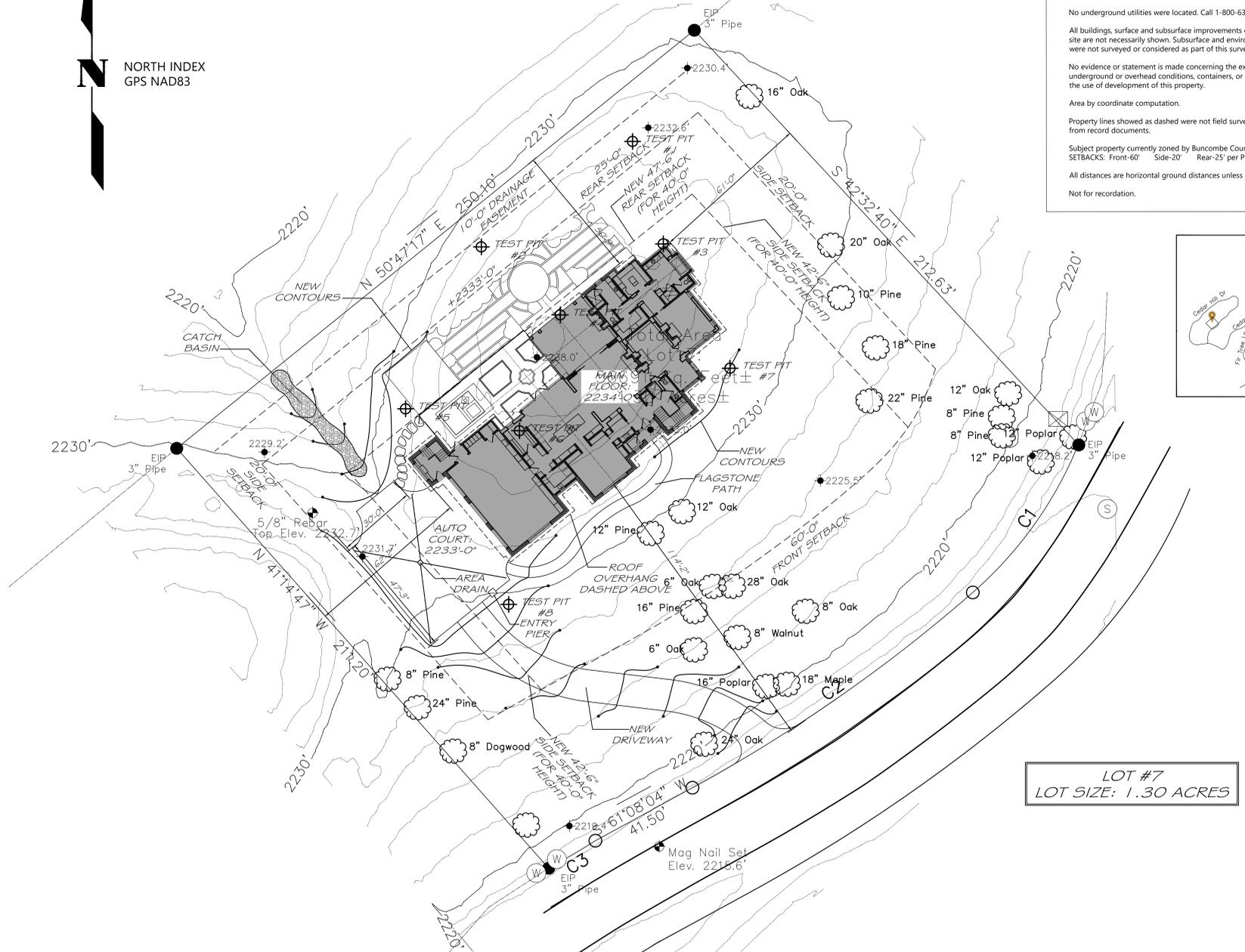
I, Amos J. Glaspy, professional land surveyor, certify that the survey is of an existing parcel or parcels of land or one or more existing easements and does not create a new street or change an existing street. GS 47-30 (f)(11)c1.

I, Amos J. Glaspy, certify that this plat was drawn under my supervision from an actual survey made under my supervision (deed description recorded in Book 6465, page 1673; that the boundaries not surveyed are clearly indicated as shown on plat; that the ratio of precision or positional accuracy as calculated is 1:10000; that this plat was prepared in accordance with G.S. 47-30 as amended. Witness my original signature, license number and seal this 6th day of October, A.D., 2025.

Amos J. Glaspy, PLS No. L5388

Amos J. Glaspy, PLS-5388
784 Glaspy Mountain Road
Hendersonville, NC 28792

glaspylandsurveying.com
amos.gls@gmail.com
828-974-1811



LOT #7
LOT SIZE: 1.30 ACRES



PLAT OF BOUNDARY/TOPOGRAPHIC SURVEY | PREPARED FOR
Bouchard Family Revocable Trust(owners)
Morgan Keefe Builders

Cedar Hill Drive, Buncombe County, NC
Lot 7, Plat Book 78/77
Limestone Township
PIN: 9646-32-2280
DEED: 6465/1673



Job# 25-748-B

SITE PLAN
Scale: 1" = 20'-0"

THE
**BOUCHARD
RESIDENCE**
LOT #7
BILMORE FOREST,
NORTH CAROLINA

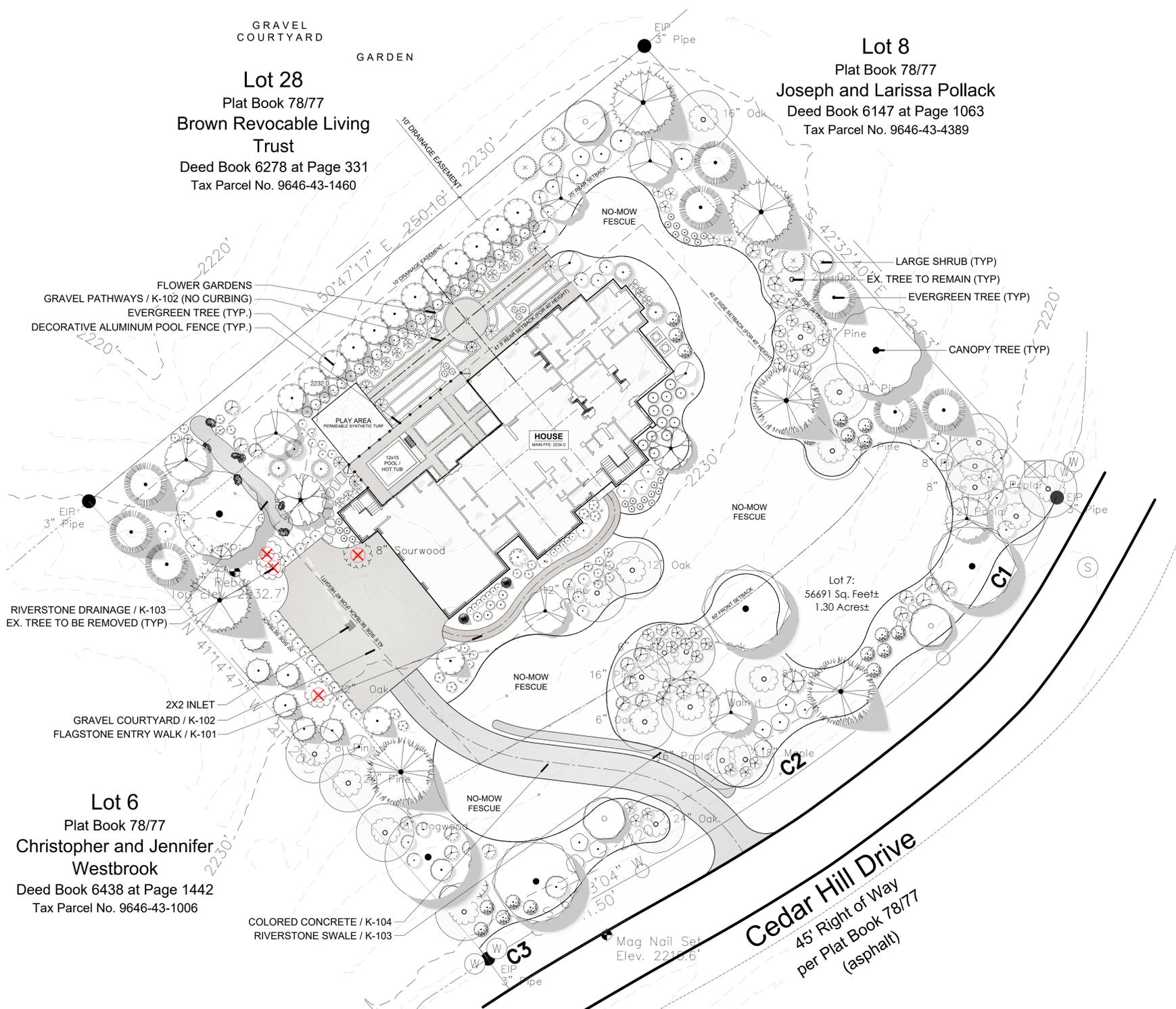
Print Record

21 NOV 2025	CLIENT REVIEW
12 DEC 2025	CLIENT REVIEW
02 JAN 2026	CLIENT REVIEW
08 JAN 2026	CLIENT REVIEW
12 JAN 2026	CLIENT REVIEW
23 JAN 2026	CLIENT REVIEW
27 FEB 2026	ZONING BOARD REVIEW

PRELIMINARY
SITE PLAN

C1.1

Released for Construction
 Not Released for Construction



Lot 28
Plat Book 78/77
Brown Revocable Living Trust
Deed Book 6278 at Page 331
Tax Parcel No. 9646-43-1460

Lot 8
Plat Book 78/77
Joseph and Larissa Pollack
Deed Book 6147 at Page 1063
Tax Parcel No. 9646-43-4389

Lot 6
Plat Book 78/77
Christopher and Jennifer Westbrook
Deed Book 6438 at Page 1442
Tax Parcel No. 9646-43-1006

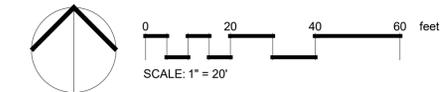
Cedar Hill Drive
45' Right of Way
per Plat Book 78/77
(asphalt)

REFERENCE NOTES SCHEDULE

SYMBOL	CODE	DESCRIPTION	QTY
ROCK			
[Symbol]	K-101	TN Craborchard Flagstone	343 sf
[Symbol]	K-102	Tennessee Nollchucky; 3/8" Gravel	3,496 sf
[Symbol]	K-103	River Rock:2-4"	574 sf
PAVING			
[Symbol]	P-101	Colored Concrete	1,711 sf

PLANT SCHEDULE

SYMBOL	QTY	BOTANICAL NAME	COMMON NAME	SIZE	CONTAINER	CALIPER
TREES						
[Symbol]	1	Acer palmatum 'Bloodgood'	Bloodgood Japanese Maple	7-8' HT	20" Box	
[Symbol]	1	Acer palmatum 'Sango-kaku'	Coral Bark Japanese Maple	7-8' HT	20" Box	
[Symbol]	2	Acer rubrum 'October Glory'	October Glory Red Maple	14-16' HT	B&B	3" Cal.
[Symbol]	1	Acer saccharum 'Legacy'	Legacy Sugar Maple	14-16' HT	B&B	3" Cal.
[Symbol]		Cedrus deodara	Deodar Cedar	10-12' HT	B&B	
[Symbol]	4	Cercis canadensis 'Merlot'	Merlot Eastern Redbud	10-12' HT	B&B	2" Cal.
[Symbol]	2	Chamaecyparis obtusa 'Gracilis'	Slender Hinoki False Cypress	4-5' HT	B&B	
[Symbol]	3	Cornus florida 'Cherokee Princess'	Cherokee Princess Dogwood	10-12' HT	B&B	2" Cal.
[Symbol]	3	Cornus florida 'Cherokee Brave'	Cherokee Brave Dogwood	10-12' HT	B&B	2" Cal.
[Symbol]	15	Ilex x 'Nellie R. Stevens'	Nellie R. Stevens Holly	8-10' HT	B&B	
[Symbol]		Picea abies	Norway Spruce	10-12' HT	B&B	
[Symbol]		Pinus strobus	White Pine	10-12' HT	B&B	
[Symbol]	3	Quercus shumardii	Shumard Oak	14-16' HT	B&B	3" Cal.
[Symbol]	6	Thuja x 'Green Giant'	Green Giant Arborvitae	8-10' HT	B&B	
SHRUBS						
[Symbol]	6	Aesculus parviflora	Bottlebrush Buckeye	30-36" HT	7 Gal.	
[Symbol]	11	Azalea indica 'Mrs. G.G. Gerbing'	Mrs. G.G. Gerbing Indica Azalea	18-24" HT	7 Gal.	
[Symbol]	8	Buxus x 'Green Mountain'	Green Mountain Boxwood	30-42" HT	15 Gal.	
[Symbol]	12	Buxus x 'Green Velvet'	Green Velvet Boxwood	18-24" HT	10 Gal.	
[Symbol]	21	Calycanthus x 'Aphrodite'	Aphrodite Sweetshrub	24-30" HT	7 Gal.	
[Symbol]	4	Camellia sasanqua 'Kanjiro'	Kanjiro Camellia	30-42" HT	7 Gal.	
[Symbol]	12	Cephalotaxus harringtonia 'Duke Gardens'	Duke Gardens Plum Yew	15-18" HT	3 Gal.	
[Symbol]	1	Edgeworthia chrysantha	Paperbush	30-36" HT	10 Gal.	
[Symbol]	8	Fothergilla x intermedia 'Mount Airy'	Mount Airy Fothergilla	18-24" HT	3 Gal.	
[Symbol]	5	Hydrangea paniculata 'SMHPLQF'	Little Quick Fire® Panicle Hydrangea	18-24" HT	3 Gal.	
[Symbol]	9	Hydrangea paniculata 'Jane'	Little Lime® Panicle Hydrangea	15-18" HT	3 Gal.	
[Symbol]	18	Hydrangea quercifolia 'Ruby Slippers'	Ruby Slippers Oakleaf Hydrangea	15-18" HT	3 Gal.	
[Symbol]	17	Ilex glabra 'Compacta'	Compact Inkberry	18-24" HT	7 Gal.	
[Symbol]	5	Ilex x 'Magland'	Oakland™ Holly	60"-72" HT	30 Gal.	
[Symbol]	7	Itea virginica 'Sprich'	Little Henry® Sweetspire	15-18" HT	3 Gal.	
[Symbol]	14	Kalmia latifolia	Mountain Laurel	30-36" HT	B&B	
[Symbol]	22	Leucothoe fontanesiana 'Zebid'	Scarlet® Drooping Leucothoe	10-12" HT	3 Gal.	
[Symbol]	10	Pieris japonica 'Brouwer's Beauty'	Brouwer's Beauty Japanese Pieris	30-36" HT	7 Gal.	
[Symbol]	27	Prunus laurocerasus 'Otto Luyken'	Otto Luyken English Laurel	18-24" HT	7 Gal.	
[Symbol]	3	Rhododendron calendulaceum	Flame Azalea	30-36" HT	B&B	
[Symbol]	20	Rhododendron x 'Chionoides'	Chionoides Rhododendron	24-30" HT	10 Gal.	
[Symbol]	5	Rhododendron x 'English Roseum'	English Roseum Rhododendron	24-30" HT	10 Gal.	
[Symbol]	12	Rhododendron x 'P.J.M. Elite'	P.J.M. Elite Rhododendron	24-30" HT	10 Gal.	
[Symbol]	15	Rosa x 'Radrazz'	Knock Out® Shrub Rose	15-18" HT	3 Gal.	
[Symbol]	5	Rosmarinus officinalis 'Arp'	Arp Rosemary	1 Gal.	Pot	
[Symbol]	25	Sarococca hookeriana humilis 'Sarsid1'	Fragrant Valley™ Trailing Sweetbox	10-12" HT	3 Gal.	
[Symbol]	2	Syringa patula 'Miss Kim'	Miss Kim Korean Lilac	48-60" HT	15 Gal. Tree Form	
[Symbol]	6	Viburnum macrocephalum	Chinese Snowball Viburnum	36-48" HT	7 Gal.	
ANNUALS/PERENNIALS						
[Symbol]	6	Paeonia lactiflora 'Sarah Bernhard'	Sarah Bernhard Chinese Peony	2 Gal.	Pot	
GROUND COVERS						
[Symbol]	68	Alchemilla mollis 'Auislese'	Auislese Lady's Mantle	1 Gal.	Pot	24" o.c.
[Symbol]	7 flats	Annual / Herb Planting	Annual / Herb Planting	Flat		18" o.c.
[Symbol]	16,442 sf	Festuca	No-Mow Fescue	SF	seed	
[Symbol]	22	Hemerocallis x 'Happy Returns'	Happy Returns Daylily	1 Gal.	Pot	24" o.c.
[Symbol]	34	Lavandula angustifolia 'Hidcote'	Hidcote English Lavender	1 Gal.	Pot	18" o.c.
[Symbol]	18	Leucanthemum x superbum 'Becky'	Becky Shasta Daisy	1 Gal.	Pot	24" o.c.
[Symbol]	12	Penstemon digitalis 'Blackbeard'	Blackbeard Beardtongue	1 Gal.	Pot	24" o.c.
[Symbol]	16	Perovskia atriplicifolia 'Denim 'n Lace'	Denim 'n Lace Russian Sage	1 Gal.	Pot	36" o.c.
[Symbol]	6	Phlox paniculata 'Glamour Girl'	Glamour Girl Garden Phlox	1 gal.	Pot	24" o.c.
[Symbol]	400 sf	Turf - Artificial Turf	Artificial Turf	SF	SF	



NOT FOR CONSTRUCTION

Bouchard Residence
Cedar Hill Dr Lot 7
TOWN OF BALTIMORE FOREST

REVISIONS:

REVISION	DESCRIPTION	DATE

This drawing is the property of Wright Design and is not to be reproduced or copied in whole or in part, the dimension of which are 24" x 36". It is only to be used for the project and site specifically identified herein and is not to be used on any other project without written permission from the Architect. The Contractor is responsible for verifying all field measurements, quantities, dimensions and related field construction criteria.

Note to Contractor:
Any discrepancies, inconsistencies or ambiguities found between the drawings, specifications & site conditions shall be immediately reported to the architect in writing. The architect will promptly correct the same in writing. Work done by the contractor after discovery of such discrepancies, inconsistencies or ambiguities shall be done at the contractor's risk.

This set of architectural drawings is provided as is, per the contract between the Client/Owner and Wright Design, and does not include any engineering drawings or specifications for structural, HVAC, mechanical, electrical or plumbing systems. It is the express responsibility of the Client/Owner and/or the contractor to determine or secure appropriate contractors to provide this information as it relates to construction of the home represented in these drawings. Wright Design shall not be held responsible for damages that may result from changes to these drawings made by the contractor on site during the construction process. Neither is Wright Design responsible for decisions made by the Client/Owner or contractor regarding details or design elements outside the scope of the contracted drawings as provided.

THE
BOUCHARD
RESIDENCE
LOT #7
BILTMORE FOREST,
NORTH CAROLINA

Print Record

21 NOV 2025	CLIENT REVIEW
12 DEC 2025	CLIENT REVIEW
02 JAN 2026	CLIENT REVIEW
08 JAN 2026	CLIENT REVIEW
12 JAN 2026	CLIENT REVIEW
23 JAN 2026	CLIENT REVIEW
27 FEB 2026	ZONING BOARD REVIEW

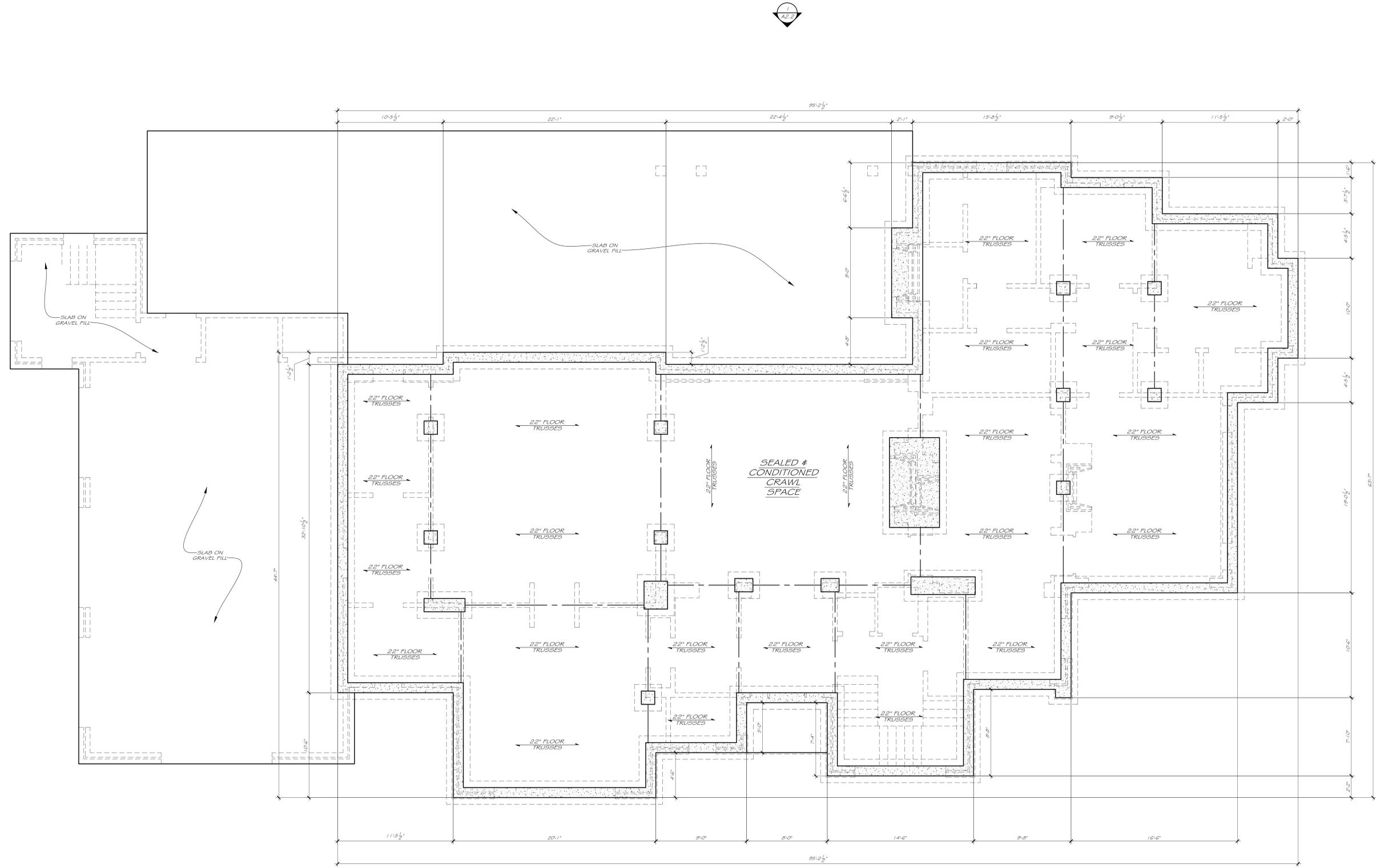
Date: 18 SEP 2025
Project #: 2510

Half-Size Plot

FOUNDATION PLAN

A1.1

Released for Construction
 Not Released for Construction



1 FOUNDATION PLAN
Scale: 1/4" = 1'-0"

This drawing is the property of Wright Design and is not to be reproduced or copied in whole or in part. The dimension of which are 24" x 36". It is only to be used for the project and site specifically identified herein and is not to be used on any other project without written permission from the Architect. The Contractor is responsible for verifying all field measurements, quantities, dimensions and related field construction criteria.

Note to Contractor:
Any discrepancies, inconsistencies or ambiguities found between the drawings, specifications & site conditions shall be immediately reported to the architect in writing. The architect will promptly correct the same in writing. Work done by the contractor after discovery of such discrepancies, inconsistencies or ambiguities shall be done at the contractor's risk.

This set of architectural drawings is provided as is, per the contract between the Client/Owner and Wright Design, and does not include any engineering drawings or specifications for structural, HVAC, mechanical, electrical or plumbing systems. It is the express responsibility of the Client/Owner and/or the contractor to determine or secure appropriate contractors to provide this information as it relates to construction of the home represented in these drawings. Wright Design shall not be held responsible for damages that may result from changes to these drawings made by the contractor on site during the construction process. Neither is Wright Design responsible for decisions made by the Client/Owner or contractor regarding details or design elements outside the scope of the contracted drawings as provided.

THE
BOUCHARD
RESIDENCE
LOT #7
BILTMORE FOREST,
NORTH CAROLINA

Print Record

21 NOV 2025	CLIENT REVIEW
12 DEC 2025	CLIENT REVIEW
02 JAN 2026	CLIENT REVIEW
08 JAN 2026	CLIENT REVIEW
12 JAN 2026	CLIENT REVIEW
23 JAN 2026	CLIENT REVIEW
27 FEB 2026	ZONING BOARD REVIEW

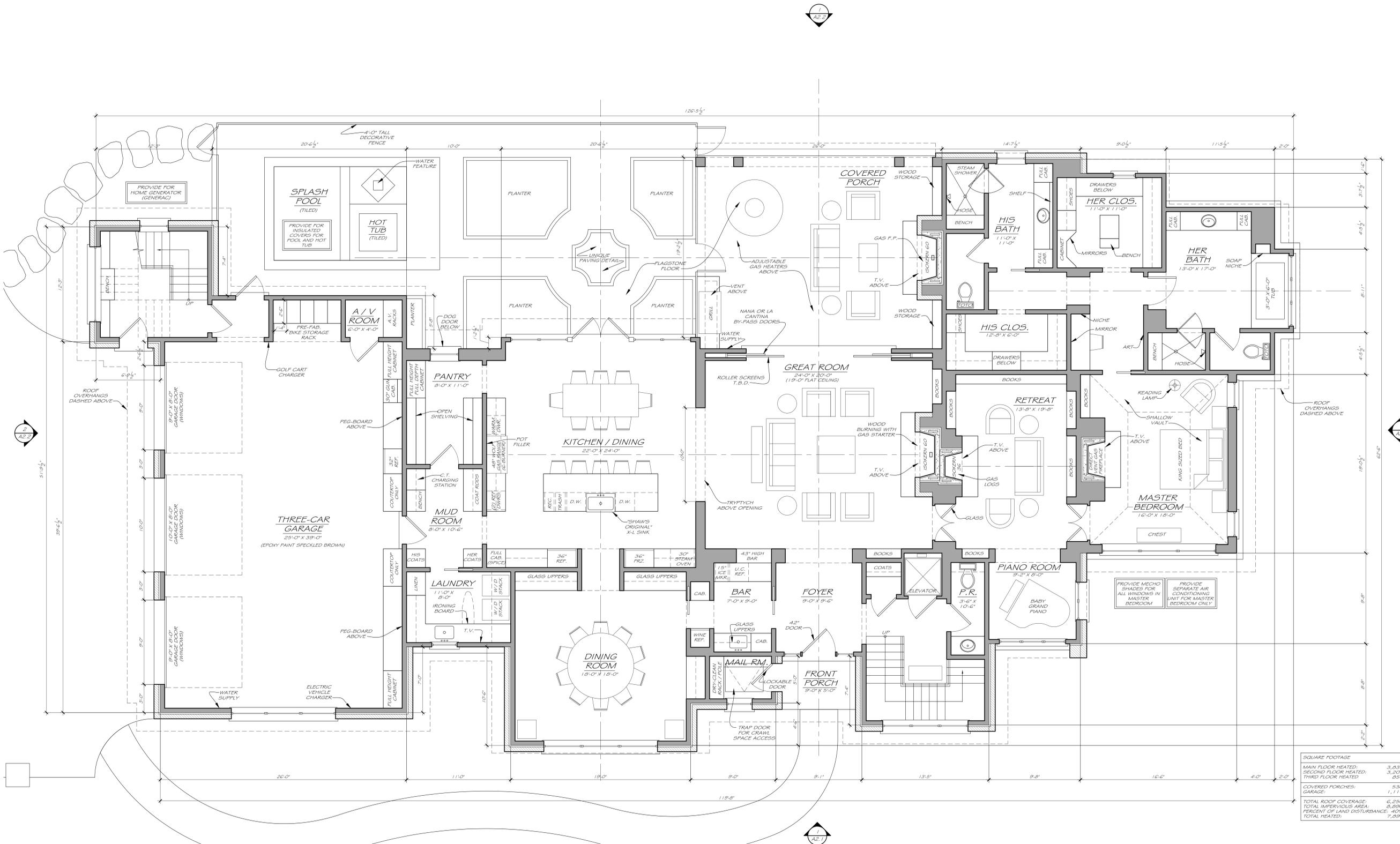
Date: 18 SEP 2025
Project #: 2510

□ Half-Size Plot

MAIN
FLOOR PLAN

A1.2

□ Released for Construction
■ Not Released for Construction



SQUARE FOOTAGE	
MAIN FLOOR HEATED:	3,835
SECOND FLOOR HEATED:	3,029
THIRD FLOOR HEATED:	855
COVERED PORCHES:	
GARAGE:	1,119
TOTAL ROOF COVERAGE:	6,250
TOTAL IMPERVIOUS AREA:	8,900
PERCENT OF LAND DISTURBANCE:	40%
TOTAL HEATED:	7,895

1 MAIN FLOOR PLAN
Scale: 1/4" = 1'-0"

This drawing is the property of Wright Design and is not to be reproduced or copied in whole or in part. The dimension of which are 24" x 36". It is only to be used for the project and site specifically identified herein and is not to be used on any other project without written permission from the Architect. The Contractor is responsible for verifying all field measurements, quantities, dimensions and related field construction criteria.

Note to Contractor:
Any discrepancies, inconsistencies or ambiguities found between the drawings, specifications & site conditions shall be immediately reported to the architect in writing. The architect will promptly correct the same in writing. Work done by the contractor after discovery of such discrepancies, inconsistencies or ambiguities shall be done at the contractor's risk.

This set of architectural drawings is provided as is, per the contract between the Client/Owner and Wright Design, and does not include any engineering drawings or specifications for structural, HVAC, mechanical, electrical or plumbing systems. It is the express responsibility of the Client/Owner and/or the contractor to determine or secure appropriate contractors to provide this information as it relates to construction of the home represented in these drawings. Wright Design shall not be held responsible for damages that may result from changes to these drawings made by the contractor on site during the construction process. Neither is Wright Design responsible for decisions made by the Client/Owner or contractor regarding details or design elements outside the scope of the contracted drawings as provided.

THE
BOUCHARD
RESIDENCE
LOT #7
BILTMORE FOREST,
NORTH CAROLINA

Print Record

21 NOV 2025	CLIENT REVIEW
12 DEC 2025	CLIENT REVIEW
02 JAN 2026	CLIENT REVIEW
08 JAN 2026	CLIENT REVIEW
12 JAN 2026	CLIENT REVIEW
23 JAN 2026	CLIENT REVIEW
27 FEB 2026	ZONING BOARD REVIEW

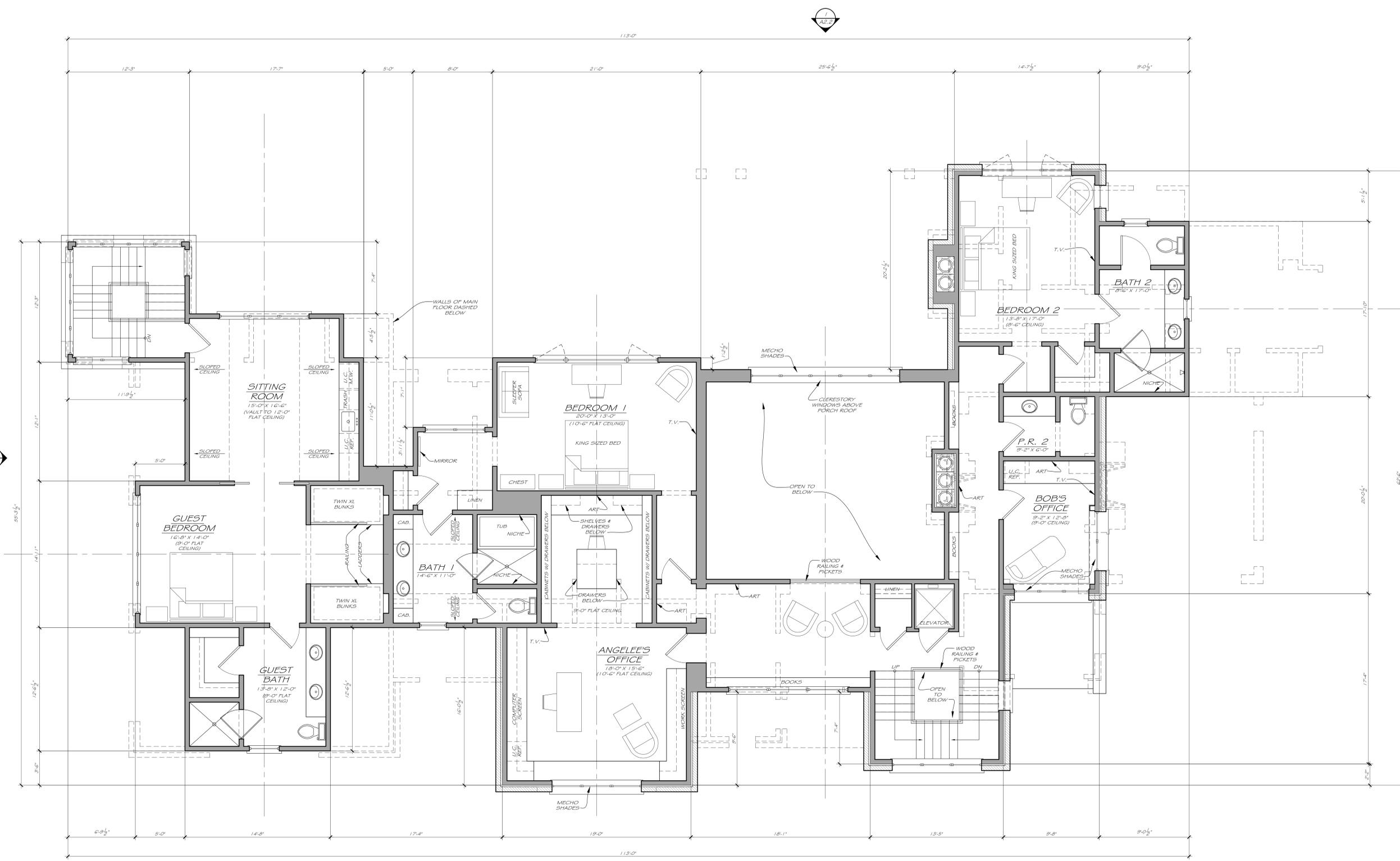
Date: 18 SEP 2025
Project #: 2510

Half-Size Plot

SECOND
FLOOR PLAN

A1.3

Released for Construction
 Not Released for Construction



1 SECOND FLOOR PLAN
Scale: 1/4" = 1'-0"

This drawing is the property of Wright Design and is not to be reproduced or copied in whole or in part. The dimension of which are 24" x 36". It is only to be used for the project and site specifically identified herein and is not to be used on any other project without written permission from the Architect. The Contractor is responsible for verifying all field measurements, quantities, dimensions and related field construction criteria.

Note to Contractor:
Any discrepancies, inconsistencies or ambiguities found between the drawings, specifications & site conditions shall be immediately reported to the architect in writing. The architect will promptly correct the same in writing. Work done by the contractor after discovery of such discrepancies, inconsistencies or ambiguities shall be done at the contractor's risk.

This set of architectural drawings is provided as is, per the contract between the Client/Owner and Wright Design, and does not include any engineering drawings or specifications for structural, HVAC, mechanical, electrical or plumbing systems. It is the express responsibility of the Client/Owner and/or the contractor to determine or secure appropriate contractors to provide this information as it relates to construction of the home represented in these drawings. Wright Design shall not be held responsible for damages that may result from changes to these drawings made by the contractor on site during the construction process. Neither is Wright Design responsible for decisions made by the Client/Owner or contractor regarding details or design elements outside the scope of the contracted drawings as provided.

THE
BOUCHARD
RESIDENCE
LOT #7
BILTMORE FOREST,
NORTH CAROLINA

Print Record

21 NOV 2025	CLIENT REVIEW
12 DEC 2025	CLIENT REVIEW
02 JAN 2026	CLIENT REVIEW
08 JAN 2026	CLIENT REVIEW
12 JAN 2026	CLIENT REVIEW
23 JAN 2026	CLIENT REVIEW
27 FEB 2026	ZONING BOARD REVIEW

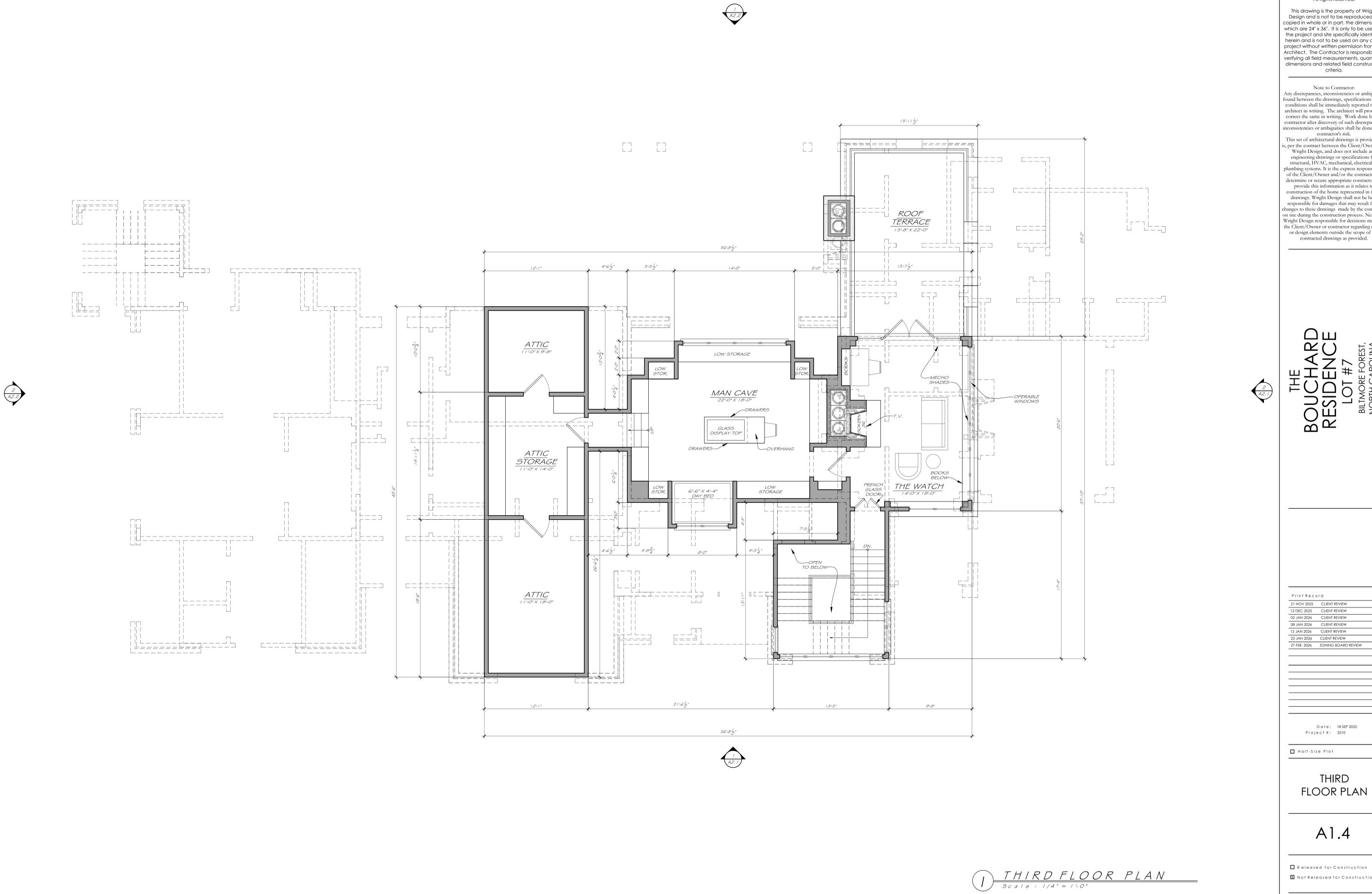
Date: 18 SEP 2025
Project #: 2510

Half-Size Plot

THIRD
FLOOR PLAN

A1.4

Released for Construction
 Not Released for Construction



1 THIRD FLOOR PLAN
Scale: 1/4" = 1'-0"

This drawing is the property of Wright Design and is not to be reproduced or copied in whole or in part. The dimension of which are 24" x 36". It is only to be used for the project and site specifically identified herein and is not to be used on any other project without written permission from the Architect. The Contractor is responsible for verifying all field measurements, quantities, dimensions and related field construction criteria.

Note to Contractor:
Any discrepancies, inconsistencies or ambiguities found between the drawings, specifications & site conditions shall be immediately reported to the architect in writing. The architect will promptly correct the same in writing. Work done by the contractor after discovery of such discrepancies, inconsistencies or ambiguities shall be done at the contractor's risk.

This set of architectural drawings is provided as is, per the contract between the Client/Owner and Wright Design, and does not include any engineering drawings or specifications for structural, HVAC, mechanical, electrical or plumbing systems. It is the express responsibility of the Client/Owner and/or the contractor to determine or secure appropriate contractors to provide this information as it relates to construction of the home represented in these drawings. Wright Design shall not be held responsible for damages that may result from changes to these drawings made by the contractor on site during the construction process. Neither is Wright Design responsible for decisions made by the Client/Owner or contractor regarding details or design elements outside the scope of the contracted drawings as provided.

THE
BOUCHARD
RESIDENCE
LOT #7
BILTMORE FOREST,
NORTH CAROLINA

Print Record

21 NOV 2025	CLIENT REVIEW
12 DEC 2025	CLIENT REVIEW
02 JAN 2026	CLIENT REVIEW
08 JAN 2026	CLIENT REVIEW
12 JAN 2026	CLIENT REVIEW
23 JAN 2026	CLIENT REVIEW
27 FEB 2026	ZONING BOARD REVIEW

Date: 18 SEP 2025
Project #: 2510

Half-Size Plot

EXTERIOR
ELEVATIONS

A2.1

Released for Construction
 Not Released for Construction



1 STREET ELEVATION
Scale: 1/4" = 1'-0"



2 NORTHEAST ELEVATION
Scale: 1/4" = 1'-0"

This drawing is the property of Wright Design and is not to be reproduced or copied in whole or in part. The dimension of which are 24" x 36". It is only to be used for the project and site specifically identified herein and is not to be used on any other project without written permission from the Architect. The Contractor is responsible for verifying all field measurements, quantities, dimensions and related field construction criteria.

Note to Contractor:
Any discrepancies, inconsistencies or ambiguities found between the drawings, specifications & site conditions shall be immediately reported to the architect in writing. The architect will promptly correct the same in writing. Work done by the contractor after discovery of such discrepancies, inconsistencies or ambiguities shall be done at the contractor's risk.

This set of architectural drawings is provided as is, per the contract between the Client/Owner and Wright Design, and does not include any engineering drawings or specifications for structural, HVAC, mechanical, electrical or plumbing systems. It is the express responsibility of the Client/Owner and/or the contractor to determine or secure appropriate contractors to provide this information as it relates to construction of the home represented in these drawings. Wright Design shall not be held responsible for damages that may result from changes to these drawings made by the contractor on site during the construction process. Neither is Wright Design responsible for decisions made by the Client/Owner or contractor regarding details or design elements outside the scope of the contracted drawings as provided.



① NORTHWEST ELEVATION
Scale: 1/4" = 1'-0"



② SOUTHWEST ELEVATION
Scale: 1/4" = 1'-0"

THE
BOUCHARD
RESIDENCE
LOT #7
BILTMORE FOREST,
NORTH CAROLINA

Print Record

21 NOV 2025	CLIENT REVIEW
12 DEC 2025	CLIENT REVIEW
02 JAN 2026	CLIENT REVIEW
08 JAN 2026	CLIENT REVIEW
12 JAN 2026	CLIENT REVIEW
23 JAN 2026	CLIENT REVIEW
27 FEB 2026	ZONING BOARD REVIEW

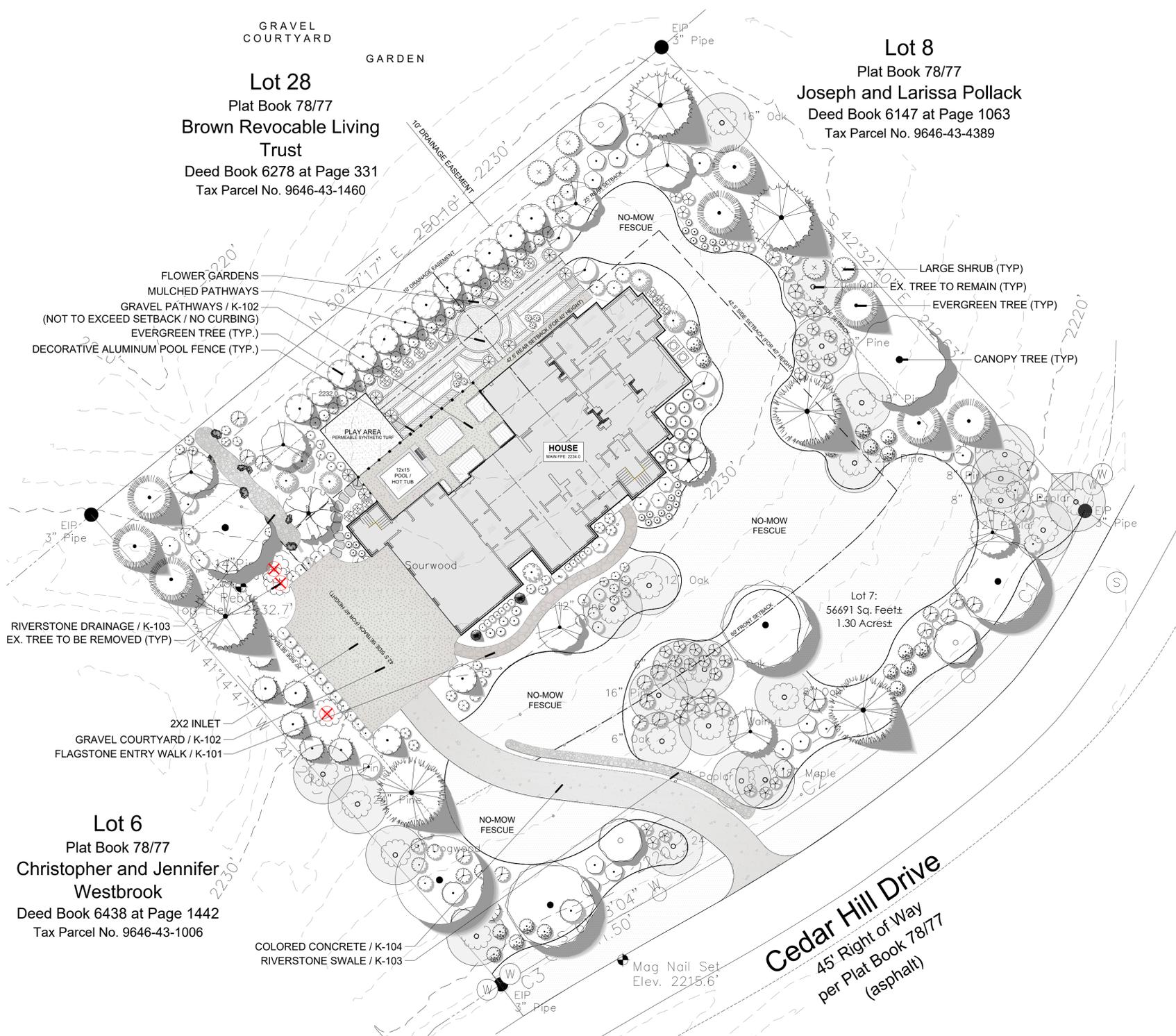
Date: 18 SEP 2025
Project #: 2510

Half-Size Plot

EXTERIOR
ELEVATIONS

A2.2

Released for Construction
 Not Released for Construction



REFERENCE NOTES SCHEDULE

SYMBOL	CODE	DESCRIPTION	QTY
ROCK			
[Symbol]	K-101	TN Craborchard Flagstone	343 sf
[Symbol]	K-102	Tennessee Nolichucky; 3/8" Gravel	2,967 sf
[Symbol]	K-103	River Rock:2-4"	574 sf
PAVING			
[Symbol]	P-101	Colored Concrete	1,711 sf

PLANT SCHEDULE

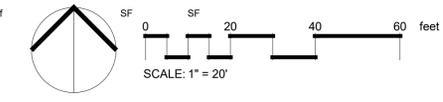
SYMBOL	QTY	BOTANICAL NAME	COMMON NAME	SIZE	CONTAINER	CALIPER
[Symbol]	1	Acer palmatum 'Bloodgood'	Bloodgood Japanese Maple	7-8' HT	20" Box	
[Symbol]	1	Acer palmatum 'Sango-kaku'	Coral Bark Japanese Maple	7-8' HT	20" Box	
[Symbol]	2	Acer rubrum 'October Glory'	October Glory Red Maple	14-16' HT	B&B	3" Cal.
[Symbol]	1	Acer saccharum 'Legacy'	Legacy Sugar Maple	14-16' HT	B&B	3" Cal.
[Symbol]	3	Cedrus deodara	Deodar Cedar	10-12' HT	B&B	
[Symbol]	4	Cercis canadensis 'Merlot'	Merlot Eastern Redbud	10-12' HT	B&B	2" Cal.
[Symbol]	2	Chamaecyparis obtusa 'Gracilis'	Slender Hinoki False Cypress	4-5' HT	B&B	
[Symbol]	3	Cornus florida 'Cherokee Princess'	Cherokee Princess Dogwood	10-12' HT	B&B	2" Cal.
[Symbol]	3	Cornus florida 'Cherokee Brave'	Cherokee Brave Dogwood	10-12' HT	B&B	2" Cal.
[Symbol]	15	Ilex x 'Nellie R. Stevens'	Nellie R. Stevens Holly	8-10' HT	B&B	
[Symbol]	3	Picea abies	Norway Spruce	10-12' HT	B&B	
[Symbol]	8	Pinus strobus	White Pine	10-12' HT	B&B	
[Symbol]	3	Quercus shumardii	Shumard Oak	14-16' HT	B&B	3" Cal.
[Symbol]	6	Thuja x 'Green Giant'	Green Giant Arborvitae	8-10' HT	B&B	

SYMBOL SHRUBS

SYMBOL	QTY	BOTANICAL NAME	COMMON NAME	SIZE	CONTAINER
[Symbol]	6	Aesculus parviflora	Bottlebrush Buckeye	30-36" HT	7 Gal.
[Symbol]	11	Azalea indica 'Mrs. G.G. Gerbing'	Mrs. G.G. Gerbing Indica Azalea	18-24" HT	7 Gal.
[Symbol]	8	Buxus x 'Green Mountain'	Green Mountain Boxwood	30-42" HT	15 Gal.
[Symbol]	12	Buxus x 'Green Velvet'	Green Velvet Boxwood	18-24" HT	10 Gal.
[Symbol]	21	Calycanthus x 'Aphrodite'	Aphrodite Sweetshrub	24-30" HT	7 Gal.
[Symbol]	4	Camellia sasanqua 'Kanjiro'	Kanjiro Camellia	30-42" HT	7 Gal.
[Symbol]	12	Cephalotaxus harringtonia 'Duke Gardens'	Duke Gardens Plum Yew	15-18" HT	3 Gal.
[Symbol]	1	Edgeworthia chrysantha	Paperbush	30-36" HT	10 Gal.
[Symbol]	8	Fothergilla x intermedia 'Mount Airy'	Mount Airy Fothergilla	18-24" HT	3 Gal.
[Symbol]	5	Hydrangea paniculata 'SMHPLQF'	Little Quick Fire® Panicle Hydrangea	18-24" HT	3 Gal.
[Symbol]	9	Hydrangea paniculata 'Jane'	Little Lime® Panicle Hydrangea	15-18" HT	3 Gal.
[Symbol]	18	Hydrangea quercifolia 'Ruby Slippers'	Ruby Slippers Oakleaf Hydrangea	15-18" HT	3 Gal.
[Symbol]	17	Ilex glabra 'Compacta'	Compact Inkberry	18-24" HT	7 Gal.
[Symbol]	5	Ilex x 'Magland'	Oakland™ Holly	60"-72" HT	30 Gal.
[Symbol]	7	Itea virginica 'Sprich'	Little Henry® Sweetspire	15-18" HT	3 Gal.
[Symbol]	14	Kalmia latifolia	Mountain Laurel	30-36" HT	B&B
[Symbol]	22	Leucothoe fontanesiana 'Zebid'	Scarlet® Drooping Leucothoe	10-12" HT	3 Gal.
[Symbol]	10	Pieris japonica 'Brouwer's Beauty'	Brouwer's Beauty Japanese Pieris	30-36" HT	7 Gal.
[Symbol]	27	Prunus laurocerasus 'Otto Luyken'	Otto Luyken English Laurel	18-24" HT	7 Gal.
[Symbol]	3	Rhododendron calendulaceum	Flame Azalea	30-36" HT	B&B
[Symbol]	20	Rhododendron x 'Chionoides'	Chionoides Rhododendron	24-30" HT	10 Gal.
[Symbol]	5	Rhododendron x 'English Roseum'	English Roseum Rhododendron	24-30" HT	10 Gal.
[Symbol]	12	Rhododendron x 'P.J.M. Elite'	P.J.M. Elite Rhododendron	24-30" HT	10 Gal.
[Symbol]	15	Rosa x 'Radrazz'	Knock Out® Shrub Rose	15-18" HT	3 Gal.
[Symbol]	5	Rosmarinus officinalis 'Arp'	Arp Rosemary	1 Gal.	Pot
[Symbol]	25	Sarococca hookeriana humilis 'Sarsid1'	Fragrant Valley™ Trailing Sweetbox	10-12" HT	3 Gal.
[Symbol]	2	Syringa patula 'Miss Kim'	Miss Kim Korean Lilac	48-60" HT	15 Gal. Tree Form
[Symbol]	6	Viburnum macrocephalum	Chinese Snowball Viburnum	36-48" HT	7 Gal.

ANNUALS/PERENNIALS

SYMBOL	QTY	BOTANICAL NAME	COMMON NAME	SIZE	CONTAINER	SPACING
[Symbol]	6	Paeonia lactiflora 'Sarah Bernhard'	Sarah Bernhard Chinese Peony	2 Gal.	Pot	
[Symbol]	68	Alchemilla mollis 'Auisese'	Auisese Lady's Mantle	1 Gal.	Pot	24" o.c.
[Symbol]	7 flats	Annual / Herb Planting	Annual / Herb Planting	Flat		18" o.c.
[Symbol]	16,442 sf	Festuca	No-Mow Fescue	SF	seed	
[Symbol]	12	Geranium sanguineum 'Max Frei'	Max Frei Bloodred Geranium	1 Gal.	Pot	18" o.c.
[Symbol]	26	Hemerocallis x 'Happy Returns'	Happy Returns Daylily	1 Gal.	Pot	24" o.c.
[Symbol]	40	Lavandula angustifolia 'Hidcote'	Hidcote English Lavender	1 Gal.	Pot	18" o.c.
[Symbol]	18	Leucanthemum x superbum 'Becky'	Becky Shasta Daisy	1 Gal.	Pot	24" o.c.
[Symbol]	12	Penstemon digitalis 'Blackbeard'	Blackbeard Beardtongue	1 Gal.	Pot	24" o.c.
[Symbol]	16	Perovskia atriplicifolia 'Denim 'n Lace'	Denim 'n Lace Russian Sage	1 Gal.	Pot	36" o.c.
[Symbol]	6	Phlox paniculata 'Glamour Girl'	Glamour Girl Garden Phlox	1 gal.	Pot	24" o.c.
[Symbol]	407 sf	Turf - Artificial Turf	Artificial Turf	SF		



NOT FOR CONSTRUCTION

Bouchard Residence
Cedar Hill Dr Lot 7
TOWN OF BALTIMORE FOREST

REVISIONS:

REVISION	DESCRIPTION	DATE



BOARD OF ADJUSTMENT MEETING

STAFF MEMORANDUM

March 23, 2026

CASE

Property Address: 1 Amherst Rd
Property Owner: Brian and Hope Turner
Request: Variances for Roof Coverage and Addition into Front Setback.

Background

The property owners are presenting plans for a home renovation/addition. As part of this project, the addition would extend further into the front setback, as the home is currently located within said setback. The application also does not meet the requirements set forth in the ordinance for max roof coverage. A .62 acre lot has a max roof coverage requirement of 3067 sqft and their plan calls for a total of 3200 sqft, and therefore both will require a variance.

Variance

The proposed structure as designed is over on max roof coverage at 3200 sqft. The ordinance has a max roof coverage of 3067 sqft for a .62 acre lot. The plan also has the addition expanding into the setback. Neither the roof coverage nor the addition meet the requirements of the ordinance and therefore require a variance. Section 153.110 (D) (attached) addresses the approval requirements for a variance. Section 153.043 Maximum Roof Coverage attached also.

**153.034 LANDSCAPING AND GRADING PLANS, LAND DISTURBANCE, AND
SEDIMENTATION CONTROL.**

(A) *Plans required.* A landscaping and grading plan, as defined in the town's zoning application process, are required for any or all of the following activities.

(1) Any land-disturbing activity, such as grading projects or removal of natural vegetation, that involves the disturbance of 20% or more of the land area of any lot. Prior to commencing such activity in a public service district, any land-disturbing activity, such as grading projects or removal of natural vegetation other than routine maintenance, shall be subject to approval by the Town Board of Adjustment regardless of the area to be disturbed.

(2) Any residential construction activity that results in an addition of greater than 500 square feet of roof coverage.

(3) Any non-residential construction activity as defined in § [153.061](#).

(B) All landscape and grading plans shall demonstrate compliance with the town's tree protection and preservation regulations as found in §§ 153.050 through 153.059 and § [153.061](#)(C) for existing residential and non-residential tree maintenance and new construction activities, respectively.

(C) *Pre-construction conference and supervision.*

(1) Prior to the commencement of any pre-construction land-clearing or soil disturbance, a pre-construction conference will take place between a representative of the town and the applicant to review procedures for protection and management of protected trees and other landscape elements identified in the approved landscape plan. The applicant will designate one or more persons responsible for ensuring the protection of new or existing landscaping elements to be preserved. The responsible person shall be present on site whenever activity is taking place that could damage or disturb such landscape elements, and will notify the Ordinance Administrator that such activity is taking place.

(2) The applicant shall provide the following at least seven days prior to the pre-construction conference.

(a) Approved landscaping plan, showing all protected and unprotected trees to be removed, and all replacement trees to be planted.

(b) Chart showing the quantity of trees, scientific species name, and tree designation (protected, unprotected, or tree of preference) and replacement quantities required.

(c) Final grading plan showing tree preservation limits and limits of disturbance.

(D) *Construction supervision and additional compliance requirements.*

(1) The town shall have developed sites inspected periodically to ensure work is conforming to the approved landscape plan and the applicable sections of this subchapter. Prior to the commencement of any pre-construction land-clearing or soil disturbance, the developer/contractor shall be required to sign a document agreeing to abide by the conditions stipulated in this subchapter. At the option of the town, a compliance bond may be required.

(2) Compliance with G.S. § 113A-54. Where applicable, all proposed development projects or land-disturbing activities shall comply with G.S. § 113A-54, and *Rules and Regulations for Erosion and Sediment Control* as established by the State Sedimentation Control Commission, State Department of Natural Resources and Community Development.

(Ord. passed 10-19-1983; Ord. passed 6-8-2021; Ord. 2023-05, passed 10-9-2023)

153.110 (D) *Variances*. Upon application, when unnecessary hardships would result from carrying out the strict letter of a zoning ordinance, the Board of Adjustment shall vary any of the provisions of the ordinance upon a showing of all of the following:

(1) Unnecessary hardship would result from the strict application of the ordinance. It shall not be necessary to demonstrate that, in the absence of the variance, no reasonable use can be made of the property;

(2) The hardship results from conditions that are peculiar to the property, such as location, size, or topography. Hardships resulting from conditions that are common to the neighborhood or the public may not be the basis for granting a variance;

(3) The hardship did not result from actions taken by the applicant or the property owner. The act of purchasing property with knowledge that circumstances exist that may justify the granting of a variance shall not be regarded as a self-created hardship; and

(4) The requested variance is consistent with the spirit, purpose, and intent of the ordinance, such that public safety is secured, and substantial justice is achieved. (Ord. passed 10-19-1983; Ord. passed 6-8-2021)

Editor's note:

This amendatory language was passed during a Board meeting, May 14, 2014

153.043 MAXIMUM ROOF COVERAGE.

(A) (1) (a) The **MAXIMUM ROOF COVERAGE** is defined as the total area under roof, of all primary and accessory structures and buildings, on the lot. This is measured from the outside edge of the gutter, if any, vertically to the ground.

(b) The maximum roof coverage assures the total size of buildings and structures is proportional to the size of the lot.

(2) The maximum roof coverage permitted is as follows:

The below table can also be used by simply rounding up or down to the nearest lot acreage. For lots larger than five and one-half acres or for exact MRC allowances for lots falling between points in the below table, the below equation shall be used as the definitive allowance.

<i>Lot Size (Acres)</i>	<i>Max. Roof Coverage (Ft.²)</i>	<i>Lot Size (Acres)</i>	<i>Max. Roof Coverage (Ft.²)</i>	<i>Lot Size (Acres)</i>	<i>Max. Roof Coverage (Ft.²)</i>
<i>Lot Size (Acres)</i>	<i>Max. Roof Coverage (Ft.²)</i>	<i>Lot Size (Acres)</i>	<i>Max. Roof Coverage (Ft.²)</i>	<i>Lot Size (Acres)</i>	<i>Max. Roof Coverage (Ft.²)</i>
0.50	2,552	1.60	5,836	3.25	7,837
0.60	3,067	1.70	6,008	3.50	8,047

0.70	3,502	1.80	6,169	3.75	8,241
0.80	3,879	1.90	6,322	4.00	8,424
0.90	4,212	2.00	6,467	4.25	8,595
1.00	4,509	2.20	6,736	4.50	8,756
1.10	4,779	2.40	6,981	4.75	8,921
1.20	5,024	2.60	7,207	5.00	9,054
1.30	5,250	2.80	7,417	5.25	9,191
1.40	5,459	3.00	7,611	5.50	9,325
1.50	5,654				

(B) (1) *Lots exceeding six acres in size.* Multiply the lot size by 43,560; multiply this number by 3.25% (0.0325); provided, that the result is less than 9,647, structures on the lot may have maximum roof coverage of 9,647 square feet.

(2) If the result is greater than 9,647, structures on the lot may have maximum roof coverage equal to the result produced by the multiplication.

(C) All structures exceeding the maximum roof coverage for the lot on which they are located shall require approval of a variance by the Board of Adjustment in accordance with the procedures and standards set forth in § [153.110\(D\)](#).

(D) The equation which may also be used to calculate MRC is: $MRC = 2823.5 LN$ (Acreage), where 'LN' is the natural logarithm mathematical function. This may be calculated using Excel, if needed.

(Ord. 2023-04, passed 7-1-2023)

Zoning Compliance Application

Town of Biltmore Forest

Name

Rob Dull Landscape Architect

Property Address

1 Amherst Road



Parcel ID/PIN Number

964699408900000

ZONING INFORMATION

Current Zoning

R-1

Lot Size

.62 acres

Proposed Roof Coverage Total

3,200 sf

Proposed Impervious Surface Coverage

8,125 sf

Front Yard Setback

50 feet (R-2, R-3, R-4, and R-5 Districts)

Side Yard Setback

20 feet (R-1 District)

Rear Yard Setback

25 feet (R-1 District)

Building Height

25.42'

Description of the Proposed Project

Residential renovation to add carport, deck, front stoop, and some internal modifications

Estimated Start Date

4/1/2026

Estimated Completion Date

4/1/2027

Estimated Cost of Project

\$800,000.00

Supporting Documentation (Site Plan, Drawings, Other Information)

Turner Residence BF Design Review Submittal 2.20.26.pdf

Signature

Date
2/23/2026

Rob Hull, PLA

Have you paid the \$100 zoning application fee? Your permit application will not be reviewed until payment has been received. You can visit the link below to pay. Copy & paste the link in your browser.

I plan to pay in person or mail a check

Important Notice: The Town will never mail your application and/or permit information to your home. The Town will also never ask you for a wire transfer, giftcards, or any other forms of payment.

Yes, I understand that the Town will NOT reach out via mail or ask for wire transfers. If something seems off, please reach out to the Town immediately.

VARIANCE APPLICATION

Town of Biltmore Forest

Name

Laura Hudson

Address

1 Amherst Rd.

Phone

(626) 676-0569

Email

laura@lharch.com

Current Zoning/Use

Residential

Requested Use

Residential

APPLICATION REQUIREMENTS: An application to the Board of Adjustment for a variance must be submitted to the Town of Biltmore Forest Town Manager at least 21 days prior to the meeting at which the application will be considered. A pre-application meeting with Town staff is required prior to application submittal to the Board of Adjustment.

What would you like to do with your property?

On behalf of Brian and Hope Turner, we would like to submit plans to remodel and construct an addition to the existing house at 1 Amherst Rd. The current covered side porch, front porch, and rear deck will be demolished and the following will be constructed: 460 SF addition to the house, 622 SF attached carport, 120 SF front porch, 210 SF screen porch, and 730 SF deck. The existing front entry stoop (located in the front setback) will be demolished and rebuilt with a larger entry and roof that are better proportioned to work with the house's front facade. The detailing at the gabled roof will tie into the new carport's gable.

What does the ordinance require?

The ordinance requires BOA approval for site walls, hardscape, and driveway paving in the front setback. In addition, a fire pit will be located in the rear yard setback. One variance will be required for exceeding the roof coverage by 4% and a second will be required because the addition will encroach into the front setback. The house/ site is considered a legal non-compliant condition because the existing building does not conform to the setbacks.

BOARD OF ADJUSTMENT: N.C.G.S. 160A-388(D) requires that the Board of Adjustment shall vary the provisions of the Zoning Ordinance only upon a showing of ALL the items below. The Board of Adjustment must follow strict procedure and all determinations must be decided by a concurring vote of four-fifths of the members of the Board. It is important to provide detailed supporting documentation for the Board of Adjustment to review. If necessary, additional sheets may be attached to this application.

REQUIRED FINDINGS: Please provide a thorough response to each.**Unnecessary hardship would result from the strict application of the ordinance.**

If strict application of the ordinance were applied with the 60' front setback from Amherst instead of Browntown, the buildable area would be 40' x 150' or only 22% of the site. The existing house is currently encroaches between 7-11 feet into the front setback, so that any new construction in line with the existing house will also encroach into the setback. A new addition is not feasible because the existing house is non-compliant.

The hardship results from conditions that are peculiar to the property, such as location, size, or topography.

The property is considered legal non-conforming because it was not built according to the Biltmore Forest's required setbacks. The lot was designed to "front" on Browntown, but the house was constructed to front Amherst. The survey shows a 30' side setback from Amherst because the lot is oriented toward Browntown, but Biltmore Forest interprets Amherst as the "front" and the setback should be 60' at this boundary. Because the existing house does not comply, any reasonable addition to the side of the house will also encroach into the setback. In addition, because the front setback occurs on the long, "side" portion of the parcel, there is less room to construct the building.

The hardship did not result from actions taken by the applicant or the property owner.

The house was constructed in 1961 and has been legally non-conforming for the past 65 years. The applicant would like to expand the the house along the front facade in lin with the existing footprint and will not encroach into the side or rear setbacks with the new construction at the main structure.

The requested variance is consistent with the spirit, purpose, and intent of the ordinance, such that public safety is secured, and substantial justice is achieved.

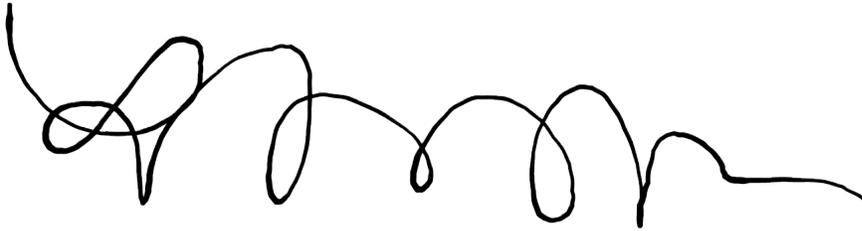
The requested variance is consistent with spirit, purpose, and intent of the ordinance in that it allows the owner's to expand the footprint of the house in a reasonable fashion that allows for the continuation of the existing rooflines in the available area at the side of the house. If the existing house did not encroach into the front setback, then neither would the addition.

I hereby certify that all of the information set forth above is true and accurate to the best of my knowledge.

Signature

Date

3/2/2026

A handwritten signature in black ink, consisting of several loops and a long horizontal stroke at the end.

Have you paid the \$300 varience application fee? Your permit application will not be reviewed until payment has been received. You can visit the link below to pay. Copy & paste the link in your browser.

I plan to pay in person or mail a check

WARNING: This email originated from outside of the Town of Biltmore Forest Network.

Hi Tony,

I have confirmed that the fire pit and the fountain on the landscape plan for 1 Amherst Rd are moveable, and will not be permanent installations. As for the front entrance, this is the language we would like to use:

The existing front entry stoop (located in the front setback) will be demolished and rebuilt with a larger entry and roof that are better proportioned to work with the house's front facade. The detailing at the gabled roof will tie into the new carport's gable.

Let me know if you need anything further. Thanks.

Laura Berner Hudson, AIA



LAURA HUDSON ARCHITECTURE

323 Broadway St. #120

Asheville, NC 28801

626.676.0569

lharch.com

DRAINAGE NOTES:

- * All area drains shall be NDS products.
 - * All horizontal drain pipes to be Sch.40 PVC or HDPE unless otherwise noted. Pipe sizes indicated on plan.
 - * All drainage pipe shall maintain a min. 2% slope and minimum 12" cover.
- AD1 - 12"x12" Area Drain
TG = 55.25
- AD2 - 12"x12" Area Drain
TG = 51.25
- AD3 - 12"x12" Area Drain
TG = 49.25
- AD4 - 12"x12" Area Drain
TG = 48.25
- AD5 - 12"x12" Area Drain
TG = 50.5

PIN NUMBER: 964699408900000

PROPERTY OWNER:
BRIAN MILLS TURNER IRREVOCABLE TRUST

PROPERTY ADDRESS:
1 AMHERST LANE
BILTMORE FOREST, NC 28803

JURISDICTION:
TOWN OF BILTMORE FOREST

TOTAL SIZE OF PROPERTY:
.63 ACRES

NEW DISTURBED AREA:
2,650 SF (.06 ACRE)

BUILDING HEIGHT:
MAX ROOF RIDGE = 2277.375

AVERAGE BUILDING HEIGHT = 25.42'

STRUCTURE SIZE = 3,707.5 SF

ROOF COVERAGE:
**SEE ARCHITECTURAL PLANS

IMPERVIOUS COVERAGE:
ALLOWED = 9,708 SF
PROPOSED = 8,125 SF



CONSULTANTS



TURNER RESIDENCE

1 AMHERST LANE
BILTMORE FOREST, NC

PREPARED FOR:
HOPE AND BRIAN TURNER

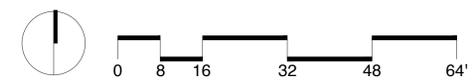
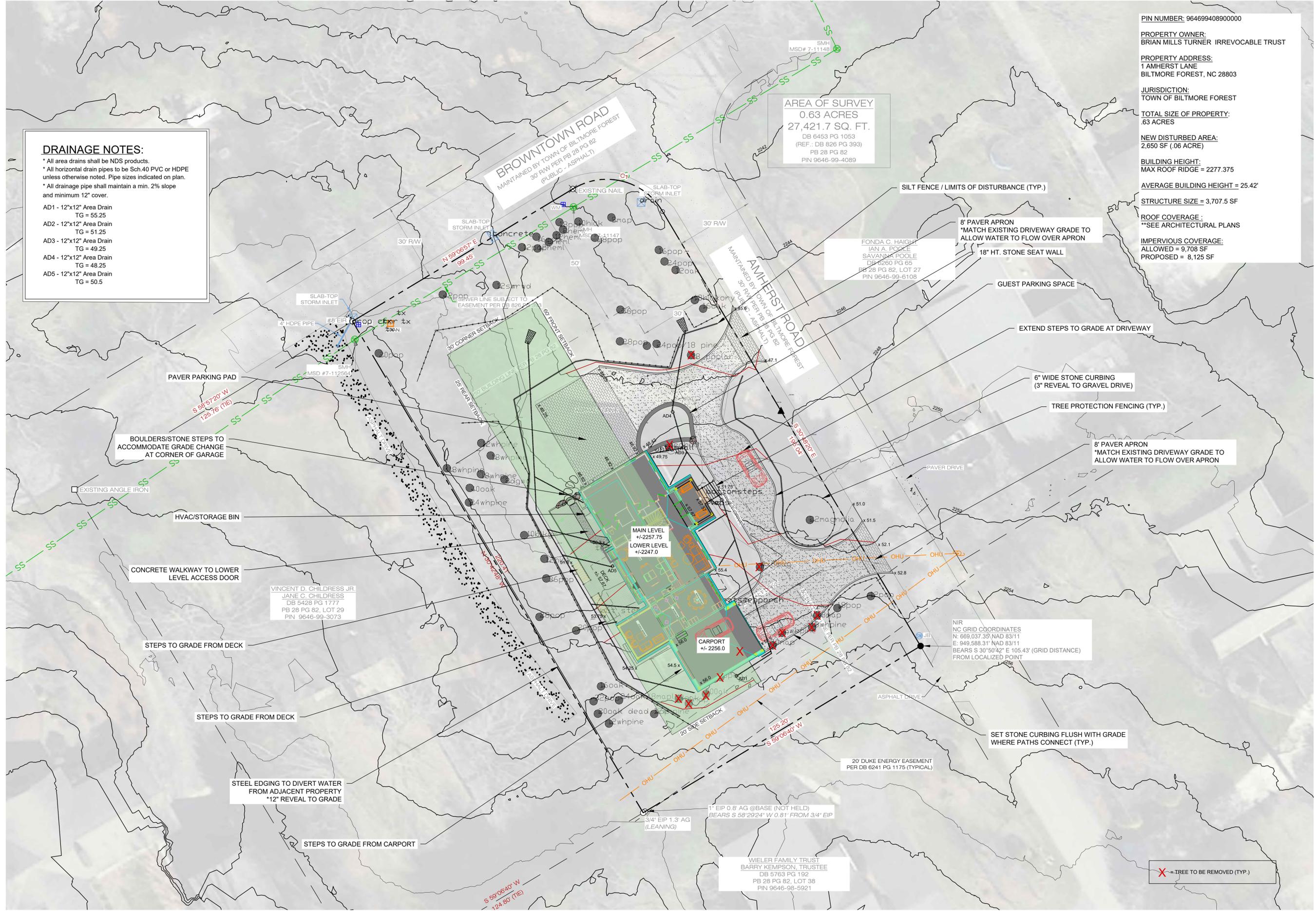
SITE DEVELOPMENT PLAN

PLAN SET

#	DATE	DESCRIPTION
1	11.20.25	BASE
2	12.11.25	SCHEMATIC
3	12.26.25	SITE PLAN
4	2.19.26	SITE PLAN
5	2.26.26	SITE PLAN

SHEET NO.

L-100



NOT FOR CONSTRUCTION

250703

TURNER RESIDENCE

1 AMHERST RD.
ASHEVILLE, NC
28803

DIRECTORY:
CLIENT:
BRIAN & HOPE TURNER
hopeforsigns@gmail.com
704.804.0187

STRUCTURAL:
PATRICK DUNN
dunnstructural@gmail.com
828.7755110

LANDSCAPE ARCHITECT:
ROB DULL
828.674.5592

CONTRACTOR:
TBD

#	DESCRIPTION	DATE
---	-------------	------

CONSTRUCTION DOCUMENTATION

EXTERIOR ELEVATIONS

A2.1a

SCALE As indicated

KEYNOTE

02	PREFINISHED ALUMINUM GUTTER
03	NEW FIBER CEMENT SIDING (SD-1)
08	NEW FIBER CEMENT WINDOW TRIM (PT-3)
11	PAINT BRICK (PT-2)
35	6X6 WOOD COLUMN
40	NEW SCREEN PORCH
77	NEW ASPHALT SHINGLE ROOF
79	NEW PRE-MANUFACTURED PERGOLA INTEX CLASSIC LEDGER MOUNT
81	NEW ADDITION WITH WINDOWS
82	NEW ALUMINUM CLAD WOOD WINDOWS
87	NEW STAIRS
88	NEW PRE-MANUFACTURED COLUMNS W/INTEX FULL PANEL RECESSED WRAP
91	NEW PVC MOULDING
92	NEW WROUGHT IRON RAILING

MATERIAL LEGEND

- 1t WINDOW TAG
SEE WINDOW SCHEDULE
- 101 DOOR TAG
SEE DOOR SCHEDULE
- ? KEYNOTE TAG
- WT-1 MATERIAL TAG



2 NORTH ELEVATION
1/4" = 1'-0"



1 EAST ELEVATION
1/4" = 1'-0"



2 SOUTH ELEVATION
1/4" = 1'-0"



1 WEST ELEVATION
1/4" = 1'-0"

KEYNOTE

02	PREFINISHED ALUMINUM GUTTER
03	NEW FIBER CEMENT SIDING (SD-1)
11	PAINT BRICK (PT-2)
40	NEW SCREEN PORCH
77	NEW ASPHALT SHINGLE ROOF
82	NEW ALUMINUM CLAD WOOD WINDOWS
88	NEW PRE-MANUFACTURED COLUMNS W/INTEX FULL PANEL RECESSED WRAP

MATERIAL LEGEND

1t	WINDOW TAG SEE WINDOW SCHEDULE
101	DOOR TAG SEE DOOR SCHEDULE
?	KEYNOTE TAG
WT-1	MATERIAL TAG



Laura Hudson Architecture

323 Broadway St.
Suite 120
Asheville, NC 28801
626.676.0569

lharch.com

NOT FOR CONSTRUCTION

250703

TURNER RESIDENCE

1 AMHERST RD.
ASHEVILLE, NC
28803

DIRECTORY:
CLIENT:
BRIAN & HOPE TURNER
hopeforsigns@gmail.com
704.804.0187

STRUCTURAL:
PATRICK DUNN
dunnstructural@gmail.com
828.7755110

LANDSCAPE ARCHITECT:
ROB DULL
828.674.5592

CONTRACTOR:
TBD

#	DESCRIPTION	DATE
---	-------------	------

CONSTRUCTION DOCUMENTATION

EXTERIOR ELEVATIONS

A2.2a

SCALE As indicated

DRAINAGE NOTES:

- * All area drains shall be NDS products.
 - * All horizontal drain pipes to be Sch.40 PVC or HDPE unless otherwise noted. Pipe sizes indicated on plan.
 - * All drainage pipe shall maintain a min. 2% slope and minimum 12" cover.
- AD1 - 12"x12" Area Drain
TG = 55.25
- AD2 - 12"x12" Area Drain
TG = 51.25
- AD3 - 12"x12" Area Drain
TG = 49.25
- AD4 - 12"x12" Area Drain
TG = 48.25
- AD5 - 12"x12" Area Drain
TG = 50.5

PIN NUMBER: 964699408900000

PROPERTY OWNER:
BRIAN MILLS TURNER IRREVOCABLE TRUST

PROPERTY ADDRESS:
1 AMHERST LANE
BILTMORE FOREST, NC 28803

JURISDICTION:
TOWN OF BILTMORE FOREST

TOTAL SIZE OF PROPERTY:
.63 ACRES

NEW DISTURBED AREA:
2,650 SF (.06 ACRE)

BUILDING HEIGHT:
MAX ROOF RIDGE = 2277.375

AVERAGE BUILDING HEIGHT = 25.42'

STRUCTURE SIZE = 3,707.5 SF

ROOF COVERAGE:
ALLOWED = 3,220 SF
PROPOSED = 3,200 SF

IMPERVIOUS COVERAGE:
ALLOWED = 9,708 SF
PROPOSED = 8,125 SF



CONSULTANTS



TURNER RESIDENCE

1 AMHERST LANE
BILTMORE FOREST, NC

PREPARED FOR:
HOPE AND BRIAN TURNER

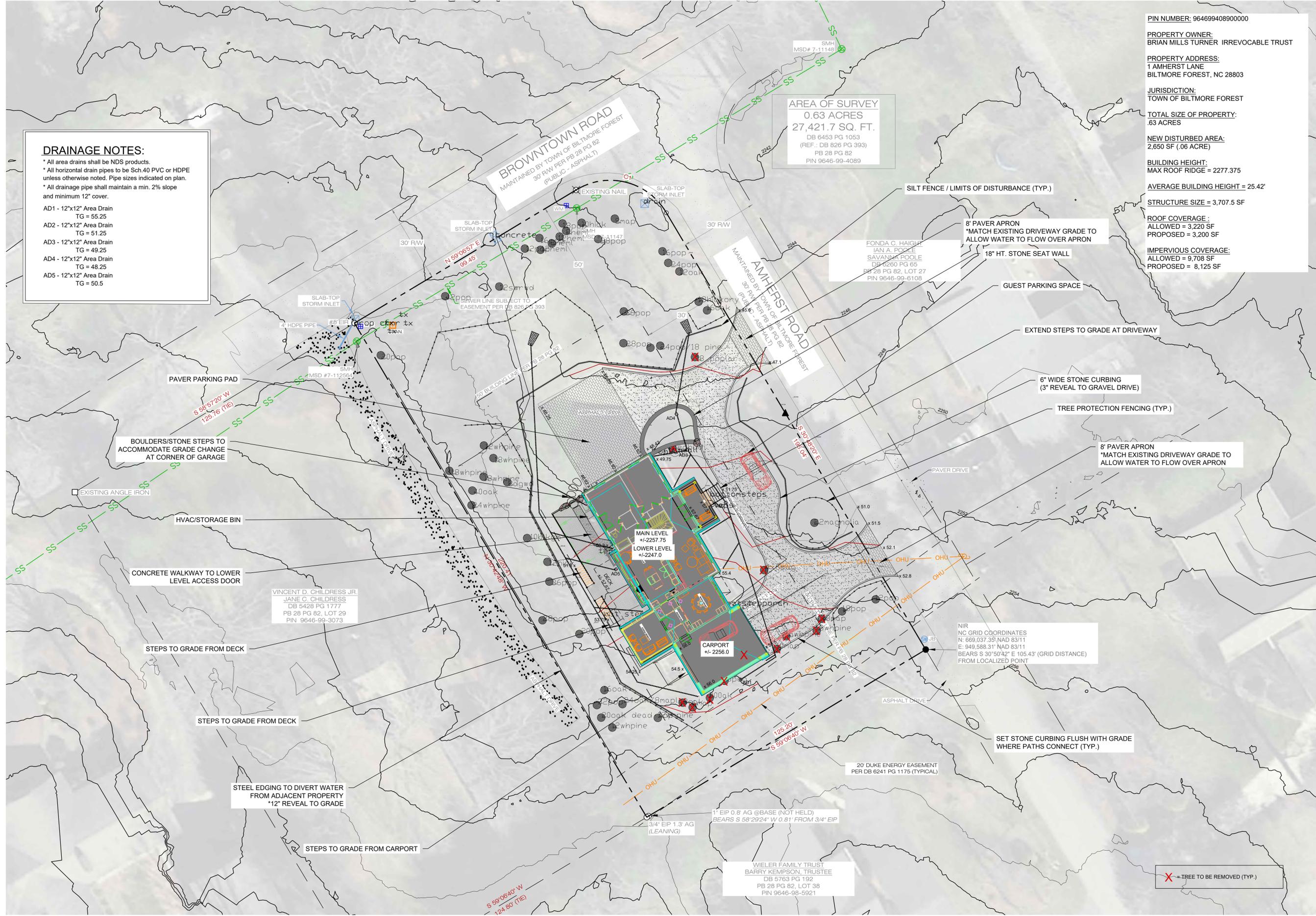
SITE DEVELOPMENT PLAN

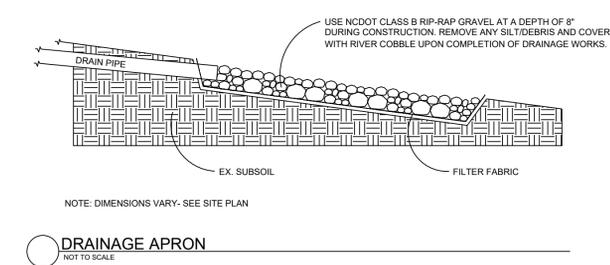
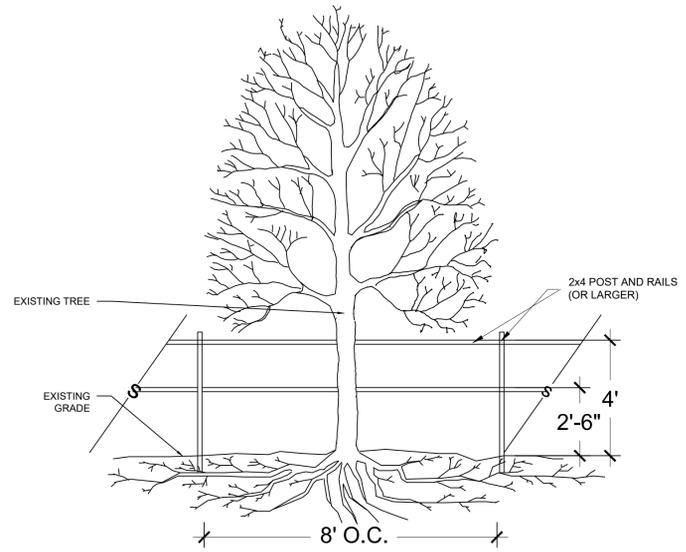
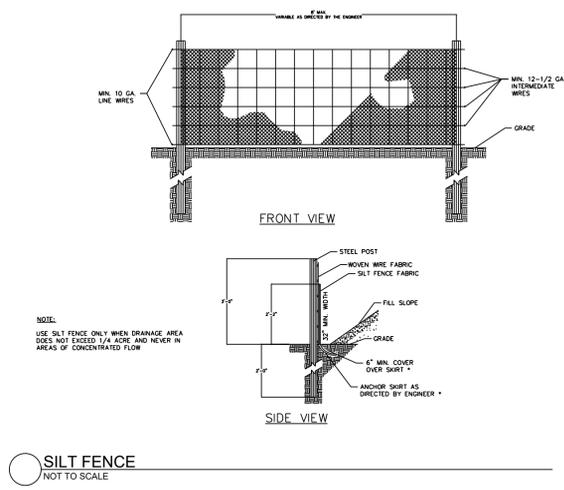
PLAN SET

#	DATE	DESCRIPTION
1	11.20.25	BASE
2	12.11.25	SCHEMATIC
3	12.26.25	SITE PLAN
4	2.19.26	SITE PLAN

SHEET NO.

L-100





General Notes

- DO NOT SCALE FROM DRAWING. LAYOUT TO BE DONE BY SURVEYOR USING AUTOCAD GENERATED COORDINATE DATA.
- LAYOUT SITE ELEMENTS IN THE FIELD PRIOR TO CONSTRUCTION AND OBTAIN ARCHITECT'S APPROVAL PRIOR TO PROCEEDING.
- CONTACT ARCHITECT IMMEDIATELY IF LAYOUT CONFLICTS OR AMBIGUITIES ARISE.
- GRADING CONTRACTOR SHALL MEET WITH ARCHITECT ON SITE TO REVIEW CLEARING, DEMOLITION AND GRADING PRIOR TO STARTING WORK.
- ANY EXCESS MATERIAL REMAINING FROM PROJECT EXCAVATION SHALL BE LEGALLY DISPOSED OF OFF-SITE BY THE CONTRACTOR.
- ANY IMPORTED FILL MATERIAL SHALL BE EVALUATED AND APPROVED BY A GEOTECHNICAL ENGINEER FOR ITS INTENDED PURPOSE. PLACE FILL MATERIAL IN 8 INCH LIFTS AND COMPACT TO 95% STANDARD PROCTOR MINIMUM.
- HVAC UNIT LOCATION IS CONCEPTUAL. CONFIRM WITH BUILDER/INSTALLER.
- MATCH PROPOSED GRADES SMOOTHLY WITH EXISTING GRADES.
- THE CONTRACTOR SHALL ENSURE POSITIVE DRAINAGE AWAY FROM BUILDING DURING ALL PHASES OF CONSTRUCTION.
- ALL HORIZONTAL DRAINAGE PIPE TO BE SCH. 40 PVC UNLESS OTHERWISE NOTED. MAINTAIN AT LEAST 2% SLOPE ON ALL PIPES.
- COORDINATE DOWNSPOUT LOCATIONS WITH ARCHITECT/BUILDER.
- THE CONTRACTOR SHALL BE RESPONSIBLE FOR LOCATING AND PROTECTING EXISTING UTILITIES AND STRUCTURES UNTIL ALL CONSTRUCTION IS COMPLETE. THE CONTRACTOR SHALL BE RESPONSIBLE FOR ALL DAMAGES MADE TO EXISTING FACILITIES AND STRUCTURES.
- THE CONTRACTOR SHALL EXTEND ALL REQUIRED UTILITIES (WATER, SEWER, GAS, ELECTRIC, TELEPHONE, CABLE TV, ETC.) IN COORDINATION WITH UTILITY COMPANIES AND ARCHITECT.
- CALL ARCHITECT IMMEDIATELY IF ANY PROPOSED OR EXISTING CONDITIONS CONFLICT WITH UTILITIES.
- EROSION CONTROL MEASURES ARE GENERAL IN NATURE. CONTRACTOR IS RESPONSIBLE FOR ADDITIONAL MEASURES AS REQUIRED TO PREVENT ON- OR OFF-SITE RUNOFF AND EROSION.
- ALL INLETS SHALL HAVE TEMPORARY INLET PROTECTION INSTALLED IMMEDIATELY AFTER INLET HAS BEEN CONSTRUCTED.
- LANDSCAPE CONTRACTOR SHALL BE NOTIFIED TWO WEEKS IN ADVANCE OF ANY GRADING WORK TO SCHEDULE PLANT RESCUE AND STAGING OF EXISTING MATERIAL (FLAME AZALEAS, MTN LAUREL, RHODI, ETC...)
- CONTRACTOR IS RESPONSIBLE FOR WEEKLY INSPECTION OF ALL EROSION AND SEDIMENT CONTROL MEASURES. COMPLETE NEEDED REPAIRS IMMEDIATELY. MAINTAIN SEDIMENT FENCE BY CLEANING OUT SEDIMENT BEFORE IT REACHES HALF FULL. CONTRACTOR SHALL INSPECT ALL EROSION CONTROL DEVICES FOLLOWING ALL RAIN EVENTS.
- ALL DIMENSIONS ARE TO FACE OF CURB, WALL OR EDGE OF PAVEMENT UNLESS OTHERWISE NOTED
- REMOVE ALL TEMPORARY EROSION CONTROLS AFTER DISTURBED AREAS HAVE BEEN STABILIZED AND COMPLETED. REPAIR AREAS DISTURBED BY REMOVAL OF TEMPORARY EROSION CONTROL DEVICES.
- ALL PROPOSED STORM DRAIN LINES SHALL HAVE A MIN. OF 12" COVER UNLESS NOTED OTHERWISE.
- THE CONTRACTOR SHALL PROVIDE FINISHED GRADES AS SHOWN ON THE PLAN WITHIN A 1/2" TOLERANCE.
- ALL TREES, UNDERSTORY AND OTHER VEGETATION TO REMAIN SHALL BE PROTECTED FROM INJURY DURING ANY LAND CLEARING AND CONSTRUCTION PROCESS.
- THE CONTRACTOR SHALL NOT PARK VEHICLES, STORE MATERIALS OR TRENCH WITHIN THE DRIPLINE OF TREES TO REMAIN, OR WITHIN BARRIERS PROTECTING ANY VEGETATION TO REMAIN.
- THE CONTRACTOR SHALL NOT CAUSE OR ALLOW THE CLEANING OF EQUIPMENT OR THE STORAGE OR DISPOSAL OF MATERIALS SUCH AS PAINTS, SOLVENTS, ASPHALT, CONCRETE, OR ANY OTHER MATERIAL THAT MAY DAMAGE THE HEALTH OF VEGETATION WITHIN THE DRIPLINE OF ANY PROTECTED VEGETATION.
- A TEMPORARY TREE PROTECTION BARRIER FENCE SHALL BE INSTALLED AS SHOWN ON PLAN. TREE BARRIERS SHALL REMAIN THROUGHOUT THE ENTIRE CONSTRUCTION PROCESS.
- SEE ARCHITECTURAL DRAWINGS FOR ALL BUILDING DIMENSIONS.
- ALL DISTURBED SOILS NOT COVERED BY STONE OR MULCH SHALL BE TEMPORARILY SEEDED WITH CREEPING RED FESCUE AT 6 LBS. PER 1000SF.
- WHEN FEASIBLE, TOPSOIL SHALL BE HARVESTED AND STORED ON-SITE FOR USE BY LANDSCAPE CONTRACTOR.
- CONTRACTOR SHALL PROVIDE EROSION CONTROL FABRIC IN SWALE ALONG ENTRY DRIVE IMMEDIATELY AFTER GRADING IS COMPLETE.
- ANY TEMPORARY ROADS OR CONSTRUCTION PATHS AROUND STRUCTURE SHALL BE COVERED WITH 4" SHREDDED MULCH IMMEDIATELY AFTER GRADING.
- INSTALL EROSION CONTROL FABRIC EQUIVALENT TO NAGREEN SC150 ON ALL CUT AND FILL SLOPES THAT EXCEED 4:1 RATIO.
- CONTRACTOR IS RESPONSIBLE FOR ALL SITE DEBRIS.
- TRASH AND RECYCLING BINS TO BE KEPT IN THE GARAGE.

EROSION CONTROL CONSTRUCTION SEQUENCE:
 1. STAKE ALL EROSION CONTROL BARRIER FENCING PARAMETERS FOR APPROVAL FROM ARCHITECT/LANDSCAPE ARCHITECT.
 2. INSTALL SILT FENCE, BARRIER FENCE, AND TREE PROTECTION FENCING BEFORE ANY GRADING ACTIVITY BEGINS.
 3. INSTALL TEMPORARY CONSTRUCTION ENTRY IMMEDIATELY FOLLOWING ROUGH GRADING OF DRIVEWAY IF REQUIRED.
 4. ALL DOWNSPOUT PIPING AND SURFACE DRAINAGE ELEMENTS SHALL BE INSTALLED IMMEDIATELY PRIOR TO FINAL SURFACING OF DRIVEWAY TO ENSURE THAT ONLY CLEAN WATER IS CARRIED TO THE PROPOSED DRAINAGE APRONS.
 5. ONCE ALL DISTURBED SOILS HAVE BEEN MULCHED OR HAVE SIGNIFICANT COVERAGE FROM FINAL SEEDING, SILT FENCING SHALL BE REMOVED BY G.C.
 6. IT IS THE RESPONSIBILITY OF THE GENERAL CONTRACTOR TO INSPECT AND MAINTAIN ALL EROSION CONTROL MEASURES AS SPECIFIED ON THE SITE PLAN.

TURNER RESIDENCE
 1 AMHERST LANE
 BILTMORE FOREST, NC
 PREPARED FOR:
 HOPE AND BRIAN TURNER
SITE DEVELOPMENT DETAILS

PLAN SET		
#	DATE	DESCRIPTION
1	11.20.25	BASE
2	12.11.25	SCHEMATIC
3	12.26.25	SITE PLAN
4	2.19.26	SITE DETAILS

TURNER RESIDENCE



SHEET LIST	
SHEET #	SHEET NAME
00 COVER	
G.0	COVER SHEET
05 ARCHITECTURE	
A0.1-1	SITE PLAN
A1.1a	FLOOR PLAN - LEVEL 1
A1.2a	FLOOR PLAN - LEVEL 2
A1.3	ROOF PLAN
AD1.1	DEMO PLAN - LEVEL 1
AD1.2	DEMO PLAN - LEVEL 2
A2.1a	EXTERIOR ELEVATIONS
A2.2a	EXTERIOR ELEVATIONS
A3.1	BUILDING SECTIONS
A3.2	BUILDING SECTIONS
A4.0	ENLARGED PRIMARY BATH
A4.1	ENLARGED PLANS & INTERIOR ELEVATIONS
A4.2	ENLARGED PLANS & INTERIOR ELEVATIONS
A7.2	DOOR & WINDOW SCHEDULE
TOTAL: 15	



Laura Hudson Architecture

323 Broadway St.
Suite 120
Asheville, NC 28801
626.676.0569

lharch.com

NOT FOR CONSTRUCTION

250703

TURNER RESIDENCE

1 AMHERST RD.
ASHEVILLE, NC 28803

DIRECTORY:
CLIENT:
BRIAN & HOPE TURNER
hopeforsigns@gmail.com
704.804.0187

STRUCTURAL:
PATRICK DUNN
dunnstructural@gmail.com
828.7755110

LANDSCAPE ARCHITECT:
ROB DULL
828.674.5592

CONTRACTOR:
TBD

B Contractor 01.30.26

#	DESCRIPTION	DATE
CONSTRUCTION DOCUMENTATION		
COVER SHEET		
G.0		
SCALE		1/8" = 1'-0"

CONSTRUCTION DOCUMENTATION

COVER SHEET

G.0

SCALE 1/8" = 1'-0"

GENERAL NOTES

DRAWINGS / SPECIFICATIONS NOTES:

- THESE PLANS ARE THE PROPERTY OF LAURA HUDSON ARCHITECTURE, PLLC (LHA). USE OR COPY IS PERMITTED BY CONTRACT ONLY. ANY REVISIONS TO THESE PLANS, REGARDLESS OF SCOPE WITHOUT WRITTEN PERMISSION OF LHA IS PROHIBITED AND SHALL THEREBY ABSOLVE LHA FROM ANY LIABILITY CLAIMS, SUITS, OR LITIGATION BY ANY INTEREST PARTIES IN THE PROJECT. THE CONSTRUCTION DOCUMENTS ARE PROVIDED TO ILLUSTRATE THE DESIGN DESIRED AND IMPLY THE FINEST QUALITY WORKMANSHIP THROUGHOUT. ANY DESIGN OR DETAIL WHICH APPEARS TO BE INCONSISTENT WITH THE ABOVE SHOULD BE IMMEDIATELY BROUGHT TO THE ATTENTION OF THE ARCHITECT BY THE CONTRACTOR.
- ALL WORKMANSHIP AND MATERIALS SHALL CONFORM TO THE CURRENT EDITION OF THE BUILDING CODE, LAWS, ORDINANCES AND REGULATIONS OF ALL GOVERNMENTAL BODIES WITH JURISDICTION OVER THE PROJECT.
- DIMENSIONS ON DRAWINGS ARE TO FACE OF STRUCTURE UNLESS OTHERWISE NOTED.
- FLOOR ELEVATIONS ARE TO TOP OF FINISH FLOOR.
- DO NOT SCALE DRAWINGS. DIMENSIONS SHALL GOVERN AND LARGE SCALE DETAILS SHALL GOVERN OVER SMALLER SCALE DRAWINGS.
- SPECIFIC NOTES AND DETAILS SHALL TAKE PRECEDENCE OVER GENERAL NOTES AND TYPICAL DETAILS. SPECIFIC NOTES ON DETAILS APPLY TO SIMILAR CONDITIONS.
- REFERENCE TO ANY DETAIL OR DRAWING IS FOR CONVENIENCE ONLY AND DOES NOT LIMIT THE APPLICATION OF SUCH A DRAWING OR DETAIL.
- ALL DETAILS ARE TYPICAL UNLESS OTHERWISE NOTED OR REFERENCED ON ARCHITECTURAL DRAWINGS.
- THE CONTRACT DOCUMENTS INDICATE THE CONCEPT AND POTENTIAL METHOD OF EXECUTING THE WORK. FIELD MODIFICATIONS MAY BE REQUIRED AND SHALL BE PART OF THE SCOPE OF WORK. NO MODIFICATIONS FROM THE DOCUMENTS SHALL BE CONDUCTED PRIOR TO THE APPROVAL OF THE ARCHITECT AND THE OWNER.

FIELD CONDITION NOTES:

- CONTRACTOR SHALL FIELD VERIFY ALL DIMENSIONS AND SITE CONDITIONS PRIOR TO STARTING ANY WORK TO ENSURE PROPER FITTING OF WORK AND THE PROPER FITTING OF THE WORK OF OTHER TRADES.
- PROVIDE CONTINUOUS INSPECTION IN ACCORDANCE WITH THE BUILDING CODE FOR REINFORCED CONCRETE, PLACEMENT OF REINFORCING STEEL, STRUCTURAL STEEL WELDING, STRUCTURAL MASONRY, FIELD WELDING AND HIGH STRENGTH BOLTS. IT SHALL BE THE DUTY OF THE GENERAL CONTRACTOR TO SEE THAT ALL SUB-CONTRACTORS ARE FULLY INFORMED IN REGARD TO THE GENERAL CONDITIONS AND PRELIMINARY SPECIFICATIONS.

GENERAL:

- PROVIDE EMERGENCY EGRESS FROM SLEEPING ROOMS: 24" CLEAR HEIGHT MIN., 20" CLEAR WIDTH MIN., 5.7 SF MIN. AREA.
- PROVIDE CORROSION RESISTANT WEEP BELOW STUCCO A MIN. OF 4" ABOVE GRADE OR 2" ABOVE PAVED AREA.
- PROVIDE RAIN GUTTERS AND CONVEY RAIN WATER TO THE STREET.
- ALL GUARDRAILS TO BE 36" AFF WITH MAX. 4" SPACING.
- PROVIDE DAMP PROOFING FOR ALL WALLS BELOW GRADE THAT ENCLOSE USABLE SPACE.
- BUILT-IN TUBS WITH SHOWERS SHALL HAVE WATERPROOF JOINTS BETWEEN THE TUB AND THE ADJACENT WALL. PROVIDE CEMENT, FIBER CEMENT, OR GLASS MAT GYPSUM BACKER BOARD IN COMPLIANCE WITH ASTM C 1178, C 1288, OR C 1325 AND INSTALLED IN ACCORDANCE WITH MANUFACTURER RECOMMENDATIONS.
- WATER-RESISTANT GYPSUM BOARD IS PERMITTED UNDER TILE OR WALL PANELS IN OTHER WALL AND CEILING AREAS WHEN INSTALLED IN ACCORDANCE WITH GA-216 OR ASTM C 840.
- GLAZING IN HAZARDOUS LOCATIONS SHALL BE TEMPERED. INGRESS AND EGRESS DOORS, PANELS IN SLIDING OR SWINGING DOORS, GLASS TUB OR SHOWER ENCLOSURES.
- WOOD IN CONTACT WITH CONCRETE SHALL BE PRESSURE TREATED. ALL WOOD SHALL BE A MINIMUM OF 6" ABOVE FINISH GRADE.

FIRE PROTECTION:

- DRAFT STOPS SHALL BE PROVIDED WITHIN CONCEALED FLOOR-CEILING ASSEMBLY FORMED OF COMBUSTIBLE CONSTRUCTION DRAFT STOPS SHALL BE INSTALLED SO THAT THE AREA OF THE CONCEALED SPACE DOES NOT EXCEED 1,000 SF OR A HORIZONTAL DIMENSION OF 60'.
- DRAFT STOPPING MATERIALS SHALL NOT BE LESS THAN 1/2" GYPSUM BOARD, 3/8" WOOD STRUCTURAL PANEL, OR OTHER APPROVED MATERIALS ADEQUATELY SUPPORTED. ANY OPENINGS IN THE PARTITIONS SHALL BE PROTECTED BY SELF CLOSING DOORS WITH AUTOMATIC LATCHES CONSTRUCTED AS REQUIRED FOR THE PARTITIONS.

ELECTRICAL NOTES:

- SMOKE DETECTORS SHALL BE STATE FIRE MARSHALL APPROVED AND SHALL BE HARD WIRED TO THE HOUSE.
- PROVIDE SEPARATE CIRCUIT FOR INDIVIDUAL KITCHEN APPLIANCES: DISHWASHER, RANGE, DISPOSAL, ETC.
- EXTERIOR LIGHTING FOR WALKWAYS AND YARD AREAS SHALL BE WEATHER PROOF TYPES.
- ALL BASE OUTLETS SHALL BE VERTICAL, 15" AFF UNLESS OTHERWISE NOTED.
- ALL FLOOR OUTLETS SHALL BE FLUSH UNSCREW TYPE- BRASS FINISH.
- ALL SWITCHES AND RECEPTACLES TO BE "DEKORA" PADDLE TYPE.
- EXHAUST FANS SHALL PROVIDE A MIN. OF 5 COMPLETE AIR CHANGES PER HOUR.
- PROVIDE GFI PROTECTED ELECTRICAL OUTLETS WITHIN 36" OF THE EDGE OF EACH SINK BASIN. THE BATHROOM OUTLETS SHALL BE FED FROM A DEDICATED 20 AMP CIRCUIT AT THE PANEL.
- LIGHT SWITCHES TO BE VERTICAL, 48" AFF UNLESS OTHERWISE NOTED.
- SMOKE DETECTORS SHALL RECEIVE THEIR PRIMARY POWER SOURCE FROM THE BUILDING WIRING AND SHALL BE EQUIPPED WITH BATTERY BACKUP AND LOW BATTERY SIGNAL. SMOKE DETECTORS SHALL BE LOCATED IN EACH SLEEPING ROOM AND HALLWAY OR AREA GIVING ACCESS TO A SLEEPING ROOM, AND ON EACH STORY AND BASEMENT FOR HOUSES WITH MORE THAN ONE STORY.

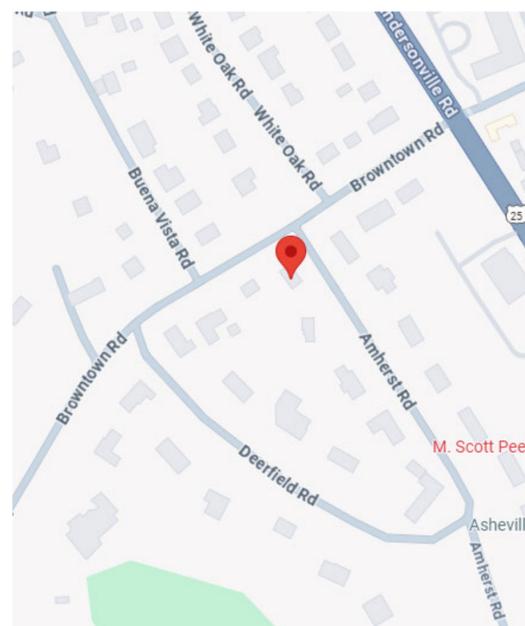
MECHANICAL NOTES:

- ROOMS CONTAINING BATHTUBS, SHOWERS, AND SIMILAR BATHING FIXTURES SHALL BE MECHANICALLY VENTILATED IN ACCORDANCE WITH THE NORTH CAROLINA MECHANICAL CODE.
- CLOTHES DRYERS SHALL BE EXHAUSTED TO THE OUTSIDE.

PLUMBING NOTES:

- PROVIDE ULTRA FLUSH WATER CLOSETS FOR ALL NEW CONSTRUCTION.
- PROVIDE 70 INCH HIGH, NON-ABSORBENT WALL ADJACENT TO SHOWER AND APPROVED SHATTER RESISTANT MATERIALS FOR SHOWER ENCLOSURES.
- COPPER WATER LINES SHALL BE TYPE "L" MINIMUM.
- SHOWER AND SHOWER TUB COMBINATIONS SHALL BE PROVIDED WITH INDIVIDUAL CONTROL VALVES OF THE PRESSURE BALANCE OR THERMOSTATIC MIXING VALVE TYPE.
- WATER-SAVING SHOWER HEADS SHALL HAVE A MAX. FLOW OF 3.0 GPM.
- WATER-SAVING SINK AND LAVATORY FAUCETS SHALL HAVE A MAX. FLOW OF 2.75 GPM.
- SEWAGE EJECTOR REQUIRES AN APPROVED BACKWATER VALVE.

VICINITY MAP



PROJECT INFO

PROJECT NAME: TURNER RESIDENCE

PROPERTY OWNER: BRIAN & HOPE TURNER
OWNER CONTACT: TBD-000-0000
TBD@gmail.com
TBD@shippmolo.com

PROJECT ADDRESS: 1 AMHERST RD
ASHEVILLE, NC 28803

DESIGNER CONTACT: LAURA HUDSON, AIA
LAURA HUDSON ARCHITECTURE
626-676-0569

PIN NUMBER: 9646-99-4089

PROPERTY SIZE: 0.62 ACRES

ZONING DISTRICT: R-1

REQUIRED SETBACKS: FRONT: TBD
SIDE: TBD
REAR: TBD

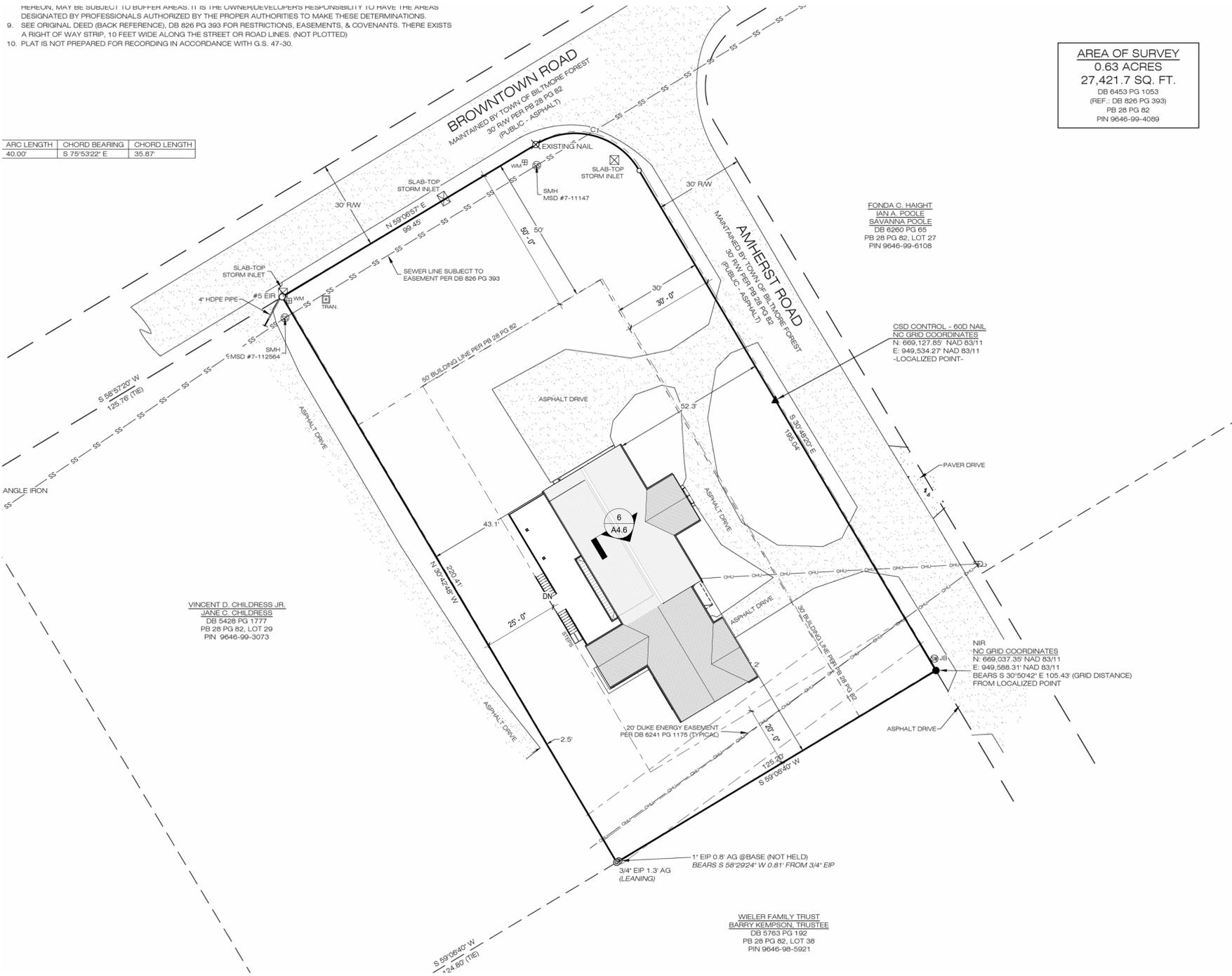
BUILDING INFORMATION:

	EXISTING SF	
	NAME	AREA
GARAGE	625.93 SF	
BASEMENT	813.75 SF	
LEVEL 2	710.16 SF	
MAIN LEVEL	1457.08 SF	
	2980.99 SF	
	3606.92 SF	

	ADDITION SF		HEATED SPACE
	NAME	AREA	
CARPORT	622.08 SF	No	
FRONT PORCH	119.09 SF	No	
SCREEN PORCH	210.82 SF	No	
	951.99 SF		
MAIN LEVEL KITCHEN ADDITION	53.85 SF	Yes	
MAIN LEVEL NEW ADDITION	366.48 SF	Yes	
MAIN LEVEL PORCH ADDITION	37.54 SF	Yes	
NEWLY CONDITIONED CLOSET 1	135.41 SF	Yes	
NEWLY CONDITIONED CLOSET 2	133.21 SF	Yes	
	726.50 SF		
	1678.48 SF		
TOTAL HEATED SF EXISTING + ADDITION: 3,707.50 SF			

HEREIN, MAY BE SUBJECT TO BUFFER AREAS, IT IS THE OWNER/DEVELOPER'S RESPONSIBILITY TO HAVE THE AREAS DESIGNATED BY PROFESSIONALS AUTHORIZED BY THE PROPER AUTHORITIES TO MAKE THESE DETERMINATIONS.
 9. SEE ORIGINAL DEED (BACK REFERENCE), DB 826 PG 393 FOR RESTRICTIONS, EASEMENTS, & COVENANTS. THERE EXISTS A RIGHT OF WAY STRIP, 10 FEET WIDE ALONG THE STREET OR ROAD LINES. (NOT PLOTTED)
 10. PLAT IS NOT PREPARED FOR RECORDING IN ACCORDANCE WITH G.S. 47-30.

ARC LENGTH	CHORD BEARING	CHORD LENGTH
40.00'	S 75°53'22" E	35.87



AREA OF SURVEY
 0.63 ACRES
 27,421.7 SQ. FT.
 DB 6453 PG 1053
 (REF.: DG 626 PG 393)
 PB 28 PG 82
 PIN 9646-99-4089

GENERAL NOTES

- FIRST FLOOR ELEVATION IS BASED ON THE CITY DATUM XX.XX' LOCATED AT STREET ADDRESS.
- G.C. TO COORDINATE ALL INCOMING UTILITIES.
- SEE LANDSCAPE AND CIVIL DRAWINGS FOR MORE SPECIFIC DETAILS REGARDING HARD AND SOFT SCAPE.

LEGEND

--- PROPERTY LINE

KEYNOTE



Laura Hudson Architecture

323 Broadway St.
 Suite 120
 Asheville, NC 28801
 626.676.0569

lharch.com

NOT FOR CONSTRUCTION

250703

TURNER RESIDENCE

1 AMHERST RD.
 ASHEVILLE, NC 28803

DIRECTORY:
 CLIENT:
 BRIAN & HOPE TURNER
 hopeforsigns@gmail.com
 704.804.0187

STRUCTURAL:
 PATRICK DUNN
 dunnstructural@gmail.com
 828.7755110

LANDSCAPE ARCHITECT:
 ROB DULL
 828.674.5592

CONTRACTOR:
 TBD

#	DESCRIPTION	DATE
---	-------------	------

CONSTRUCTION DOCUMENTATION

SITE PLAN

A0.1-1

SCALE As indicated

1 SITE PLAN
 1" = 20'-0"



Laura Hudson Architecture

323 Broadway St. Suite 120 Asheville, NC 28801 626.676.0569

lharch.com

NOT FOR CONSTRUCTION

250703

TURNER RESIDENCE

1 AMHERST RD. ASHEVILLE, NC 28803

DIRECTORY: CLIENT: BRIAN & HOPE TURNER hopeforsigns@gmail.com 704.804.0187

STRUCTURAL: PATRICK DUNN dunnstructural@gmail.com 828.7755110

LANDSCAPE ARCHITECT: ROB DULL 828.674.5592

CONTRACTOR: TBD

B Contractor 01.30.26

DESCRIPTION DATE

CONSTRUCTION DOCUMENTATION

DEMO PLAN - BASEMENT

AD1.0

SCALE As indicated

KEYNOTE

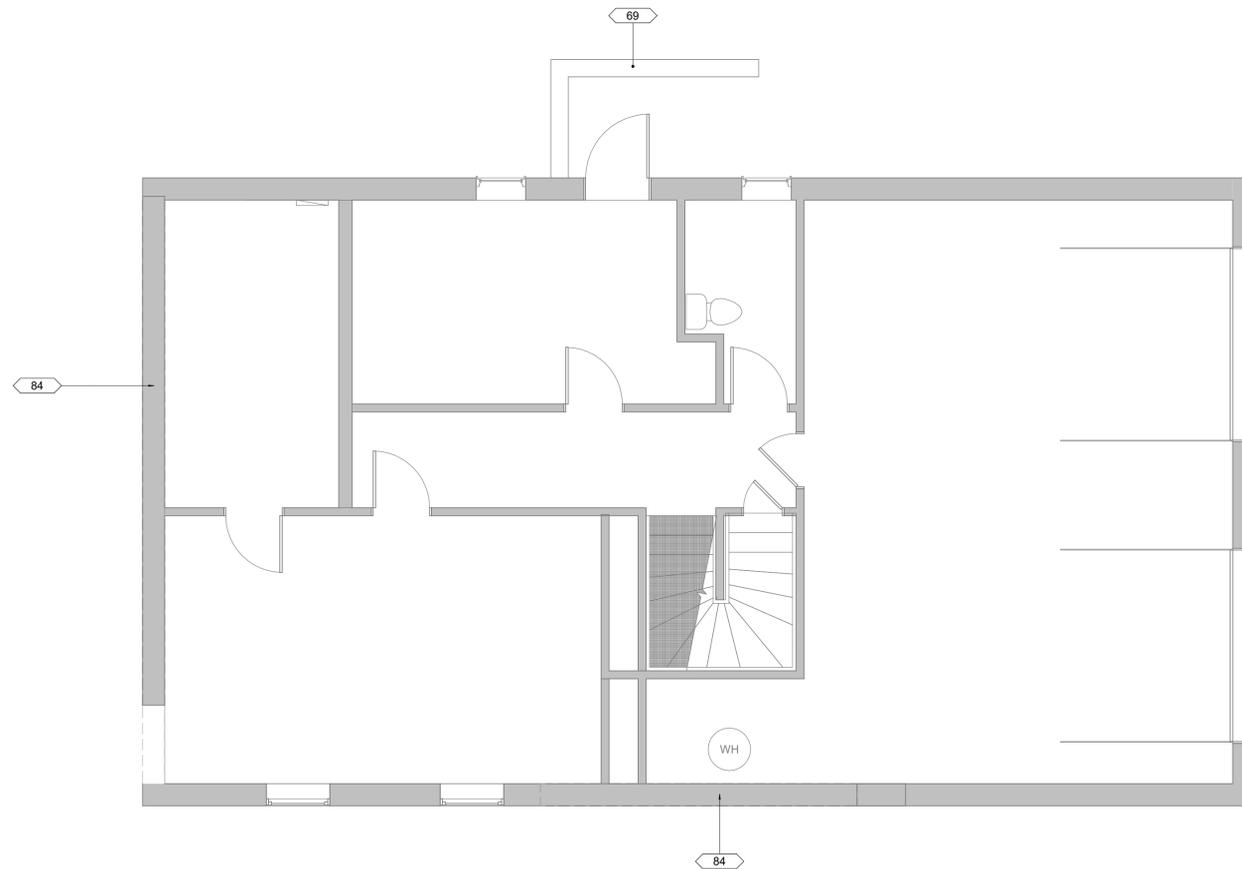
69	EXISTING RETAINING WALL TO REMAIN
84	DEMO WALL ABOVE

LEGEND

	EXISTING WALL
	NEW WOOD STUD WALL
	NEW CONCRETE WALL
	NEW CMU WALL
	INTERIOR PARTITION TAG SEE WALL TYPE SCHEDULE
	EXTERIOR WALL TAG SEE WALL TYPE SCHEDULE
	WINDOW TAG SEE WINDOW SCHEDULE
	DOOR TAG SEE DOOR SCHEDULE
	KEYNOTE TAG
	MATERIAL TAG

DEMO NOTES

- THE GENERAL CONTRACTOR SHALL BE RESPONSIBLE FOR PROVIDING ALL LABOR, EQUIPMENT AND SERVICES TO PROPERLY EXECUTE THE DEMOLITION AND REMOVAL WORK INDICATED ON THESE CONSTRUCTION DOCUMENTS.
- THE CONTRACTOR SHALL VISIT THE SITE AND INSPECT THE EXISTING BUILDING TO VERIFY THAT ALL ITEMS INDICATED TO BE EXISTING AND SO MARKED ON DRAWINGS ARE IN PLACE AND CORRECT.
- ALL DEMOLITION WORK SHALL BE PERFORMED WITH MINIMUM DAMAGE TO THE EXISTING WORK TO REMAIN. IT SHALL BE RECOGNIZED THAT THE UTMOST CARE BE TAKEN WHEN PERFORMING THE DEMOLITION WORK. THE PROPERTY SHALL BE KEPT AS CLEAN AS POSSIBLE AT ALL TIMES.
- ALL DEBRIS AND MATERIALS FROM THE BUILDING SHALL BE DISPOSED OF OFF THE SITE IN A LEGAL MANNER. NO RECLAIMED LUMBER OR MATERIALS SHALL BE RE-USED EXCEPT AS SPECIFICALLY APPROVED BY OWNER OR ARCHITECT.
- WHERE DEMOLITION AND CUTTING WORK HAS OCCURRED OR WHERE EXISTING SURFACES, MATERIALS OR OTHER ITEMS HAVE BEEN DAMAGED OR DISTURBED AS A RESULT OF THIS CONTRACT, THE SAID SURFACES AND AREAS SHALL BE CAREFULLY CLOSED UP, PATCHED AND FINISHED, AND OR RESTORED AS REQUIRED TO BE CONTIGUOUS TO EXISTING SURROUNDING SURFACES. DO NOT REMOVE ANY STRUCTURAL COLUMNS, WALL OR SUPPORTS. CAREFULLY REMOVE INTERIOR PARTITIONS ONLY. IF THERE IS ANY CONCERN WHETHER AN INTERIOR WALL IS BEARING OR NOT, CONTACT ARCHITECT IMMEDIATELY TO SCHEDULE A VERIFICATION TIME.
- WHERE ELECTRICAL NEEDS TO BE ABANDONED, REMOVE WIRE FROM OUTLET ALL THE WAY BACK TO THE ELECTRICAL PANEL SOURCE. ALL WORK SHALL BE DONE BY A LICENSED ELECTRICIAN.
- WHERE PLUMBING NEEDS TO BE ABANDONED, REMOVE ALL VENT STACK PIPE CAP AND ROOF PENETRATION. REMOVE ALL OVERHEAD WATER LINES BACK TO POINT OF ENTRY (CAREFULLY VERIFY IF ANY LINES CAN BE RE-UTILIZED AS PART OF NEW BUILD-OUT). ALL UNDERGROUND SANITARY, GREASE OR WATER LINES SHALL BE CAPPED-OFF BELOW LAB. MAKE SURE ALL WATER HAS BEEN TURNED OFF PRIOR TO ANY WORK. ALL WORK TO BE DONE BY A LICENSED PLUMBER.
- WHERE VENTILATION OR AIR CONDITIONING NEEDS TO BE ABANDONED REMOVE ALL EXHAUST & OUTSIDE AIR DUCTS AS REQUIRED. ROOF-TOP FANS SHALL BE REMOVED & THE OPENINGS DRIED-IN TO PREVENT ANY WATER PENETRATION IN THE SPACE. ALL WORK SHALL BE DONE BY A LICENSED HVAC CONTRACTOR.
- WHERE GAS LINES OR SERVICE NEEDS TO BE ABANDONED, CAREFULLY REMOVE ALL PIPING, SHUT-OFF VALVES & FITTING AS REQUIRED. GAS METER & REGULATOR SHALL BE REMOVED BY UTILITY COMPANY. ALL WORK TO BE DONE BY A LICENSED SUB-CONTRACTOR.



1 BASEMENT DEMO 1/4" = 1'-0"

Autodesk Docs://Turner Residence/Turner Residence 2026_2.rvt 2/19/2026 3:52:01 PM

KEYNOTE

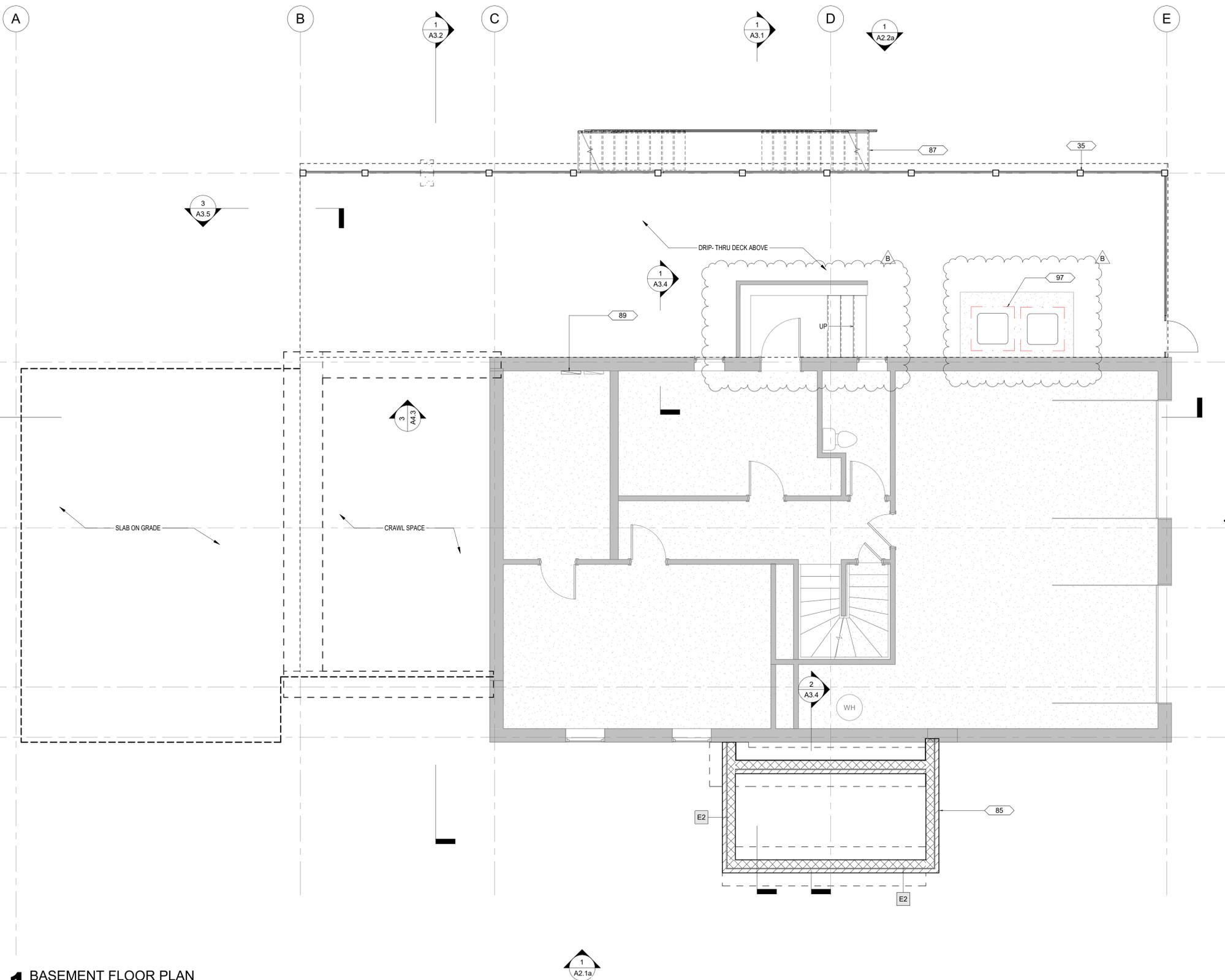
35	6X6 WOOD COLUMN
85	NEW FOUNDATION WALL
87	NEW STAIRS
89	NEW 400A ELECTRICAL PANEL
97	RELOCATE & UPDATE HVAC W/EQUIPMENT PAD, MAINTAIN CLEARANCE ABOVE UNIT

LEGEND

	EXISTING WALL
	NEW WOOD STUD WALL
	NEW CONCRETE WALL
	NEW CMU WALL
	INTERIOR PARTITION TAG SEE WALL TYPE SCHEDULE
	EXTERIOR WALL TAG SEE WALL TYPE SCHEDULE
	WINDOW TAG SEE WINDOW SCHEDULE
	DOOR TAG SEE DOOR SCHEDULE
	KEYNOTE TAG
	MATERIAL TAG

GENERAL NOTES

- ALL DIMENSIONS ARE TAKEN FROM FACE OF STUD, CONC. OR CMU, TYP. UNLESS OTHERWISE NOTED.
- REFERENCE WALL TYPE SHEET AT 4 FOR INFORMATION ON CORRESPONDING WALL TAGS. SEE ENLARGED PLANS FOR INTERIOR WALL DIMENSIONS AND ADDITIONAL DETAILS.
- SOUND BATT INSULATION WHERE SCHEDULED SHALL COMPLY WITH ASTM C 665, TYPE I, GLASS FIBER COMPOSITION, UNFACED, NON-COMBUSTIBLE WHEN TESTED IN ACCORDANCE WITH ASTM E 136.
- ALL STRUCTURAL LUMBER SHALL CONFORM TO THE MOST CURRENT APPLICABLE SPECIFICATIONS OF THE AMERICAN INSTITUTE OF TIMBER CONSTRUCTION.
- ALL BEAM AND HEADER STUDS SHALL HAVE FULL AND CONTINUOUS BEARING DOWN TO FOUNDATION.
- ALL PERIMETER BEARING WALLS SHALL CONSIST OF 2x6 SYP #2 MEMBERS @ 16" O.C. WITH DOUBLE TOP PLATE. PROVIDE SOLID HORIZONTAL BLOCKING EVERY 1/2 HEIGHT OF WALL.
- ALL INTERIOR BEARING WALLS SHALL CONSIST OF (MIN.) 2x4 SYP #2 MEMBERS @ 16" O.C. WITH DOUBLE TOP PLATE. PROVIDE SOLID HORIZONTAL BLOCKING EVERY 1/2 HEIGHT OF WALL.
- ANCHOR P.T. WALL PLATES TO FOUNDATION WITH 5/8" O1 F1554, GRADE 36, HEADED ANCHOR BOLTS @ 32" O.C. & 8" MIN. FROM CORNERS, TYPICAL U.O.N. SMOOTH "J" BOLTS ARE NOT AN ACCEPTABLE ANCHORING SYSTEM. EMBED 8" MINIMUM INTO FOUNDATION WALL. SIMPSON PABS ANCHOR BOLTS ARE AN ACCEPTABLE ALTERNATE. FURNISH ADDITIONAL SIMPSON SPSS-3 PLATE WASHER AT PLYWOOD SHEAR WALL SILL BOLTS. ATTACH BEARING WALL PLATES TO SILL PLATES AND BLOCKING W/ (2) 16d NAILS @ 8" O.C. TYP. U.O.N.
- ALL EXTERIOR SIMPSON STRONG-TIE CONNECTORS SHALL HAVE A MEDIUM LEVEL OF CORROSION RESISTANCE AT MINIMUM (E.G. "Z-MAX" OR "HDG" HOT DIPPED GALVANIZED). THE CONTRACTOR SHALL BE RESPONSIBLE FOR VERIFYING THE COMPATIBILITY OF CORROSION RESISTANT COATED CONNECTORS WITH ALL FASTENERS AND PRESERVATIVE-TREATED WOOD MEMBERS IN CONTACT WITH CONNECTOR. ALL EXTERIOR WOOD POSTS SHALL BE PRESSURE TREATED.
- PROVIDE 3" MIN. BEARING FOR ALL STRUCTURAL WOOD BEAMS AND HEADERS UNLESS OTHERWISE NOTED OR SHOWN ON THE PLANS.
- ALL SUB-FLOOR SHEATHING SHALL BE T & G 3/4" THICK APA RATED SHEATHING EXPOSURE 1 GLUED & NAILED W/ 10d NAILS @ 6" o.c. AT EDGE OF SHEATHING AND 10d NAILS @ 12" o.c. AT INTERMEDIATE MEMBERS. ALL ROOF SHEATHING SHALL BE 5/8" THICK APA RATED SHEATHING EXPOSURE 1 WITH 10d NAILS @ 3" O.C. AT EDGE OF SHEATHING AND 10d NAILS @ 12" O.C. AT INTERMEDIATE MEMBERS.
- ALL EXTERIOR WALLS SHEATHING (EXCEPT SHEAR WALLS) SHALL BE 1/2" THICK APA RATED SHEATHING EXPOSURE 1 ATTACHED TO 2x STUD WALLS WITH 8d NAILS @ 6" O.C. AT EDGE OF SHEATHING INCLUDING TOP AND BOTTOM PLATE AND 8d NAILS @ 12" O.C. AT INTERMEDIATE MEMBERS.
- ALL SHEAR WALL SHEATHING SHALL BE 1/2" THICK APA STRUCTURAL 1 RATED SHEATHING EXPOSURE 1 ATTACHED TO 2x STUD WALL WITH 8d NAILS @ 3" O.C. AT EDGE OF SHEATHING INCLUDING TOP AND BOTTOM PLATE AND 8d NAILS @ 12" O.C. AT INTERMEDIATE MEMBERS.
- CONNECTORS - PER SIMPSON STRONG-TIE COMPANY



1 BASEMENT FLOOR PLAN
1/4" = 1'-0"

Autodesk Docs://Turner Residence/Turner Residence 2026_2.rvt 2/19/2026 3:52:02 PM

KEYNOTE

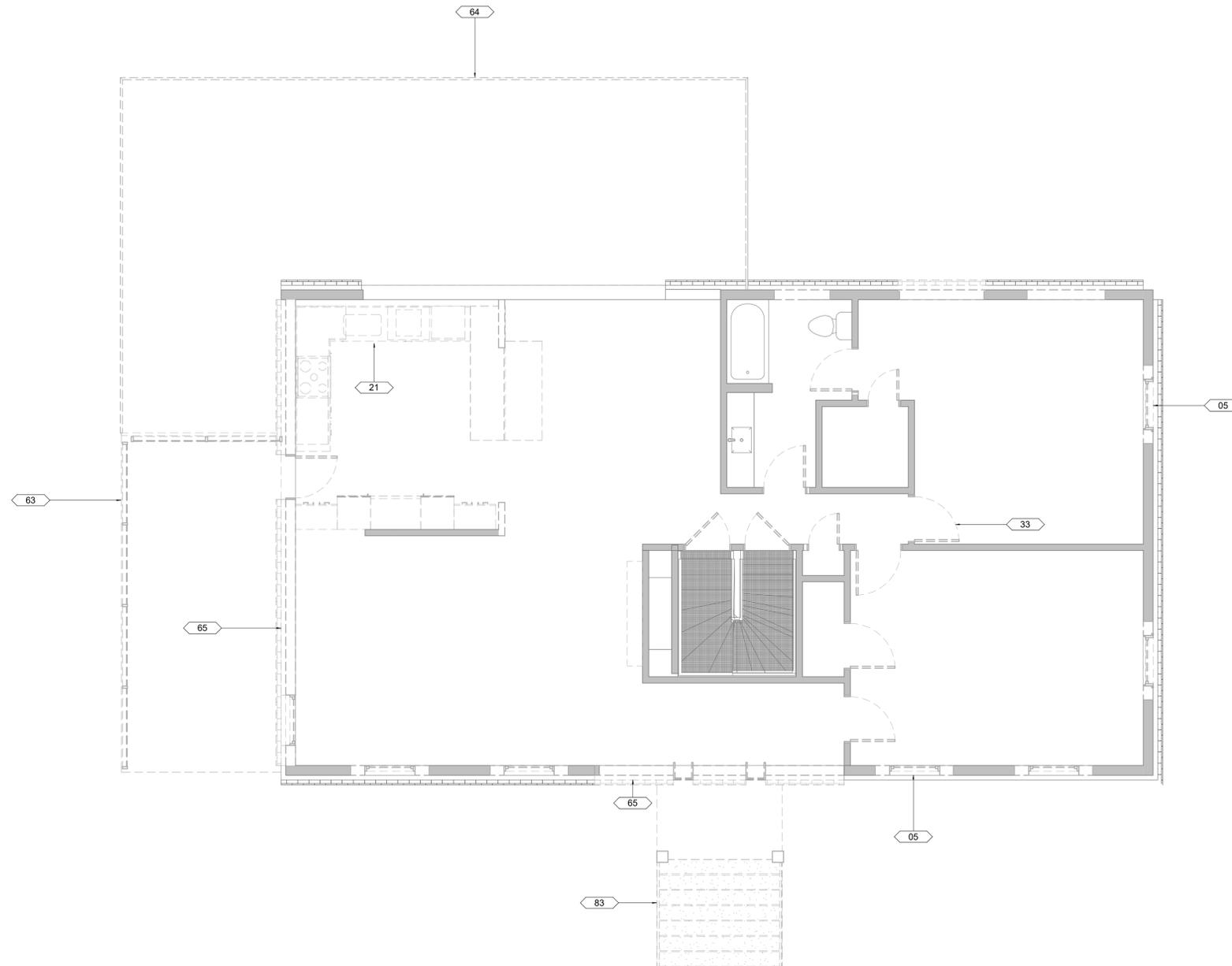
05	EXISTING WINDOWS TO BE REPLACED
21	DEMO EXISTING KITCHEN
33	REMOVE AND REPLACE EXISTING DOORS
63	DEMO EXISTING SCREENED PORCH AND SLAB
64	DEMO EXISTING DECK
65	DEMO EXISTING WALL
83	DEMO EXISTING STAIRS

LEGEND

	EXISTING WALL
	NEW WOOD STUD WALL
	NEW CONCRETE WALL
	NEW CMU WALL
	INTERIOR PARTITION TAG SEE WALL TYPE SCHEDULE
	EXTERIOR WALL TAG SEE WALL TYPE SCHEDULE
	WINDOW TAG SEE WINDOW SCHEDULE
	DOOR TAG SEE DOOR SCHEDULE
	KEYNOTE TAG
	MATERIAL TAG

DEMO NOTES

- THE GENERAL CONTRACTOR SHALL BE RESPONSIBLE FOR PROVIDING ALL LABOR, EQUIPMENT AND SERVICES TO PROPERLY EXECUTE THE DEMOLITION AND REMOVAL WORK INDICATED ON THESE CONSTRUCTION DOCUMENTS.
- THE CONTRACTOR SHALL VISIT THE SITE AND INSPECT THE EXISTING BUILDING TO VERIFY THAT ALL ITEMS INDICATED TO BE EXISTING AND SO MARKED ON DRAWINGS ARE IN PLACE AND CORRECT.
- ALL DEMOLITION WORK SHALL BE PERFORMED WITH MINIMUM DAMAGE TO THE EXISTING WORK TO REMAIN. IT SHALL BE RECOGNIZED THAT THE UTMOST CARE BE TAKEN WHEN PERFORMING THE DEMOLITION WORK. THE PROPERTY SHALL BE KEPT AS CLEAN AS POSSIBLE AT ALL TIMES.
- ALL DEBRIS AND MATERIALS FROM THE BUILDING SHALL BE DISPOSED OF OFF THE SITE IN A LEGAL MANNER. NO RECLAIMED LUMBER OR MATERIALS SHALL BE RE-USED EXCEPT AS SPECIFICALLY APPROVED BY OWNER OR ARCHITECT.
- WHERE DEMOLITION AND CUTTING WORK HAS OCCURRED OR WHERE EXISTING SURFACES, MATERIALS OR OTHER ITEMS HAVE BEEN DAMAGED OR DISTURBED AS A RESULT OF THIS CONTRACT, THE SAID SURFACES AND AREAS SHALL BE CAREFULLY CLOSED UP, PATCHED AND FINISHED, AND OR RESTORED AS REQUIRED TO BE CONTIGUOUS TO EXISTING SURROUNDING SURFACES. DO NOT REMOVE ANY STRUCTURAL COLUMNS, WALL OR SUPPORTS. CAREFULLY REMOVE INTERIOR PARTITIONS ONLY. IF THERE IS ANY CONCERN WHETHER AN INTERIOR WALL IS BEARING OR NOT, CONTACT ARCHITECT IMMEDIATELY TO SCHEDULE A VERIFICATION TIME.
- WHERE ELECTRICAL NEEDS TO BE ABANDONED, REMOVE WIRE FROM OUTLET ALL THE WAY BACK TO THE ELECTRICAL PANEL SOURCE. ALL WORK SHALL BE DONE BY A LICENSED ELECTRICIAN.
- WHERE PLUMBING NEEDS TO BE ABANDONED, REMOVE ALL VENT STACK PIPE CAP AND ROOF PENETRATION. REMOVE ALL OVERHEAD WATER LINES BACK TO POINT OF ENTRY (CAREFULLY VERIFY IF ANY LINES CAN BE RE-UTILIZED AS PART OF NEW BUILD-OUT). ALL UNDERGROUND SANITARY, GREASE OR WATER LINES SHALL BE CAPPED-OFF BELOW LAB. MAKE SURE ALL WATER HAS BEEN TURNED OFF PRIOR TO ANY WORK. ALL WORK TO BE DONE BY A LICENSED PLUMBER.
- WHERE VENTILATION OR AIR CONDITIONING NEEDS TO BE ABANDONED REMOVE ALL EXHAUST & OUTSIDE AIR DUCTS AS REQUIRED. ROOF-TOP FANS SHALL BE REMOVED & THE OPENINGS DRIED-IN TO PREVENT ANY WATER PENETRATION IN THE SPACE. ALL WORK SHALL BE DONE BY A LICENSED HVAC CONTRACTOR.
- WHERE GAS LINES OR SERVICE NEEDS TO BE ABANDONED, CAREFULLY REMOVE ALL PIPING, SHUT-OFF VALVES & FITTING AS REQUIRED. GAS METER & REGULATOR SHALL BE REMOVED BY UTILITY COMPANY. ALL WORK TO BE DONE BY A LICENSED SUB-CONTRACTOR.



1 LEVEL 1 DEMO
1/4" = 1'-0"

KEYNOTE

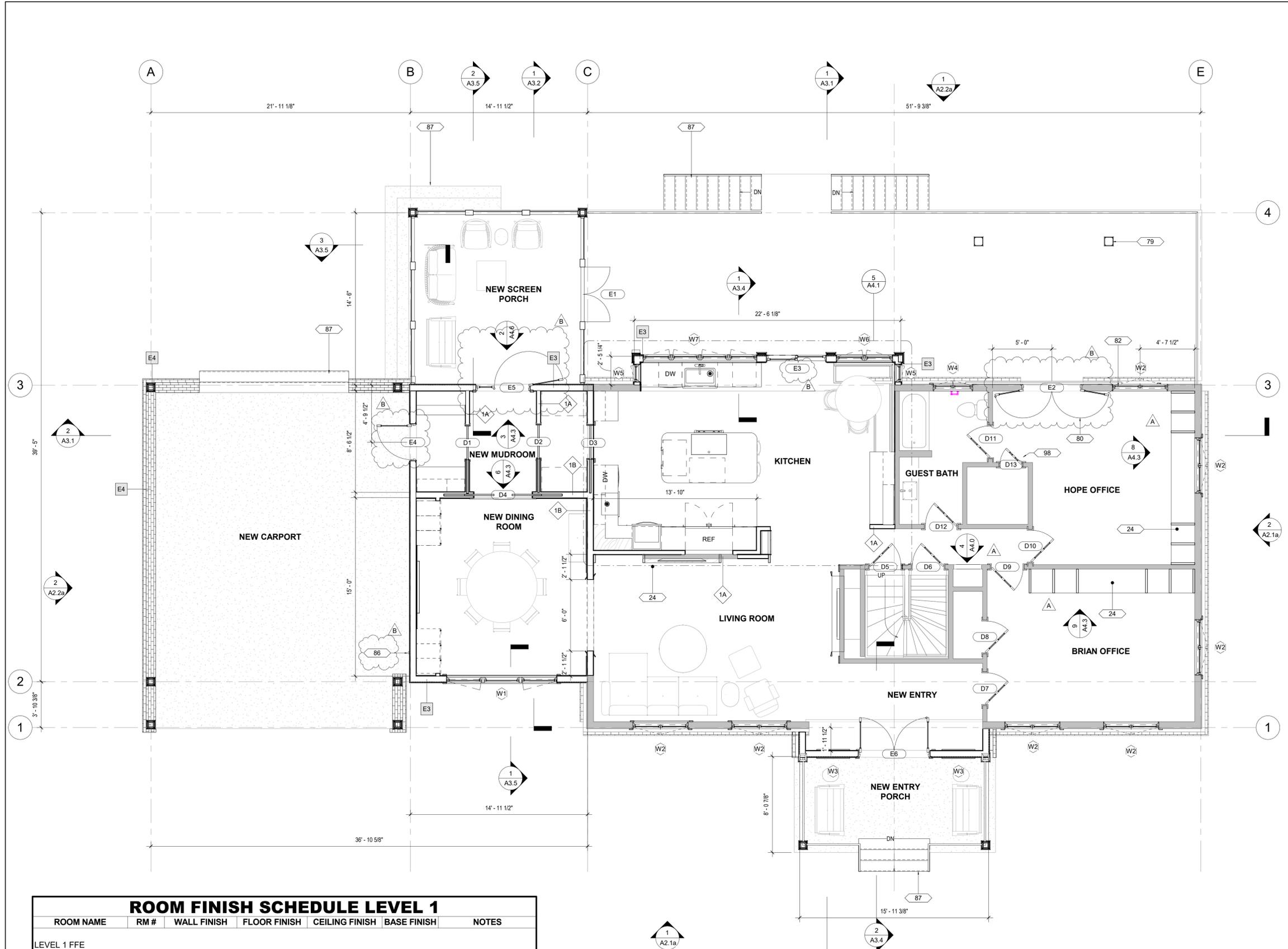
24	BUILT-IN CASEWORK
79	NEW PRE-MANUFACTURED PERGOLA INTEX CLASSIC LEDGER MOUNT
80	NEW FRENCH DOORS
82	NEW ALUMINUM CLAD WOOD WINDOWS
86	NEW, RELOCATED ELECTRICAL METER
87	NEW STAIRS
98	NEW INTERIOR DOORS THROUGHOUT

LEGEND

	EXISTING WALL
	NEW WOOD STUD WALL
	NEW CONCRETE WALL
	NEW CMU WALL
	INTERIOR PARTITION TAG SEE WALL TYPE SCHEDULE
	EXTERIOR WALL TAG SEE WALL TYPE SCHEDULE
	WINDOW TAG SEE WINDOW SCHEDULE
	DOOR TAG SEE DOOR SCHEDULE
	KEYNOTE TAG
	MATERIAL TAG

GENERAL NOTES

- ALL DIMENSIONS ARE TAKEN FROM FACE OF STUD, CONC. OR CMU, TYP. UNLESS OTHERWISE NOTED.
- REFERENCE WALL TYPE SHEET AT 4 FOR INFORMATION ON CORRESPONDING WALL TAGS. SEE ENLARGED PLANS FOR INTERIOR WALL DIMENSIONS AND ADDITIONAL DETAILS.
- SOUND BATT INSULATION WHERE SCHEDULED SHALL COMPLY WITH ASTM C 665, TYPE I, GLASS FIBER COMPOSITION, UNFACED, NON-COMBUSTIBLE WHEN TESTED IN ACCORDANCE WITH ASTM E 155.
- ALL STRUCTURAL LUMBER SHALL CONFORM TO THE MOST CURRENT APPLICABLE SPECIFICATIONS OF THE AMERICAN INSTITUTE OF TIMBER CONSTRUCTION.
- ALL BEAM AND HEADER STUDS SHALL HAVE FULL AND CONTINUOUS BEARING DOWN TO FOUNDATION.
- ALL PERIMETER BEARING WALLS SHALL CONSIST OF 2x6 SYP #2 MEMBERS @ 16" O.C. WITH DOUBLE TOP PLATE. PROVIDE SOLID HORIZONTAL BLOCKING EVERY 1/2 HEIGHT OF WALL.
- ALL INTERIOR BEARING WALLS SHALL CONSIST OF (MIN.) 2x4 SYP #2 MEMBERS @ 16" O.C. WITH DOUBLE TOP PLATE. PROVIDE SOLID HORIZONTAL BLOCKING EVERY 1/2 HEIGHT OF WALL.
- ANCHOR P.T. WALL PLATES TO FOUNDATION WITH 5/8" O.F1554, GRADE 36, HEADED ANCHOR BOLTS @ 32" O.C. & 8" MIN. FROM CORNERS, TYPICAL U.O.N. SMOOTH "J" BOLTS ARE NOT AN ACCEPTABLE ANCHORING SYSTEM. EMBED 8" MINIMUM INTO FOUNDATION WALL. SIMPSON PABS ANCHOR BOLTS ARE AN ACCEPTABLE ALTERNATE. FURNISH ADDITIONAL SIMPSON SPBS-3 PLATE WASHER AT PLYWOOD SHEAR WALL SILL BOLTS. ATTACH BEARING WALL PLATES TO SILL PLATES AND BLOCKING W/ (2) 16d NAILS @ 8" O.C. TYP. U.O.N.
- ALL EXTERIOR SIMPSON STRONG-TIE CONNECTORS SHALL HAVE A MEDIUM LEVEL OF CORROSION RESISTANCE AT MINIMUM (E.G. "Z-MAX" OR "HDG" HOT DIPPED GALVANIZED). THE CONTRACTOR SHALL BE RESPONSIBLE FOR VERIFYING THE COMPATIBILITY OF CORROSION RESISTANT COATED CONNECTORS WITH ALL FASTENERS AND PRESERVATIVE-TREATED WOOD MEMBERS IN CONTACT WITH CONNECTOR.
- ALL EXTERIOR WOOD POSTS SHALL BE PRESSURE TREATED.
- PROVIDE 3" MIN. BEARING FOR ALL STRUCTURAL WOOD BEAMS AND HEADERS UNLESS OTHERWISE NOTED OR SHOWN ON THE PLANS.
- ALL SUB-FLOOR SHEATHING SHALL BE T & G 3/4" THICK APA RATED SHEATHING EXPOSURE 1 GLUED & NAILED W/ 10d NAILS @ 6" o.c. AT EDGE OF SHEATHING AND 16d NAILS @ 12" o.c. AT INTERMEDIATE MEMBERS.
- ALL ROOF SHEATHING SHALL BE 5/8" THICK APA RATED SHEATHING EXPOSURE 1 WITH 10d NAILS @ 3" O.C. AT EDGE OF SHEATHING AND 16d NAILS @ 12" O.C. AT INTERMEDIATE MEMBERS.
- ALL EXTERIOR WALLS SHEATHING (EXCEPT SHEAR WALLS) SHALL BE 1/2" THICK APA RATED SHEATHING EXPOSURE 1 ATTACHED TO 2x STUD WALLS WITH 8d NAILS @ 6" O.C. AT EDGE OF SHEATHING INCLUDING TOP AND BOTTOM PLATE AND 8d NAILS @ 12" O.C. AT INTERMEDIATE MEMBERS.
- ALL SHEAR WALL SHEATHING SHALL BE 1/2" THICK APA STRUCTURAL 1 RATED SHEATHING EXPOSURE 1 ATTACHED TO 2x STUD WALL WITH 8d NAILS @ 3" O.C. AT EDGE OF SHEATHING INCLUDING TOP AND BOTTOM PLATE AND 8d NAILS @ 12" O.C. AT INTERMEDIATE MEMBERS.
- CONNECTORS - PER SIMPSON STRONG-TIE COMPANY



1 LEVEL 1 FLOOR PLAN
1/4" = 1'-0"

ROOM FINISH SCHEDULE LEVEL 1

ROOM NAME	RM #	WALL FINISH	FLOOR FINISH	CEILING FINISH	BASE FINISH	NOTES
LEVEL 1 FFE						
NEW SCREEN PORCH	108	PT-3	D-1	TG-1		
NEW MUDROOM	109	PT-4	WD-1	GWB-1	WB-1	
NEW DINING ROOM	110	PT-6	WD-1	TG-2	WB-2	
LIVING ROOM	105	PT-4	WD-1	GWB-1	WB-1	
NEW CARPORT	111	PT-3	CS-1	TG-3		
BRIAN OFFICE	103	PT-4	WD-1	PT-8	PT-4	
HOPE OFFICE	102	PT-4	WD-1	PT-8	PT-4	
KITCHEN	101	PT-4	WD-1	GWB-1	PT-4	
NEW ENTRY PORCH	106	PT-3	CS-1	TG-3		
GUEST BATH	104	TBD	TBD	TBD	TBD	
NEW ENTRY	107	PT-4	WD-1	GWB-1	WB-1	

Autodesk Docs://Turner Residence/Turner Residence 2026_2.rvt 2/19/2026 3:52:04 PM

KEYNOTE

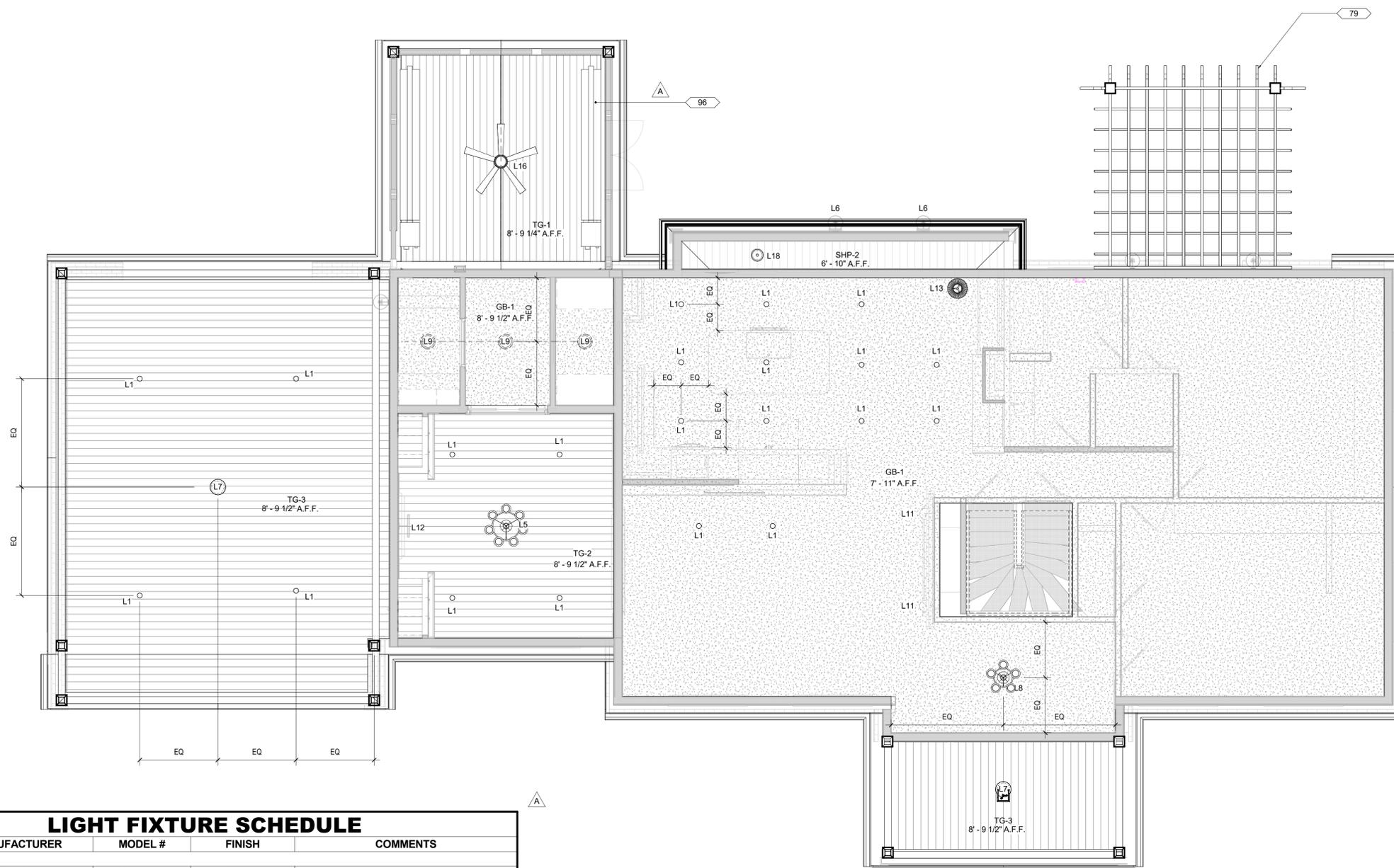
79	NEW PRE-MANUFACTURED PERGOLA INTEX CLASSIC LEDGER MOUNT
96	TUNGSTEN OUTDOOR ELECTRIC HEATER

LEGEND

	EXISTING WALL
	NEW WOOD STUD WALL
	NEW CONCRETE WALL
	NEW CMU WALL
Type Name 1'-0" A.F.F. — BOTTOM FACE OF CEILING ABOVE HOSTED LEVEL	
	1i LIGHT FIXTURE TAG
	s IN-CEILING SPEAKER
	WAP WIRELESS ACCESS POINT
	? KEYNOTE TAG

RCP NOTES

- GC TO COORDINATE THE WORK OF ALL TRADES TO ENSURE THAT PROPER CLEARANCES FOR DUCTS, PIPES, LIGHTS, ETC. ARE PROVIDED TO MAINTAIN CEILING HEIGHTS.
- VERIFY PLACEMENT OF LIGHTS WITH ARCHITECT PRIOR TO INSTALLATION
- CEILING ELEVATIONS ARE NOMINAL
- PENDANT MOUNTED LIGHT FIXTURES MUST BE SUPPORTED FROM THE STRUCTURE. DO NOT USE SUSPENDED CEILING SYSTEM FOR SUPPORT.
- ALL RECESSED LIGHTING FIXTURES IN SPACES WHERE INSULATION IS REQUIRED SHALL BE IC RATED AND SHALL BE LABELED AIR TIGHT.
- STAIRS: MINIMUM CLEAR HEADROOM SHALL BE 6'-8" MEASURED VERTICALLY FROM A LINE CONNECTING THE LEADING EDGE OF THE STAIRS.
- LIGHT FIXTURES LOCATED IN WET LOCATION MUST BE LISTED FOR WET LOCATION AND REQUIRE WATER RESISTANT TRIMS.



LIGHT FIXTURE SCHEDULE

TAG	MANUFACTURER	MODEL #	FINISH	COMMENTS
L1	LUTRON	3691335c	WHITE	
L2	VISUAL COMFORT CO.	ARN 4401HAB-WG	BRASS	
L3	DAY-BRITE			
L4	BROAN	744L	WHITE	RECESSED FAN LIGHT
L5	ROLL & HILL	MODO 3 SIDED	BRASS	DINING ROOM CHANDELIER
L6	REJUVENATION		BLACK	SADIE SCONCE
L7	VISUAL COMFORT CO.	CHO 5605AI-CG	OIL RUBBED BRONZE	PENDANT AT CARPORT
L8	LAMBERT & FILS	100198025	BLACK	ENTRY LIGHT
L9	VISUAL COMFORT CO.	TOB 5063BZ/HAB-WG	BLACK & BRASS	MUDROOM/PANTRY
L10	VISUAL COMFORT CO.	KW 4070G	BRASS	DRESSING ROOM
L11	VISUAL COMFORT CO.	CHD 2620AB-L	BRASS	FIREPLACE SCONCE
L12	VISUAL COMFORT CO.	S 2723HAB	BRASS	PETREL 30 PICTURE LIGHT
L13	VISUAL COMFORT CO.	CHC 5016AB/NAB	KITCHEN BENCH VANITY	WALL SCONCE AT DRESSING ROOM VANITY
L14	REJUVENATION			THURMAN FLUSH 6"
L15	VISUAL COMFORT CO.	CHO 2605AI-CG	BLACK	EXTERIOR SCONCE LIGHT
L16	<varies>	<varies>	MATTE BLACK	<varies>
L18	ROLL & HILL	KOKO PENDANT	BRUSHED BRASS	KITCHEN SINK PENDANT

CEILING SCHEDULE LEVEL 1

TAG	MATERIAL TYPE	FINISH	DESCRIPTION
GB-1	GYPSUM BOARD CEILING	PT-8	
TG-3	TONGUE & GROOVE	PT-9	
GB-1	GYPSUM BOARD CEILING	PT-8	
SHP-2	SHIPLAP	PT-4	
TG-1	TONGUE & GROOVE		
TG-1	TONGUE & GROOVE		
TG-2	TONGUE & GROOVE	PT-6	
TG-3	TONGUE & GROOVE	PT-9	

1 LEVEL 1 CEILING
1/4" = 1'-0"

Autodesk Docs://Turner Residence/Turner Residence 2026_2.rvt 2/19/2026 3:52:07 PM



Laura Hudson Architecture

323 Broadway St. Suite 120 Asheville, NC 28801 626.676.0569

lharch.com

NOT FOR CONSTRUCTION

250703

TURNER RESIDENCE

1 AMHERST RD. ASHEVILLE, NC 28803

DIRECTORY: CLIENT: BRIAN & HOPE TURNER hopeforsigns@gmail.com 704.804.0187

STRUCTURAL: PATRICK DUNN dunnstructural@gmail.com 828.7755110

LANDSCAPE ARCHITECT: ROB DULL 828.674.5592

CONTRACTOR: TBD

B Contractor 01.30.26

DESCRIPTION DATE

CONSTRUCTION DOCUMENTATION

DEMO PLAN - LEVEL 2

AD1.2

SCALE As indicated

KEYNOTE

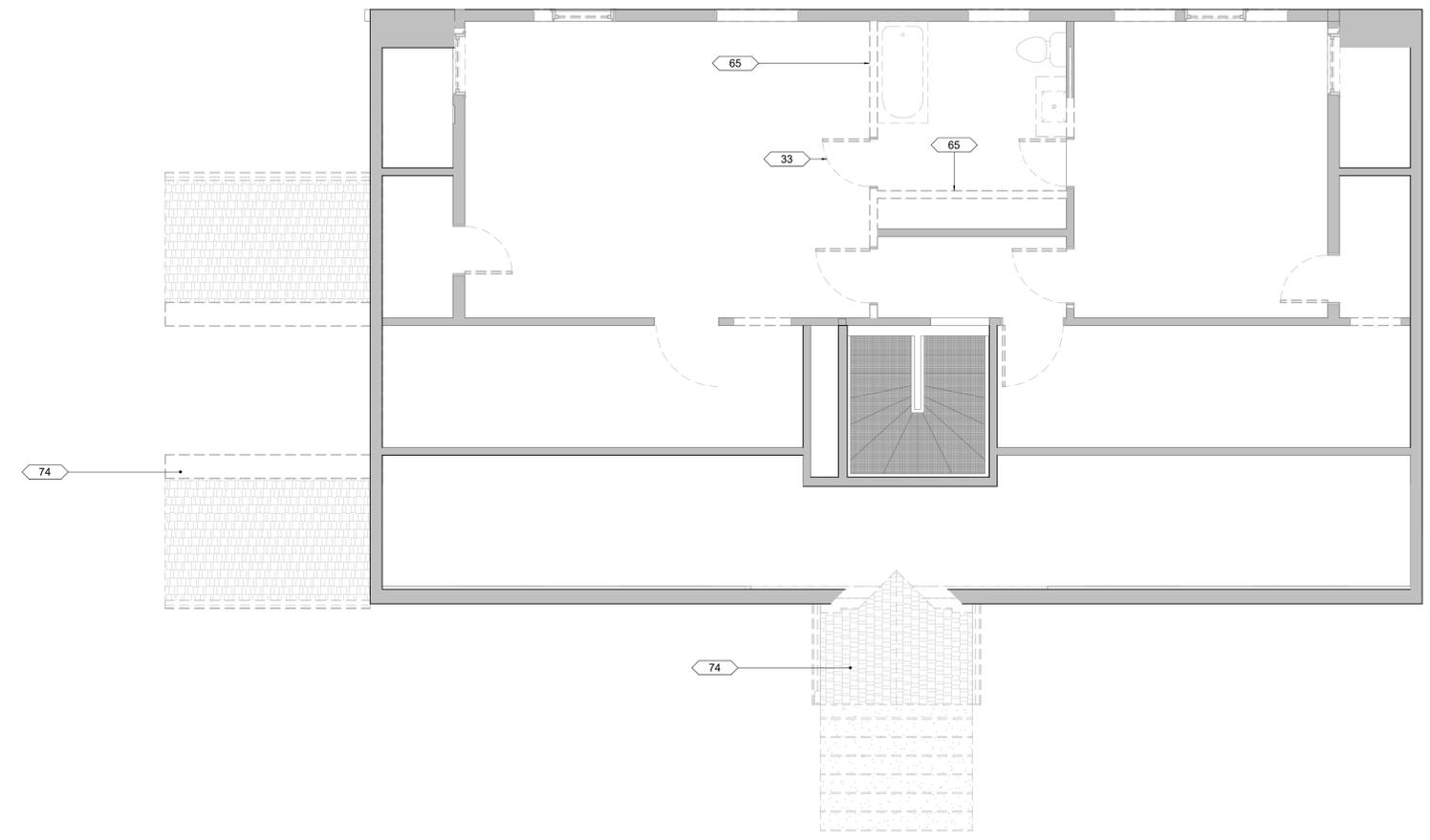
33	REMOVE AND REPLACE EXISTING DOORS
65	DEMO EXISTING WALL
74	DEMO EXISTING ROOF

LEGEND

- EXISTING WALL
- NEW WOOD STUD WALL
- NEW CONCRETE WALL
- NEW CMU WALL
- 1i INTERIOR PARTITION TAG SEE WALL TYPE SCHEDULE
- 1i EXTERIOR WALL TAG SEE WALL TYPE SCHEDULE
- 1i WINDOW TAG SEE WINDOW SCHEDULE
- 101 DOOR TAG SEE DOOR SCHEDULE
- ? KEYNOTE TAG
- xx-x MATERIAL TAG

DEMO NOTES

- THE GENERAL CONTRACTOR SHALL BE RESPONSIBLE FOR PROVIDING ALL LABOR, EQUIPMENT AND SERVICES TO PROPERLY EXECUTE THE DEMOLITION AND REMOVAL WORK INDICATED ON THESE CONSTRUCTION DOCUMENTS.
- THE CONTRACTOR SHALL VISIT THE SITE AND INSPECT THE EXISTING BUILDING TO VERIFY THAT ALL ITEMS INDICATED TO BE EXISTING AND SO MARKED ON DRAWINGS ARE IN PLACE AND CORRECT.
- ALL DEMOLITION WORK SHALL BE PERFORMED WITH MINIMUM DAMAGE TO THE EXISTING WORK TO REMAIN. IT SHALL BE RECOGNIZED THAT THE UTMOST CARE BE TAKEN WHEN PERFORMING THE DEMOLITION WORK. THE PROPERTY SHALL BE KEPT AS CLEAN AS POSSIBLE AT ALL TIMES.
- ALL DEBRIS AND MATERIALS FROM THE BUILDING SHALL BE DISPOSED OF OFF THE SITE IN A LEGAL MANNER. NO RECLAIMED LUMBER OR MATERIALS SHALL BE RE-USED EXCEPT AS SPECIFICALLY APPROVED BY OWNER OR ARCHITECT.
- WHERE DEMOLITION AND CUTTING WORK HAS OCCURRED OR WHERE EXISTING SURFACES, MATERIALS OR OTHER ITEMS HAVE BEEN DAMAGED OR DISTURBED AS A RESULT OF THIS CONTRACT, THE SAID SURFACES AND AREAS SHALL BE CAREFULLY CLOSED UP, PATCHED AND FINISHED, AND OR RESTORED AS REQUIRED TO BE CONTIGUOUS TO EXISTING SURROUNDING SURFACES. DO NOT REMOVE ANY STRUCTURAL COLUMNS, WALL OR SUPPORTS. CAREFULLY REMOVE INTERIOR PARTITIONS ONLY. IF THERE IS ANY CONCERN WHETHER AN INTERIOR WALL IS BEARING OR NOT, CONTACT ARCHITECT IMMEDIATELY TO SCHEDULE A VERIFICATION TIME.
- WHERE ELECTRICAL NEEDS TO BE ABANDONED, REMOVE WIRE FROM OUTLET ALL THE WAY BACK TO THE ELECTRICAL PANEL SOURCE. ALL WORK SHALL BE DONE BY A LICENSED ELECTRICIAN.
- WHERE PLUMBING NEEDS TO BE ABANDONED, REMOVE ALL VENT STACK PIPE CAP AND ROOF PENETRATION. REMOVE ALL OVERHEAD WATER LINES BACK TO POINT OF ENTRY (CAREFULLY VERIFY IF ANY LINES CAN BE RE-UTILIZED AS PART OF NEW BUILD-OUT). ALL UNDERGROUND SANITARY, GREASE OR WATER LINES SHALL BE CAPPED-OFF BELOW LAB. MAKE SURE ALL WATER HAS BEEN TURNED OFF PRIOR TO ANY WORK. ALL WORK TO BE DONE BY A LICENSED PLUMBER.
- WHERE VENTILATION OR AIR CONDITIONING NEEDS TO BE ABANDONED REMOVE ALL EXHAUST & OUTSIDE AIR DUCTS AS REQUIRED. ROOF-TOP FANS SHALL BE REMOVED & THE OPENINGS DRIED-IN TO PREVENT ANY WATER PENETRATION IN THE SPACE. ALL WORK SHALL BE DONE BY A LICENSED HVAC CONTRACTOR.
- WHERE GAS LINES OR SERVICE NEEDS TO BE ABANDONED, CAREFULLY REMOVE ALL PIPING, SHUT-OFF VALVES & FITTING AS REQUIRED. GAS METER & REGULATOR SHALL BE REMOVED BY UTILITY COMPANY. ALL WORK TO BE DONE BY A LICENSED SUB-CONTRACTOR.



1 LEVEL 2 DEMO 1/4" = 1'-0"

Autodesk Docs://Turner Residence/Turner Residence 2026_2.rvt 2/19/2026 3:52:07 PM

KEYNOTE

99 CUSTOM BUILT-IN BENCH W/CUSHION BY INTERIOR DESIGNER

LEGEND

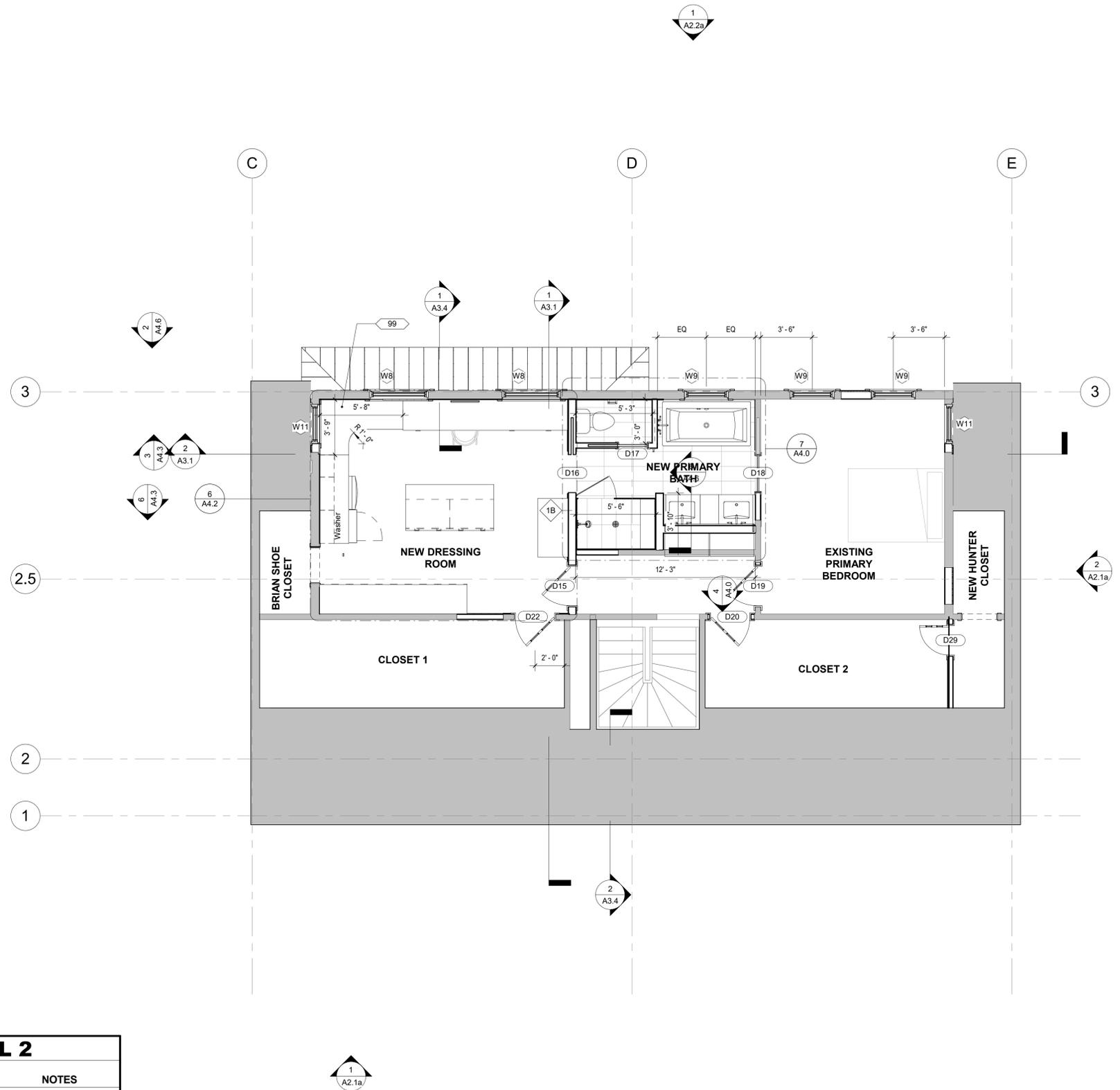
- EXISTING WALL
- NEW WOOD STUD WALL
- NEW CONCRETE WALL
- NEW CMU WALL

99 CUSTOM BUILT-IN BENCH W/CUSHION BY INTERIOR DESIGNER

- 11 EXTERIOR WALL TAG SEE WALL TYPE SCHEDULE
- 11 WINDOW TAG SEE WINDOW SCHEDULE
- 101 DOOR TAG SEE DOOR SCHEDULE
- ? KEYNOTE TAG
- WT-1 MATERIAL TAG

GENERAL NOTES

1. ALL DIMENSIONS ARE TAKEN FROM FACE OF STUD, CONC. OR CMU, TYP. UNLESS OTHERWISE NOTED.
2. REFERENCE WALL TYPE SHEET AT 4 FOR INFORMATION ON CORRESPONDING WALL TAGS. SEE ENLARGED PLANS FOR INTERIOR WALL DIMENSIONS AND ADDITIONAL DETAILS.
3. SOUND BATT INSULATION WHERE SCHEDULED SHALL COMPLY WITH ASTM C 665, TYPE I, GLASS FIBER COMPOSITION, UNFACED, NON-COMBUSTIBLE WHEN TESTED IN ACCORDANCE WITH ASTM E 188.
4. ALL STRUCTURAL LUMBER SHALL CONFORM TO THE MOST CURRENT APPLICABLE SPECIFICATIONS OF THE AMERICAN INSTITUTE OF TIMBER CONSTRUCTION.
5. ALL BEAM AND HEADER STUDS SHALL HAVE FULL AND CONTINUOUS BEARING DOWN TO FOUNDATION.
6. ALL PERIMETER BEARING WALLS SHALL CONSIST OF 2x6 SYP #2 MEMBERS @ 16" O.C. WITH DOUBLE TOP PLATE. PROVIDE SOLID HORIZONTAL BLOCKING EVERY 1/2 HEIGHT OF WALL.
7. ALL INTERIOR BEARING WALLS SHALL CONSIST OF (MIN.) 2x4 SYP #2 MEMBERS @ 16" O.C. WITH DOUBLE TOP PLATE. PROVIDE SOLID HORIZONTAL BLOCKING EVERY 1/2 HEIGHT OF WALL.
8. ANCHOR P.T. WALL PLATES TO FOUNDATION WITH 5/8" Ø F1554, GRADE 36, HEADED ANCHOR BOLTS @ 32" O.C. & 8" MIN. FROM CORNERS, TYPICAL U.O.N. SMOOTH "J" BOLTS ARE NOT AN ACCEPTABLE ANCHORING SYSTEM. EMBED 8" MINIMUM INTO FOUNDATION WALL. SIMPSON PABS ANCHOR BOLTS ARE AN ACCEPTABLE ALTERNATE. FURNISH ADDITIONAL SIMPSON BRSS-3 PLATE WASHER AT PLYWOOD SHEAR WALL SILL BOLTS. ATTACH BEARING WALL PLATES TO SILL PLATES AND BLOCKING W/ (2) 16d NAILS @ 8" O.C., TYP. U.O.N.
9. ALL EXTERIOR SIMPSON STRONG-TIE CONNECTORS SHALL HAVE A MEDIUM LEVEL OF CORROSION RESISTANCE AT MINIMUM (E.G. "Z-MAX" OR "HDG" HOT DIPPED GALVANIZED). THE CONTRACTOR SHALL BE RESPONSIBLE FOR VERIFYING THE COMPATIBILITY OF CORROSION RESISTANT COATED CONNECTORS WITH ALL FASTENERS AND PRESERVATIVE-TREATED WOOD MEMBERS IN CONTACT WITH CONNECTOR.
10. ALL EXTERIOR WOOD POSTS SHALL BE PRESSURE TREATED.
11. PROVIDE 3" MIN. BEARING FOR ALL STRUCTURAL WOOD BEAMS AND HEADERS UNLESS OTHERWISE NOTED OR SHOWN ON THE PLANS.
12. ALL SUB-FLOOR SHEATHING SHALL BE T & G 3/4" THICK APA RATED SHEATHING EXPOSURE 1 GLUED & NAILED W/ 10d NAILS @ 6" o.c. AT EDGE OF SHEATHING AND 16d NAILS @ 12" o.c. AT INTERMEDIATE MEMBERS.
13. ALL ROOF SHEATHING SHALL BE 5/8" THICK APA RATED SHEATHING EXPOSURE 1 WITH 10d NAILS @ 3" O.C. AT EDGE OF SHEATHING AND 16d NAILS @ 12" O.C. AT INTERMEDIATE MEMBERS.
14. ALL EXTERIOR WALLS SHEATHING (EXCEPT SHEAR WALLS) SHALL BE 1/2" THICK APA RATED SHEATHING EXPOSURE 1 ATTACHED TO 2x STUD WALLS WITH 8d NAILS @ 6" O.C. AT EDGE OF SHEATHING INCLUDING TOP AND BOTTOM PLATE AND 8d NAILS @ 12" O.C. AT INTERMEDIATE MEMBERS.
15. ALL SHEAR WALL SHEATHING SHALL BE 1/2" THICK APA STRUCTURAL 1 RATED SHEATHING EXPOSURE 1 ATTACHED TO 2x STUD WALL WITH 8d NAILS @ 3" O.C. AT EDGE OF SHEATHING INCLUDING TOP AND BOTTOM PLATE AND 8d NAILS @ 12" O.C. AT INTERMEDIATE MEMBERS.
16. CONNECTORS - PER SIMPSON STRONG-TIE COMPANY



1 LEVEL 2
1/4" = 1'-0"

ROOM FINISH SCHEDULE LEVEL 2

ROOM NAME	RM #	WALL FINISH	FLOOR FINISH	CEILING FINISH	BASE FINISH	NOTES
LEVEL 2 FFE						
NEW DRESSING ROOM	202	PT-7	WD-1	GWB-1	WB-3	
NEW PRIMARY BATH	203	PT-4	FT-1	GWB-1	WB-1	
EXISTING PRIMARY BEDROOM	201	PT-4	WD-1	PT-8	PT-4	
CLOSET 1	204	PT-7	WD-1	GWB-1	PT-7	
BRIAN SHOE CLOSET	205	PT-7	WD-1	GWB-1	PT-7	
CLOSET 2	206	PT-4	WD-1	GWB-1	PT-4	
NEW HUNTER CLOSET	207	PT-4	WD-1	GWB-1	PT-4	

KEYNOTE

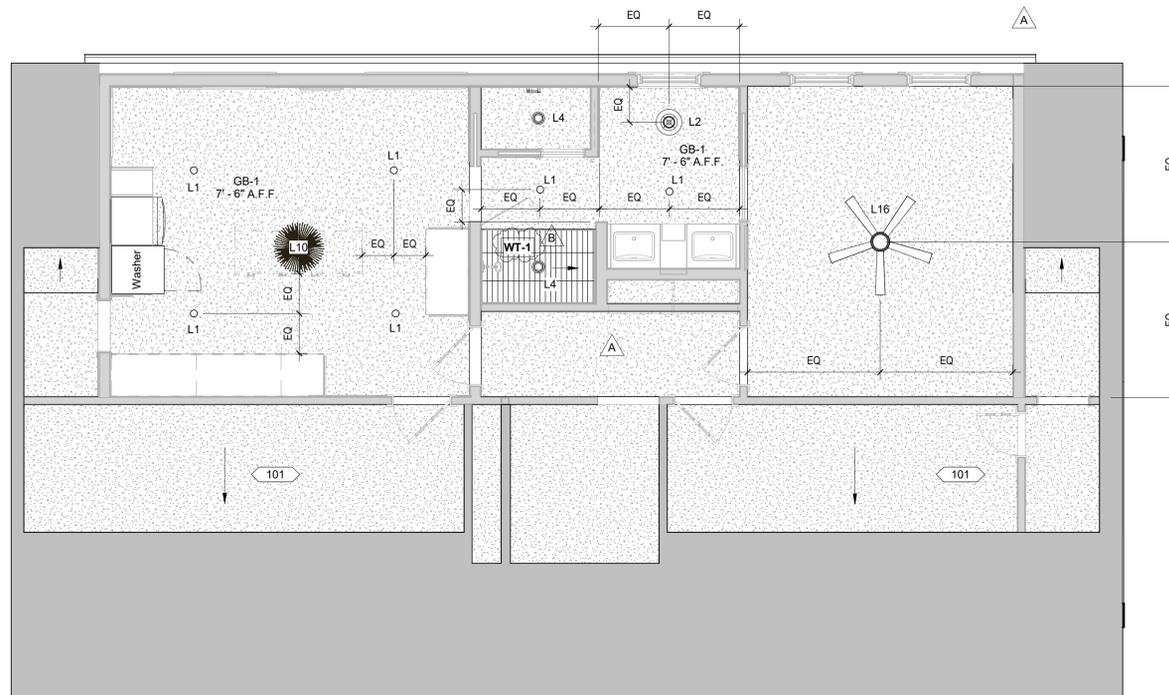
101 NEW CEILING

LEGEND

- EXISTING WALL
- NEW WOOD STUD WALL
- NEW CONCRETE WALL
- NEW CMU WALL
- Type Name
1'-0" A.F.F. BOTTOM FACE OF CEILING ABOVE HOSTED LEVEL
- 1i LIGHT FIXTURE TAG
- s IN-CEILING SPEAKER
- WAP WIRELESS ACCESS POINT
- ? KEYNOTE TAG

RCP NOTES

- GC TO COORDINATE THE WORK OF ALL TRADES TO ENSURE THAT PROPER CLEARANCES FOR DUCTS, PIPES, LIGHTS, ETC. ARE PROVIDED TO MAINTAIN CEILING HEIGHTS.
- VERIFY PLACEMENT OF LIGHTS WITH ARCHITECT PRIOR TO INSTALLATION
- CEILING ELEVATIONS ARE NOMINAL
- PENDANT MOUNTED LIGHT FIXTURES MUST BE SUPPORTED FROM THE STRUCTURE. DO NOT USE SUSPENDED CEILING SYSTEM FOR SUPPORT.
- ALL RECESSED LIGHTING FIXTURES IN SPACES WHERE INSULATION IS REQUIRED SHALL BE IC RATED AND SHALL BE LABELED AIR TIGHT.
- STAIRS: MINIMUM CLEAR HEADROOM SHALL BE 6'-8" MEASURED VERTICALLY FROM A LINE CONNECTING THE LEADING EDGE OF THE STAIRS.
- LIGHT FIXTURES LOCATED IN WET LOCATION MUST BE LISTED FOR WET LOCATION AND REQUIRE WATER RESISTANT TRIMS.



LIGHT FIXTURE SCHEDULE

TAG	MANUFACTURER	MODEL #	FINISH	COMMENTS
L1	LUTRON	3691335c	WHITE	
L2	VISUAL COMFORT CO.	ARN 4401HAB-WG	BRASS	
L3	DAY-BRITE			
L4	BROAN	744L	WHITE	RECESSED FAN LIGHT
L5	ROLL & HILL	MODO 3 SIDED	BRASS	DINING ROOM CHANDELIER
L6	REJUVENATION		BLACK	SADIE SCONCE
L7	VISUAL COMFORT CO.	CHO 5605AI-CG	OIL RUBBED BRONZE	PENDANT AT CARPORT
L8	LAMBERT & FILS	100198025	BLACK	ENTRY LIGHT
L9	VISUAL COMFORT CO.	TOB 5063BZ/HAB-WG	BLACK & BRASS	MUDROOM/PANTRY
L10	VISUAL COMFORT CO.	KW 4070G	BRASS	DRESSING ROOM
L11	VISUAL COMFORT CO.	CHD 2620AB-L	BRASS	FIREPLACE SCONCE
L12	VISUAL COMFORT CO.	S 2723HAB	BRASS	PETREL 30 PICTURE LIGHT
L13	VISUAL COMFORT CO.	CHC 5016AB/NAB	KITCHEN BENCH VANITY	WALL SCONCE AT DRESSING ROOM VANITY
L14	REJUVENATION			THURMAN FLUSH 6"
L15	VISUAL COMFORT CO.	CHO 2605AI-CG	BLACK	EXTERIOR SCONCE LIGHT
L16	<varies>	<varies>	MATTE BLACK	<varies>
L18	ROLL & HILL	KOKO PENDANT	BRUSHED BRASS	KITCHEN SINK PENDANT

CEILING SCHEDULE LEVEL 2

TAG	MATERIAL TYPE	FINISH	DESCRIPTION
GB-1	GYPSUM BOARD CEILING	PT-8	

1 LEVEL 2 RCP
1/4" = 1'-0"



Laura Hudson Architecture

323 Broadway St.
Suite 120
Asheville, NC 28801
626.676.0569

lharch.com

NOT FOR CONSTRUCTION

250703

TURNER RESIDENCE

1 AMHERST RD.
ASHEVILLE, NC
28803

DIRECTORY:
CLIENT:
BRIAN & HOPE TURNER
hopeforsigns@gmail.com
704.804.0187

STRUCTURAL:
PATRICK DUNN
dunnstructural@gmail.com
828.7755110

LANDSCAPE ARCHITECT:
ROB DULL
828.674.5592

CONTRACTOR:
TBD

#	DESCRIPTION	DATE
	CONSTRUCTION DOCUMENTATION	
	ROOF PLAN	
	A1.3	
SCALE	As indicated	

KEYNOTE

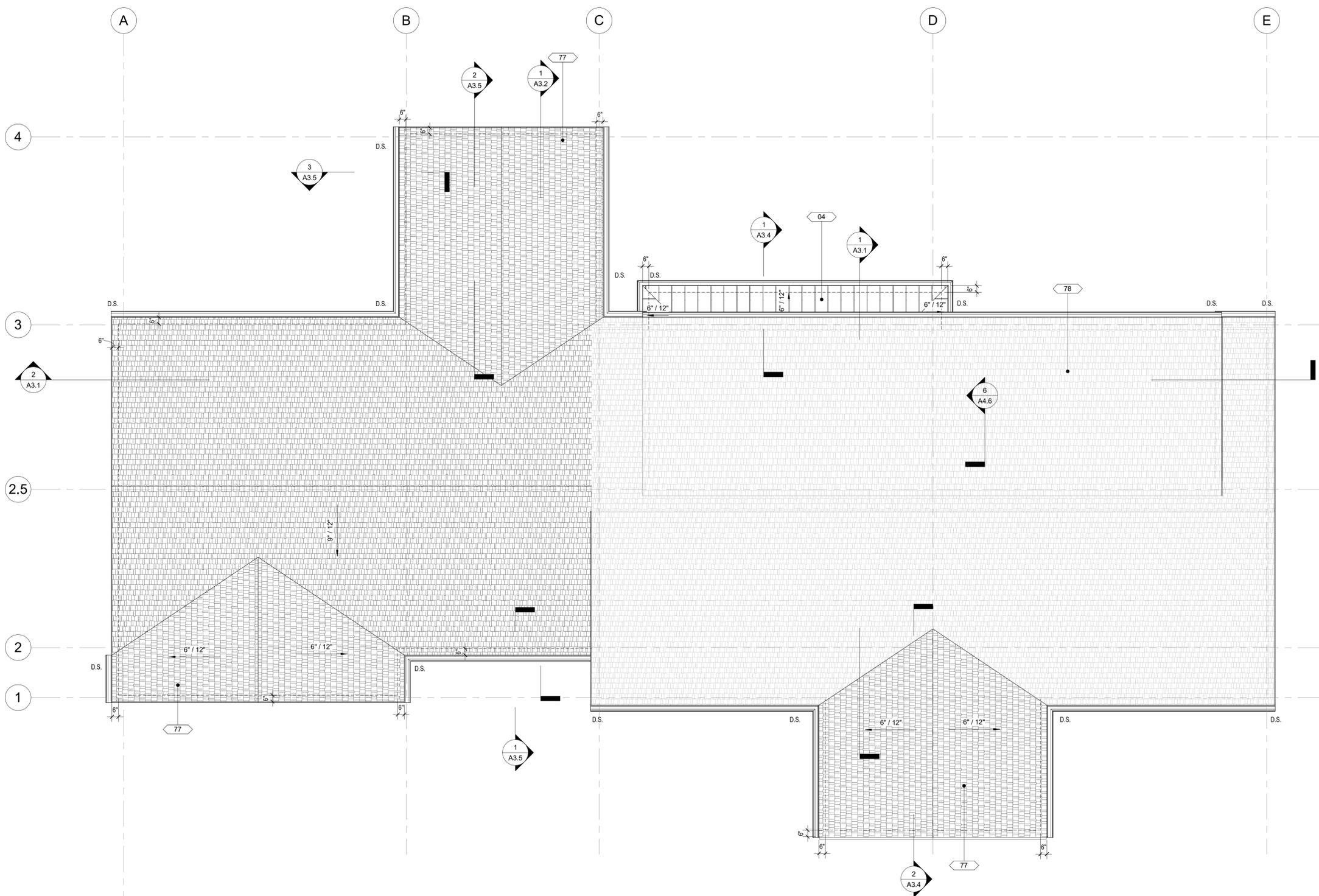
04	STANDING SEAM METAL ROOF
77	NEW ASPHALT SHINGLE ROOF
78	EXISTING ROOF

LEGEND

	EXISTING WALL
	NEW WOOD STUD WALL
	NEW CONCRETE WALL
	NEW CMU WALL
	INTERIOR PARTITION TAG SEE WALL TYPE SCHEDULE
	EXTERIOR WALL TAG SEE WALL TYPE SCHEDULE
	WINDOW TAG SEE WINDOW SCHEDULE
	DOOR TAG SEE DOOR SCHEDULE
	KEYNOTE TAG
	MATERIAL TAG

ROOF PLAN NOTES

- ARROW INDICATES ROOF SLOPE AND PITCH.
- ALL ROOF PENETRATIONS TO BE FLASHED AND CAULKED PRIOR TO ROOFING INSTALLATION.
- TYPICAL SLOPED ROOF CONSTRUCTION:** ASPHALT SHINGLES ON SYNTHETIC UNDERLAYMENT BY SHINGLE MANUF. ON 3/4" PLYWOOD ROOF SHEATHING ON PRE-ENGINEERED SLOPED ROOF TRUSSES (SEE STRUCT.)
- TYPICAL METAL ROOF CONSTRUCTION:** PRE-FINISHED SNAP STANDING SEAM METAL ROOF PANELS WITHOUT OFFSETS (METAL SALES-VERTICAL SEAM OR EQUIVALENT) ON CONTINUOUS HIGH-TEMP ICE & WATER SHIELD MEMBRANE ON 3/4" PLYWOOD ROOF SHEATHING ON PRE-ENGINEERED ROOF TRUSSES (SEE STRUCT. DWGS.)
- THE USE OF PITCH PANS AT PENETRATIONS IS FORBIDDEN. ALL PENETRATIONS TO BE DETAILED AND FLASHED AS SEPARATELY ACCEPTABLE AND WARRANTABLE BY ROOF MANUFACTURER.



1 ROOF PLAN
1/4" = 1'-0"

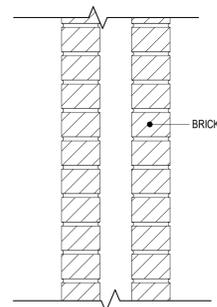
#	DESCRIPTION	DATE
---	-------------	------

CONSTRUCTION DOCUMENTATION

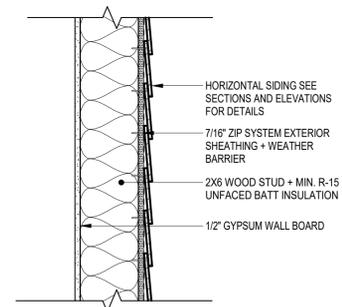
WALL TYPES

A1.4

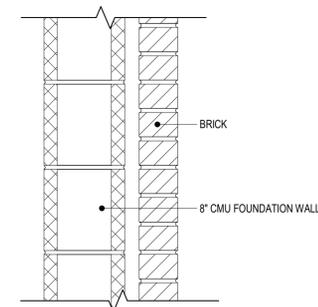
SCALE 1 1/2" = 1'-0"



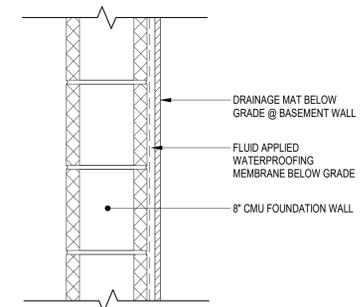
E4 DOUBLE WYTHE WALL



E3 HORIZONTAL FIBER CEMENT SIDING ON 6" WOOD STUD



E2 CMU & BRICK WALL



E1 CMU FOUNDATION WALL

1 EXTERIOR WALL TYPES
1 1/2" = 1'-0"

NOT FOR CONSTRUCTION

250703

TURNER RESIDENCE

1 AMHERST RD.
ASHEVILLE, NC
28803

DIRECTORY:
CLIENT:
BRIAN & HOPE TURNER
hopeforsigns@gmail.com
704.804.0187

STRUCTURAL:
PATRICK DUNN
dunnstructural@gmail.com
828.7755110

LANDSCAPE ARCHITECT:
ROB DULL
828.674.5592

CONTRACTOR:
TBD

#	DESCRIPTION	DATE
---	-------------	------

CONSTRUCTION DOCUMENTATION

EXTERIOR ELEVATIONS

A2.1a

SCALE As indicated

KEYNOTE

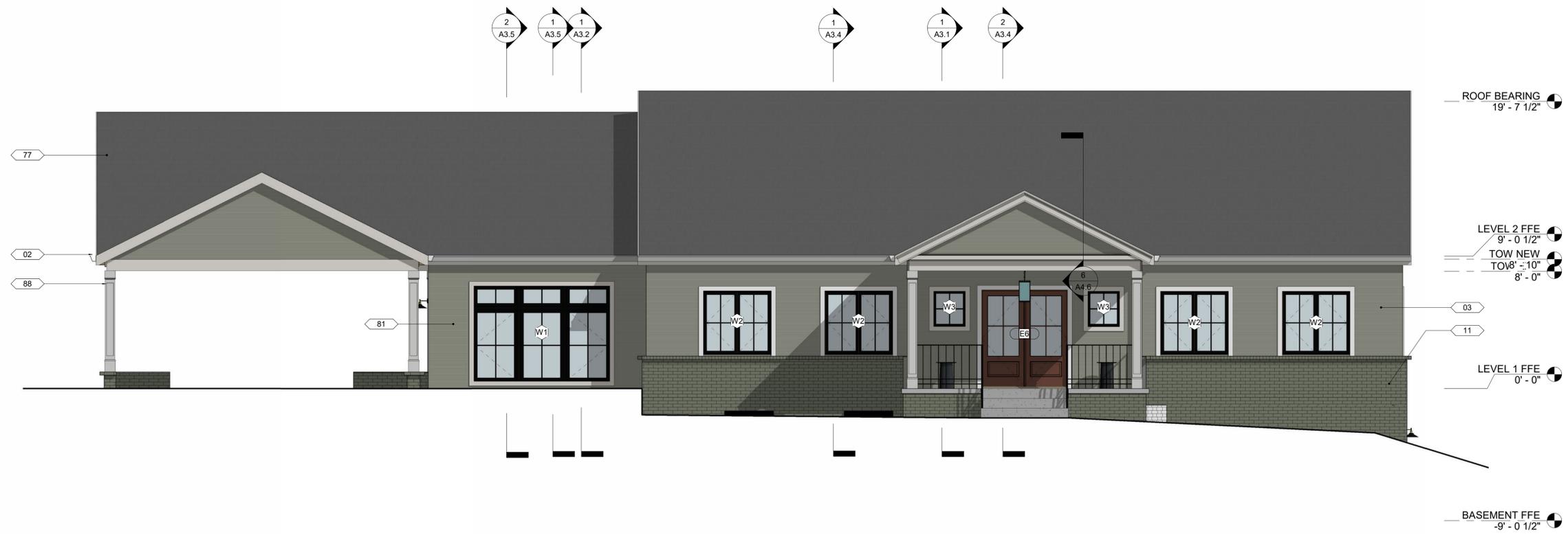
02	PREFINISHED ALUMINUM GUTTER
03	NEW FIBER CEMENT SIDING (SD-1)
08	NEW FIBER CEMENT WINDOW TRIM (PT-3)
11	PAINT BRICK (PT-2)
35	6X6 WOOD COLUMN
40	NEW SCREEN PORCH
77	NEW ASPHALT SHINGLE ROOF
79	NEW PRE-MANUFACTURED PERGOLA INTEX CLASSIC LEDGER MOUNT
81	NEW ADDITION WITH WINDOWS
82	NEW ALUMINUM CLAD WOOD WINDOWS
87	NEW STAIRS
88	NEW PRE-MANUFACTURED COLUMNS W/INTEX FULL PANEL RECESSED WRAP
91	NEW PVC MOULDING
92	NEW WROUGHT IRON RAILING

MATERIAL LEGEND

	WINDOW TAG SEE WINDOW SCHEDULE
	DOOR TAG SEE DOOR SCHEDULE
	KEYNOTE TAG
	MATERIAL TAG



2 NORTH ELEVATION
1/4" = 1'-0"



1 EAST ELEVATION
1/4" = 1'-0"



2 SOUTH ELEVATION
1/4" = 1'-0"



1 WEST ELEVATION
1/4" = 1'-0"

KEYNOTE

02	PREFINISHED ALUMINUM GUTTER
03	NEW FIBER CEMENT SIDING (SD-1)
11	PAINT BRICK (PT-2)
40	NEW SCREEN PORCH
77	NEW ASPHALT SHINGLE ROOF
82	NEW ALUMINUM CLAD WOOD WINDOWS
88	NEW PRE-MANUFACTURED COLUMNS W/INTEX FULL PANEL RECESSED WRAP

MATERIAL LEGEND

1t	WINDOW TAG SEE WINDOW SCHEDULE
101	DOOR TAG SEE DOOR SCHEDULE
?	KEYNOTE TAG
WT-1	MATERIAL TAG



Laura Hudson Architecture

323 Broadway St.
Suite 120
Asheville, NC 28801
626.676.0569

lharch.com

NOT FOR CONSTRUCTION

250703

TURNER RESIDENCE

1 AMHERST RD.
ASHEVILLE, NC
28803

DIRECTORY:
CLIENT:
BRIAN & HOPE TURNER
hopeforsigns@gmail.com
704.804.0187

STRUCTURAL:
PATRICK DUNN
dunnstructural@gmail.com
828.7755110

LANDSCAPE ARCHITECT:
ROB DULL
828.674.5592

CONTRACTOR:
TBD

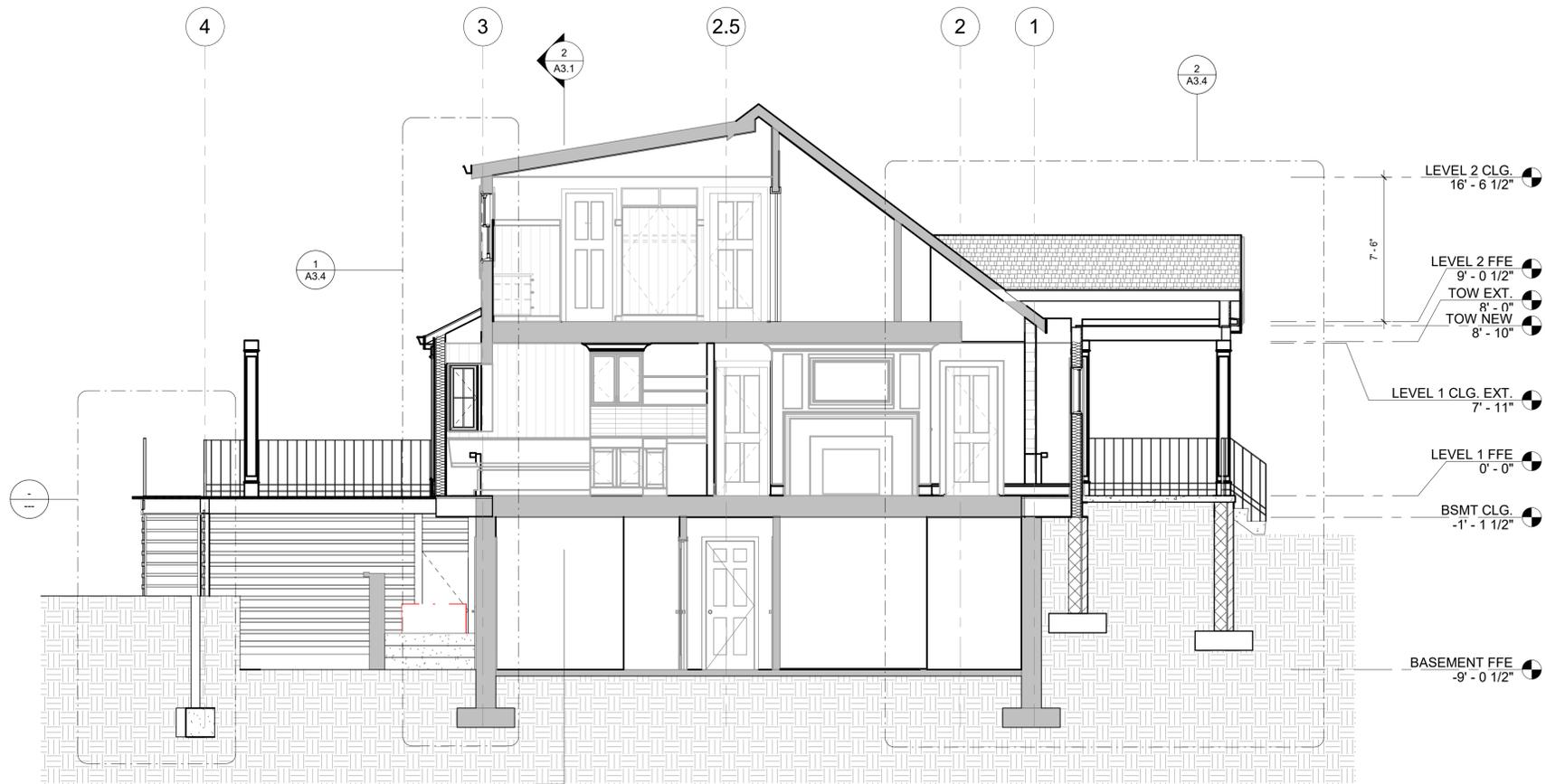
#	DESCRIPTION	DATE
---	-------------	------

CONSTRUCTION DOCUMENTATION

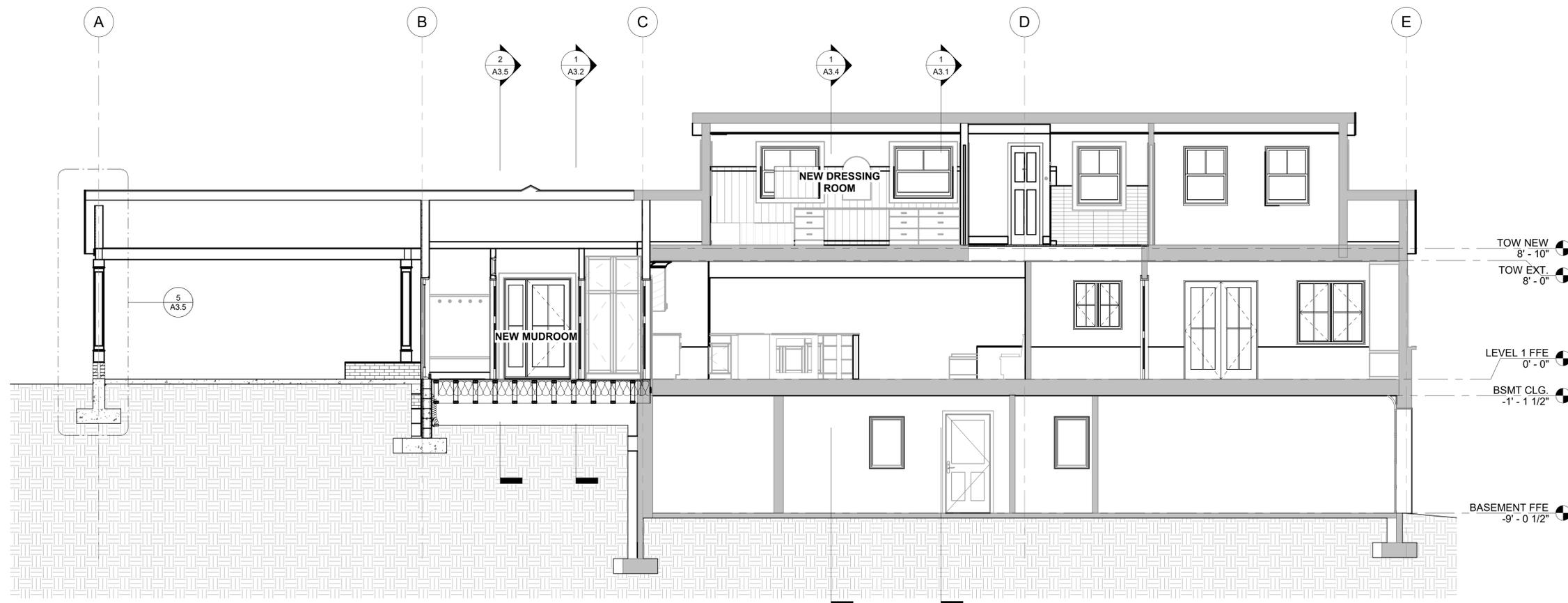
EXTERIOR ELEVATIONS

A2.2a

SCALE As indicated



1 EAST-WEST SECTION
1/4" = 1'-0"



2 NORTH-SOUTH SECTION
1/4" = 1'-0"

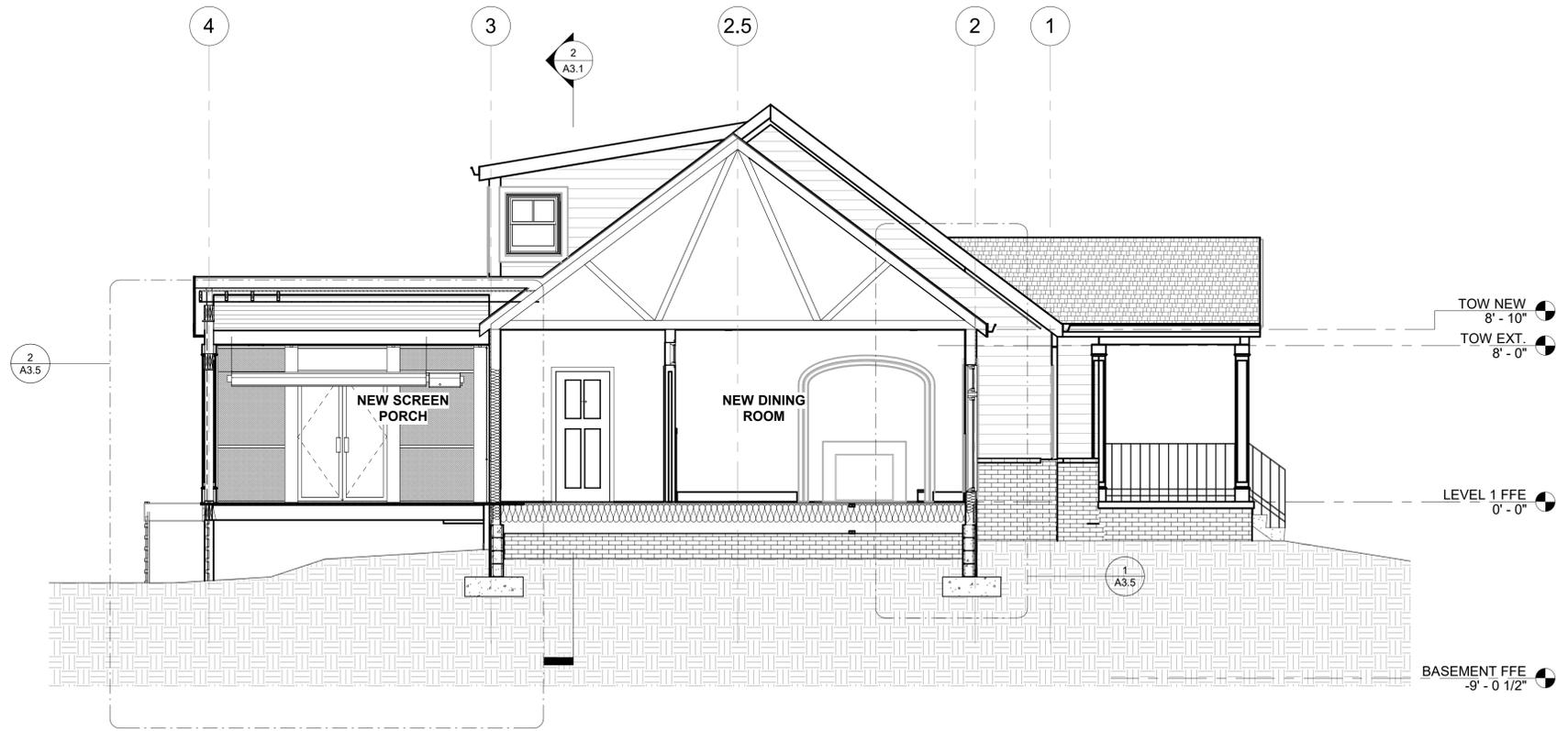
KEYNOTE

MATERIAL LEGEND

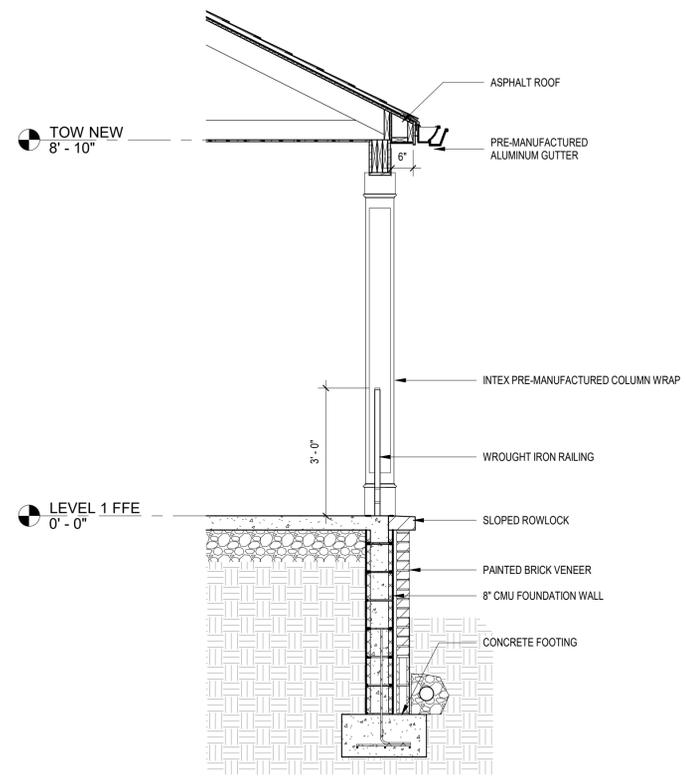
- 1t WINDOW TAG
SEE WINDOW SCHEDULE
- 101 DOOR TAG
SEE DOOR SCHEDULE
- ? KEYNOTE TAG
- WT-1 MATERIAL TAG

SECTION NOTES

1. **TYPICAL EXTERIOR WALL CONSTRUCTION (VERTICAL WOOD SIDING + WOOD STUD):**
VERTICAL WOOD BOARDS WITH 3" WOOD BATTENS @ 10" O.C. ON CONTINUOUS MOISTURE BARRIER (MB) ON EXTERIOR SHEATHING ON WOOD STUD WALL (SEE STRUCT. DWGS.) WITH MIN. R-15 BATT INSULATION (FILL STUD CAVITY) AND (1) LAYER OF 1/2" GWB. SEE FACADE ELEVATIONS FOR VERTICAL TRIM LAYOUT.
2. **TYPICAL EXTERIOR WALL CONSTRUCTION (EXPOSED CONCRETE + WOOD STUD):**
CAST-IN-PLACE CONCRETE WALL (SEE STRUCT. DWGS.) WITH INTERIOR WOOD STUD FURRING WITH MIN. R-15 SPRAY FOAM INSULATION (FILL STUD CAVITY) AND (1) LAYER OF 1/2" GWB. SEE FACADE ELEVATIONS FOR VERTICAL TRIM LAYOUT.
3. **TYPICAL WOOD FRAME FLOOR / CEILING CONSTRUCTION:**
FINISH FLOOR ON 3/4" T&G PLYWOOD SUBFLOORING ON PRE-ENGINEERED TRUSSES (SEE STRUCT. DWGS. FOR DETAILS) WITH MIN. R-19 BATT INSULATION - AT UNDERSIDE OF TRUSSES AND (1) LAYER OF 1/2" GWB AT CEILING.
4. **TYPICAL WOOD FRAME FLOOR / CRAWL SPACE CONSTRUCTION:**
FINISH FLOOR ON 3/4" T&G PLYWOOD SUBFLOORING ON PRE-ENGINEERED TRUSSES (SEE STRUCT. DWGS. FOR DETAILS) WITH MIN. R-19 SPRAY FOAM INSULATION AT UNDERSIDE OF SHEATHING.
5. **TYPICAL ASPHALT SHINGLE SLOPED ROOF CONSTRUCTION:**
ASPHALT SHINGLES ON SYNTHETIC UNDERLAYMENT BY SHINGLE MANUF. ON ROOF SHEATHING ON PRE-ENGINEERED SLOPED ROOF TRUSSES (SEE STRUCT.) WITH R-38 SPRAY FOAM INSULATION - UNDERSIDE OF ROOF TRUSSES; 1/2" GWB OR TNG CEILING - SEE RCP.
6. **TYPICAL LOW SLOPED (3:12 OR LESS) METAL ROOF CONSTRUCTION:**
PREFINISHED STANDING SEAM METAL ROOF PANELS OVER HIGH-TEMP. MEMBRANE OVER SHEATHING ON FRAMING (SEE STRUCT. DWGS.)



1 NEW ADDITION
1/4" = 1'-0"



2 WALL SECTION AT ENTRY PORCH
1/2" = 1'-0"

KEYNOTE

1t	WINDOW TAG SEE WINDOW SCHEDULE
101	DOOR TAG SEE DOOR SCHEDULE
?	KEYNOTE TAG
WT-1	MATERIAL TAG

MATERIAL LEGEND

1t	WINDOW TAG SEE WINDOW SCHEDULE
101	DOOR TAG SEE DOOR SCHEDULE
?	KEYNOTE TAG
WT-1	MATERIAL TAG

SECTION NOTES

- TYPICAL EXTERIOR WALL CONSTRUCTION (VERTICAL WOOD SIDING + WOOD STUD):**
VERTICAL WOOD BOARDS WITH 3" WOOD BATTENS @ 10" O.C. ON CONTINUOUS MOISTURE BARRIER (MB) ON EXTERIOR SHEATHING ON WOOD STUD WALL (SEE STRUCT. DWGS.) WITH MIN. R-15 BATT INSULATION (FILL STUD CAVITY) AND (1) LAYER OF 1/2" GWB. SEE FACADE ELEVATIONS FOR VERTICAL TRIM LAYOUT.
- TYPICAL EXTERIOR WALL CONSTRUCTION (EXPOSED CONCRETE + WOOD STUD):**
CAST-IN-PLACE CONCRETE WALL (SEE STRUCT. DWGS.) WITH INTERIOR WOOD STUD FURRING WITH MIN. R-15 SPRAY FOAM INSULATION (FILL STUD CAVITY) AND (1) LAYER OF 1/2" GWB. SEE FACADE ELEVATIONS FOR VERTICAL TRIM LAYOUT.
- TYPICAL WOOD FRAME FLOOR / CEILING CONSTRUCTION:**
FINISH FLOOR ON 3/4" T&G PLYWOOD SUBFLOORING ON PRE-ENGINEERED TRUSSES (SEE STRUCT. DWGS. FOR DETAILS) WITH MIN. R-19 BATT INSULATION - AT UNDERSIDE OF TRUSSES AND (1) LAYER OF 1/2" GWB AT CEILING.
- TYPICAL WOOD FRAME FLOOR/CRAWLSPACE CONSTRUCTION:**
FINISH FLOOR ON 3/4" T&G PLYWOOD SUBFLOORING ON PRE-ENGINEERED TRUSSES (SEE STRUCT. DWGS. FOR DETAILS) WITH MIN. R-19 SPRAY FOAM INSULATION AT UNDERSIDE OF SHEATHING.
- TYPICAL ASPHALT SHINGLE SLOPED ROOF CONSTRUCTION:**
ASPHALT SHINGLES ON SYNTHETIC UNDERLAYMENT BY SHINGLE MANUF. ON ROOF SHEATHING ON PRE-ENGINEERED SLOPED ROOF TRUSSES (SEE STRUCT.) WITH R-38 SPRAY FOAM INSULATION - UNDERSIDE OF ROOF TRUSSES: 1/2" GWB OR TNG CEILING - SEE RCP.
- TYPICAL LOW SLOPED (3:12 OR LESS) METAL ROOF CONSTRUCTION:**
PREFINISHED STANDING SEAM METAL ROOF PANELS OVER HIGH-TEMP. MEMBRANE OVER SHEATHING ON FRAMING (SEE STRUCT. DWGS.)



Laura Hudson Architecture

323 Broadway St.
Suite 120
Asheville, NC 28801
626.676.0569

lharch.com

NOT FOR CONSTRUCTION

250703
TURNER RESIDENCE

1 AMHERST RD.
ASHEVILLE, NC
28803

DIRECTORY:
CLIENT:
BRIAN & HOPE TURNER
hopeforsigns@gmail.com
704.804.0187

STRUCTURAL:
PATRICK DUNN
dunnstructural@gmail.com
828.7755110

LANDSCAPE ARCHITECT:
ROB DULL
828.674.5592

CONTRACTOR:
TBD

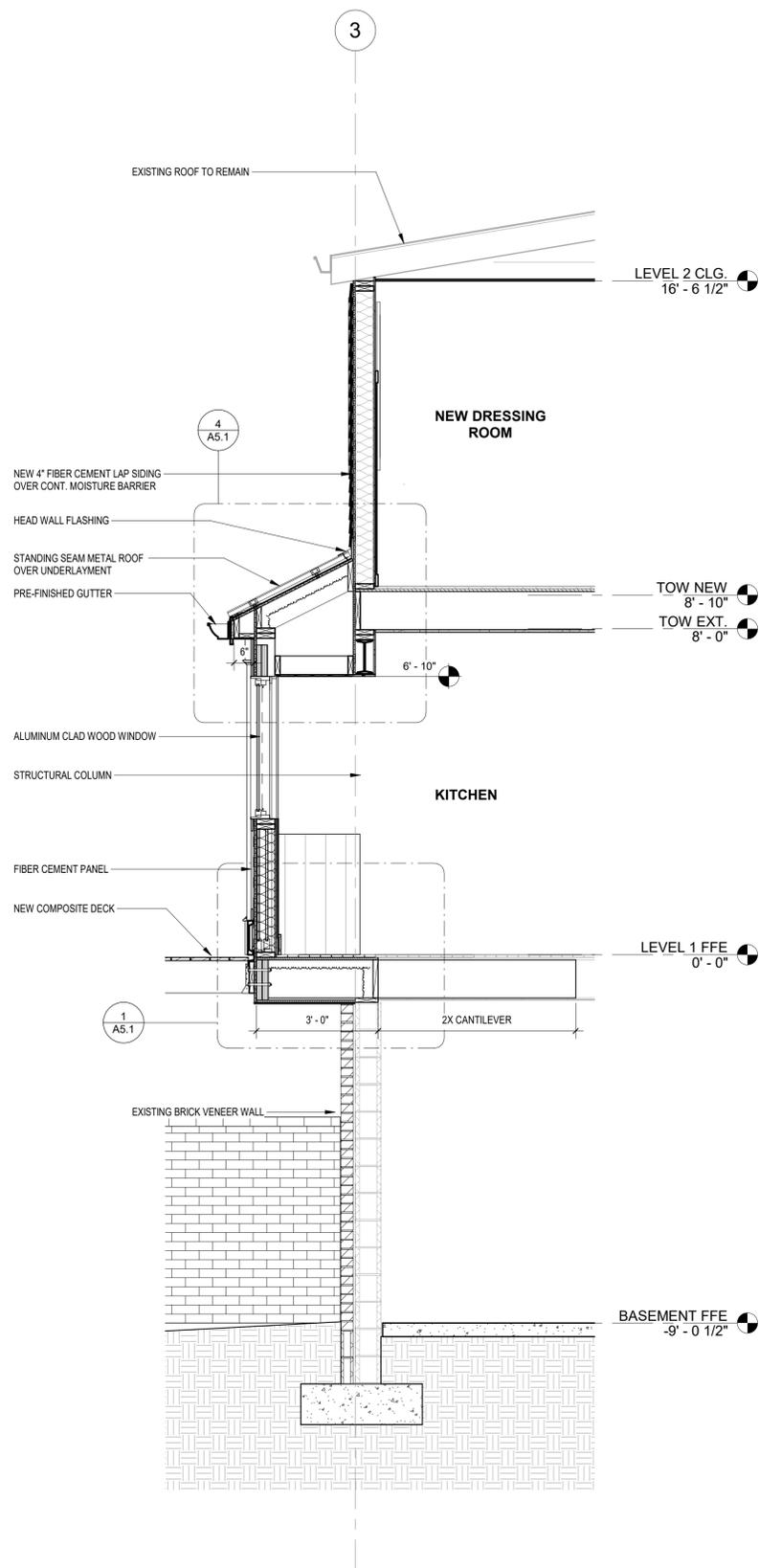
#	DESCRIPTION	DATE
---	-------------	------

CONSTRUCTION DOCUMENTATION

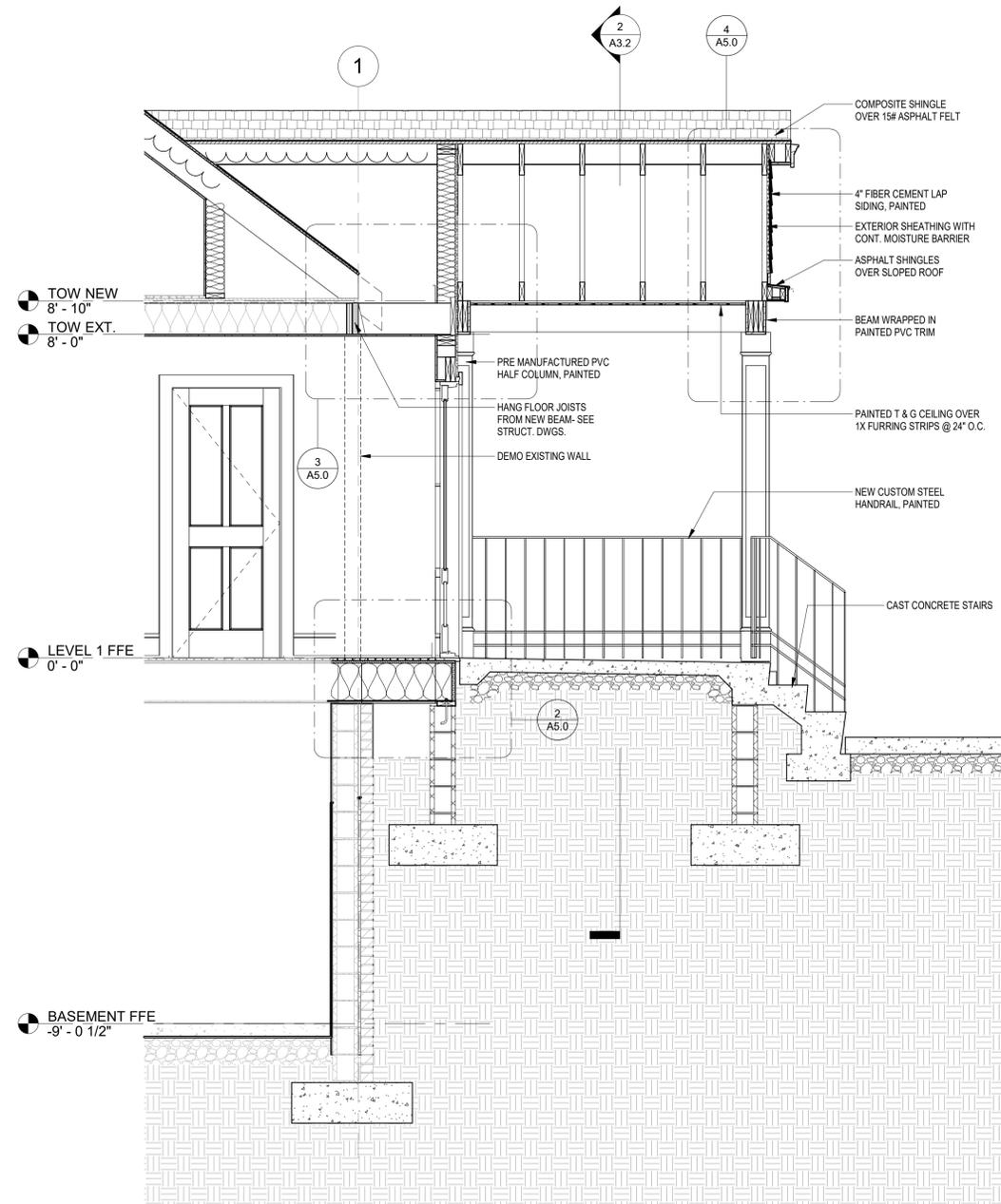
BUILDING SECTIONS

A3.2

SCALE As indicated



1 WALL SECTION AT KITCHEN
1/2" = 1'-0"



2 NEW ENTRY
1/2" = 1'-0"

SECTION NOTES

1. TYPICAL EXTERIOR WALL CONSTRUCTION (FIBER CEMENT PANEL ± WOOD STUD):
5/16\" PREFINISHED SMOOTH FIBER CEMENT 4\" LAP SIDING OVER EXTERIOR SHEATHING (SEE STRUCT. DWGS.) WITH INTEGRAL MOISTURE BARRIER ON WOOD STUD WALL W/ MIN. R-15 BATT INSULATION & (1) LAYER OF 1/2\" GWB.
2. TYPICAL WOOD FRAME FLOOR / CEILING CONSTRUCTION:
FINISH FLOOR ON 3/4\" T&G PLYWOOD SUBFLOORING ON 24\" PRE-ENGINEERED TRUSSES (SEE STRUCT. DWGS. FOR DETAILS)
3. TYPICAL ASPHALT SHINGLE SLOPED ROOF CONSTRUCTION:
ASPHALT SHINGLES ON #30 FELT OR SYNTHETIC UNDERLAYMENT BY SHINGLE MANUF. ON 3/4\" PLYWOOD ROOF SHEATHING WITH MIN. R-30 CI - UNDERSIDE OF SHEATHING ON PRE-ENGINEERED SLOPED ROOF TRUSSES (SEE STRUCT.) 1/2\" GWB OR T&G - SEE RCP DWGS.
4. TYPICAL DECK CONSTRUCTION:
COMPOSITE DECKING ON PAINTED PRESSURE-TREATED WOOD SEE STRUCTURAL DWGS. FOR FRAMING DETAILS

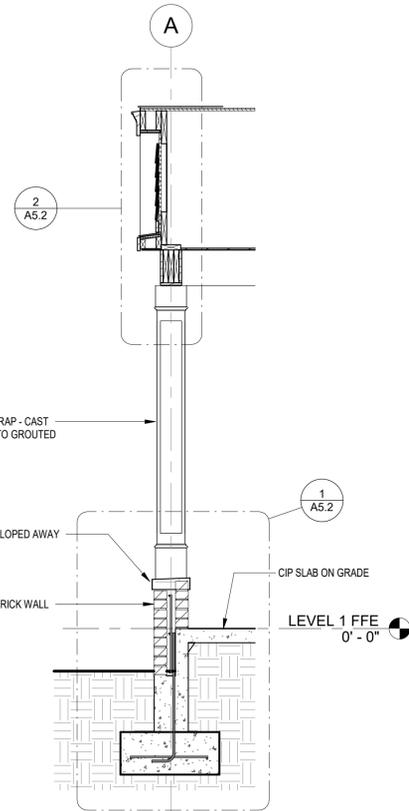
2/19/2026 3:52:43 PM Autodesk Docs://Turner Residence/Turner Residence 2026_2.rvt



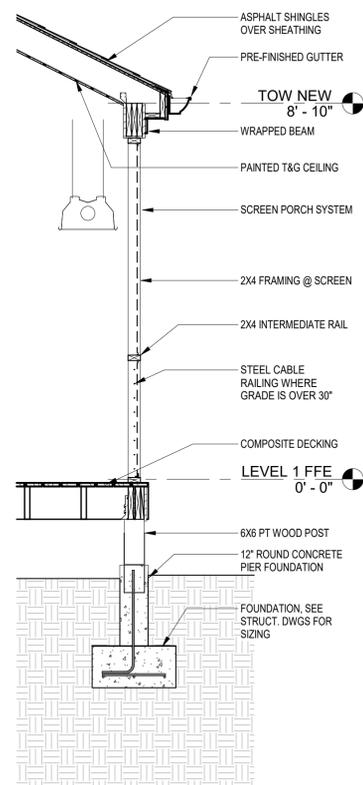
4 KITCHEN ADDITION ELEVATION
1/2" = 1'-0"

SECTION NOTES

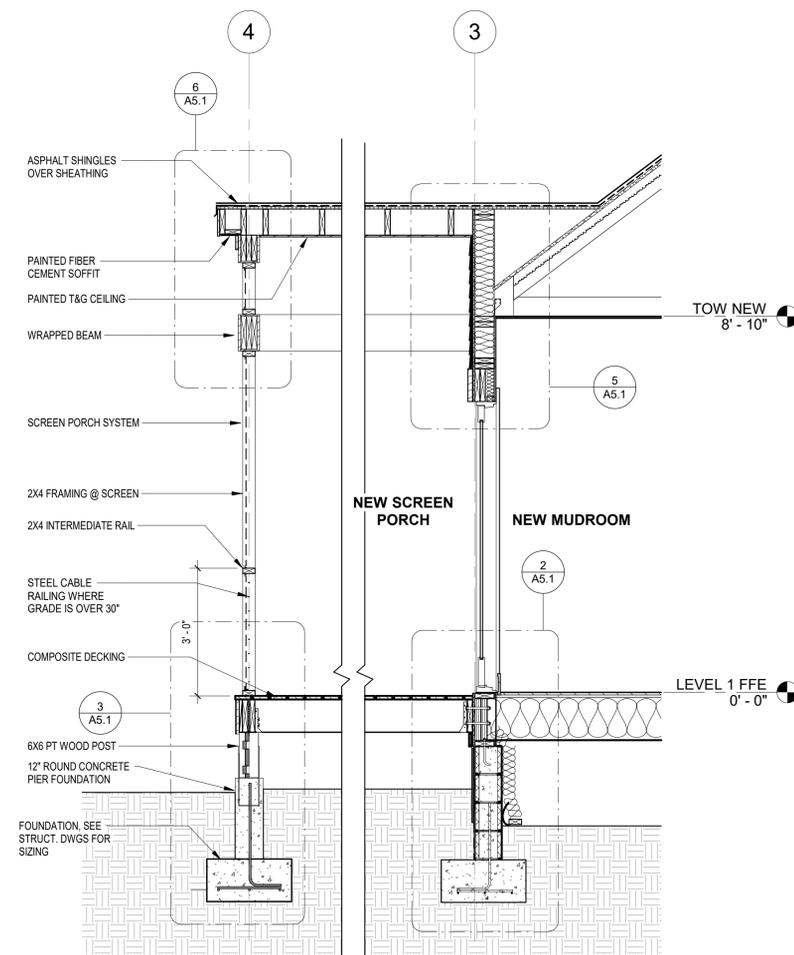
1. TYPICAL EXTERIOR WALL CONSTRUCTION: FIBER CEMENT PANEL + WOOD STUD; 5/16" PREFINISHED SMOOTH FIBER CEMENT 4" LAP SIDING OVER EXTERIOR SHEATHING (SEE STRUCT. DWGS.) WITH INTEGRAL MOISTURE BARRIER ON WOOD STUD WALL W/ MIN. R-15 BATT INSULATION & (1) LAYER OF 1/2" GWB.
2. TYPICAL WOOD FRAME FLOOR / CEILING CONSTRUCTION: FINISH FLOOR ON 3/4" T&G PLYWOOD SUBFLOORING ON 2" PRE-ENGINEERED TRUSSES (SEE STRUCT. DWGS. FOR DETAILS)
3. TYPICAL ASPHALT SHINGLE SLOPED ROOF CONSTRUCTION: ASPHALT SHINGLES ON #30 FELT OR SYNTHETIC UNDERLAYMENT BY SHINGLE MANUF. ON 3/4" PLYWOOD ROOF SHEATHING WITH MIN. R-30 CI - UNDERSIDE OF SHEATHING ON PRE-ENGINEERED SLOPED ROOF TRUSSES (SEE STRUCT.) 1/2" GWB OR T&G - SEE RCP DWGS.
4. TYPICAL DECK CONSTRUCTION: COMPOSITE DECKING ON PAINTED PRESSURE-TREATED WOOD SEE STRUCTURAL DWGS. FOR FRAMING DETAILS



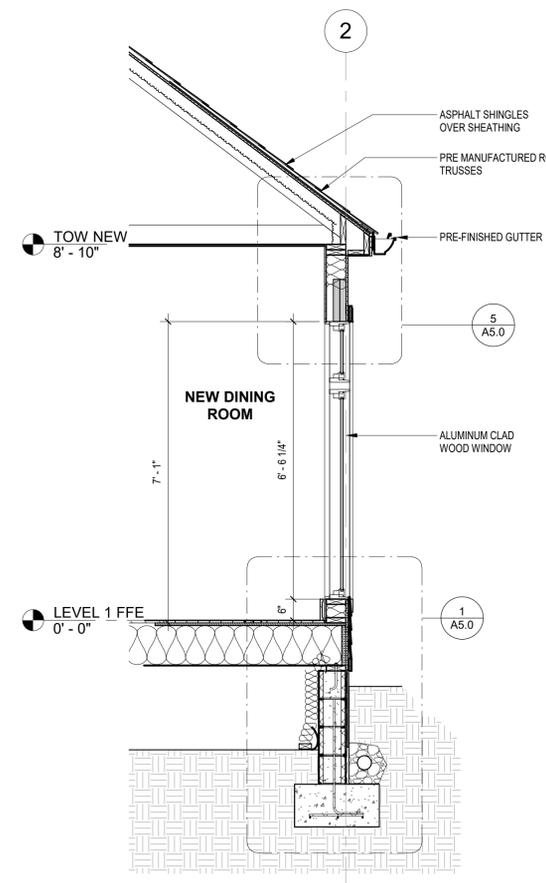
5 WALL SECTION AT CARPORT
1/2" = 1'-0"



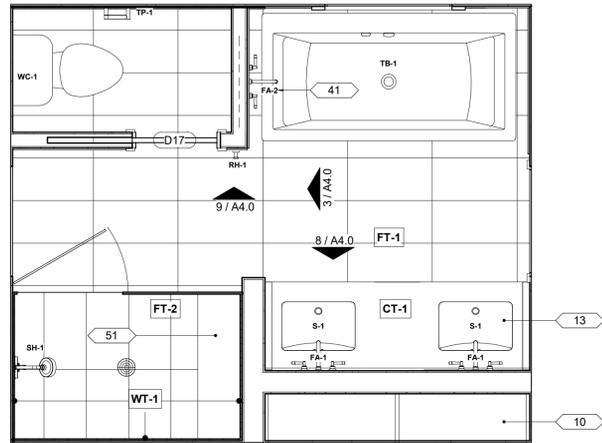
3 SECTION @ PORCH
1/2" = 1'-0"



2 SCREEN PORCH SECTION
1/2" = 1'-0"

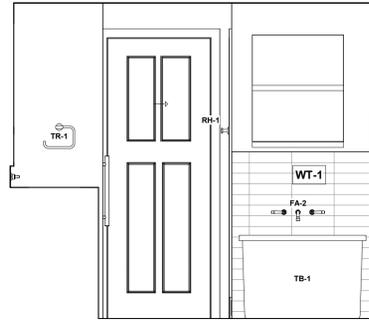


1 DINING ROOM SECTION
1/2" = 1'-0"

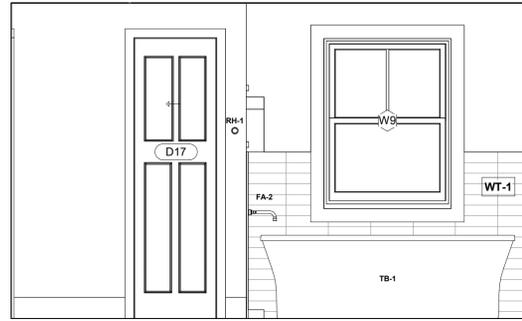


7 ENLARGED PRIMARY BATH
1/2" = 1'-0"

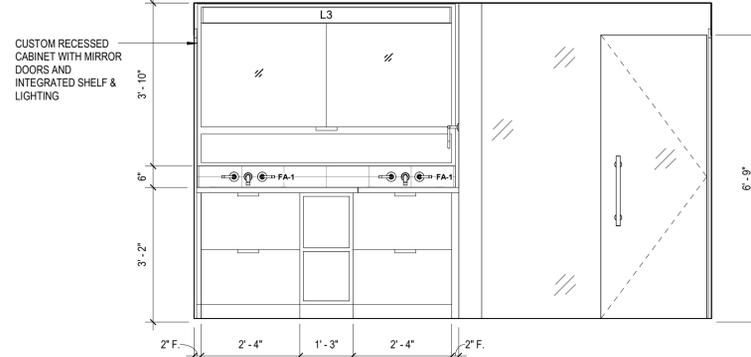
NOTE: STEAM SHOWER SYSTEM
SHOWER CEILING TO BE SLOPED



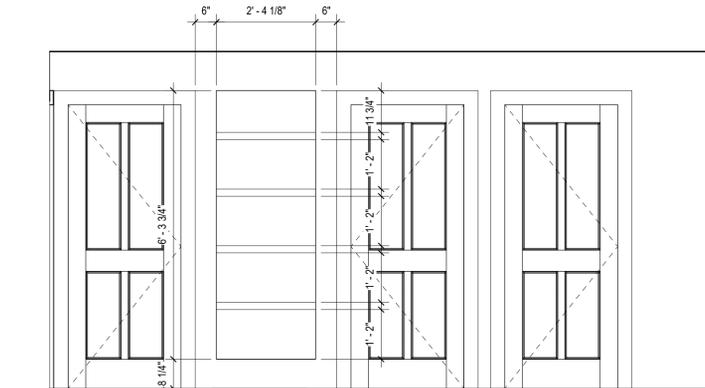
3 PRIMARY BATH ELEV. 3
1/2" = 1'-0"



9 PRIMARY BATH ELEV. 2
1/2" = 1'-0"



8 PRIMARY BATH ELEV. 1
1/2" = 1'-0"



4 SHELF NOOK
1/2" = 1'-0"

PLUMBING FIXTURE SCHEDULE									
PF-MARK	Product Name	MODEL	DESCRIPTION	Comments	MANUFACTURER	FINISH	PF LOCATION	DO NOT SCHEDULE	
TR-1	Purist	K-23526-CP	PARALELL TOWEL ARM	TOILET ACCESSORY	KOHLER	POLISHED CHROME		No	
WC-1		K-78080-0	REACH ONE PIECE COMPACT ELONGATED TOILET WITH SKIRTED TRAPWAY 1.28GPF		KOHLER	WHITE		No	
WC-1		K-78080-0	REACH ONE PIECE COMPACT ELONGATED TOILET WITH SKIRTED TRAPWAY 1.28GPF		KOHLER	WHITE		No	
S-3		TBD	27" SINK					No	
S-2	Whitehaven	MS3318	SHAKER 33" FARMHOUSE SINGLE BASIN FIRECLAY KITCHEN		SHAW	WHITE		No	
WH-1		REHP 80GAL	ELECTRIC WATER HEATER		RINNAI		GARAGE	No	
FA-3	Crue	K-28268-VS	COMPONENTS SINGLE HOLE PULL DOWN KITCHEN FAUCET		KOHLER		KITCHEN SINK 1	No	
S-3		TBD	27" SINK				KITCHEN SINK 2	No	
S-4		TBD	BATHROOM SINK				POWDER BATH	No	
FA-5		TBD	BATHROOM FAUCET		TBD		POWDER BATH	No	
WC-1		K-78080-0	REACH ONE PIECE COMPACT ELONGATED TOILET WITH SKIRTED TRAPWAY 1.28GPF	PLUMBING FIXTURE	KOHLER	WHITE	PRIMARY BATH	No	
SH-1	Castia						PRIMARY BATH	No	
D-1		TBD	FLOOR DRAIN				PRIMARY BATH	No	
TB-1	Stargaze	ELD-N-SW-OF	FREESTANDING SOAKING TUB W/VOID & OVERFLOW HOLE		VICTORIA & ALBERT	WHITE	PRIMARY BATH	No	
FA-2	Wall Mount Tub Filler Trim	K-T23491-4	WALL-MOUNT BATH FAUCET TRIM		KOHLER	VIBRANT BRUSHED BRONZE	PRIMARY BATH	No	
FA-1	Wall Mount Lavatory Faucet Trim	K-22567-4-BV	PARALLEL WALL-MOUNT SINGLE HANDED FAUCET		KOHLER	VIBRANT BRUSHED BRONZE	PRIMARY BATH	No	
FA-1	Wall Mount Lavatory Faucet Trim	K-22567-4-BV	PARALLEL WALL-MOUNT SINGLE HANDED FAUCET		KOHLER	VIBRANT BRUSHED BRONZE	PRIMARY BATH	No	
S-1	Ladena	K-2215-0	LADENA RECTANGULAR UNDERMOUNT BATHROOM SINK		KOHLER	WHITE	PRIMARY BATH	No	
S-1	Ladena	K-2215-0	LADENA RECTANGULAR UNDERMOUNT BATHROOM SINK		KOHLER	WHITE	PRIMARY BATH	No	

KEYNOTE

- 10 BUILT-IN STORAGE-SEE ELEVATIONS
- 13 DOUBLE VANITY
- 41 TUB FILLER CONTROLS
- 51 TILED SHOWER CORNER BENCH

LEGEND

- 1i CASEWORK TAG
- 1i APPLIANCE TAG
- PF TYPE PLUMBING FIXTURE TAG
- TAMARK TOILET ACCESSORY TAG
- ? KEYNOTE TAG
- WT-1 MATERIAL TAG

FINISH NOTES

1. WALL CEILING AND FLOOR FINISHES ARE TO BE PROVIDED IN EVERY ROOM UNLESS DRAWINGS OR THE ROOM FINISH SCHEDULE/PLAN SPECIFICALLY INDICATES THAT A ROOM IS TO BE 'UNFINISHED' OR EXPOSED WITHOUT FINISH. IF ROOM FINISHES ARE NOT SPECIFICALLY INDICATED, OBTAIN CLARIFICATION FROM ARCHITECT/INTERIOR DESIGNER.
2. USE FINISH SCHEDULE IN CONJUNCTION WITH CONSTRUCTION DOCUMENTS, SPECIFICATIONS, FLOOR PLANS, AND INTERIOR ELEVATIONS. ANY DISCREPANCIES AND/OR OMISSIONS SHOULD BE BROUGHT TO THE ATTENTION OF THE ARCHITECT/INTERIOR DESIGNER FOR RESOLUTION.
3. REFER TO INTERIOR ELEVATIONS AND BUILDING SECTIONS FOR EXTENTS OF ACCENT COLORS AND/OR MATERIALS.
4. ALL PRODUCTS AND MATERIALS LISTED ON THE FINISH SCHEDULE HAVE BEEN SELECTED ON A 'BASIS OF DESIGN' INTENT. ALL SUBSTITUTIONS SHALL BE SUBMITTED TO ARCHITECT/INTERIOR DESIGNER FOR APPROVAL WITH ALL APPLICABLE SPECIFICATION DOCUMENTATION AND ACTUAL SAMPLES OF COLORS AND FINISHES. ALL FINISHES AND MATERIALS WILL BE EVALUATED BY FACTORS INCLUDING BUT NOT LIMITED TO STYLE, PERFORMANCE, FINISH, COLOR, PATTERN, TEST DATA, WORKMANSHIP, ETC.
5. ALL PRODUCTS AND MATERIALS LISTED IN THE FINISH SCHEDULE SHALL BE INSTALLED PER MANUFACTURERS PREPARATION AND INSTALLATION SUGGESTIONS.
6. THE GENERAL CONTRACTOR AND/OR SUBCONTRACTOR(S) IS RESPONSIBLE FOR THE PROPER FITTING AND CONNECTION OF MATERIALS, FINISHES AND EQUIPMENT. ALL DIMENSIONS INDICATED ON THE DRAWINGS ARE APPROXIMATE AND SHOULD BE CHECKED AND VERIFIED WITH THE ACTUAL FIELD CONDITIONS PRIOR TO ORDERING AND/OR FABRICATING MATERIALS.
7. ENSURE SURFACES TO RECEIVE NEW FINISHES ARE CLEAN, TRUE AND FREE OF IRREGULARITIES. DO NOT PROCEED WITH WORK UNTIL UNSATISFACTORY CONDITIONS HAVE BEEN CORRECTED. STARTING OF WORK INDICATES INSTALLER'S ACCEPTANCE OF SUBSTRATE.
8. RESTORE ALL NEW SURFACES DAMAGED DURING CONSTRUCTION TO MATCH ADJACENT FINISHES INCLUDING BUT NOT LIMITED TO CARPET, VCT, TILE, SHEET GOODS, PAINT, RESILIENT BASE, CEILING TILE AND GRID, ETC.
9. WHEN PAINTING, CONTRACTOR SHALL TAKE ANY MEASUREMENTS NECESSARY TO PROTECT ANY/ALL ITEMS THAT ARE NOT TO BE PAINTED.
10. GENERAL WALL PAINT TO BE EGGSHHELL/SATIN FINISH, UNLESS OTHERWISE NOTED.
11. DRYWALL CEILINGS/UNDERSIDE OF SOFFITS PAINT TO BE FLAT FINISH, UNLESS OTHERWISE NOTED.
12. ALL PAINTED TRIM/FRAMES/DOORS TO BE SEMI-GLOSS FINISH AND MATCH ADJACENT WALL FINISH, UNLESS OTHERWISE NOTED.
13. ALL VERTICAL FACES OF SOFFITS, UNLESS OTHERWISE NOTED, ARE TO MATCH THE ADJACENT WALL COLOR (PAINT AND/OR WALL COVERING).
14. ALL FINISHES IN CLOSETS SHALL MATCH ADJACENT SPACES, UNLESS OTHERWISE NOTED.
15. CONTRACTOR TO SUBMIT DRAW-DOWNS OF EACH SPECIFIED COLOR FOR ARCHITECT/INTERIOR DESIGNER APPROVAL. REVIEW FINAL PAINT COLORS/LOCATIONS WITH ARCHITECT/INTERIOR DESIGNER PRIOR TO BEGINNING PAINTING.
16. ALL FLOOR MATERIAL TRANSITIONS TO OCCUR AT THE CENTERLINE OF THE CLOSED DOOR, UNLESS OTHERWISE NOTED.
17. ALL GROUT IN BATHROOMS (WALLS AND FLOORS) TO BE EPOXY GROUT. AT ALL AREAS OF WALL TILE, PROVIDE SCHLUTER TRIM PROFILE TO PROTECT TILE EDGES AND PROVIDE APPROPRIATE TRANSITION AT CORNER AND MATERIAL CHANGE CONDITIONS.
18. ALL WALL BASE TO BE 4" HIGH, UNLESS OTHERWISE NOTED.



Laura Hudson Architecture

323 Broadway St.
Suite 120
Asheville, NC 28801
626.676.0569

lharch.com

NOT FOR CONSTRUCTION

250703

TURNER RESIDENCE

1 AMHERST RD.
ASHEVILLE, NC 28803

DIRECTORY:
CLIENT:
BRIAN & HOPE TURNER
hopeforsigns@gmail.com
704.804.0187

STRUCTURAL:
PATRICK DUNN
dunnstructural@gmail.com
828.7755110

LANDSCAPE ARCHITECT:
ROB DULL
828.674.5592

CONTRACTOR:
TBD

A Issued for Bid 01.05.26

DESCRIPTION DATE

CONSTRUCTION DOCUMENTATION

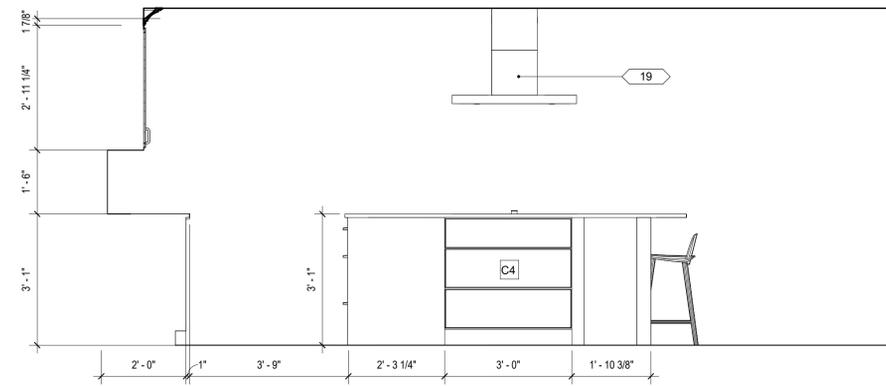
ENLARGED PRIMARY BATH

A4.0

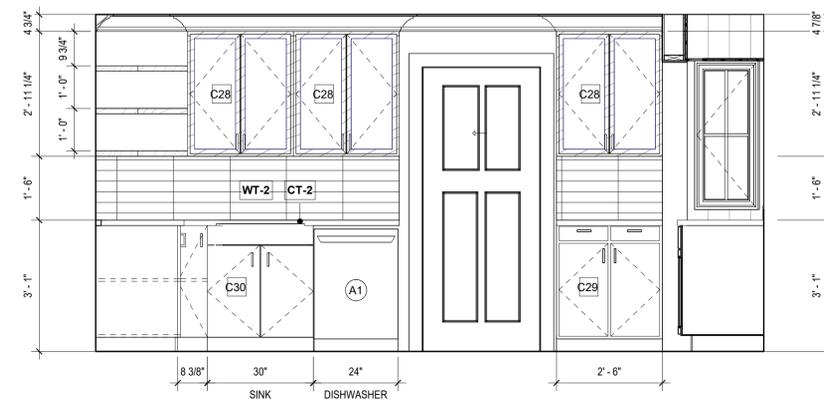
SCALE As indicated



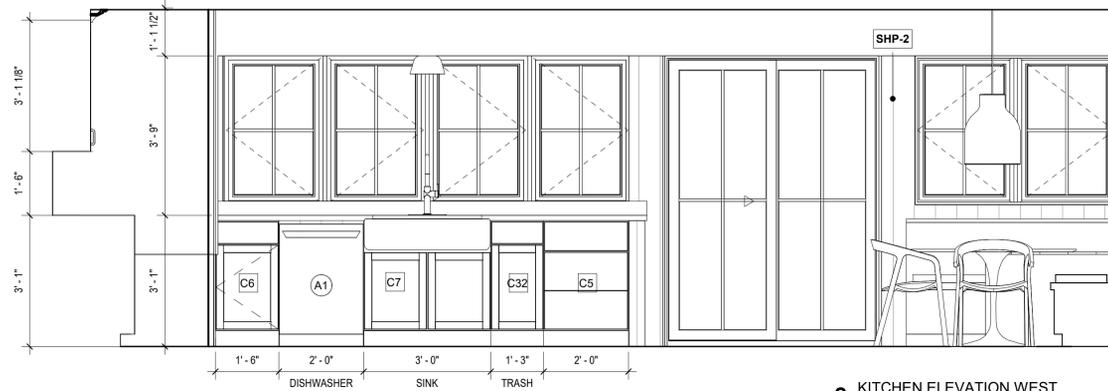
6 3D KITCHEN VIEW 2



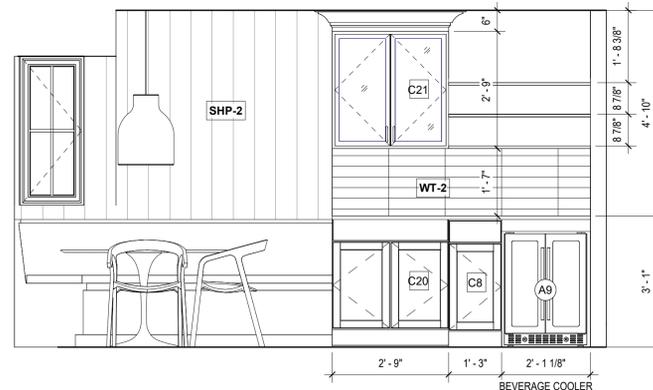
4 KITCHEN ISLAND WEST
1/2" = 1'-0"



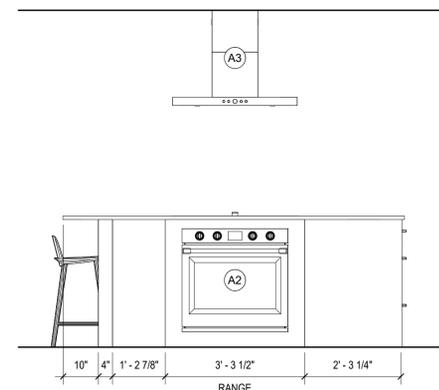
3 KITCHEN ELEVATION SOUTH
1/2" = 1'-0"



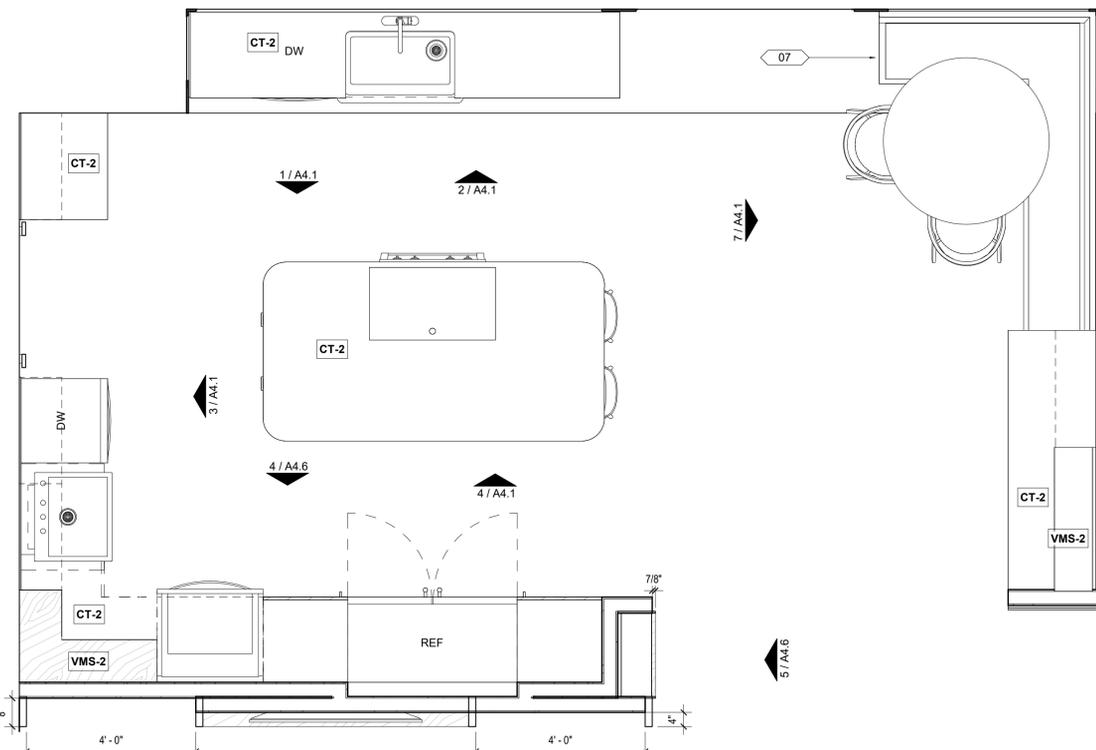
2 KITCHEN ELEVATION WEST
1/2" = 1'-0"



7 BREAKFAST NOOK
1/2" = 1'-0"



1 KITCHEN ISLAND EAST
1/2" = 1'-0"



5 ENLARGED KITCHEN PLAN
1/2" = 1'-0"

KEYNOTE

07	BUILT-IN BENCH
19	HOOD EXHAUST

LEGEND

1i	CASEWORK TAG
1l	APPLIANCE TAG
PF TYPE	PLUMBING FIXTURE TAG
TAMARK	TOILET ACCESSORY TAG
?	KEYNOTE TAG
WT-1	MATERIAL TAG

FINISH NOTES

1. WALL, CEILING AND FLOOR FINISHES ARE TO BE PROVIDED IN EVERY ROOM UNLESS DRAWINGS OR THE ROOM FINISH SCHEDULE/PLAN SPECIFICALLY INDICATES THAT A ROOM IS TO BE "UNFINISHED" OR EXPOSED WITHOUT FINISH. IF ROOM FINISHES ARE NOT SPECIFICALLY INDICATED, OBTAIN CLARIFICATION FROM ARCHITECT/INTERIOR DESIGNER.
2. USE FINISH SCHEDULE IN CONJUNCTION WITH CONSTRUCTION DOCUMENTS, SPECIFICATIONS, FLOOR PLANS, AND INTERIOR ELEVATIONS. ANY DISCREPANCIES AND/OR OMISSIONS SHOULD BE BROUGHT TO THE ATTENTION OF THE ARCHITECT/INTERIOR DESIGNER FOR RESOLUTION. REFER TO INTERIOR ELEVATIONS AND BUILDING SECTIONS FOR EXTENTS OF ACCENT COLORS AND/OR MATERIALS.
3. ALL PRODUCTS AND MATERIALS LISTED ON THE FINISH SCHEDULE HAVE BEEN SELECTED ON A "BASIS OF DESIGN" INTENT. ALL SUBSTITUTIONS SHALL BE SUBMITTED TO ARCHITECT/INTERIOR DESIGNER FOR APPROVAL WITH ALL APPLICABLE SPECIFICATION DOCUMENTATION AND ACTUAL SAMPLES OF COLORS AND FINISHES. ALL FINISHES AND MATERIALS WILL BE EVALUATED BY FACTORS INCLUDING BUT NOT LIMITED TO STYLE, PERFORMANCE, FINISH, COLOR, PATTERN, TEST DATA, WORKMANSHIP, ETC.
4. ALL PRODUCTS AND MATERIALS LISTED IN THE FINISH SCHEDULE SHALL BE INSTALLED PER MANUFACTURERS PREPARATION AND INSTALLATION SUGGESTIONS.
5. THE GENERAL CONTRACTOR AND/OR SUBCONTRACTOR(S) IS RESPONSIBLE FOR THE PROPER FITTING AND CONNECTION OF MATERIALS, FINISHES AND EQUIPMENT. ALL DIMENSIONS INDICATED ON THE DRAWINGS ARE APPROXIMATE AND SHOULD BE CHECKED AND VERIFIED WITH THE ACTUAL FIELD CONDITIONS PRIOR TO ORDERING AND/OR FABRICATING MATERIALS.
6. ENSURE SURFACES TO RECEIVE NEW FINISHES ARE CLEAN, TRUE AND FREE OF IRREGULARITIES. DO NOT PROCEED WITH WORK UNTIL UNSATISFACTORY CONDITIONS HAVE BEEN CORRECTED. STARTING OF WORK INDICATES INSTALLER'S ACCEPTANCE OF SUBSTRATE.
7. RESTORE ALL NEW SURFACES DAMAGED DURING CONSTRUCTION TO MATCH ADJACENT FINISHES INCLUDING BUT NOT LIMITED TO CARPET, VCT, TILE, SHEET GOODS, PAINT, RESILIENT BASE, CEILING TILE AND GRID, ETC.
8. WHEN PAINTING, CONTRACTOR SHALL TAKE ANY MEASUREMENTS NECESSARY TO PROTECT ANY/ALL ITEMS THAT ARE NOT TO BE PAINTED.
9. GENERAL WALL PAINT TO BE EGGSHELL/SATIN FINISH, UNLESS OTHERWISE NOTED.
10. DRYWALL CEILINGS/UNDERSIDE OF SOFFITS PAINT TO BE FLAT FINISH, UNLESS OTHERWISE NOTED.
11. ALL PAINTED TRIM/FRAMES/DOORS TO BE SEMI-GLOSS FINISH AND MATCH ADJACENT WALL FINISH, UNLESS OTHERWISE NOTED.
12. ALL VERTICAL FACES OF SOFFITS, UNLESS OTHERWISE NOTED, ARE TO MATCH THE ADJACENT WALL COLOR (PAINT AND/OR WALL COVERING).
13. ALL FINISHES IN CLOSETS SHALL MATCH ADJACENT SPACES, UNLESS OTHERWISE NOTED.
14. CONTRACTOR TO SUBMIT DRAW-DOWNS OF EACH SPECIFIED COLOR FOR ARCHITECT/INTERIOR DESIGNER APPROVAL. REVIEW FINAL PAINT COLORS/LOCATIONS WITH ARCHITECT/INTERIOR DESIGNER PRIOR TO BEGINNING PAINTING.
15. ALL FLOOR MATERIAL TRANSITIONS TO OCCUR AT THE CENTERLINE OF THE CLOSED DOOR, UNLESS OTHERWISE NOTED.
16. ALL GROUT IN BATHROOMS (WALLS AND FLOORS) TO BE EPOXY GROUT. AT ALL AREAS OF WALL TILE, PROVIDE SCHLUTER TRIM PROFILE TO PROTECT TILE EDGES AND PROVIDE APPROPRIATE TRANSITION AT CORNER AND MATERIAL CHANGE CONDITIONS.
17. ALL WALL BASE TO BE 4" HIGH, UNLESS OTHERWISE NOTED.



Laura Hudson Architecture

323 Broadway St.
Suite 120
Asheville, NC 28801
626.676.0569

lharch.com

NOT FOR CONSTRUCTION

250703

TURNER RESIDENCE

1 AMHERST RD.
ASHEVILLE, NC 28803

DIRECTORY:
CLIENT:
BRIAN & HOPE TURNER
hopeforsigns@gmail.com
704.804.0187

STRUCTURAL:
PATRICK DUNN
dunnstructural@gmail.com
828.7755110

LANDSCAPE ARCHITECT:
ROB DULL
828.674.5592

CONTRACTOR:
TBD

A Issued for Bid 01.05.26

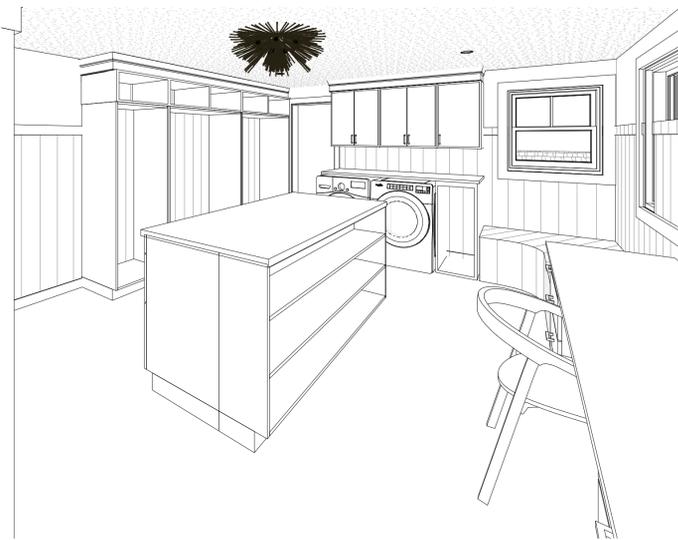
#	DESCRIPTION	DATE
---	-------------	------

CONSTRUCTION DOCUMENTATION

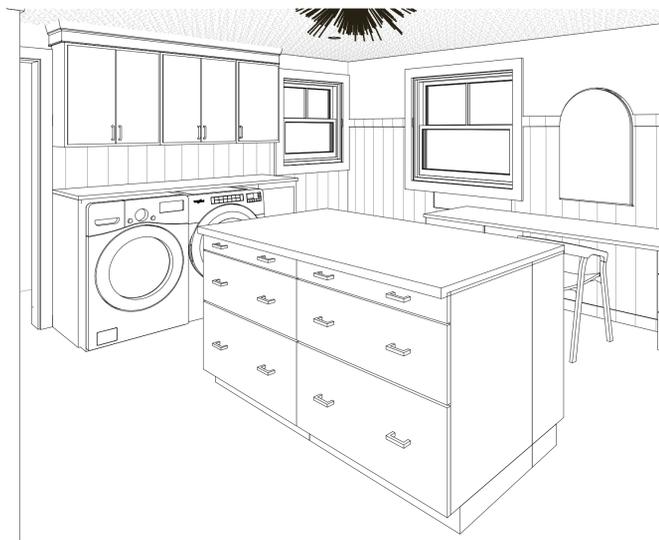
ENLARGED PLANS & INTERIOR ELEVATIONS

A4.1

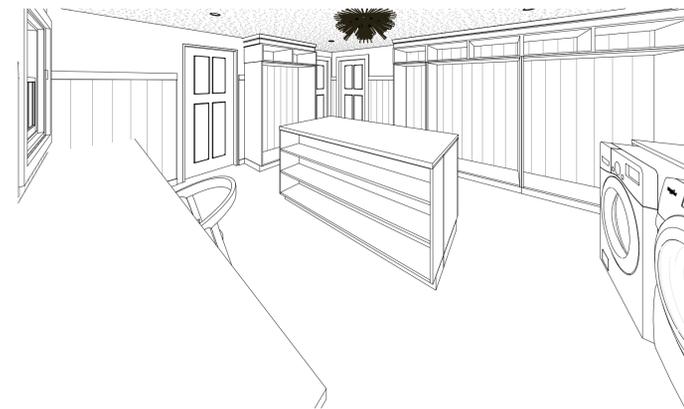
SCALE As indicated



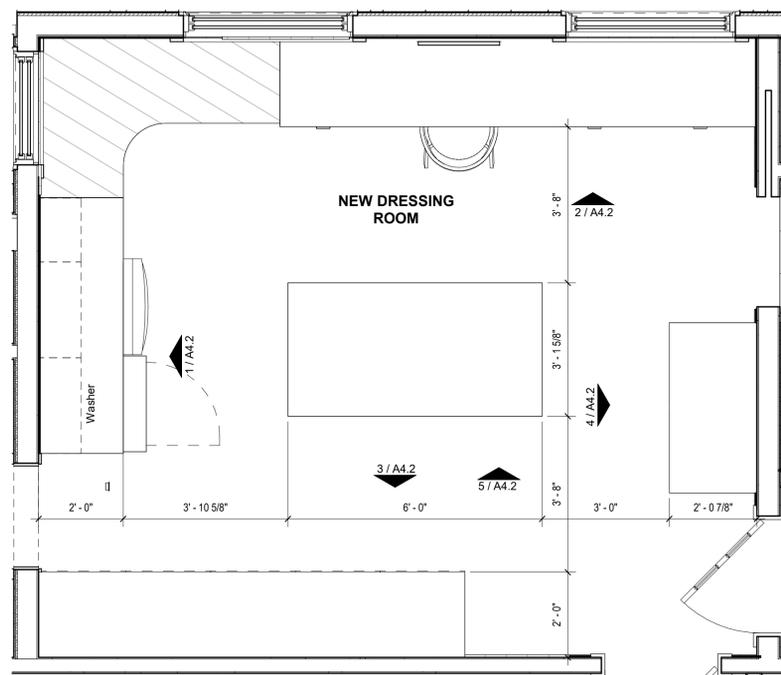
9 DRESSING ROOM 3D 2



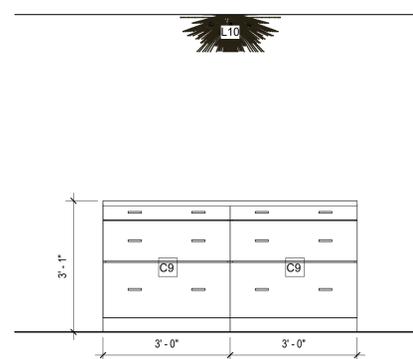
8 DRESSING ROOM 3D 1



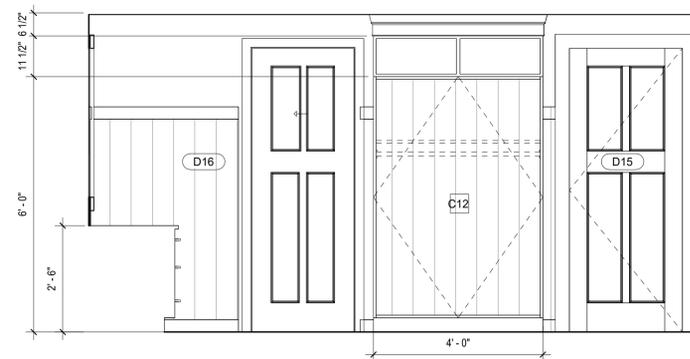
7 DRESSING ROOM 3D 3



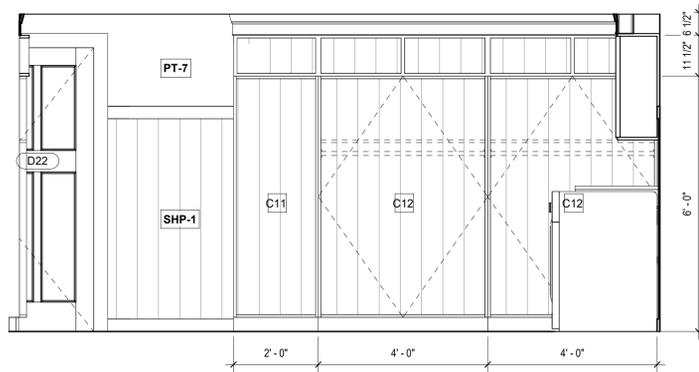
6 ENLARGED DRESSING ROOM PLAN
1/2" = 1'-0"



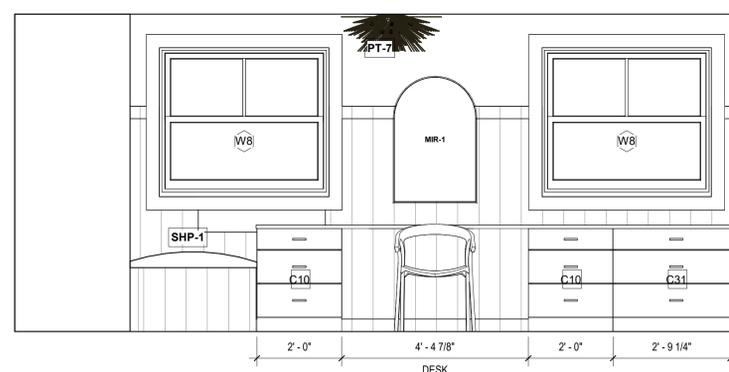
5 DRESSING ROOM ISLAND
1/2" = 1'-0"



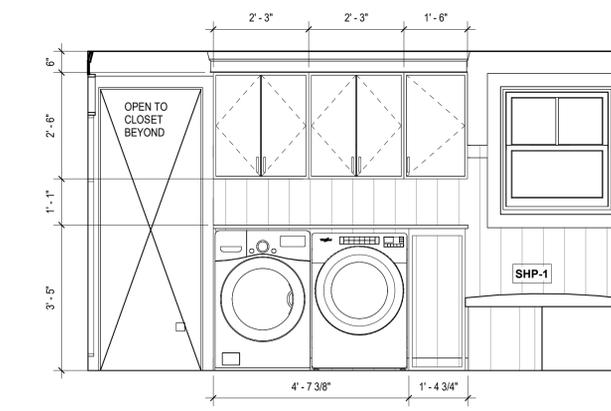
4 DRESSING ROOM ELEV. 4
1/2" = 1'-0"



3 DRESSING ROOM ELEV. 3
1/2" = 1'-0"



2 DRESSING ROOM ELEV. 2
1/2" = 1'-0"



1 DRESSING ROOM ELEV. 1
1/2" = 1'-0"

KEYNOTE

- 1i CASEWORK TAG
- 1i APPLIANCE TAG
- PF TYPE PLUMBING FIXTURE TAG
- TA-MARK TOILET ACCESSORY TAG
- ? KEYNOTE TAG
- WT-1 MATERIAL TAG

FINISH NOTES

1. WALL, CEILING AND FLOOR FINISHES ARE TO BE PROVIDED IN EVERY ROOM UNLESS DRAWINGS OR THE ROOM FINISH SCHEDULE/PLAN SPECIFICALLY INDICATES THAT A ROOM IS TO BE "UNFINISHED" OR EXPOSED WITHOUT FINISH. IF ROOM FINISHES ARE NOT SPECIFICALLY INDICATED, OBTAIN CLARIFICATION FROM ARCHITECT/INTERIOR DESIGNER.
2. USE FINISH SCHEDULE IN CONJUNCTION WITH CONSTRUCTION DOCUMENTS, SPECIFICATIONS, FLOOR PLANS, AND INTERIOR ELEVATIONS. ANY DISCREPANCIES AND/OR OMISSIONS SHOULD BE BROUGHT TO THE ATTENTION OF THE ARCHITECT/INTERIOR DESIGNER FOR RESOLUTION. REFER TO INTERIOR ELEVATIONS AND BUILDING SECTIONS FOR EXTENTS OF ACCENT COLORS AND/OR MATERIALS.
3. ALL PRODUCTS AND MATERIALS LISTED ON THE FINISH SCHEDULE HAVE BEEN SELECTED ON A "BASIS OF DESIGN" INTENT. ALL SUBSTITUTIONS SHALL BE SUBMITTED TO ARCHITECT/INTERIOR DESIGNER FOR APPROVAL WITH ALL APPLICABLE SPECIFICATION DOCUMENTATION AND ACTUAL SAMPLES OF COLORS AND FINISHES. ALL FINISHES AND MATERIALS WILL BE EVALUATED BY FACTORS INCLUDING BUT NOT LIMITED TO STYLE, PERFORMANCE, FINISH, COLOR, PATTERN, TEST DATA, WORKMANSHIP, ETC.
4. ALL PRODUCTS AND MATERIALS LISTED IN THE FINISH SCHEDULE SHALL BE INSTALLED PER MANUFACTURERS PREPARATION AND INSTALLATION SUGGESTIONS.
5. THE GENERAL CONTRACTOR AND/OR SUBCONTRACTOR(S) IS RESPONSIBLE FOR THE PROPER FITTING AND CONNECTION OF MATERIALS, FINISHES AND EQUIPMENT. ALL DIMENSIONS INDICATED ON THE DRAWINGS ARE APPROXIMATE AND SHOULD BE CHECKED AND VERIFIED WITH THE ACTUAL FIELD CONDITIONS PRIOR TO ORDERING AND/OR FABRICATING MATERIALS.
6. ENSURE SURFACES TO RECEIVE NEW FINISHES ARE CLEAN, TRUE AND FREE OF IRREGULARITIES. DO NOT PROCEED WITH WORK UNTIL UNSATISFACTORY CONDITIONS HAVE BEEN CORRECTED. STARTING OF WORK INDICATES INSTALLER'S ACCEPTANCE OF SUBSTRATE.
7. RESTORE ALL NEW SURFACES DAMAGED DURING CONSTRUCTION TO MATCH ADJACENT FINISHES INCLUDING BUT NOT LIMITED TO CARPET, VCT, TILE, SHEET GOODS, PAINT, RESILIENT BASE, CEILING TILE AND GRID, ETC.
8. WHEN PAINTING, CONTRACTOR SHALL TAKE ANY MEASUREMENTS NECESSARY TO PROTECT ANY/ALL ITEMS THAT ARE NOT TO BE PAINTED.
9. GENERAL WALL PAINT TO BE EGGSHELL/SATIN FINISH, UNLESS OTHERWISE NOTED.
10. DRYWALL CEILING/UNDERSIDE OF SOFFITS PAINT TO BE FLAT FINISH, UNLESS OTHERWISE NOTED.
11. ALL PAINTED TRIM/FRAMES/DOORS TO BE SEMI-GLOSS FINISH AND MATCH ADJACENT WALL FINISH, UNLESS OTHERWISE NOTED.
12. ALL VERTICAL FACES OF SOFFITS, UNLESS OTHERWISE NOTED, ARE TO MATCH THE ADJACENT WALL COLOR (PAINT AND/OR WALL COVERING).
13. ALL FINISHES IN CLOSETS SHALL MATCH ADJACENT SPACES, UNLESS OTHERWISE NOTED.
14. CONTRACTOR TO SUBMIT DRAW-DOWNS OF EACH SPECIFIED COLOR FOR ARCHITECT/INTERIOR DESIGNER APPROVAL. REVIEW FINAL PAINT COLOR LOCATIONS WITH ARCHITECT/INTERIOR DESIGNER PRIOR TO BEGINNING PAINTING.
15. ALL FLOOR MATERIAL TRANSITIONS TO OCCUR AT THE CENTERLINE OF THE CLOSED DOOR, UNLESS OTHERWISE NOTED.
16. ALL GROUT IN BATHROOMS (WALLS AND FLOORS) TO BE EPOXY GROUT. AT ALL AREAS OF WALL TILE, PROVIDE SCHLUTER TRIM PROFILE TO PROTECT TILE EDGES AND PROVIDE APPROPRIATE TRANSITION AT CORNER AND MATERIAL CHANGE CONDITIONS.
17. ALL WALL BASE TO BE 4" HIGH, UNLESS OTHERWISE NOTED.



Laura Hudson Architecture

323 Broadway St.
Suite 120
Asheville, NC 28801
626.676.0569

lharch.com

NOT FOR CONSTRUCTION

250703

TURNER RESIDENCE

1 AMHERST RD.
ASHEVILLE, NC 28803

DIRECTORY:
CLIENT:
BRIAN & HOPE TURNER
hopeforsigns@gmail.com
704.804.0187

STRUCTURAL:
PATRICK DUNN
dunnstructural@gmail.com
828.7755110

LANDSCAPE ARCHITECT:
ROB DULL
828.674.5592

CONTRACTOR:
TBD

A Issued for Bid 01.05.26

DESCRIPTION DATE

CONSTRUCTION DOCUMENTATION

ENLARGED PLANS & INTERIOR ELEVATIONS

A4.2

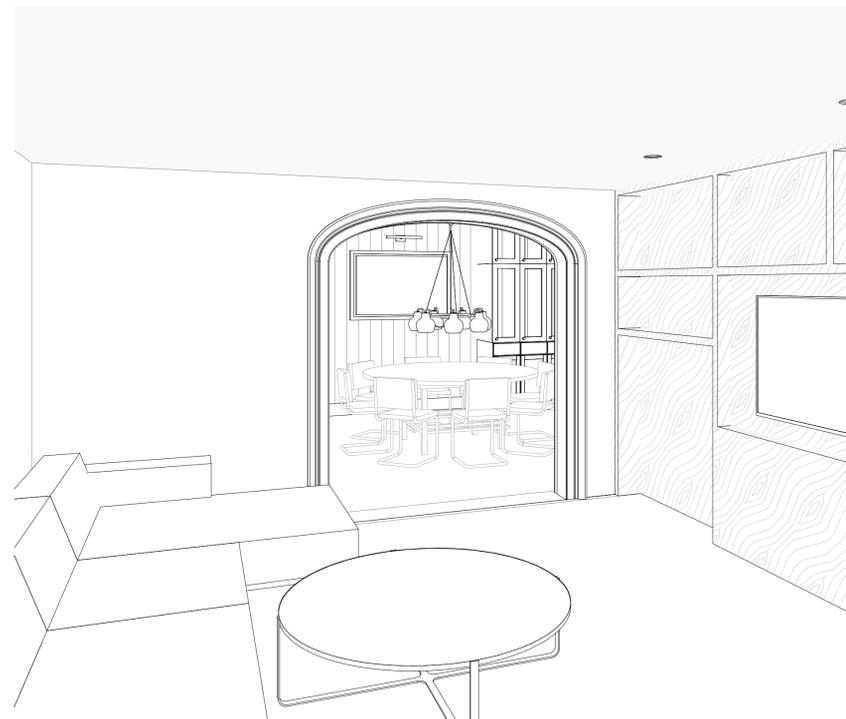
SCALE As indicated



2 3D PRIMARY BATH 2



1 3D PRIMARY BATH 1



3 DINING ROOM VIEW

KEYNOTE

LEGEND

- 1i CASEWORK TAG
- 1i APPLIANCE TAG
- PF TYPE PLUMBING FIXTURE TAG
- TAMARK TOILET ACCESSORY TAG
- ? KEYNOTE TAG
- WT-1 MATERIAL TAG

FINISH NOTES

1. WALL, CEILING AND FLOOR FINISHES ARE TO BE PROVIDED IN EVERY ROOM UNLESS DRAWINGS OR THE ROOM FINISH SCHEDULE/PLAN SPECIFICALLY INDICATES THAT A ROOM IS TO BE "UNFINISHED" OR EXPOSED WITHOUT FINISH. IF ROOM FINISHES ARE NOT SPECIFICALLY INDICATED, OBTAIN CLARIFICATION FROM ARCHITECT/INTERIOR DESIGNER.
2. USE FINISH SCHEDULE IN CONJUNCTION WITH CONSTRUCTION DOCUMENTS, SPECIFICATIONS, FLOOR PLANS, AND INTERIOR ELEVATIONS. ANY DISCREPANCIES AND/OR OMISSIONS SHOULD BE BROUGHT TO THE ATTENTION OF THE ARCHITECT/INTERIOR DESIGNER FOR RESOLUTION. REFER TO INTERIOR ELEVATIONS AND BUILDING SECTIONS FOR EXTENTS OF ACCENT COLORS AND/OR MATERIALS.
3. ALL PRODUCTS AND MATERIALS LISTED ON THE FINISH SCHEDULE HAVE BEEN SELECTED ON A "BASIS OF DESIGN" INTENT. ALL SUBSTITUTIONS SHALL BE SUBMITTED TO ARCHITECT/INTERIOR DESIGNER FOR APPROVAL WITH ALL APPLICABLE SPECIFICATION DOCUMENTATION AND ACTUAL SAMPLES OF COLORS AND FINISHES. ALL FINISHES AND MATERIALS WILL BE EVALUATED BY FACTORS INCLUDING BUT NOT LIMITED TO STYLE, PERFORMANCE, FINISH, COLOR, PATTERN, TEST DATA, WORKMANSHIP, ETC.
4. ALL PRODUCTS AND MATERIALS LISTED IN THE FINISH SCHEDULE SHALL BE INSTALLED PER MANUFACTURERS PREPARATION AND INSTALLATION SUGGESTIONS.
5. THE GENERAL CONTRACTOR AND/OR SUBCONTRACTOR(S) IS RESPONSIBLE FOR THE PROPER FITTING AND CONNECTION OF MATERIALS, FINISHES AND EQUIPMENT. ALL DIMENSIONS INDICATED ON THE DRAWINGS ARE APPROXIMATE AND SHOULD BE CHECKED AND VERIFIED WITH THE ACTUAL FIELD CONDITIONS PRIOR TO ORDERING AND/OR FABRICATING MATERIALS.
6. ENSURE SURFACES TO RECEIVE NEW FINISHES ARE CLEAN, TRUE AND FREE OF IRREGULARITIES. DO NOT PROCEED WITH WORK UNTIL UNSATISFACTORY CONDITIONS HAVE BEEN CORRECTED. STARTING OF WORK INDICATES INSTALLER'S ACCEPTANCE OF SUBSTRATE.
7. RESTORE ALL NEW SURFACES DAMAGED DURING CONSTRUCTION TO MATCH ADJACENT FINISHES INCLUDING BUT NOT LIMITED TO CARPET, VCT, TILE, SHEET GOODS, PAINT, RESILIENT BASE, CEILING TILE AND GRID, ETC.
8. WHEN PAINTING, CONTRACTOR SHALL TAKE ANY MEASUREMENTS NECESSARY TO PROTECT ANY/ALL ITEMS THAT ARE NOT TO BE PAINTED.
9. GENERAL WALL PAINT TO BE EGGSHELL/SATIN FINISH, UNLESS OTHERWISE NOTED.
10. DRYWALL CEILING/UNDERSIDE OF SOFFITS PAINT TO BE FLAT FINISH, UNLESS OTHERWISE NOTED.
11. ALL PAINTED TRIM/FRAMES/DOORS TO BE SEMI-GLOSS FINISH AND MATCH ADJACENT WALL FINISH, UNLESS OTHERWISE NOTED.
12. ALL VERTICAL FACES OF SOFFITS, UNLESS OTHERWISE NOTED, ARE TO MATCH THE ADJACENT WALL COLOR (PAINT AND/OR WALL COVERING).
13. ALL FINISHES IN CLOSETS SHALL MATCH ADJACENT SPACES, UNLESS OTHERWISE NOTED.
14. CONTRACTOR TO SUBMIT DRAW-DOWNS OF EACH SPECIFIED COLOR FOR ARCHITECT/INTERIOR DESIGNER APPROVAL. REVIEW FINAL PAINT COLORS/LOCATIONS WITH ARCHITECT/INTERIOR DESIGNER PRIOR TO BEGINNING PAINTING.
15. ALL FLOOR MATERIAL TRANSITIONS TO OCCUR AT THE CENTERLINE OF THE CLOSED DOOR, UNLESS OTHERWISE NOTED.
16. ALL GROUT IN BATHROOMS (WALLS AND FLOORS) TO BE EPOXY GROUT. AT ALL AREAS OF WALL TILE, PROVIDE SCHLUTER TRIM PROFILE TO PROTECT TILE EDGES AND PROVIDE APPROPRIATE TRANSITION AT CORNER AND MATERIAL CHANGE CONDITIONS.
17. ALL WALL BASE TO BE 4" HIGH, UNLESS OTHERWISE NOTED.

LHA

Laura Hudson Architecture

323 Broadway St.
Suite 120
Asheville, NC 28801
626.676.0569

lharch.com

NOT FOR CONSTRUCTION

250703

TURNER RESIDENCE

1 AMHERST RD.
ASHEVILLE, NC 28803

DIRECTORY:
CLIENT:
BRIAN & HOPE TURNER
hopeforsigns@gmail.com
704.804.0187

STRUCTURAL:
PATRICK DUNN
dunnstructural@gmail.com
828.7755110

LANDSCAPE ARCHITECT:
ROB DULL
828.674.5592

CONTRACTOR:
TBD

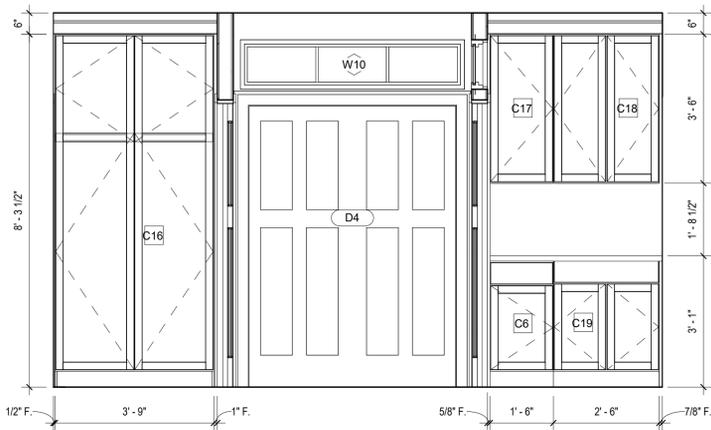
#	DESCRIPTION	DATE
---	-------------	------

CONSTRUCTION DOCUMENTATION

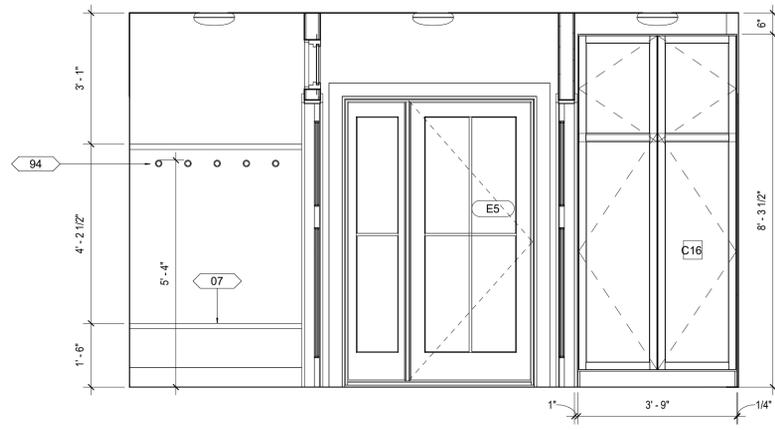
ENLARGED PLANS & INTERIOR ELEVATIONS

A4.5

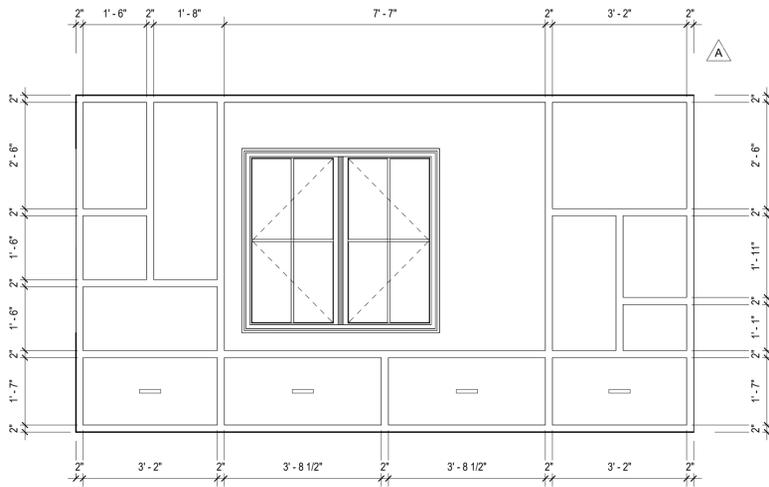
SCALE 1/8" = 1'-0"



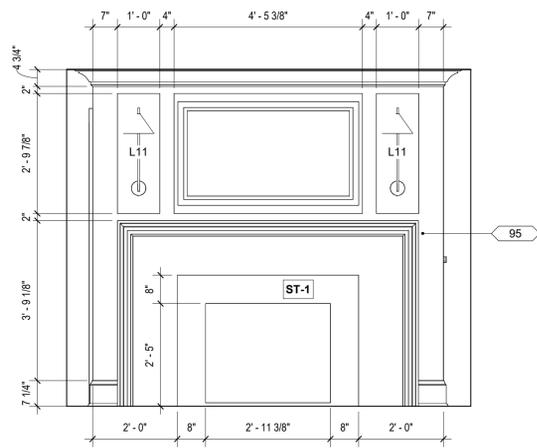
6 MUDROOM EAST ELEVATION
1/2" = 1'-0"



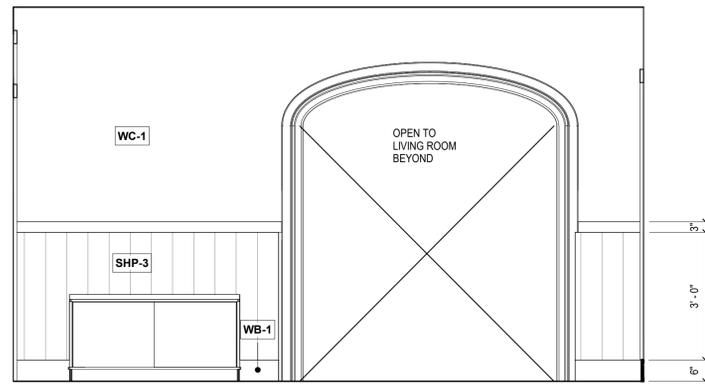
3 MUDROOM WEST ELEVATION
1/2" = 1'-0"



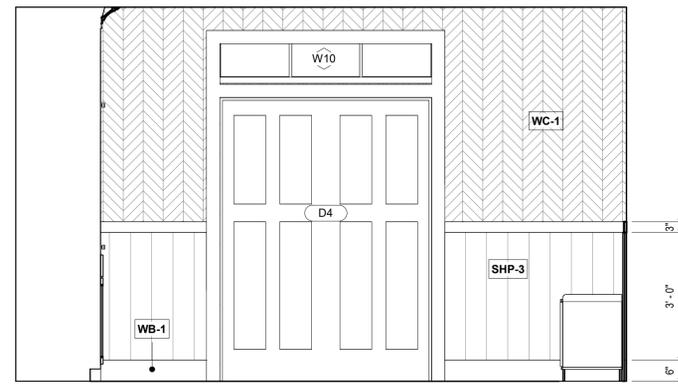
8 HOPE OFFICE ELEVATION
1/2" = 1'-0"



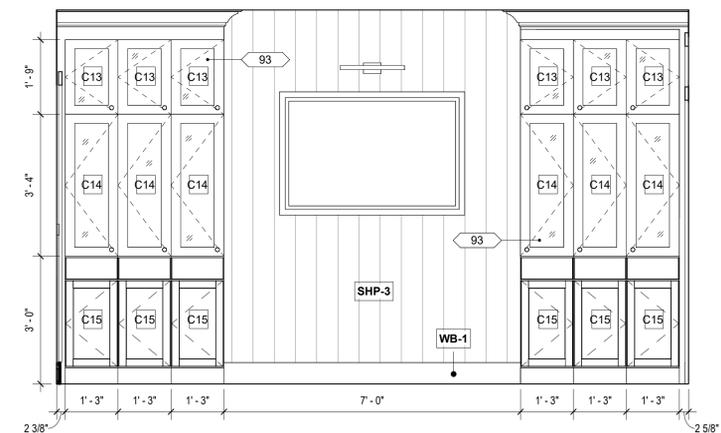
7 FIREPLACE ELEVATION
1/2" = 1'-0"



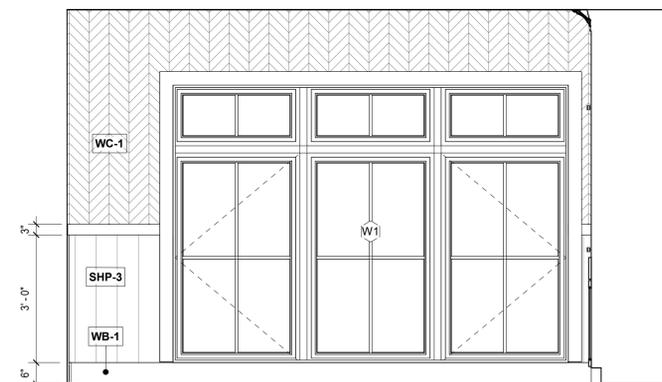
5 DINING ROOM NORTH ELEVATION
1/2" = 1'-0"



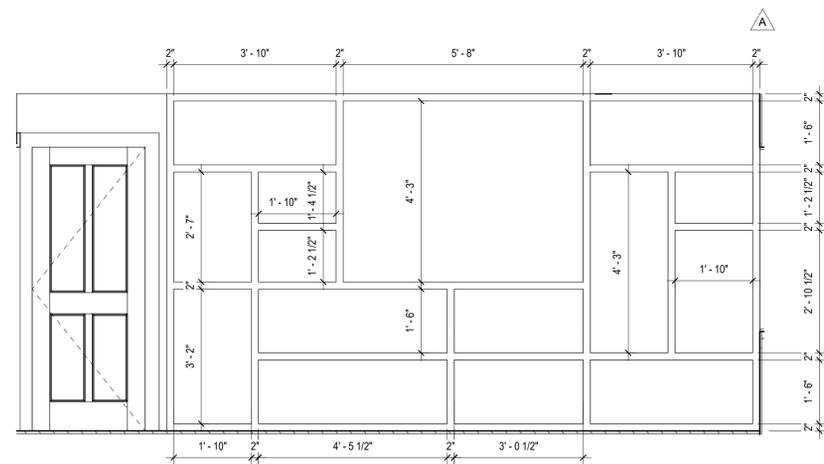
2 DINING ROOM WEST ELEVATION
1/2" = 1'-0"



4 DINING SOUTH ELEVATION
1/2" = 1'-0"



1 DINING ROOM EAST ELEVATION
1/2" = 1'-0"



9 BRIAN OFFICE ELEVATION
1/2" = 1'-0"

KEYNOTE

- 07 BUILT-IN BENCH
- 93 GLASS UPPERS
- 94 COAT HOOKS
- 95 NEW MANTLE & FIREPLACE SURROUND

LEGEND

- 11 CASEWORK TAG
- 11 APPLIANCE TAG
- PF TYPE PLUMBING FIXTURE TAG
- TAMARK TOILET ACCESSORY TAG
- ? KEYNOTE TAG
- WT-1 MATERIAL TAG

FINISH NOTES

1. WALL, CEILING AND FLOOR FINISHES ARE TO BE PROVIDED IN EVERY ROOM UNLESS DRAWINGS OR THE ROOM FINISH SCHEDULE/PLAN SPECIFICALLY INDICATES THAT A ROOM IS TO BE 'UNFINISHED' OR EXPOSED WITHOUT FINISH. IF ROOM FINISHES ARE NOT SPECIFICALLY INDICATED, OBTAIN CLARIFICATION FROM ARCHITECT/INTERIOR DESIGNER.
2. USE FINISH SCHEDULE IN CONJUNCTION WITH CONSTRUCTION DOCUMENTS, SPECIFICATIONS, FLOOR PLANS, AND INTERIOR ELEVATIONS. ANY DISCREPANCIES AND/OR OMISSIONS SHOULD BE BROUGHT TO THE ATTENTION OF THE ARCHITECT/INTERIOR DESIGNER FOR RESOLUTION. REFER TO INTERIOR ELEVATIONS AND BUILDING SECTIONS FOR EXTENTS OF ACCENT COLORS AND/OR MATERIALS.
3. ALL PRODUCTS AND MATERIALS LISTED IN THE FINISH SCHEDULE HAVE BEEN SELECTED ON A 'BASIS OF DESIGN' INTENT. ALL SUBSTITUTIONS SHALL BE SUBMITTED TO ARCHITECT/INTERIOR DESIGNER FOR APPROVAL WITH ALL APPLICABLE SPECIFICATION DOCUMENTATION AND ACTUAL SAMPLES OF COLORS AND FINISHES. ALL FINISHES AND MATERIALS WILL BE EVALUATED BY FACTORS INCLUDING BUT NOT LIMITED TO STYLE, PERFORMANCE, FINISH, COLOR, PATTERN, TEST DATA, WORKMANSHIP, ETC.
4. ALL PRODUCTS AND MATERIALS LISTED IN THE FINISH SCHEDULE SHALL BE INSTALLED PER MANUFACTURERS PREPARATION AND INSTALLATION SUGGESTIONS.
5. THE GENERAL CONTRACTOR AND/OR SUBCONTRACTOR(S) IS RESPONSIBLE FOR THE PROPER FITTING AND CONNECTION OF MATERIALS, FINISHES AND EQUIPMENT. ALL DIMENSIONS INDICATED ON THE DRAWINGS ARE APPROXIMATE AND SHOULD BE CHECKED AND VERIFIED WITH THE ACTUAL FIELD CONDITIONS PRIOR TO ORDERING AND/OR FABRICATING MATERIALS.
6. ENSURE SURFACES TO RECEIVE NEW FINISHES ARE CLEAN, TRUE AND FREE OF IRREGULARITIES. DO NOT PROCEED WITH WORK UNTIL UNSATISFACTORY CONDITIONS HAVE BEEN CORRECTED. STARTING OF WORK INDICATES INSTALLER'S ACCEPTANCE OF SUBSTRATE.
7. RESTORE ALL NEW SURFACES DAMAGED DURING CONSTRUCTION TO MATCH ADJACENT FINISHES INCLUDING BUT NOT LIMITED TO CARPET, VCT, TILE, SHEET GOODS, PAINT, RESILIENT BASE, CEILING TILE AND GRID, ETC.
8. WHEN PAINTING, CONTRACTOR SHALL TAKE ANY MEASUREMENTS NECESSARY TO PROTECT ANY/ALL ITEMS THAT ARE NOT TO BE PAINTED.
9. GENERAL WALL PAINT TO BE EGGSHELL/SATIN FINISH, UNLESS OTHERWISE NOTED.
10. DRYWALL CEILING/UNDERSIDE OF SOFFITS PAINT TO BE FLAT FINISH, UNLESS OTHERWISE NOTED.
11. ALL PAINTED TRIM/FRAMES/DOORS TO BE SEMI-GLOSS FINISH AND MATCH ADJACENT WALL FINISH, UNLESS OTHERWISE NOTED.
12. ALL VERTICAL FACES OF SOFFITS, UNLESS OTHERWISE NOTED, ARE TO MATCH THE ADJACENT WALL COLOR (PAINT AND/OR WALL COVERING).
13. ALL FINISHES IN CLOSETS SHALL MATCH ADJACENT SPACES, UNLESS OTHERWISE NOTED.
14. CONTRACTOR TO SUBMIT DRAW-DOWNS OF EACH SPECIFIED COLOR FOR ARCHITECT/INTERIOR DESIGNER APPROVAL. REVIEW FINAL PAINT COLORS/LOCATIONS WITH ARCHITECT/INTERIOR DESIGNER PRIOR TO BEGINNING PAINTING.
15. ALL FLOOR MATERIAL TRANSITIONS TO OCCUR AT THE CENTERLINE OF THE CLOSED DOOR, UNLESS OTHERWISE NOTED.
16. ALL GROUT IN BATHROOMS (WALLS AND FLOORS) TO BE EPOXY GROUT. AT ALL AREAS OF WALL TILE, PROVIDE SCHLUTER TRIM PROFILE TO PROTECT TILE EDGES AND PROVIDE APPROPRIATE TRANSITION AT CORNER AND MATERIAL CHANGE CONDITIONS.
17. ALL WALL BASE TO BE 4" HIGH, UNLESS OTHERWISE NOTED.



Laura Hudson Architecture

323 Broadway St.
Suite 120
Asheville, NC 28801
626.676.0569

lharch.com

NOT FOR CONSTRUCTION

250703

TURNER RESIDENCE

1 AMHERST RD.
ASHEVILLE, NC 28803

DIRECTORY:
CLIENT:
BRIAN & HOPE TURNER
hopeforsigns@gmail.com
704.804.0187

STRUCTURAL:
PATRICK DUNN
dunnstructural@gmail.com
828.7755110

LANDSCAPE ARCHITECT:
ROB DULL
828.674.5592

CONTRACTOR:
TBD

A Issued for Bid 01.05.26

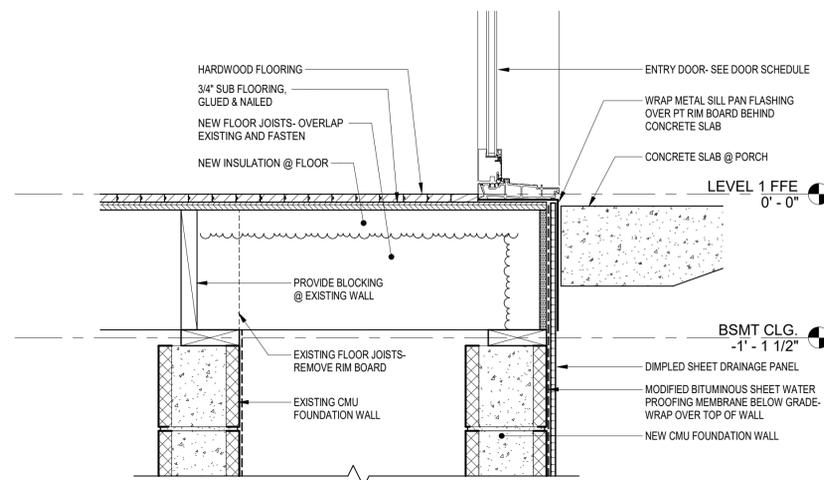
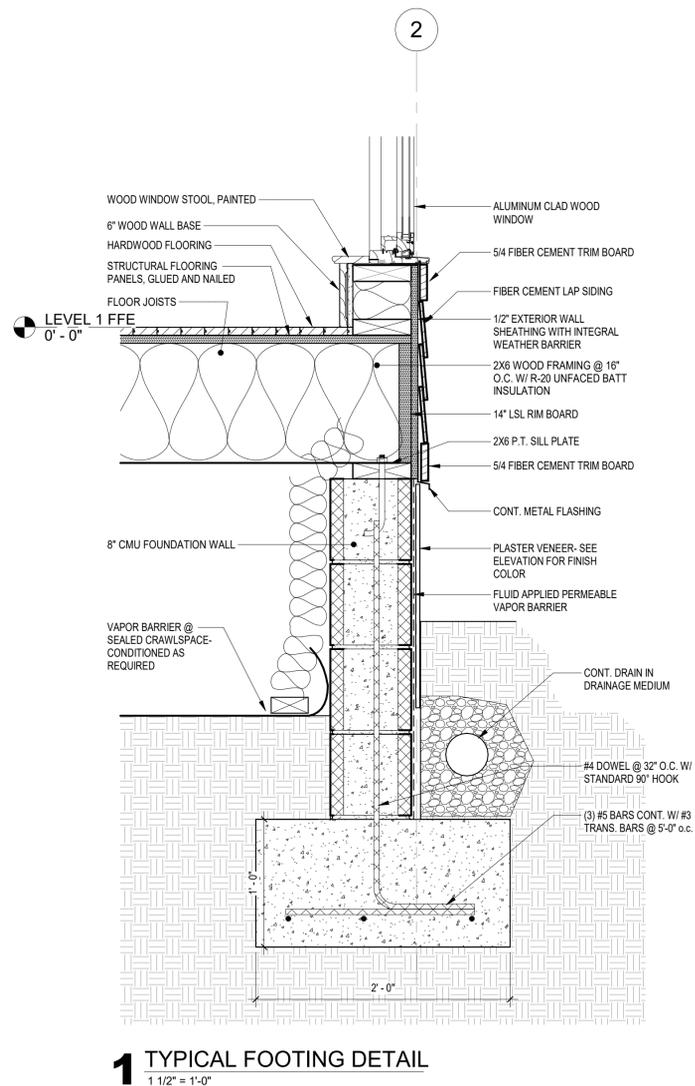
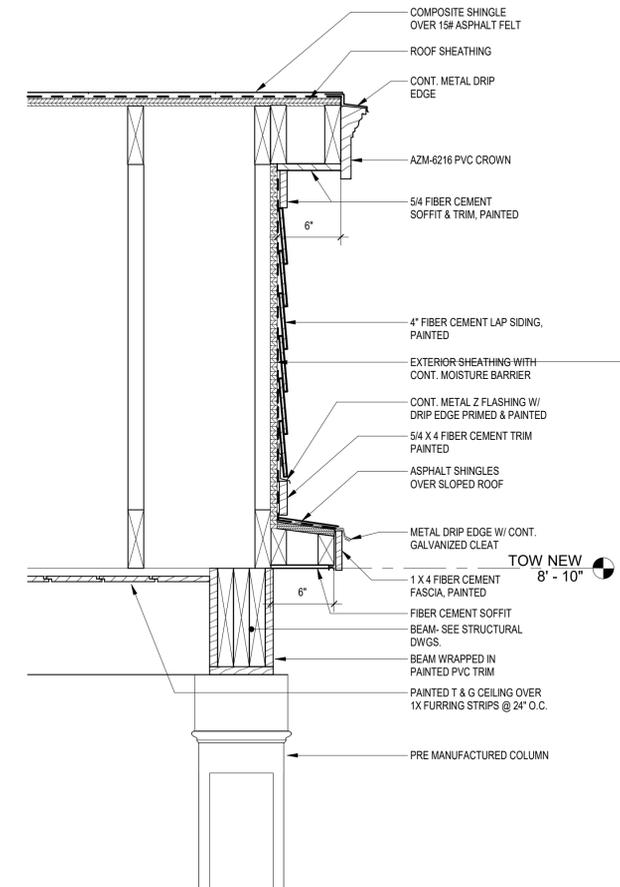
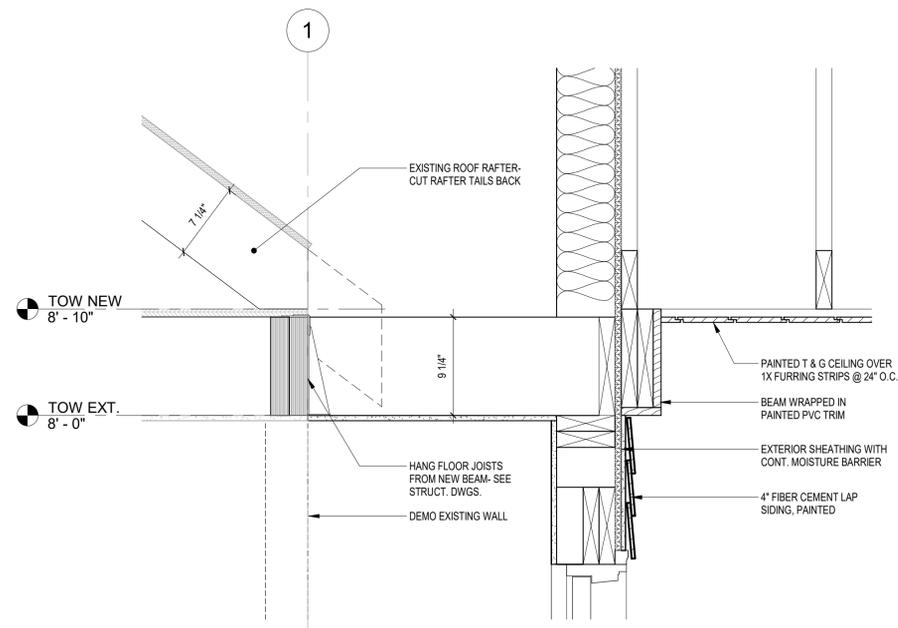
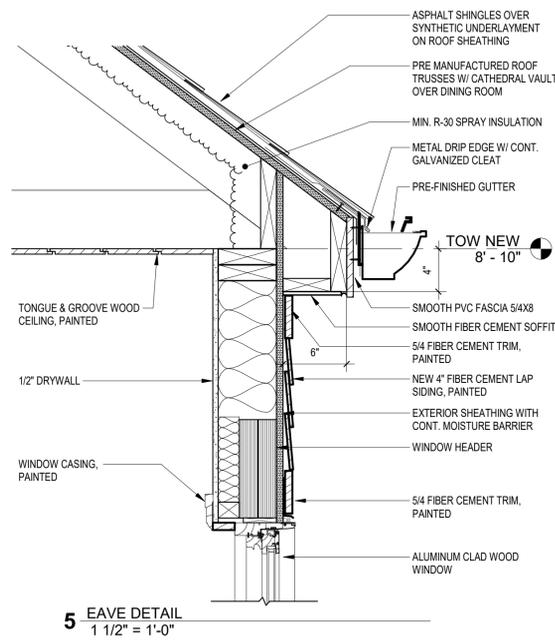
DESCRIPTION DATE

CONSTRUCTION DOCUMENTATION

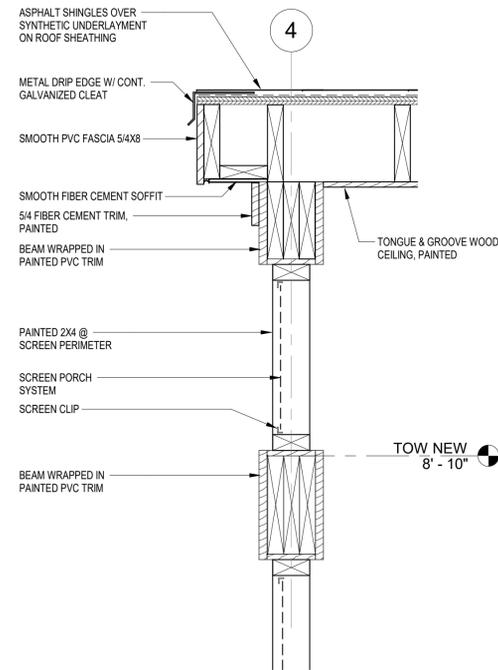
ENLARGED PLANS & INTERIOR ELEVATIONS

A4.3

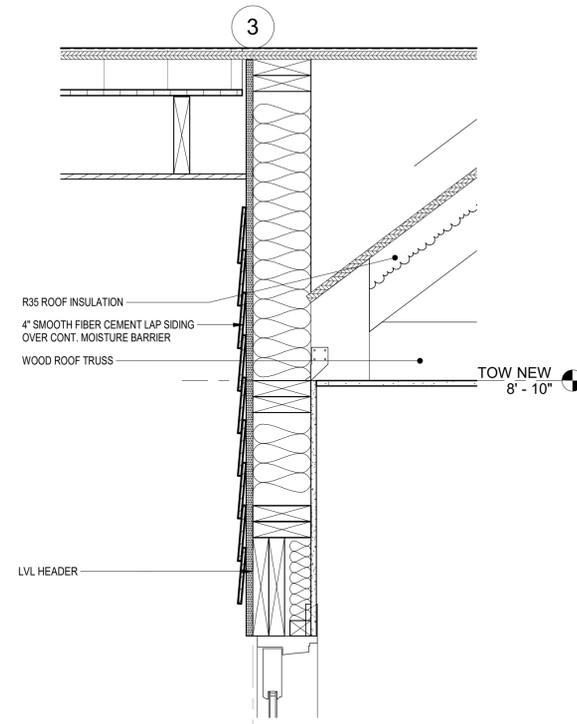
SCALE As indicated



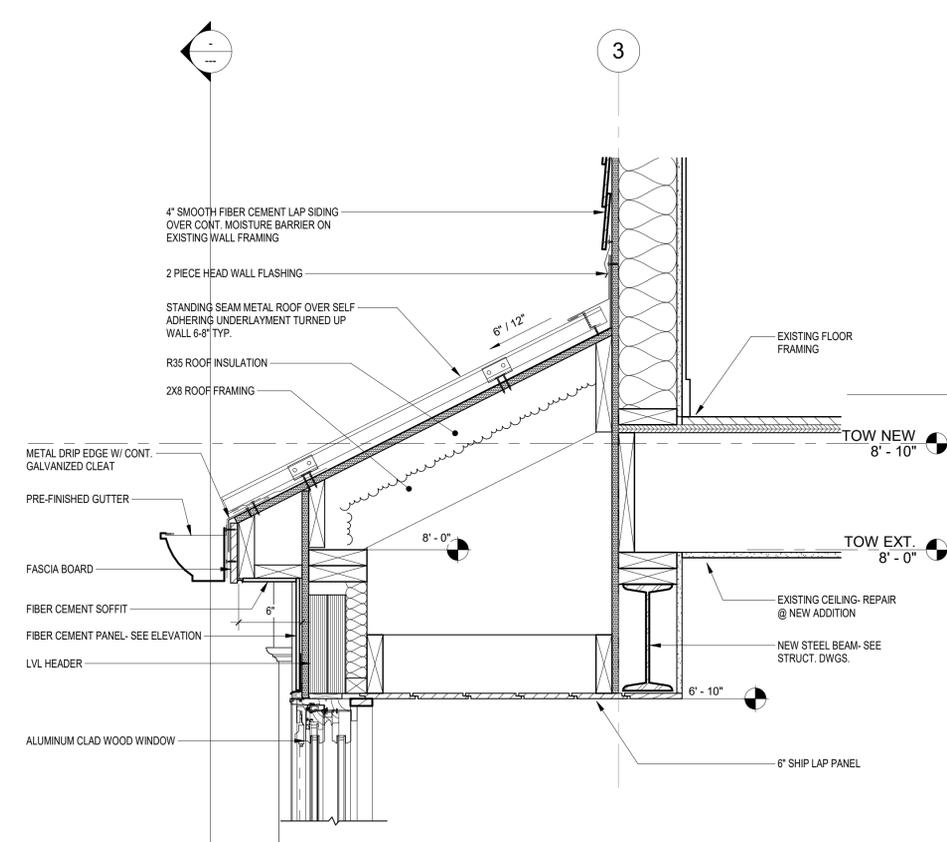
Autodesk Docs://Turner Residence/Turner Residence 2026_z.rvt 2/19/2026 3:53:07 PM



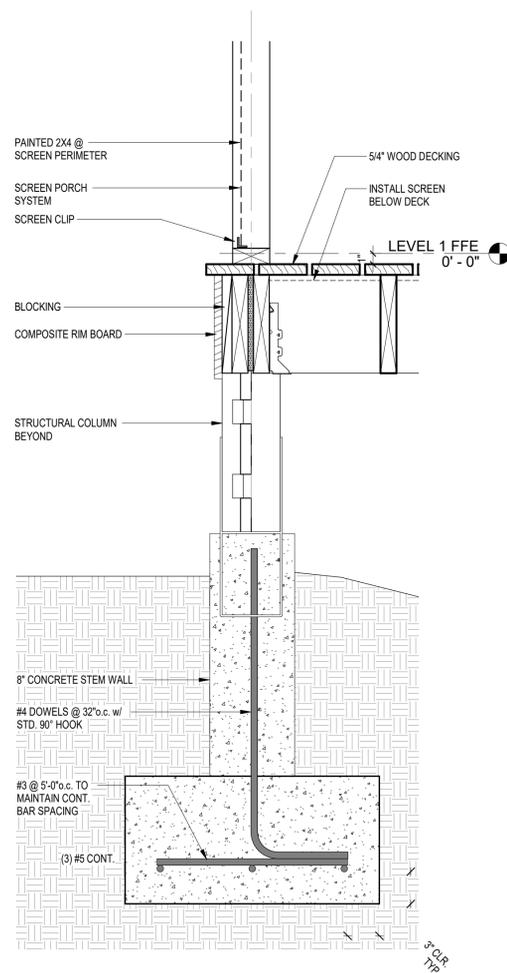
6 RAKE AT SCREEN PORCH
1 1/2" = 1'-0"



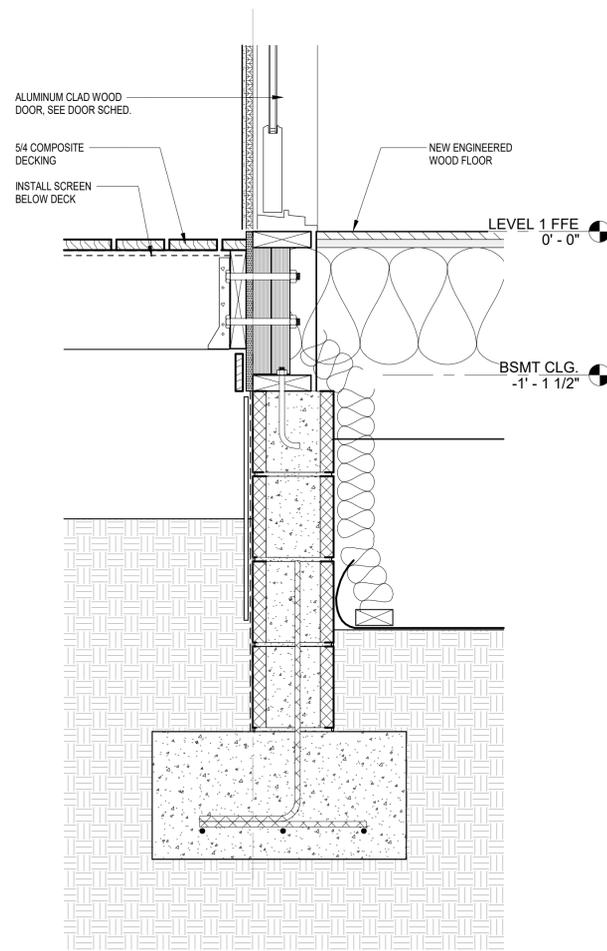
5 SCREEN PORCH-MUDROOM DETAIL
1 1/2" = 1'-0"



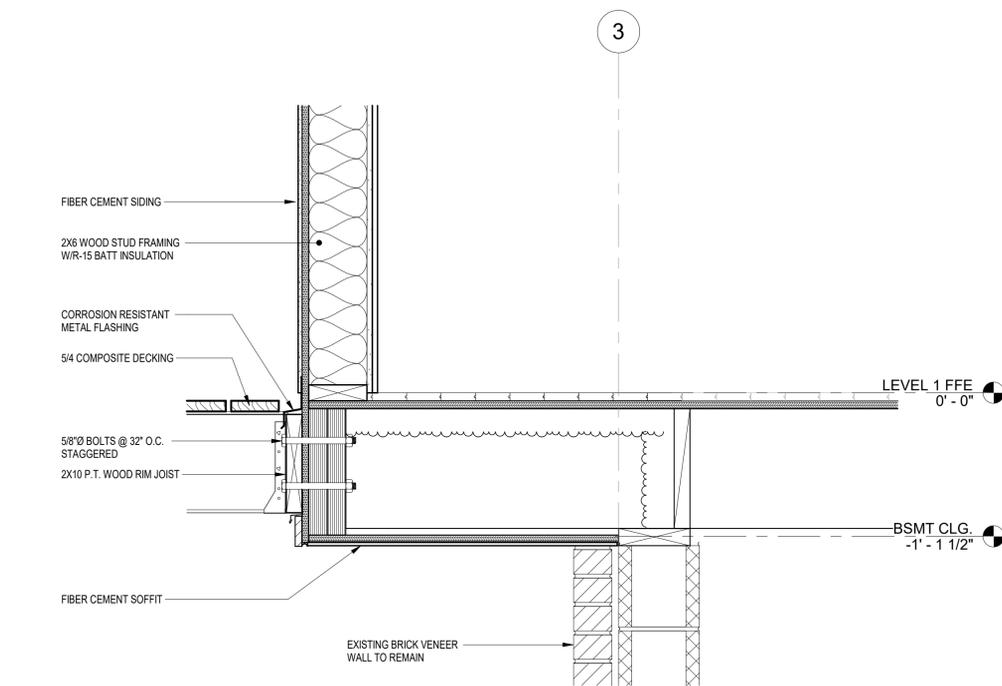
4 EAVE AT NEW KITCHEN WALL
1 1/2" = 1'-0"



3 SCREEN PORCH SUPPORT DETAIL
1 1/2" = 1'-0"



2 SCREEN PORCH - MUD FOUNDATION
1 1/2" = 1'-0"



1 KITCHEN BUMP OUT DETAIL
1 1/2" = 1'-0"



Laura Hudson
Architecture

323 Broadway St.
Suite 120
Asheville, NC 28801
626.676.0569

lharch.com

NOT FOR
CONSTRUCTION

250703

TURNER
RESIDENCE

1 AMHERST
RD.
ASHEVILLE,
NC
28803

DIRECTORY:
CLIENT:
BRIAN & HOPE TURNER
hopeforsigns@gmail.com
704.804.0187

STRUCTURAL:
PATRICK DUNN
dunnstructural@gmail.com
828.7755110

LANDSCAPE ARCHITECT:
ROB DULL
828.674.5592

CONTRACTOR:
TBD

DESCRIPTION DATE

CONSTRUCTION
DOCUMENTATION

SCHEDULES

A7.0

SCALE

CASEWORK SCHEDULE

TYPE	DESCRIPTION	FINISH	WIDTH	HEIGHT	DEPTH	NOTES
C1	SINK VANITY DRAWERS	VMS-1	27"	31"	21"	CUSTOM SAPELE WOOD
C2	VANITY SHELF	VMS-1	18"	31"	21"	CUSTOM SAPELE WOOD
C3	TALL CABINET	VMS-1	36"	84"	19"	CUSTOM SAPELE WOOD
C4	BASE 3 DRAWER	PT-5	36"	36"	24"	
C5	BASE 3 DRAWER 12"	PT-5	24"	35 1/2"	24"	
C6	TRASH CABINET	PT-5	18"	35 1/2"	24"	
C7	SINK BASE	PT-5	36"	36"	24"	
C8	BASE SINGLE DOOR	PT-5	15"	36"	24"	
C9	BASE W/DRAWERS	PT-7	36"	36"	24"	
C10	BASE W/DRAWERS	PT-7	24"	29"	24"	
C11	TALL WARDROBE	PT-7	24"	72"	24"	
C12	TALL WARDROBE	PT-7	48"	72"	24"	
C13	WALL GLASS CABINET	PT-6	15"	21"	24"	
C14	WALL GLASS CABINET	PT-6	15"	40"	24"	
C15	BASE SINGLE DOOR	PT-6	15"	36"	24"	
C16	TALL CABINET	PT-5	45"	99 1/2"	24"	RETRACTABLE DOORS
C17	WALL SINGLE DOOR	PT-10	18"	42"	12"	
C18	WALL DOUBLE DOOR	PT-10	30"	42"	12"	
C19	BASE DOUBLE DOOR	PT-10	30"	36"	24"	
C20	BASE DOUBLE DOOR	PT-10	33"	36"	24"	
C21	WALL DOUBLE DOOR	PT-5	33"	33"	12"	
C22	TALL CABINET	VMS-2	24"	90 1/4"	24"	
C23	BASE SINGLE DOOR	VMS-1	30"	15"	24"	
C24	WALL DOUBLE DOOR	VMS-1	30"	32"	24"	
C25	Base Cabinet w/o Drawers		36"	35 1/2"	36"	
C26	Library Cabinet		72"	36"	12"	
C27	Base Cabinet w/ Drawers		36"	35"	24"	
C28			30"	35 3/16"	12"	
C29			30"	36"	24"	
C30	Base Cabinet w/o Drawers		30"	36"	24"	
C31	Base Cabinet w/ Drawers		36"	29"	24"	
C32	Sink Base Single Door	PT-5	15"	35 1/2"	24"	

MATERIAL SCHEDULE

TAG	Material - Sort Category	MATERIAL TYPE	MANUFACTURER	PRODUCT DESCRIPTION	FINISH/ COLOR	COMMENTS
COUNTERTOP						
CT-1	COUNTERTOP	QUARTZ COUNTERTOP	WILSONART	3CM QUARTZ COUNTERTOP	LORRAINE	VANITY & SHELF COUNTERTOP
CT-2	COUNTERTOP	QUARTZ COUNTERTOP	WILSONART	3CM QUARTZ COUNTERTOP	FOSSA FALLS	KITCHEN COUNTERTOP
PAINT						
PT-1	PAINT	PAINT	SHERWIN WILLIAMS		SW 6184 AUSTERE GRAY	
PT-2	PAINT	PAINT	SHERWIN WILLIAMS		SW 9130 EVERGREEN FOG	
PT-3	PAINT	PAINT	SHERWIN WILLIAMS		SW 6168 MODERNE WHITE	
PT-4	PAINT	PAINT	SHERWIN WILLIAMS		SW SANCTUARY	
PT-5	PAINT	PAINT	SHERWIN WILLIAMS		SW DRIED THYME	KITCHEN CABINETS
PT-6	PAINT	PAINT	SHERWIN WILLIAMS		SW ROCKY RIVER	DINING ROOM CASEWORK
PT-7	PAINT	PAINT	SHERWIN WILLIAMS		SW WHITE SESAME	DRESSING ROOM
PT-8	PAINT	PAINT	SHERWIN WILLIAMS		SW	
PT-9	PAINT	PAINT	SHERWIN WILLIAMS		SW	
STONE FIREPLACE SURROUND						
ST-1	STONE FIREPLACE SURROUND	STONE	CUSTOM			
TILE						
FT-1	TILE	FLOOR TILE	CROSSVILLE	12X24 COLOR BLOX 2.0	I SEE THE MOON	BATHROOM FLOOR TILE
FT-2	TILE	FLOOR TILE	DALTILE	KEYSTONES MATTE	DESERT GRAY	BATHROOM FLOOR TILE
WT-1	TILE	WALL TILE	BEDROSIANS TILE & STONE	CELINE 2X6 FIELD TILE	BLUE MATTE	PRIMARY BATH
WT-2	TILE	WALL TILE	FIRECLAY TILE	2X6	CARDAMOM	KITCHEN BACKSPLASH
VERTICAL MILLWORK SURFACE						
VMS-1	VERTICAL MILLWORK SURFACE	WOOD	CUSTOM	SAPELE WOOD	SAPELE WOOD	
VMS-2	VERTICAL MILLWORK SURFACE	WOOD	CUSTOM	WHITE OAK	WHITE OAK	
WALL BASE						
WB-1	WALL BASE				PT-6	
WALL COVERING						
WC-1	WALL COVERING	WALLPAPER	CUSTOM			
WALL PANEL						
SHP-1	WALL PANEL	CUSTOM WALL PANEL	CUSTOM	MDF SHIPLAP PANEL	PT-7	
SHP-2	WALL PANEL	CUSTOM WALL PANEL	CUSTOM	MDF SHIPLAP PANEL	PT-4	
SHP-3	WALL PANEL	CUSTOM WALL PANEL	CUSTOM	MDF SHIPLAP PANEL	PT-6	

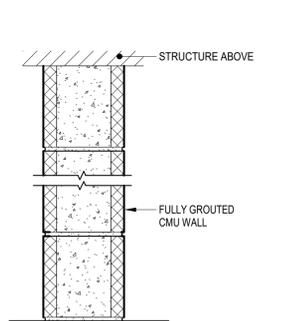
TOILET ACCESSORY SCHEDULES

TA-MARK	DESCRIPTION	MODEL	MANUFACTURER	FINISH
RH-1	PARALLEL ROBE HOOK	K-23529-CP	KOHLER	POLISHED CHROME
TR-1	PARALELL TOWEL ARM	K-23526-CP	KOHLER	POLISHED CHROME
TP-1	PARALLEL TOILET PAPER HOLDER	K-23528-CP	KOHLER	POLISHED CHROME

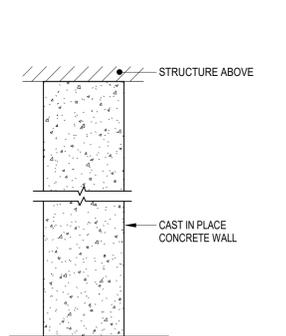
APPLIANCE SCHEDULE

MARK	DESCRIPTION	MODEL	MANUFACTURER	FINISH
A1	RANGE	LSIL6332FE	LG	STAINLESS STEEL
A1	RANGE	LSIL6332FE	LG	STAINLESS STEEL
A1				
A1				
A2		288 03 32 03	WINE ENTHUSIAST	BLACK
A2	Item # 02241153000			
A3				
A4		HBRG48BSGR	HALLMAN	BLUE GRAY
A7	DISHWASHER	LDPH5554S/D	LG	STAINLESS STEEL
A7	DISHWASHER	LDPH5554S/D	LG	STAINLESS STEEL
A9				

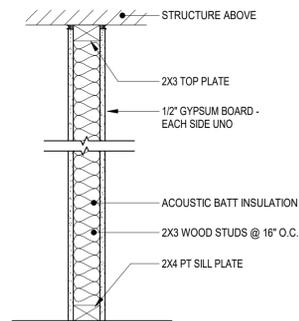
INTERIOR WALL TYPES



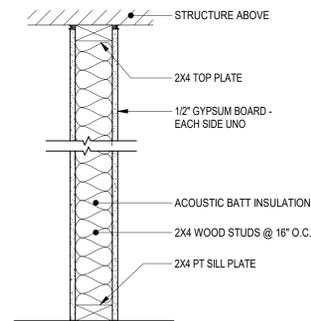
M1 8" CMU WALL
M2 10" CMU WALL
M3 12" CMU WALL



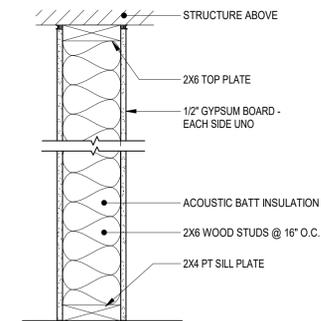
C1 8" CONCRETE WALL
C2 10" CONCRETE WALL
C3 12" CONCRETE WALL



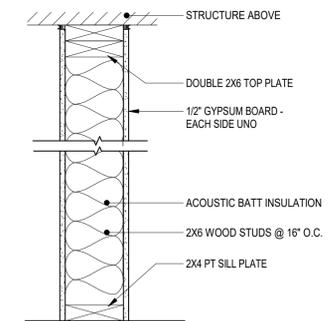
P1 2X3 INTERIOR PARTITION



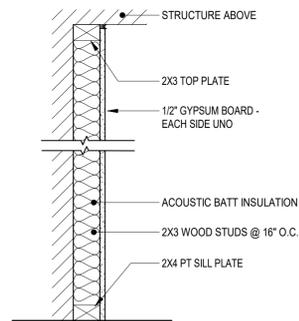
P2 2X4 INTERIOR PARTITION



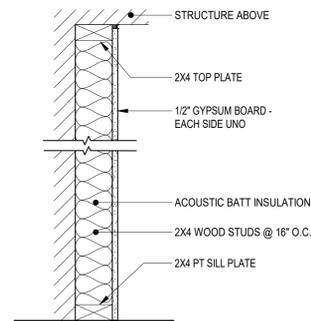
P3 2X6 INTERIOR PARTITION



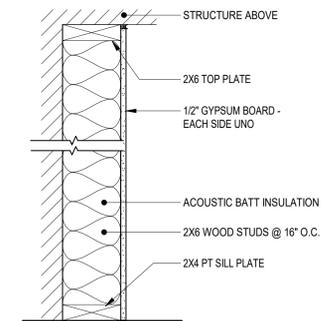
P3 2X6 INTERIOR PARTITION
LOAD BEARING



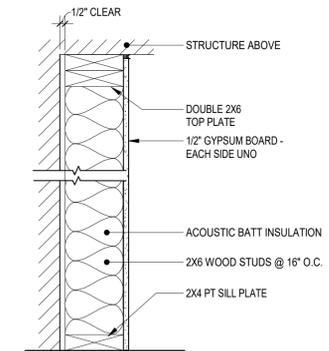
F1 2X2 INTERIOR FURRING WALL



F2 2X4 INTERIOR FURRING WALL



F3 2X6 INTERIOR FURRING WALL



F4 2X6 INTERIOR FURRING WALL
LOAD BEARING

#	DESCRIPTION	DATE
---	-------------	------

CONSTRUCTION DOCUMENTATION

WALL SCHEDULE

A7.1

NOT FOR CONSTRUCTION

250703

TURNER RESIDENCE

1 AMHERST RD.
ASHEVILLE, NC
28803

DIRECTORY:
CLIENT:
BRIAN & HOPE TURNER
hopeforsigns@gmail.com
704.804.0187

STRUCTURAL:
PATRICK DUNN
dunnstructural@gmail.com
828.7755110

LANDSCAPE ARCHITECT:
ROB DULL
828.674.5592

CONTRACTOR:
TBD

A Issued for Bid 01.05.26

#	DESCRIPTION	DATE
---	-------------	------

CONSTRUCTION DOCUMENTATION

DOOR & WINDOW SCHEDULE

A7.2

SCALE 1/4" = 1'-0"

INTERIOR DOOR SCHEDULE

DOOR NUMBER	DOOR TYPE	SIZE		MANUFACTURER	MODEL	DOOR MATERIAL		FINISH	HW SET	COMMENTS
		WIDTH	HEIGHT							
D1	B	2' - 10"	6' - 8"	REEB	PR8762	MDF	PT-1	PASSAGE		
D2	B	2' - 10"	6' - 8"	REEB	PR8762	MDF	PT-1	PASSAGE		
D3	B	2' - 10"	6' - 8"	REEB	PR8762	MDF	PT-1	PASSAGE		
D4	C	5' - 0"	6' - 8"	REEB	PR8762	MDF	PT-1	PASSAGE		
D5	A	2' - 8"	6' - 8"	REEB	PR8762	MDF	PT-1	PASSAGE	180 SWING	
D6	A	2' - 8"	6' - 8"	REEB	PR8762	MDF	PT-1	PASSAGE	180 SWING	
D7	A	2' - 8"	6' - 8"	REEB	PR8762	MDF	PT-1	PASSAGE		
D8	A	2' - 8"	6' - 8"	REEB	PR8762	MDF	PT-1	PASSAGE		
D9	A	2' - 8"	6' - 8"	REEB	PR8762	MDF	PT-1	PASSAGE		
D10	A	2' - 8"	6' - 8"	REEB	PR8762	MDF	PT-1	PASSAGE		
D11	A	2' - 8"	6' - 8"	REEB	PR8762	MDF	PT-1	PASSAGE		
D12	A	2' - 8"	6' - 8"	REEB	PR8762	MDF	PT-1	PRIVACY		
D15	A	2' - 8"	6' - 8"	REEB	PR8762	MDF	PT-1	PRIVACY		
D16	B	2' - 6"	6' - 8"	REEB	PR8762	MDF	PT-1	PRIVACY		
D17	B	2' - 0"	6' - 8"	REEB	PR8762	MDF	PT-1	PRIVACY		
D18	B	2' - 6"	6' - 8"	REEB	PR8762	MDF	PT-1	PRIVACY		
D19	A	2' - 8"	6' - 8"	REEB	PR8762	MDF	PT-1	PASSAGE		
D20	A	2' - 8"	6' - 8"	REEB	PR8762	MDF	PT-1	PASSAGE		
D22	A	2' - 8"	6' - 8"	REEB	PR8762	MDF	PT-1	PASSAGE		

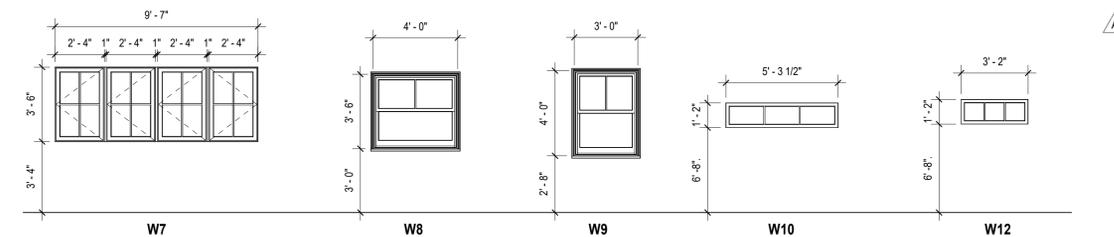
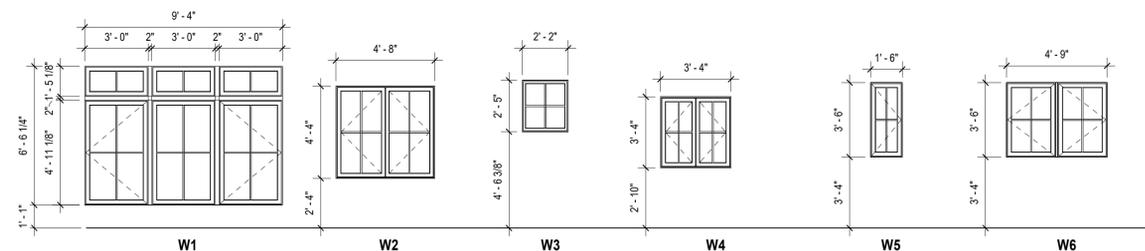
WINDOW SCHEDULE

TYPE	DESCRIPTION	MANUFACTURER	MODEL	HEIGHT	WIDTH	INTERIOR FINISH	EXTERIOR FINISH	GLAZING TYPE	COMMENTS
W2	CASEMENT	MARVIN	UFCA5654	4' - 4"	4' - 8"	PRE FINISHED - DESIGNER BLACK	ALUMINUM CLAD - EBONY		
W3	FIXED	MARVIN	UDGRECT	2' - 5"	2' - 2"	PRE FINISHED - DESIGNER BLACK	ALUMINUM CLAD - EBONY		
W4	4848 FR CSMT	MARVIN	UFCA4848	3' - 4"	3' - 4"	PRE FINISHED - DESIGNER BLACK	ALUMINUM CLAD - EBONY		
W5	3648 CSMT	MARVIN	UCA3648	3' - 6"	1' - 6"	PRE FINISHED - DESIGNER BLACK	ALUMINUM CLAD - EBONY		
W6	3048 CSMT	MARVIN	UCA3048	3' - 6"	4' - 9"	PRE FINISHED - DESIGNER BLACK	ALUMINUM CLAD - EBONY		
W7	3054 CSMT	MARVIN	UCA3054	3' - 6"	9' - 7"	PRE FINISHED - DESIGNER BLACK	ALUMINUM CLAD - EBONY		
W8	3028 SNGHG	MARVIN	USHG2 3028	3' - 6"	4' - 0"	PRE FINISHED - DESIGNER BLACK	ALUMINUM CLAD - EBONY		
W9	3028 SNGHG	MARVIN	USHG2 3028	4' - 0"	3' - 0"	PRE FINISHED - DESIGNER BLACK	ALUMINUM CLAD - EBONY		
W10	FIXED	CUSTOM		1' - 2"	5' - 3 1/2"		ALUMINUM CLAD - EBONY		
W11	3028 SNGHG	MARVIN	USHG2 3028	3' - 0"	2' - 8"	PRE FINISHED - DESIGNER BLACK	ALUMINUM CLAD - EBONY		
W12	FIXED	CUSTOM		1' - 2"	3' - 2"		ALUMINUM CLAD - BLACK		

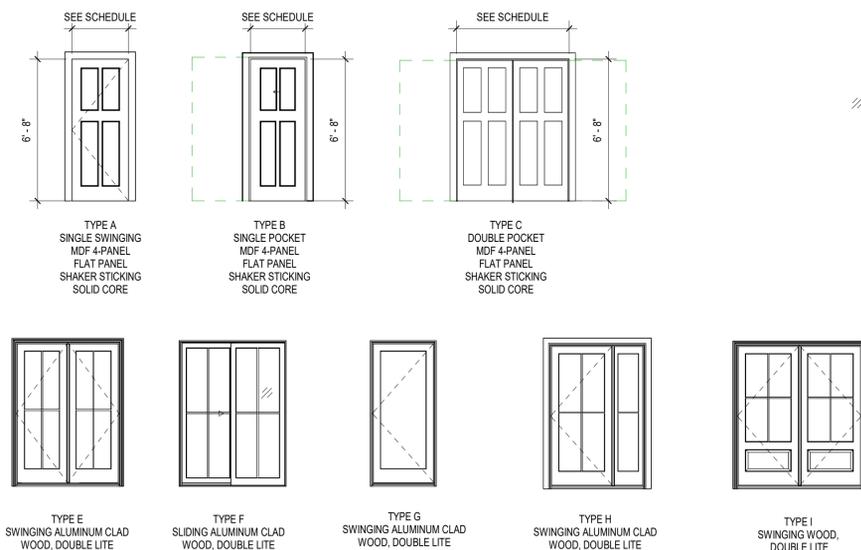
EXTERIOR DOOR SCHEDULE

DOOR NUMBER	DOOR TYPE	SIZE		MANUFACTURER	MODEL	DOOR MATERIAL	INTERIOR FINISH	EXTERIOR FINISH	COMMENTS
		WIDTH	HEIGHT						
E1	D	4' - 7"	6' - 6 3/4"	PORCH DOOR CO	SCREEN DOOR				
E2	E	5' - 0 5/8"	6' - 10"	MARVIN	ULTIMATE FRENCH SWINGING DOOR	ALUMNUM CLAD WOOD	DESIGNER BLACK	EBONY	
E3	F	5' - 0 5/8"	6' - 10"	MARVIN	ULTIMATE SLIDER	ALUMINUM CLAD WOOD	DESIGNER BLACK	EBONY	
E4	G	3' - 1 1/2"	6' - 10"	MARVIN	ULTIMATE SWINGING DOOR	ALUMINUM CLAD WOOD	DESIGNER BLACK	EBONY	
E5	H	4' - 7 1/8"	6' - 10"	MARVIN	ULTIMATE SWINGING DOOR W/SIDELITE	ALUMINUM CLAD WOOD	DESIGNER BLACK	EBONY	
E6	I	6' - 0 5/8"	6' - 10"	THERMA TRU	CCM2804	WOOD	BARLEY	EBONY	180 SWING

WINDOWS



DOORS



Autodesk Docs://Turner Residence/Turner Residence 2026_2.rvt 2/19/2026 3:53:12 PM

NOT FOR CONSTRUCTION

250703

TURNER RESIDENCE

1 AMHERST RD.
ASHEVILLE, NC
28803

DIRECTORY:
CLIENT:
BRIAN & HOPE TURNER
hopeforsigns@gmail.com
704.804.0187

STRUCTURAL:
PATRICK DUNN
dunnstructural@gmail.com
828.7755110

LANDSCAPE ARCHITECT:
ROB DULL
828.674.5592

CONTRACTOR:
TBD

B Contractor 01.30.26

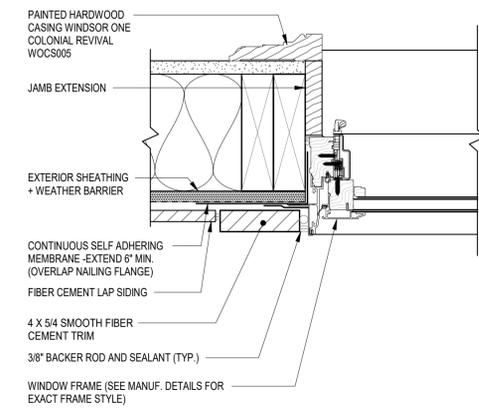
#	DESCRIPTION	DATE
---	-------------	------

CONSTRUCTION DOCUMENTATION

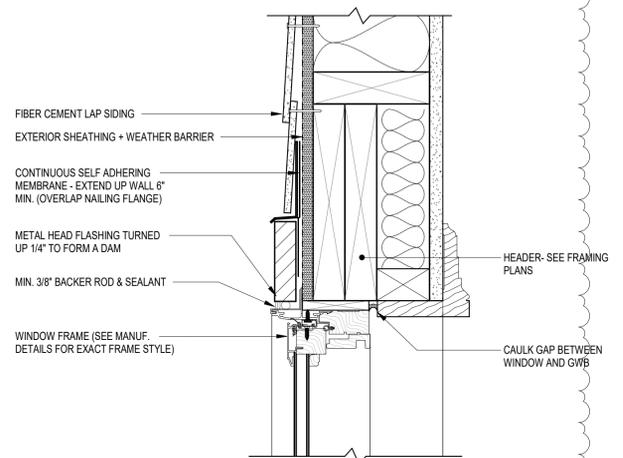
WINDOW DETAILS

A7.3

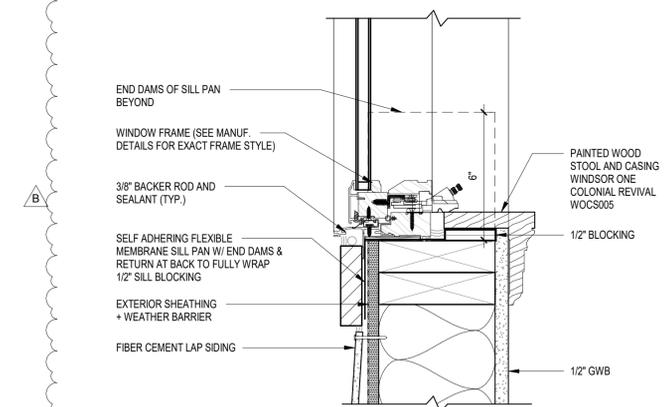
SCALE 3" = 1'-0"



3 WINDOW JAMB- LAP SIDING
3" = 1'-0"



2 WINDOW HEAD- LAP SIDING
3" = 1'-0"



11 WINDOW SILL- LAP SIDING
3" = 1'-0"

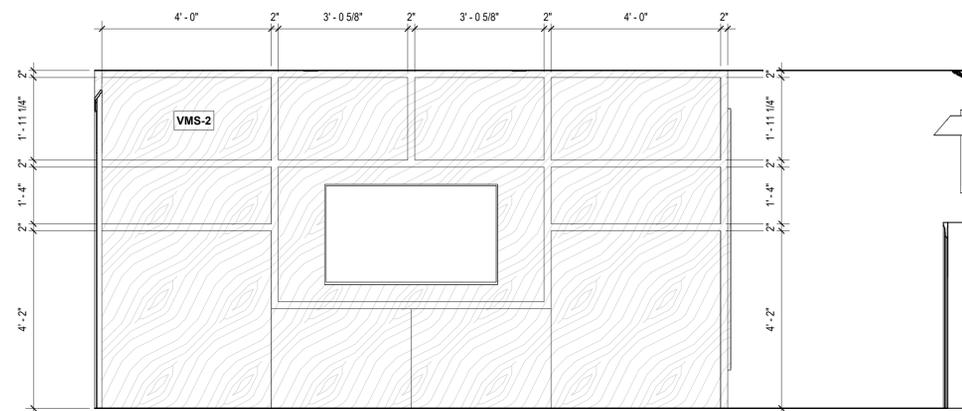
KEYNOTE

LEGEND

- 1i CASEWORK TAG
- 1i APPLIANCE TAG
- PF TYPE PLUMBING FIXTURE TAG
- TA-MARK TOILET ACCESSORY TAG
- ? KEYNOTE TAG
- WT-1 MATERIAL TAG

FINISH NOTES

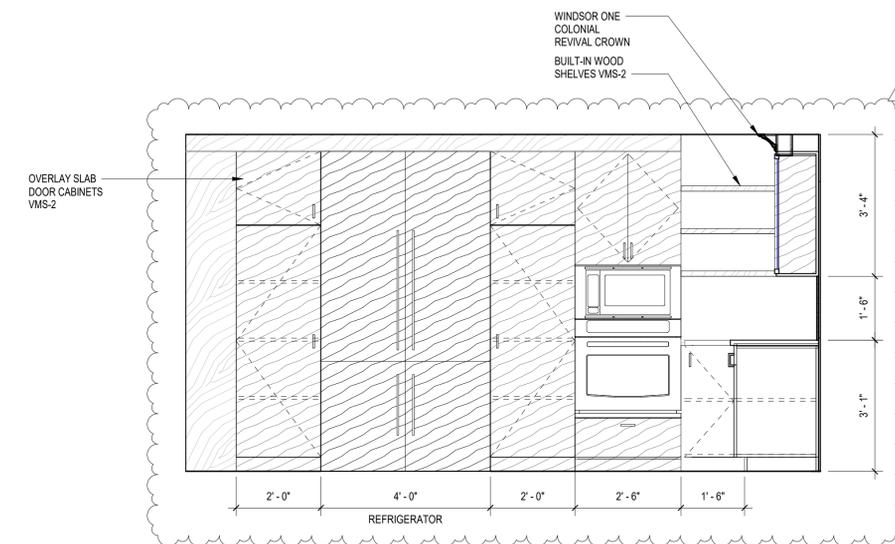
1. WALL, CEILING AND FLOOR FINISHES ARE TO BE PROVIDED IN EVERY ROOM UNLESS DRAWINGS OR THE ROOM FINISH SCHEDULE/PLAN SPECIFICALLY INDICATES THAT A ROOM IS TO BE "UNFINISHED" OR EXPOSED WITHOUT FINISH. IF ROOM FINISHES ARE NOT SPECIFICALLY INDICATED, OBTAIN CLARIFICATION FROM ARCHITECT/INTERIOR DESIGNER.
2. USE FINISH SCHEDULE IN CONJUNCTION WITH CONSTRUCTION DOCUMENTS, SPECIFICATIONS, FLOOR PLANS, AND INTERIOR ELEVATIONS. ANY DISCREPANCIES AND/OR OMISSIONS SHOULD BE BROUGHT TO THE ATTENTION OF THE ARCHITECT/INTERIOR DESIGNER FOR RESOLUTION. REFER TO INTERIOR ELEVATIONS AND BUILDING SECTIONS FOR EXTENTS OF ACCENT COLORS AND/OR MATERIALS.
3. ALL PRODUCTS AND MATERIALS LISTED ON THE FINISH SCHEDULE HAVE BEEN SELECTED ON A "BASIS OF DESIGN" INTENT. ALL SUBSTITUTIONS SHALL BE SUBMITTED TO ARCHITECT/INTERIOR DESIGNER FOR APPROVAL WITH ALL APPLICABLE SPECIFICATION DOCUMENTATION AND ACTUAL SAMPLES OF COLORS AND FINISHES. ALL FINISHES AND MATERIALS WILL BE EVALUATED BY FACTORS INCLUDING BUT NOT LIMITED TO STYLE, PERFORMANCE, FINISH, COLOR, PATTERN, TEST DATA, WORKMANSHIP, ETC.
4. ALL PRODUCTS AND MATERIALS LISTED IN THE FINISH SCHEDULE SHALL BE INSTALLED PER MANUFACTURERS PREPARATION AND INSTALLATION SUGGESTIONS.
5. THE GENERAL CONTRACTOR AND/OR SUBCONTRACTOR(S) IS RESPONSIBLE FOR THE PROPER FITTING AND CONNECTION OF MATERIALS, FINISHES AND EQUIPMENT. ALL DIMENSIONS INDICATED ON THE DRAWINGS ARE APPROXIMATE AND SHOULD BE CHECKED AND VERIFIED WITH THE ACTUAL FIELD CONDITIONS PRIOR TO ORDERING AND/OR FABRICATING MATERIALS.
6. ENSURE SURFACES TO RECEIVE NEW FINISHES ARE CLEAN, TRUE AND FREE OF IRREGULARITIES. DO NOT PROCEED WITH WORK UNTIL UNSATISFACTORY CONDITIONS HAVE BEEN CORRECTED. STARTING OF WORK INDICATES INSTALLER'S ACCEPTANCE OF SUBSTRATE.
7. RESTORE ALL NEW SURFACES DAMAGED DURING CONSTRUCTION TO MATCH ADJACENT FINISHES INCLUDING BUT NOT LIMITED TO CARPET, VCT, TILE, SHEET GOODS, PAINT, RESILIENT BASE, CEILING TILE AND GRID, ETC.
8. WHEN PAINTING, CONTRACTOR SHALL TAKE ANY MEASUREMENTS NECESSARY TO PROTECT ANY/ALL ITEMS THAT ARE NOT TO BE PAINTED.
9. GENERAL WALL PAINT TO BE EGGSHELL/SATIN FINISH, UNLESS OTHERWISE NOTED.
10. DRYWALL CEILINGS/UNDERSIDE OF SOFFITS PAINT TO BE FLAT FINISH, UNLESS OTHERWISE NOTED.
11. ALL PAINTED TRIM/FRAMES/DOORS TO BE SEMI-GLOSS FINISH AND MATCH ADJACENT WALL FINISH, UNLESS OTHERWISE NOTED.
12. ALL VERTICAL FACES OF SOFFITS, UNLESS OTHERWISE NOTED, ARE TO MATCH THE ADJACENT WALL COLOR (PAINT AND/OR WALL COVERING).
13. ALL FINISHES IN CLOSETS SHALL MATCH ADJACENT SPACES, UNLESS OTHERWISE NOTED.
14. CONTRACTOR TO SUBMIT DRAW-DOWNS OF EACH SPECIFIED COLOR FOR ARCHITECT/INTERIOR DESIGNER APPROVAL. REVIEW FINAL PAINT COLOR LOCATIONS WITH ARCHITECT/INTERIOR DESIGNER PRIOR TO BEGINNING PAINTING.
15. ALL FLOOR MATERIAL TRANSITIONS TO OCCUR AT THE CENTERLINE OF THE CLOSED DOOR, UNLESS OTHERWISE NOTED.
16. ALL GROUT IN BATHROOMS (WALLS AND FLOORS) TO BE EPOXY GROUT. AT ALL AREAS OF WALL TILE, PROVIDE SCHLUTER TRIM PROFILE TO PROTECT TILE EDGES AND PROVIDE APPROPRIATE TRANSITION AT CORNER AND MATERIAL CHANGE CONDITIONS.
17. ALL WALL BASE TO BE 4" HIGH, UNLESS OTHERWISE NOTED.



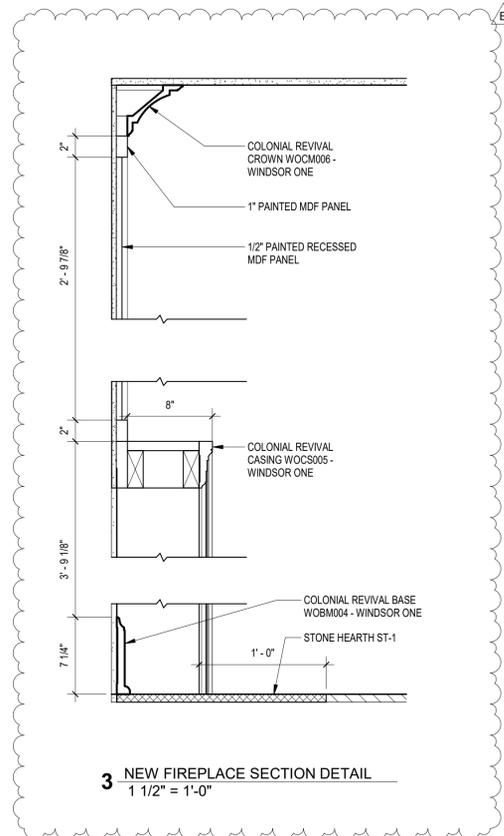
1 ENTERTAINMENT CENTER A
1/2" = 1'-0"



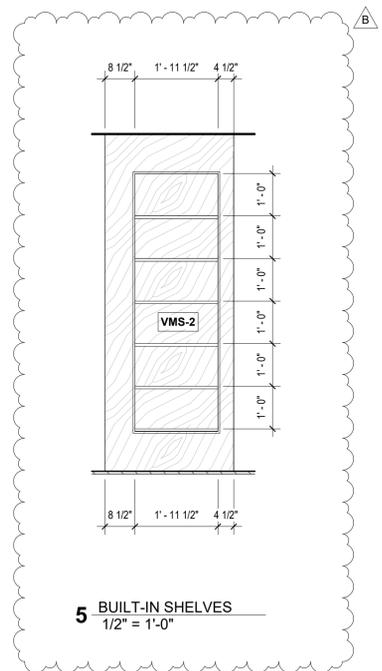
2 SCREEN PORCH DOOR 1 ELEVATION
1/2" = 1'-0"



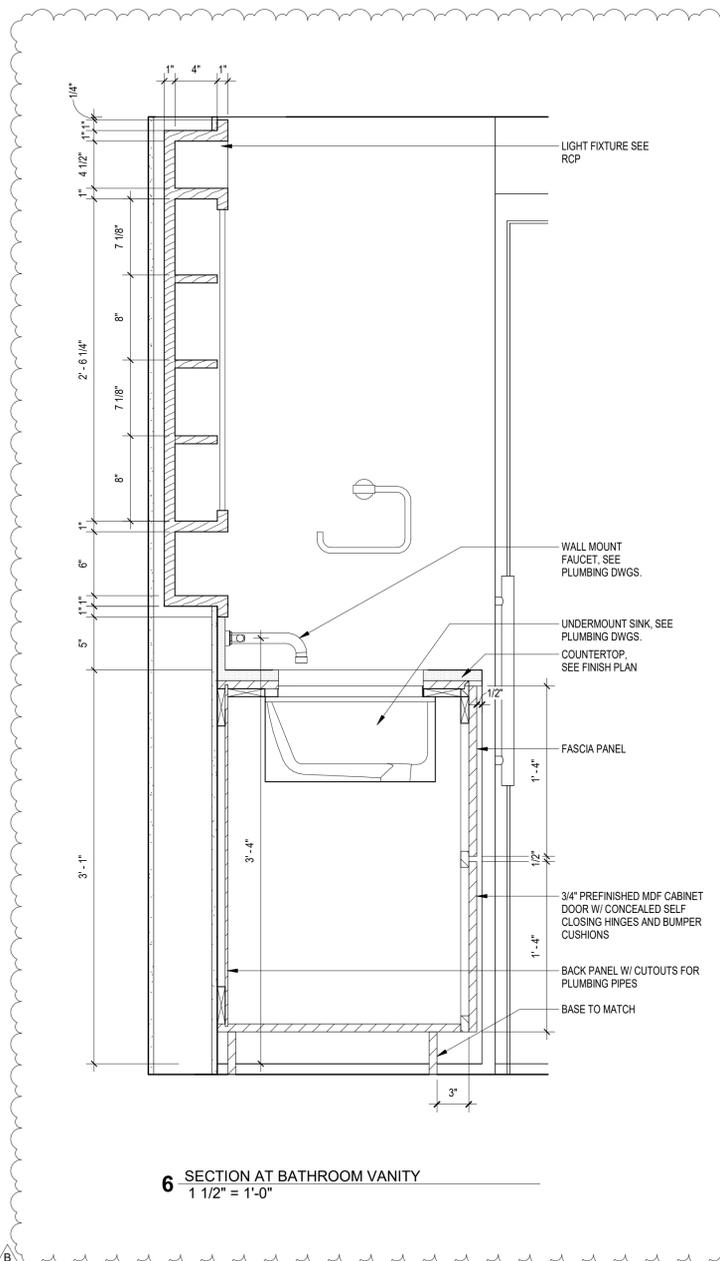
4 KITCHEN ELEVATION EAST
1/2" = 1'-0"



3 NEW FIREPLACE SECTION DETAIL
1 1/2" = 1'-0"



5 BUILT-IN SHELVES
1/2" = 1'-0"



6 SECTION AT BATHROOM VANITY
1 1/2" = 1'-0"

NOT FOR CONSTRUCTION

250703

TURNER RESIDENCE

1 AMHERST RD.
ASHEVILLE, NC
28803

DIRECTORY:
CLIENT:
BRIAN & HOPE TURNER
hopeforsigns@gmail.com
704.804.0187

STRUCTURAL:
PATRICK DUNN
dunnstructural@gmail.com
828.7755110

LANDSCAPE ARCHITECT:
ROB DULL
828.674.5592

CONTRACTOR:
TBD

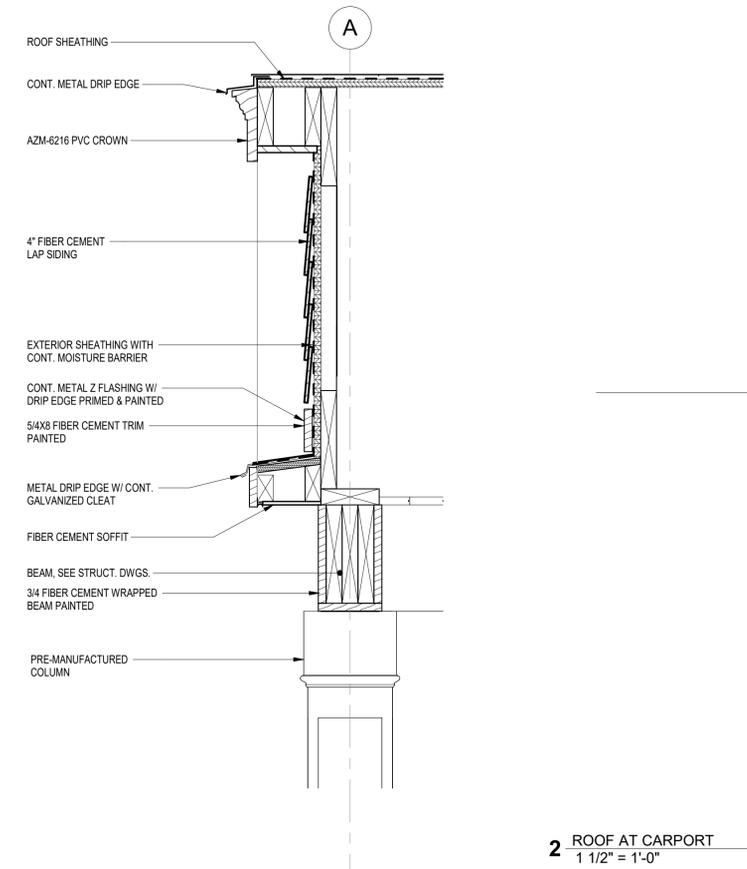
#	DESCRIPTION	DATE
---	-------------	------

CONSTRUCTION DOCUMENTATION

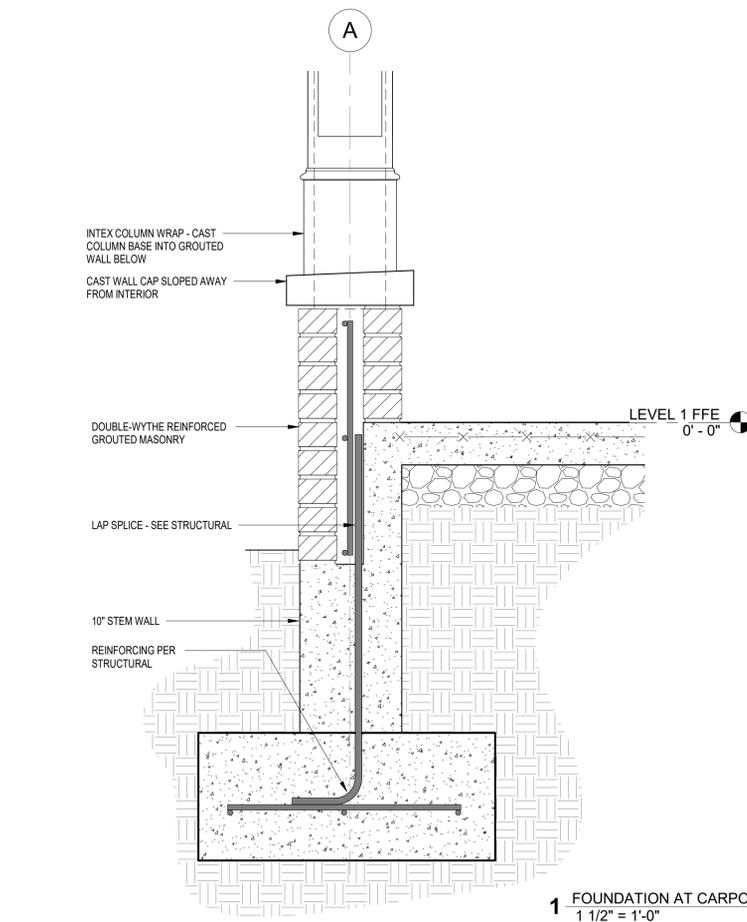
INTERIOR & EXTERIOR DETAILS

A5.2

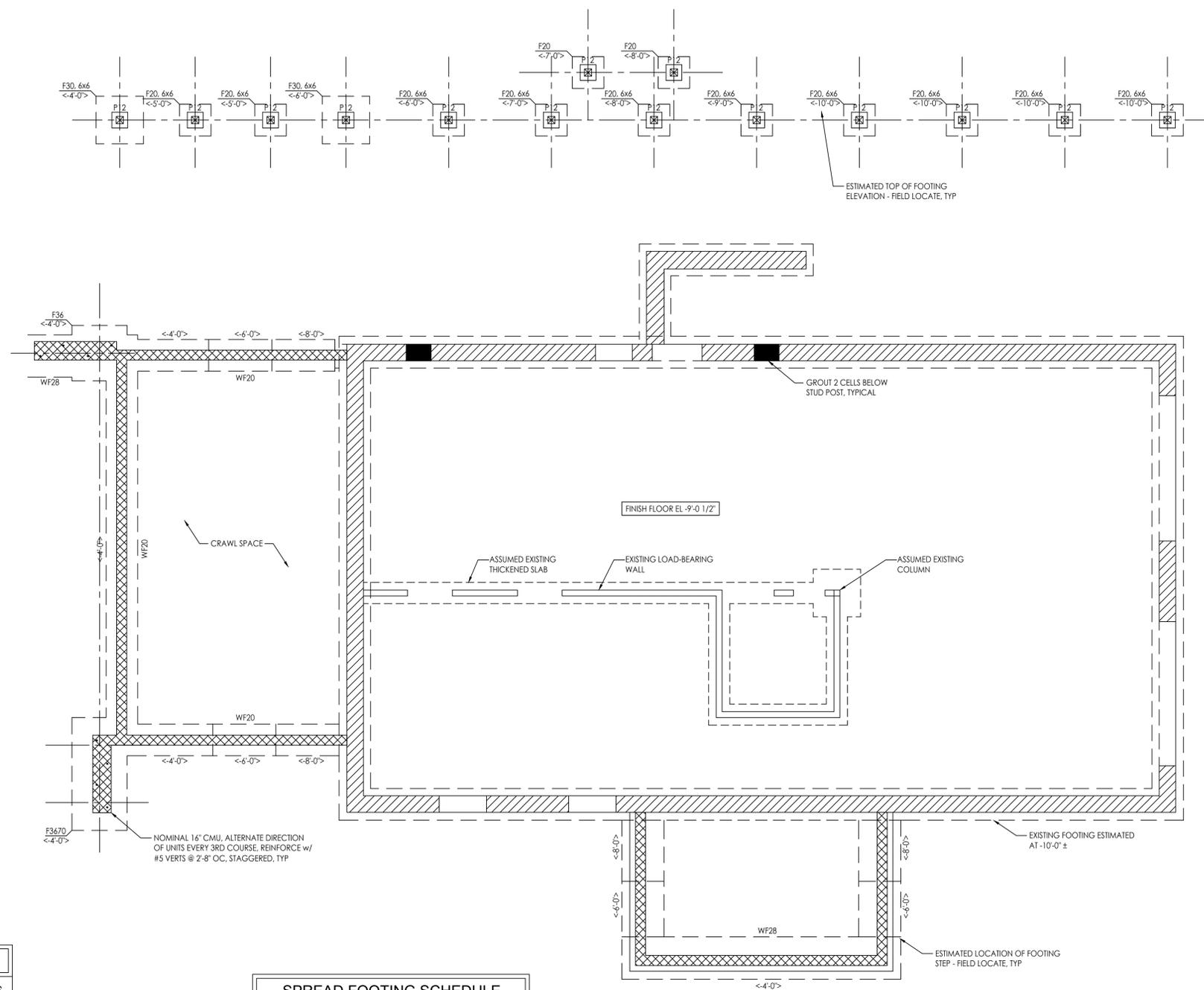
SCALE 1 1/2" = 1'-0"



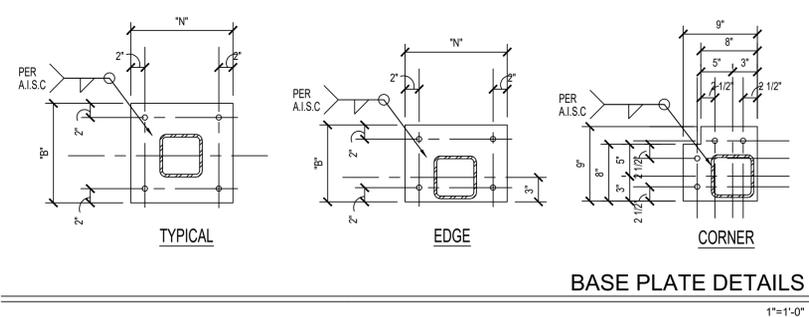
2 ROOF AT CARPORT
1 1/2" = 1'-0"



1 FOUNDATION AT CARPORT
1 1/2" = 1'-0"



COLUMN SCHEDULE				
MARK	SIZE	BASEPLATE TYPE	BASEPLATE (thk. x B x N)	ANCHOR BOLTS
C1	HSS5x5x1/16	I	3/4"x12"x1'-0"	4 - 3/4" DIA



SPREAD FOOTING SCHEDULE			
MARK	DIM. (SQUARE) U.N.O.	THICKNESS	REINFORCEMENT EA WAY, UNO
F20	2'-0"	1'-0"	3#4
F26	2'-6"	1'-0"	3#4
F30	3'-0"	1'-0"	4#4
F36	3'-6"	1'-0"	4#4
F3670	3'-6"x7'-0"	1'-0"	4#4 LV, 7#4 SW

PIER SCHEDULE			
MARK	DIM. (SQUARE) U.N.O.	DOWELS	TIES
P12	12"	4 - #5	#3 @ 12", TOP 2 @ 3"
P16	16"	4 - #6	#3 @ 12", TOP 2 @ 3"

TOP OF PIER SHALL BE A MINIMUM OF 3" ABOVE GRADE AND SLOPE TO DRAIN.

BASEMENT FOUNDATION PLAN

S100 1/4"=1'-0"

- PLAN NOTES:**
- TOP OF SLAB ELEVATION IS AT NOTED WRT DATUM ELEVATION. ALL OTHER ELEVATIONS ARE REFERENCED AS + OR - FROM DATUM.
 - TYPICAL SLAB ON GRADE CONSTRUCTION CONSISTS OF 4" THICK CONCRETE REINFORCED w/ 6#W2.1W2.1 AT MID-DEPTH BEARING ON A 4" OF #57 STONE BASE COURSE.
 - TOP OF FOOTING ELEVATIONS ARE SHOWN ON PLAN. ADJUST ELEVATIONS AS REQUIRED TO MEET THE FOUNDATION CRITERIA DEFINED IN THE GENERAL NOTES. PROVIDE FOOTING STEPS AS NECESSARY TO MAINTAIN TOP OF FOOTING AT A MINIMUM OF 12" BELOW FINAL GRADE.
 - SEE ARCHITECTURAL DRAWINGS FOR LOCATIONS AND DIMENSIONS OF WALLS AND OPENINGS. COORDINATE WITH OTHER DISCIPLINES AND TRADES FOR LOCATIONS AND DIMENSIONS OF RECESSES, SLEEVES AND PIPING.
 - SEE SHEET S001 FOR GENERAL NOTES AND TYPICAL DETAILS PERTAINING TO THIS PLAN. NOTES AND DETAILS SHOWN THEREIN ARE NOT INDICATED ON PLAN, BUT DEFINE GENERAL DESIGN CRITERIA AND TYPICAL CONSTRUCTION CONDITIONS OCCURRING THROUGHOUT THE WORK.

Dunn Structural Engineering, PLLC
 125 S Lexington Ave, Suite 308
 Asheville, NC 28801
 Phone: (828) 775-5110

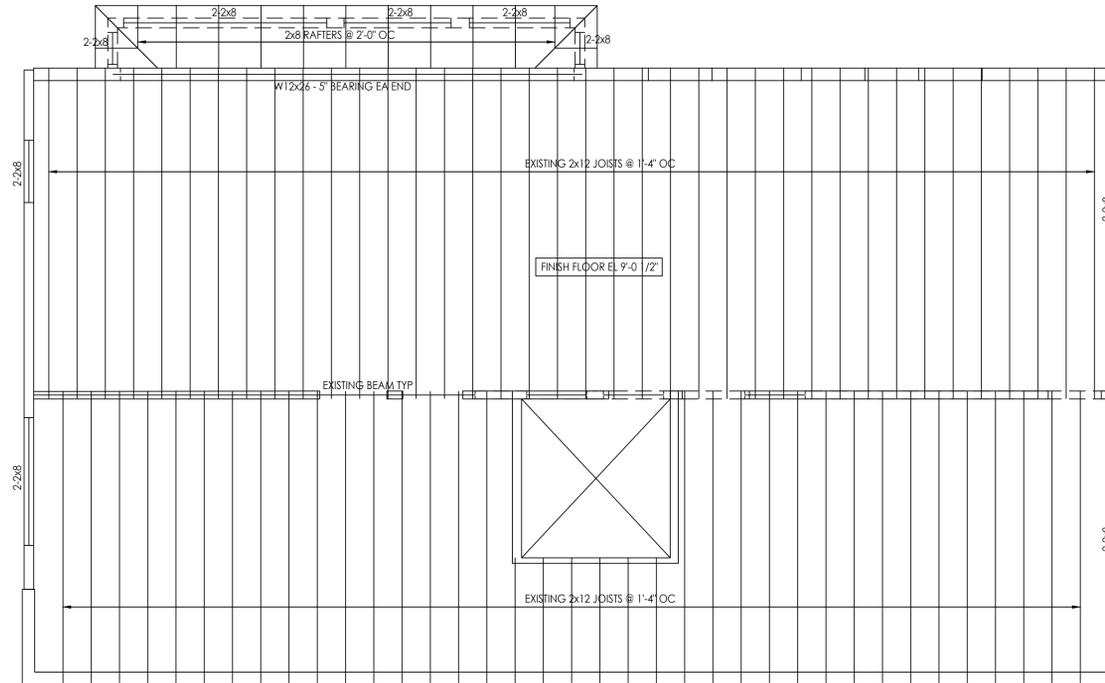
No.	Description	Date

Turner Residence

**1 Amherst Rd
Asheville, NC
28803**

Foundation Plan

Project number	25-1111
Date	2 February, 2026
Drawn by	PTD
Checked by	PTD
S100	
Scale	



LEVEL 2 FLOOR FRAMING PLAN

S100 1/4"=1'-0"

- PLAN NOTES:**
1. TOP OF SUBFLOOR ELEVATION IS AT 9'-0" / 12" ABOVE DATUM ELEVATION. ALL OTHER ELEVATIONS ARE REFERENCED AS + OR - FROM THIS SUBFLOOR.
 2. SEE ARCHITECTURAL DRAWINGS FOR LOCATIONS AND DIMENSIONS OF WALLS AND OPENINGS. COORDINATE WITH OTHER DISCIPLINES AND TRADES FOR LOCATIONS AND DIMENSIONS OF RECESSES, SLEEVES AND PIPING.
 3. RAFTER BEARING ELEVATIONS VARY PER ARCHITECTURAL DRAWINGS.
 4. ROOF SHEATHING SHALL BE 5/8" APA RATED, EXPOSURE 1, WOOD SHEATHING (PLYWOOD OR OSB) BEARING ON AT LEAST THREE SUPPORTS. FASTEN TO SUPPORTS w/ 10d NAILS @ 12" O.C.; EXCEPT ALONG PANEL EDGES, FASTEN AT 6" O.C.
 5. SEE SHEET S001 FOR GENERAL NOTES AND TYPICAL DETAILS PERTAINING TO THIS PLAN. NOTES AND DETAILS SHOWN THEREIN ARE NOT INDICATED ON PLAN, BUT DEFINE GENERAL DESIGN CRITERIA AND TYPICAL CONSTRUCTION CONDITIONS OCCURRING THROUGHOUT THE WORK.

- CONNECTOR NOTES:**
1. TYPICAL RAFTER ANCHORAGE TO BEARING WALL SHALL BE H2.5A. MULTI-PLY BEAMS SHALL HAVE AN H2.5A ON EACH SIDE. FASTEN TOP PLATE TO STUDS w/ SP6 STUD PLATE TIES @ 4'-0" O.C. TYPICALLY UNLESS NOTED OTHERWISE.

Dunn Structural Engineering, PLLC
 125 S Lexington Ave, Suite 308
 Asheville, NC 28801
 Phone: (828) 775-5110

No.	Description	Date

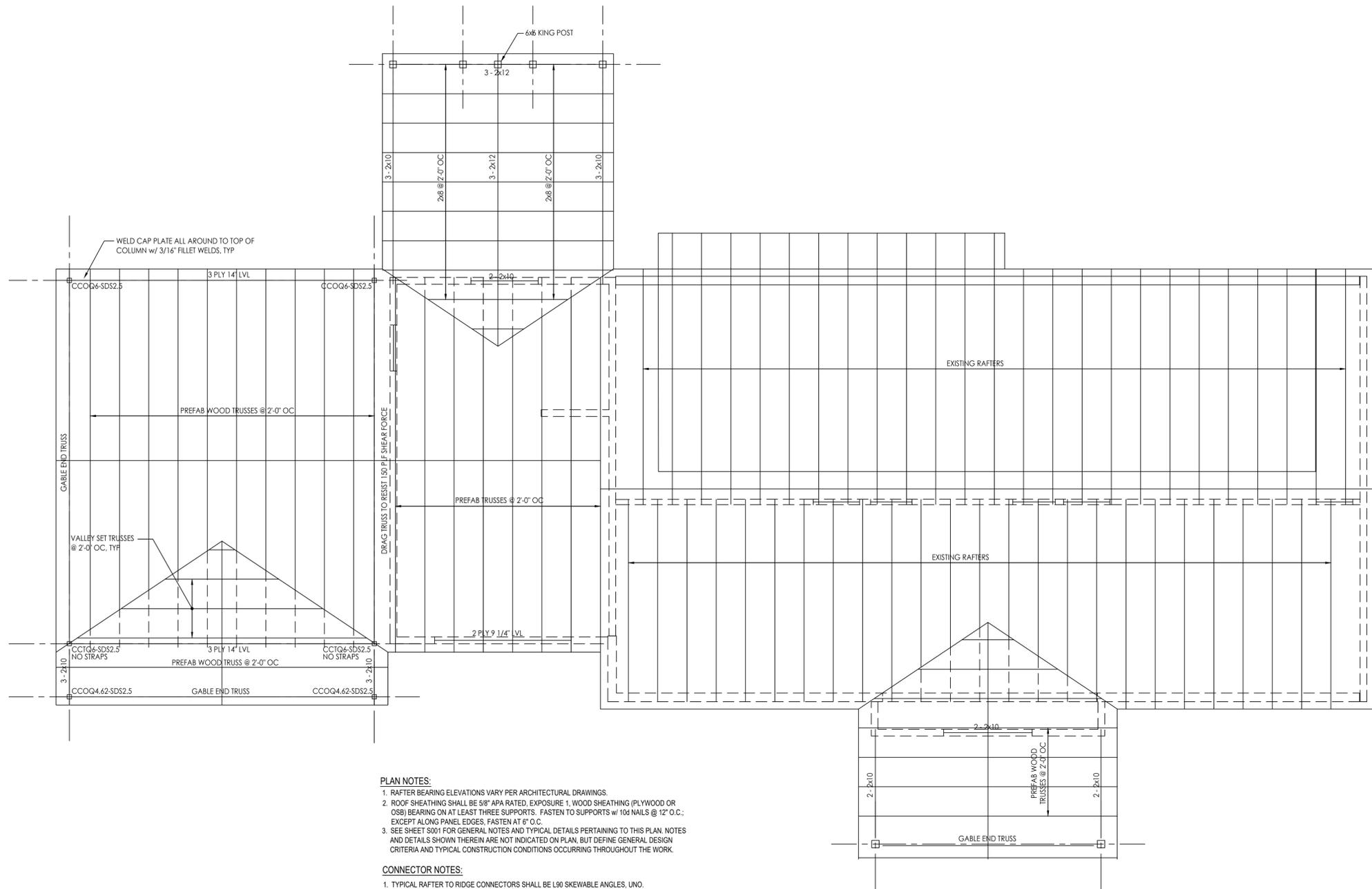
Turner
 Residence
 1 Amherst Rd
 Asheville, NC
 28803

Upper Level Floor
 & Low Roof
 Framing Plan

Project number 25-1111
 Date 2 February, 2026
 Drawn by PTD
 Checked by PTD

S102

Scale



PLAN NOTES:

1. RAFTER BEARING ELEVATIONS VARY PER ARCHITECTURAL DRAWINGS.
2. ROOF SHEATHING SHALL BE 5/8" APA RATED, EXPOSURE 1, WOOD SHEATHING (PLYWOOD OR OSB) BEARING ON AT LEAST THREE SUPPORTS. FASTEN TO SUPPORTS w/ 10d NAILS @ 12" O.C.; EXCEPT ALONG PANEL EDGES, FASTEN AT 6" O.C.
3. SEE SHEET S001 FOR GENERAL NOTES AND TYPICAL DETAILS PERTAINING TO THIS PLAN. NOTES AND DETAILS SHOWN THEREIN ARE NOT INDICATED ON PLAN, BUT DEFINE GENERAL DESIGN CRITERIA AND TYPICAL CONSTRUCTION CONDITIONS OCCURRING THROUGHOUT THE WORK.

CONNECTOR NOTES:

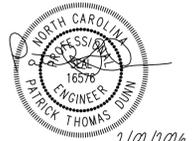
1. TYPICAL RAFTER TO RIDGE CONNECTORS SHALL BE L90 SKEWABLE ANGLES, UNO. MULTI-PLY RAFTERS SHALL HAVE L90s ON EA SIDE.
2. TYPICAL RAFTER/PREFAB TRUSS TO BEARING WALL CONNECTORS (SPAN LESS THAN 25'-0") SHALL BE H2.5A, UNO. MULTI-PLY RAFTERS SHALL HAVE H2.5As ON EA SIDE.
3. PROVIDE 1 KING STUD ON EACH SIDE OF BEAMS AT BEARING WALL SUPPORTS w/ MINIMUM OF 6 - 16d NAILS ON EACH SIDE, UNO. SEE PLANS FOR HANGERS OR STRAPS REQUIRED AT OTHER CONDITIONS.
4. TYPICAL RAFTER TO EXPOSED HEAVY TIMBER CONNECTORS SHALL BE VCT2 ATTACHED TO TOP OF BEAM, UNO.

ROOF FRAMING PLANS

S100

1/4"=1'-0"

Dunn Structural Engineering, PLLC
125 S Lexington Ave, Suite 308
Asheville, NC 28801
Phone: (828) 775-5110



No.	Description	Date

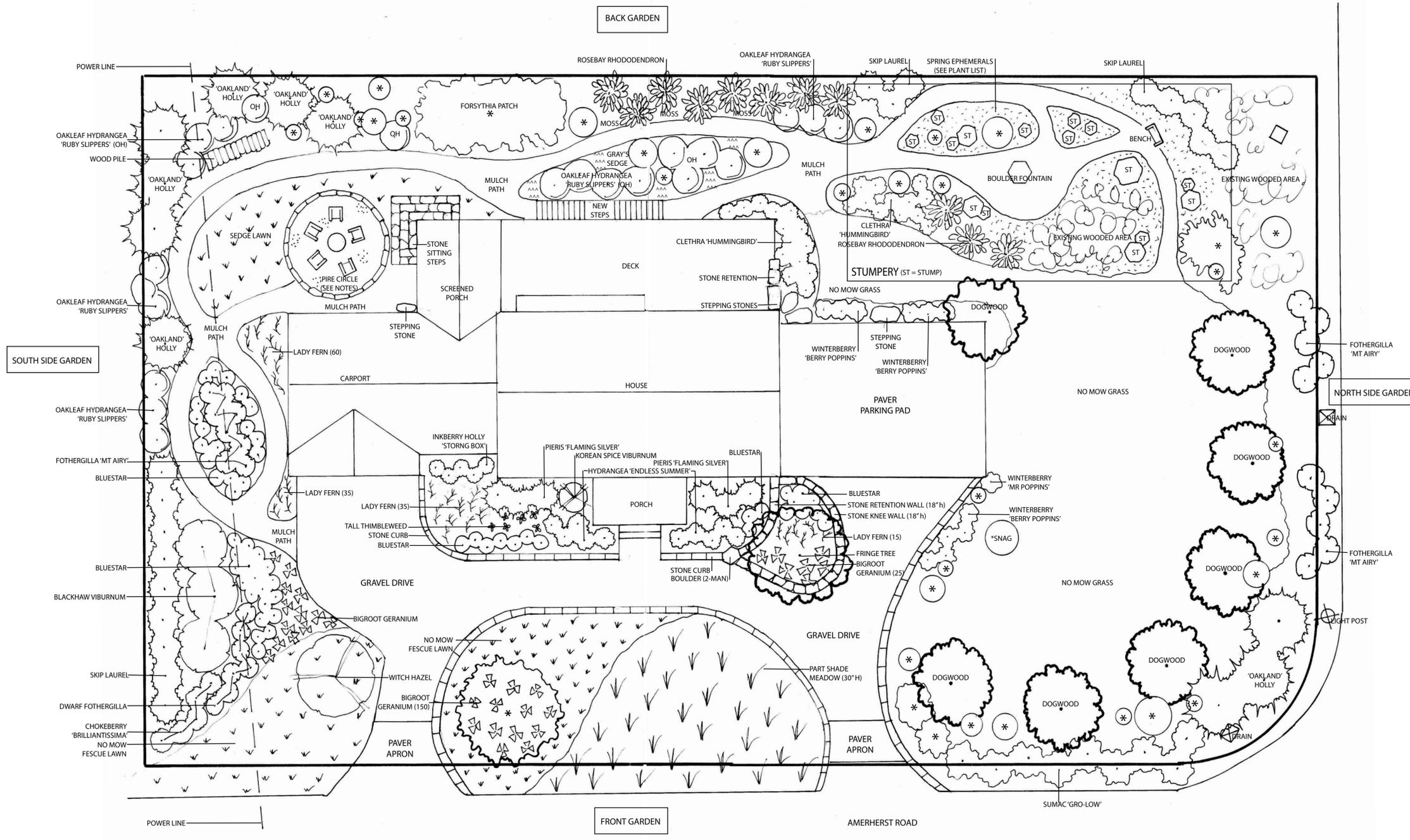
Turner Residence
1 Amherst Rd
Asheville, NC
28803

High Roof Framing Plan

Project number	25-1111
Date	2 February, 2026
Drawn by	PTD
Checked by	PTD

S103

Scale



PLANT LIST			
Common Name	Botanical Name	Quantity	Installed Size
Front Garden Woody Plants			
Fringe Tree	<i>Chionochloa virginicus</i>	1	15 gal
Hydrangea 'Endless Summer'	<i>Hydrangea macrophylla 'Endless Summer'</i>	10	3 gal
Irishberry 'Strong Box'	<i>Ilex glabra 'Strong Box'</i>	5	3 gal
Korean Spice Viburnum	<i>Viburnum carlesii</i>	6	7 gal
Pieris 'Flaming Silver'	<i>Pieris japonica 'Flaming Silver'</i>	6	3 gal
Total		23	
Front Garden Herbaceous Plants			
Big-root Geranium	<i>Geranium Macrorrhizum</i>	200	landscape plug
Bluestar	<i>Amsonia heubrechtii</i>	18	1 gal
Lady Fern	<i>Athyrium filix-femina</i>	50	landscape plug
Tall Thimbleweed	<i>Anemone virginiana</i>	12	1 gal
Total		280	
Front Garden Part Shade Meadow (1,050 sq ft)			
Common Name	Botanical Name	Quantity	Installed Size
Bottlebrush Grass	<i>Elymus hirtellus</i>	100	landscape plug
Cardinal Flower	<i>Lobelia cardinalis</i>	100	landscape plug
Mountain Mint	<i>Pyroanthemum multum</i>	100	landscape plug
Tall Thimbleweed	<i>Anemone virginiana</i>	100	landscape plug
White Wood Aster	<i>Eurybia divaricata</i>	100	landscape plug
Total		500	
No Mow Lawn			
Common Name	Botanical Name	Quantity	Installed Size
Links Mix	Fine Fescue + Red Fescue Mix	850 sq ft	seed
South Garden Woody Plants			
Common Name	Botanical Name	Quantity	Installed Size
Blackhaw Viburnum	<i>Viburnum prunifolium</i>	3	10 gal
Chokeberry 'Brilliantissima'	<i>Aronia arbutifolia 'Brilliantissima'</i>	5	3 gal
Dwarf Fothergilla	<i>Fothergilla gardenii</i>	7	3 gal
Fothergilla 'Mt. Airy'	<i>Fothergilla major 'Mt. Airy'</i>	8	3 gal
Holly 'Oakland'	<i>Ilex 'Oakland'</i>	7	15 gal
Oakleaf Hydrangea 'Ruby Slippers'	<i>Hydrangea quercifolia 'Ruby Slippers'</i>	11	3 gal
Skip Laurel	<i>Prunus laurocerasus</i>	9	7 gal
Witch Hazel	<i>Hamelis virginiana</i>	1	15 gal
Total		51	
South Garden Herbaceous Plants			
Common Name	Botanical Name	Quantity	Installed Size
Big-root Geranium	<i>Geranium Macrorrhizum</i>	50	landscape plug
Bluestar	<i>Amsonia heubrechtii</i>	37	1 gal
Lady Fern	<i>Athyrium filix-femina</i>	50	landscape plug
Total		137	
No Mow Lawn			
Common Name	Botanical Name	Quantity	Installed Size
Links Mix	Fine Fescue + Red Fescue Mix	920 sq ft	seed
Sedge Lawn	<i>Carex appalachica</i>	800	landscape plug
Back Garden Woody Plants			
Common Name	Botanical Name	Quantity	Installed Size
Clethra 'Hummingbird'	<i>Clethra alnifolia 'Hummingbird'</i>	14	3 gal
Oakleaf Hydrangea 'Ruby Slippers'	<i>Hydrangea quercifolia 'Ruby Slippers'</i>	11	3 gal
Rosebay Rhododendron	<i>Rhododendron maximum</i>	8	4" H B&B
Total		33	
Back Garden Herbaceous Plants			
Common Name	Botanical Name	Quantity	Installed Size
Gray's Sedge	<i>Carex grayii</i>	200	landscape plug
Moss	<i>Hypnum imponens</i>	100 sq ft	sheet
Total		300	
Stumpery Garden Plants			
Common Name	Botanical Name	Quantity	Installed Size
WOODY			
Skip Laurel	<i>Prunus laurocerasus</i>	8	3 gal
Clethra 'Hummingbird'	<i>Clethra alnifolia 'Hummingbird'</i>	12	3 gal
Rosebay Rhododendron	<i>Rhododendron maximum</i>	3	4" H B&B
HERBACEOUS			
Bloodroot	<i>Sanguinaria canadensis</i>	25	installer to source
Cinnamon Fern	<i>Osmunda cinnamomea</i>	1	1 gal
Fram Flower	<i>Taraxacum officinale</i>	50	landscape plug
Jack-in-the-Pulpit	<i>Arisaema tripartitum (male & female)</i>	25	installer to source
Moss	<i>Hypnum imponens</i>	100 sq ft	sheet
Shooting Star	<i>Dodecatheon meadia</i>	25	installer to source
Spring Beauty	<i>Claytonia virginica</i>	50	installer to source
Trillium	<i>Trillium grandiflorum</i>	50	landscape plug
Trout Lily	<i>Erythronium americanum</i>	25	installer to source
Wild Ginger	<i>Asarum canadense</i>	50	landscape plug
North Side Garden Plants			
Common Name	Botanical Name	Quantity	Installed Size
WOODY			
Dogwood	<i>Cornus florida 'Cherokee Princess'</i>	7	15 gal
Fothergilla 'Mt. Airy'	<i>Fothergilla major 'Mt. Airy'</i>	10	3 gal
Holly 'Oakland'	<i>Ilex 'Oakland'</i>	3	15 gal
Sumac 'Gro Low'	<i>Rhus aromatica 'Gro Low'</i>	9	3 gal
Winterberry 'Berry Poppins'	<i>Ilex verticillata 'Berry Poppins'</i>	11	3 gal
Winterberry 'Mt. Poppins'	<i>Ilex verticillata 'Mt. Poppins'</i>	1	3 gal
Total		41	
No Mow Lawn			
Common Name	Botanical Name	Quantity	Installed Size
Links Mix	Fine Fescue + Red Fescue Mix	5,400 sq ft	seed

* INDICATES EXISTING PLANT

INSTALLATION NOTES

Installation Notes: General

Utilities will be marked prior to work commencing. Homeowner to call 811.

Utilities: Drainage to be addressed by Registered Landscape Architect (RLA). Driveway design to be addressed by RLA. Grade handling: The NW corner of the house currently has timber grade handling. RLA to address grade handling in this area with stone. Stepping stones to be TN Fieldstone Steppers, 2" O x 3" W (minimum). Stone sitting / retaining walls will be TN Fieldstone. All pathways will be Double Ground Hardwood Mulch, 3" wide. Amendment will be mainly pine fines with some compost. The purpose is primarily to add air pockets into soil. All plant removals will be flagged by designer with red tape. Designer will approve woody plant layout and will direct herbaceous plant layout. Planting beds will be covered with Double Ground Pine Bark mulch. Installer will ensure that new plantings are well-watered in. Homeowner and installer will agree on plan for establishment watering. Woody plants may be planted in spring - early summer and fall - early winter. Herbaceous plants may be planted in spring - early summer.

Installation Notes: Front Garden

Plant Removal: Existing woody plants and grass / weeds to be removed and hauled off. Magnolia to remain.

Stone Walls: Two stone walls will be constructed on the north end of the front garden. Lower to be 18" high and suitable for sitting; upper to be approx. 12" for grade retention.

Stone Walls: Transition from walls to driveway curb to get a 2-man boulder.

Planting: Woody plants will be pocket planted with extra-wide pits and backfill amended with 25% planting mix.

Amendment: Herbaceous planting areas will be spread with 2" AMY's planting mix or comparable, and dug in at the time of perennial planting.

Planting: Meadow will be laid out in a matrix planting - designer to direct.

Planting: No Mow Grass will area will be prep'd for seeding, seeded at directed rate, covered with pine straw. Installer to specify watering regime.

Planting: All plantings will be mulched and well-watered in.

Installation Notes: South Side Garden

Plant Removal: Entire area to be cleared of invasive plants and weeds. Designer will direct further editing of existing plants. Extraneous plants and debris to be hauled off.

Fire Circle: A 32' circle (OD) will be excavated, filled with 3" washed stone and topped with fabric (felt), 3" granite fines compacted, 1" decorative gravel. Edge w/TN Fieldstone medium long.

Planting: Woody plants will be pocket planted with extra-wide pits and backfill amended with 25% planting mix.

Amendment: Herbaceous planting areas will be spread with 2" AMY's planting mix or comparable, and dug in at the time of perennial planting.

Planting: All plantings will be mulched and well-watered in.

Installation Notes: Back Garden

Plant Removal: Entire area to be cleared of invasive plants and weeds. Designer will direct further editing of existing plants. Extraneous plants and debris to be hauled off.

Amendment: Woody plants will be pocket planted with extra-wide pits and backfill amended with 25% planting mix.

Planting: Herbaceous planting areas will be spread with 2" AMY's planting mix or comparable, and dug in at the time of perennial planting.

Planting: All plantings will be mulched and well-watered in.

Installation Notes: North Side Garden

Plant Removal: Entire area to be cleared of invasive plants and weeds. Designer will direct further editing of existing plants. Extraneous plants and debris to be hauled off.

Planting: Woody plants will be pocket planted with extra-wide pits and backfill amended with 25% planting mix.

Amendment: Herbaceous planting areas will be spread with 2" AMY's planting mix or comparable, and dug in at the time of perennial planting.

Planting: No Mow Grass will area will be prep'd for seeding, seeded at directed rate, covered with pine straw. Installer to specify watering regime.

Planting: All plantings will be mulched and well-watered in.

Stumpery: Designer will direct editing of trees / shrubs in this area.

Stumpery: A 4' bench will be set per plan.

Stumpery: 15 stumps of varying sizes will be selected with homeowner and placed at designers direction.

Stumpery: A 3-man boulder will be selected with homeowner, and prepared for use as a recirculating fountain. Boulder will be drilled with a hole. A basin, pump and screen will make the fountain.

Stumpery: Woody plants will be pocket planted with extra-wide pits and backfill amended with 25% planting mix.

Stumpery: Designer will layout all herbaceous plant material once stumps are set.

Stumpery: Herbaceous planting areas will be spread with 2" AMY's planting mix or comparable, and dug in at the time of perennial planting.

Stumpery: All plantings will be mulched and well-watered in.



Scale: 1' 0" = 10'
Date: November 26, 2025
Page: 1 of 1

TURNER RESIDENCE
1 Amherst Rd. Biltmore Forest, NC 28803
Final Landscape Plan - V2

Muddy Boots GARDEN DESIGN
3 Chestnut Mountain Ridge
Asheville, NC 28803
828.628.4922



BOARD OF ADJUSTMENT MEETING

STAFF MEMORANDUM

March 23, 2026

CASE

Property Address: 16 Forest Rd
Property Owner: William Pfeiffer
Request: Special Use Request for an Accessory Building

Background

The property owner is presenting plans to add an accessory building in their rear yard. The proposed structure will be an approximately 288 square foot building that meets the location and setback requirements. All accessory buildings within Town require a special use for approval.

Special Use

Section 153.029 (attached) of the Town's Zoning Ordinance regulates accessory structures and buildings, which require a special use permit from the Board of Adjustment. Special use findings are covered in section 153.110 (C) (attached) of the Towns Zoning Ordinance.

153.037 ACCESSORY STRUCTURES OR BUILDINGS UTILIZED AS DWELLINGS.

(A) Upon adoption of this chapter, accessory buildings used as dwelling units and occupied by a “family” (see definition in § [153.004](#)) member shall be a conforming use. Such units occupied by a non-family member shall be nonconforming uses.

(B) (1) The definitions and provisions of this chapter provide for this situation.

(2) Therefore, the following shall apply:

(a) An existing accessory structure occupied at the time of adoption of this chapter by a non-family member can continue to be used for such purpose. If the unit occupied by a non-family member becomes vacant for more than 60 days (see § [153.036](#)(C)(2)(c)4.), then such unit could only be reoccupied by a family member.

(b) New accessory structures intended for use as dwellings shall only be occupied by a family member.

(Ord. passed 10-19-1983; Ord. passed 6-8-2021)

153.110 (C) *Special uses.*

(1) Upon application, the Board of Adjustment may grant in particular cases and subject to appropriate conditions and safeguards, permits for special uses as authorized by this chapter, and set forth as special uses under the various use districts.

(2) A special use permit may be granted by the Board of Adjustment only after making the following findings:

(a) An application for the special use has been submitted as prescribed by this chapter;

(b) 1. If the Board of Adjustment finds, in the particular case in question, that the use, including any proposed structures:

a. Will not materially endanger the public health or safety if located where proposed and developed according to the plan as submitted and approved;

b. Meets all required conditions and specifications of this chapter and other applicable rules, regulations, and standards;

c. Will not substantially injure the value of adjoining or abutting property;

d. Will be in general conformity with the plan of development of the town and its environs;

e. Will be reasonably compatible with significant natural and topographic features on the site and within the immediate vicinity of the site given the proposed site design and structure design;

f. Will be in harmony with scale, bulk, height, coverage, density, and character of the area or neighborhood in which it is located; or

g. Is appropriately located with respect to transportation facilities, water supply, fire and police protection, waste disposal, and similar facilities, and will not cause undue traffic congestion or create a traffic hazard.

2. In granting such a permit, the Board of Adjustment may designate such conditions in connection therewith that will, in its opinion, assure that the proposed use will conform to the requirements and spirit of this chapter. However, the Board of Adjustment shall not impose conditions on special use permits that the town is not statutorily allowed to impose.

(c) Before any special use permit is issued, the Board shall make written findings certifying compliance with the specific rules governing the individual special use (see § [153.008](#)), and that satisfactory provision and arrangement has been made for at least the following, where applicable:

1. Satisfactory ingress and egress to property and proposed structures thereon, with particular reference to automotive and pedestrian safety and convenience, traffic flow, and control;
2. Provision of off-street parking and loading areas where required, with particular attention to the items in division (C)(2)(c)1. above, and the economic, noise, and odor effects of the special use on adjoining properties in the area;
3. Adequate and proper utilities, with reference to locations, availability, and compatibility;
4. Buffering, with reference to type, location, and dimensions;
5. Signs, if any, and proposed exterior lighting, with reference to glare, traffic safety, economic effect, and compatibility and harmony with properties in the district;
6. Playgrounds, open spaces, yards, landscaping, access ways, pedestrian ways, with reference to location, size, and suitability;
7. Buildings and structures, with reference to location, size, and use;
8. Hours of operation, with particular reference to protecting and maintaining the character of the neighborhood;
9. With the exception of Americans with Disabilities Act, being 42 U.S.C. § 12101, lighting requirements and street lighting, the design standards as outlined in § [153.047](#), "Site Design and Form and Mass Commercial Buildings," shall apply when exterior lighting is proposed and/or required;
10. A site plan has been submitted as required in § [153.008](#); and
11. The applicant/landowner must provide written consent to conditions placed on a special use permit by the Board of Adjustment.

(d) 1. The Zoning Administrator shall make periodic inspections during construction as well as a final inspection after construction is complete to determine whether the conditions imposed and agreements made in the issuance of the permit have been met as well as whether all other requirements of this chapter have been met. The Zoning Administrator shall report his or her findings to the Board of Adjustment.

2. If at any time after a special use permit has been issued, the Board of Adjustment determines that the conditions imposed and agreements made have not been or are not being fulfilled by the holder of a special use permit, the permit shall be terminated and the operation of such use discontinued.

3. If a special use permit is terminated for any reason, it may be reinstated only after reapplying for a special use permit.

Zoning Compliance Application

Town of Biltmore Forest

Name

William Pfeiffer

Property Address

16 Forest Rd.



Parcel ID/PIN Number

9647-71-7739

ZONING INFORMATION

Current Zoning

R-1

Lot Size

2.14 acres

Proposed Roof Coverage Total

3314 sq. ft.

Proposed Impervious Surface Coverage

11103

Front Yard Setback

60 feet (R-1 District)

Side Yard Setback

20 feet (R-1 District)

Rear Yard Setback

25 feet (R-1 District)

Building Height

11 ft.

Description of the Proposed Project

This is a "portable shed building" to be built and located on my lot by Pine View Buildings (purchased through the Swannanoa Office). The foundation work will be done by Heavenly Landscapes. I have attached a drawing, a photo, and info related to the gravel foundation. (Note that my building will have lap siding.) Having met with Tony, I believe my proposed location meets the Town's siting criteria. As well, I have met with MSD personnel and had flags placed, so that I meet the requirement of being at least 10 feet from the sewer line (the requirement is 10 feet on each side).

Estimated Start Date

3/18/2026

Estimated Completion Date

4/19/2028

Estimated Cost of Project

\$20,000.00

Supporting Documentation (Site Plan, Drawings, Other Information)

IMG_6556.jpeg

IMG_6555.jpeg

IMG_6557.jpeg

Signature

Date
3/1/2026

William S. Pfeiffer

Have you paid the \$100 zoning application fee? Your permit application will not be reviewed until payment has been received. You can visit the link below to pay. Copy & paste the link in your browser.

I plan to pay in person or mail a check

Important Notice: The Town will never mail your application and/or permit information to your home. The Town will also never ask you for a wire transfer, giftcards, or any other forms of payment.

Yes, I understand that the Town will NOT reach out via mail or ask for wire transfers. If something seems off, please reach out to the Town immediately.

Special Use Permit Application

Town of Biltmore Forest

Name

William Pfeiffer

Address

16 Forest Rd.



Please select the type of special use you are applying for:

Accessory Buildings

The applicant must show that the proposed use will not materially endanger public health or safety or injure value of adjoining or abutting property. In addition, the proposed use must be in general conformity with the plan of development of the town and be in harmony with scale, bulk, height, coverage, density, and character of the neighborhood.

Please provide a description of the proposed project:

This is a portable shed built and installed by Pine View Buildings, with foundation of treated timbers and compacted gravel installed by Heavenly Landscapes. The main purpose of the shed is to hold various types of equipment and tools.

Explain why the project would not adversely affect the public interest of those living in the neighborhood:

This Cambridge Model Pine View shed will conform to the general shape of my home and will be near the back of my lot--within various setbacks. The fact that it is far below the grade of the street--as well as nearby homes--will greatly decrease visibility, especially from Forest Rd.

I hereby certify that all of the information set forth above is true and accurate to the best of my knowledge.

Signature

Date

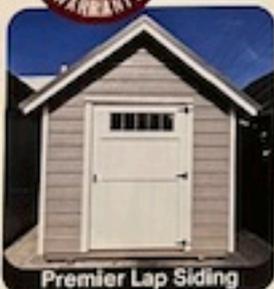
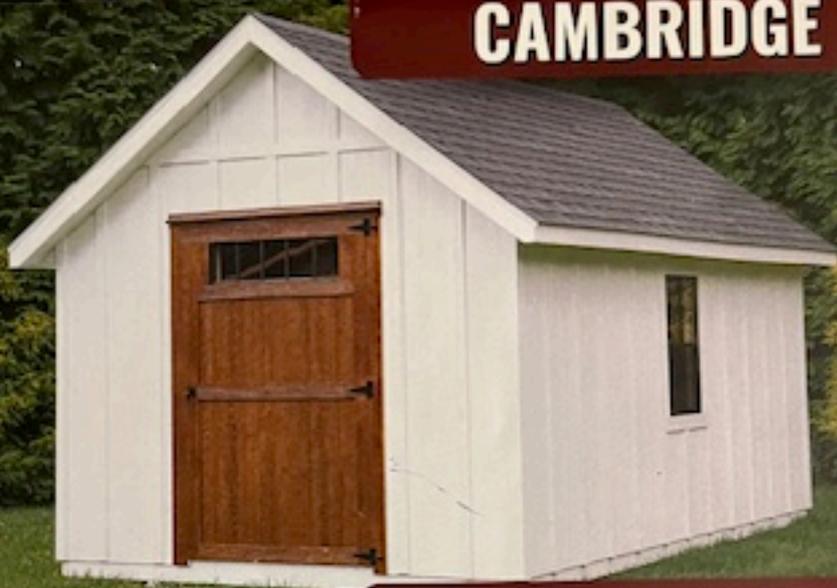
3/2/2026

William S. Pfeiffer

Have you paid the \$100 special use permit application fee? Your permit application will not be reviewed until payment has been received. You can visit the link below to pay. Copy & paste the link in your browser.

I plan to pay in person or mail a check

CAMBRIDGE



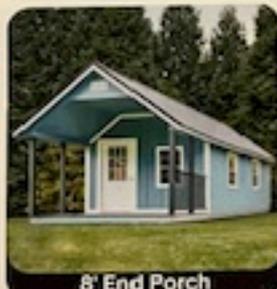
Premier Lap Siding



Chalet Porch



End Porch with Dormer



8' End Porch

Additional Options Available

The Cambridge Style combines functionality with modern charm, perfect for any property. With or without the dormer option, it blends seamlessly with a variety of architectural styles.

- 8, 10 and 12 foot widths available
- Standard 8" Overhangs on all sides
- 9/12 Roof Pitch
- Standard 16" on center roof trusses

Popular Options

- Dormer
- Chalet Porch
- End Porch

Available Siding

- Performance Panel
- Premier Lap
- Signature Board & Batten

Building Sizes

Standard and High Walls Available

8x10

8x12

10x12

10x16

10x20

12x12

12x16

12x20

12x24

12x28

12x32

12x36

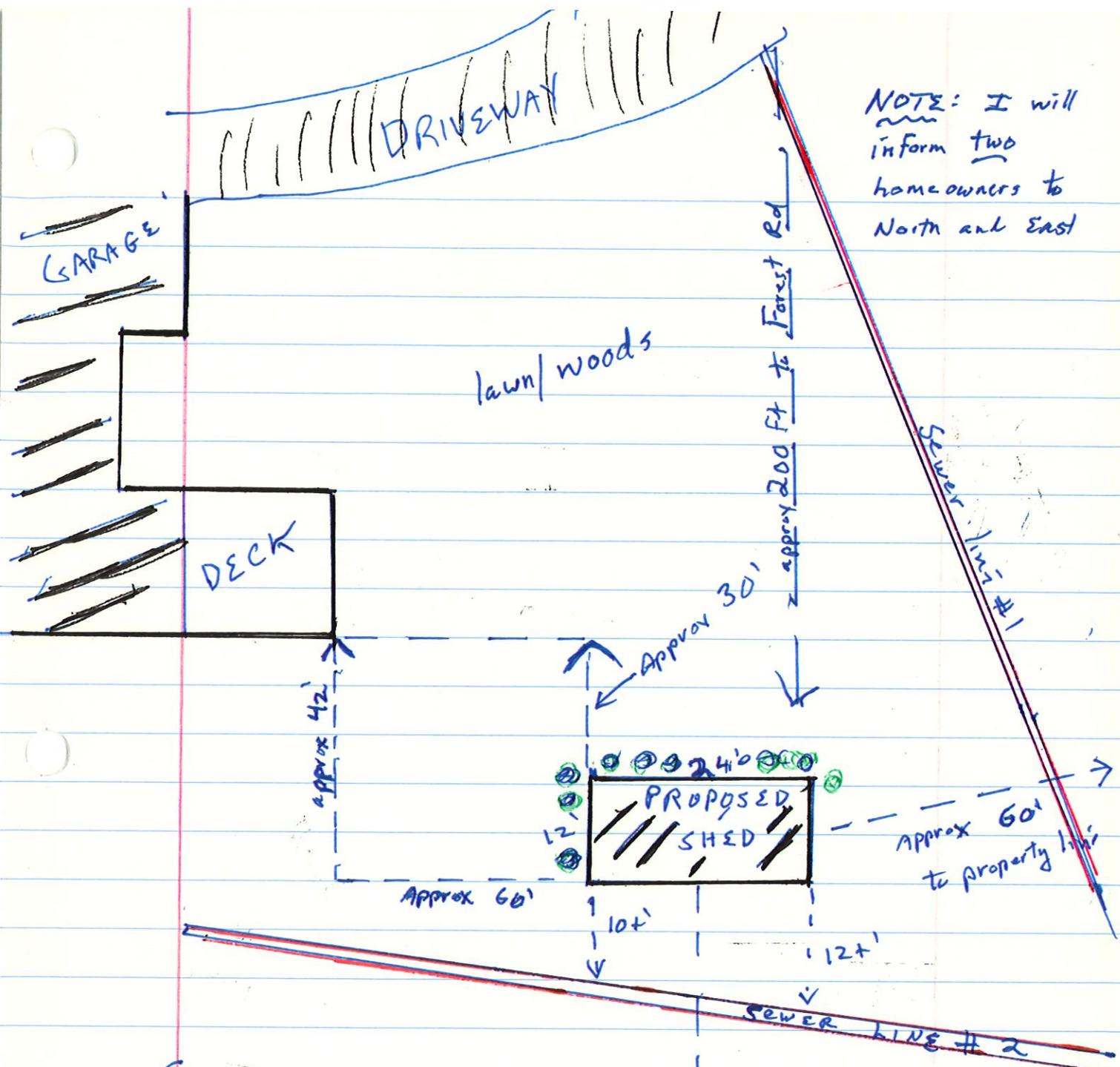
12x40

4' and 8' Open End Porch Options Available. Chalet Porch Available in 6'

PINEVIEW
BUILDINGS LLC.

www.pineviewbuildings.com

Last updated 4/1/2019

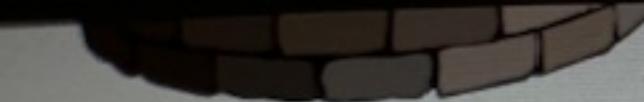


NOTE: I will inform two homeowners to North and East

William Pfeiffer 3/2/26
 16 Forest Rd.
 Biltmore Forest

Approx 60' to property line

- Rough Site Plan
- Not to scale
- Approx distances listed
- * Buffering added, as needed



Heavenly

SCAPES LLC

Phone: (828) 246-1982
PO Box 18632
Asheville, NC 28814
Heavenlyscapesnc@gmail.com

Description of Work

Installation of a Gravel Pad Appx: 12ft x 24ft
(Actual size: appx: 12.5 ft x 24.5ft)
Grading in preparation of area for a more level surface
Removal of Rhododendrons
Materials and labor included
Commercial landscaping cloth
Road bond gravel base
Finished with $\frac{3}{4}$ in gravel on top
Adding a border (6x6 treated lumber to hold gravel in place)
Secured with screws and rebar

Notes: Upon taking Heavenly Scapes on for this project, we will require a 50% deposit and a signed contract. Weather permitting, I can start in the next couple of weeks. We can discuss

Subtotal

Deposit Due