

PROPOSED AGENDA

Meeting of the Design Review Board
February 27, 2020

- I. Chairman Johnson will call the meeting to order.
- II. Review Minutes from January Meeting.
- III. Design Review Board Presentations
 1. 1 Hilltop Road – Replace Exterior Windows with French Door
 2. *57 Forest Road – Approval of Existing Tree House Building*
 3. *15 Park Road – Installation of New Swimming Pool & Fence*
 4. 625 Hendersonville Road – Addition of Attached, 2-Car Garage and Add 14x22 Addition to Existing Guest House
 5. 2 Westwood Road – Main Level Addition and Terrace to Rear of Home
 6. *57 Chauncey Circle – Construction of a new single-family residence with swimming pool*
- IV. Adjourn

**Requests in italics required Board of Adjustment approval, which was received.*

MINUTES OF THE TOWN OF BILTMORE FOREST
DESIGN REVIEW BOARD MEETING OF JANUARY 2020

There was no physical meeting of the Design Review Board in January 2020. The Board did review three projects electronically. The following projects were approved.

- (1) Boulder installation at 15 Cedar Chine
- (2) Garage door replacement at 883 Hendersonville Road
- (3) Renovation of an existing home at 23 Eastwood Road.

Bruce Johnson, Chairman

Jonathan Kanipe, Town Manager

Zoning Compliance Application

Town of Biltmore Forest

Name

Marshall King

Property Address

1 Hilltop Road

Phone

(252) 559-1950

Email

kmarshallking@nssnc.com

Parcel ID/PIN Number

9646961199

ZONING INFORMATION

Current Zoning

R-1

Lot Size

1.9 acres

Maximum Roof Coverage

5,500 square feet (Up to 1.5 acres)

Proposed Roof Coverage Total

no change

Maximum Impervious Surface Coverage

1-3 acres (25 percent of lot area)

Proposed Impervious Surface Coverage

no change

Front Yard Setback

60 feet (R-1 District)

Side Yard Setback

20 feet (R-1 District)

Rear Yard Setback

25 feet (R-1 District)

Building Height

no change

Description of the Proposed Project

Replace exterior double windows with French door unit.

Estimated Start Date

3/1/2020

Estimated Completion Date

3/5/2020

Estimated Cost of Project

\$2,000.00

Supporting Documentation (Site Plan, Drawings, Other Information)

836D6920-1835-40F5-B6DA-E26B0A31AFF5.jpeg

CDAA165D-C9A4-4715-B074-30E265E0E7F0.jpeg

635DB41F-B531-45D3-86AB-3CD3182529CA.jpeg

Applicant Signature



Robert M. King

Date

1/22/2020





JELD-WEN

72 in. x 80 in. W-2500 White Clad Wood Left-Hand Full Lite French Patio Door w/Unfinished Interior



Exterior View



355 Vanderbilt Rd | Biltmore Forest, NC
Po Box 5352 | Biltmore Forest, NC 28803
P (828) 274-0824 | F (828) 274-8131

www.biltmoreforest.org



George F. Goosmann, III, Mayor
Fran G. Cogburn, Mayor-Pro Tem
E. Glenn Kelly, Commissioner
Doris P. Loomis, Commissioner

Jonathan B. Kanipe,
Town Manager

MEMORANDUM

To: Board of Adjustments Members
From: Jonathan Kanipe, Town Manager
Re: Board of Adjustments Case Number 4 (57 Forest Road)
Date: February 24, 2020

Request for Special Use Permit for an Accessory Building and Playground Equipment

A special use permit is requested for an accessory building and playground equipment. Construction and assembly took place in 2019, but the required permits were not requested. Staff has requested for the property owner to apply for the special use permit retroactively.

The accessory building and playground equipment are located in the side yard behind the house. The location of the building nor the equipment encroaches upon any setbacks. The building, referred to as a tree house, is made of wood and is 180 square feet, with a height of 20 feet. The playground equipment includes a wooden enclosure and roof with green slides and a green swing set.

On the application, the property owner notes the tree house will eventually be stained to a dark brown color to blend in with the landscaping/forest.

Zoning Compliance Application

Town of Biltmore Forest

Name

Nathan Renfro

Property Address

57 Forest Road

Phone

(828) 545-5704

Email

ndrenfro@gmail.com

Parcel ID/PIN Number

964669122800000

ZONING INFORMATION

Current Zoning

R-1

Lot Size

1.79 acres

Maximum Roof Coverage

6,100 square feet (Up to 2 acres)

Proposed Roof Coverage Total

4535, this is the roof coverage of our house

Maximum Impervious Surface Coverage

1-3 acres (25 percent of lot area)

Proposed Impervious Surface Coverage

10038, this is the number from our house construction

Front Yard Setback

60 feet (R-1 District)

Side Yard Setback

20 feet (R-1 District)

Rear Yard Setback

25 feet (R-1 District)

Building Height

20 ft, this is the height of the treehouse

Description of the Proposed Project

Treehouse added in August 2019. The treehouse is wood. The footprint is 12 feet by 15 ft. The roofed area is 12ft x 12ft with a 3 ft uncovered deck on one side. The height is 20 feet. I have attached drawings of the treehouse and shown its location on the map of our lot. The construction is complete. However, in the spring we will stain the treehouse to a darker brown color.

Estimated Start Date

8/1/2019

Estimated Completion Date

8/31/2019

Estimated Cost of Project

\$20,000.00

Supporting Documentation (Site Plan, Drawings, Other Information)

IMG_0748.jpg

IMG_0749.jpg

IMG_0750.jpg

IMG_0751.jpg

Footprint.pdf

Site Plan.pdf

Treehouse CAD.jpg

Applicant Signature

Date

1/15/2020



Nathan D Reifer

Special Use Permit Application

Town of Biltmore Forest

Name

Nathan Renfro

Address

57 Forest Road

Phone

(828) 545-5704

Email

ndrenfro@gmail.com

Please select the type of special use you are applying for:

Accessory Structures

The applicant must show that the proposed use will not materially endanger public health or safety or injure value of adjoining or abutting property. In addition, the proposed use must be in general conformity with the plan of development of the town and be in harmony with scale, bulk, height, coverage, density, and character of the neighborhood.

Please provide a description of the proposed project:

Treehouse added in August 2019. The treehouse is wood. The footprint is 12 feet by 15 ft. The roofed area is 12ft x 12ft with a 3 ft uncovered deck on one side. The height is 20 feet. I have attached drawings of the treehouse and shown its location on the map of our lot. The construction is complete. However, in the spring we will stain the treehouse to a darker brown color.

Explain why the project would not adversely affect the public interest of those living in the neighborhood:

The treehouse is located far from the street, behind our house. It is made of wood and will be stained to a dark brown color to match our current playset and should blend into the forest.

I hereby certify that all of the information set forth above is true and accurate to the best of my knowledge.

Signature

Date

1/15/2020



Recently added treehouse
Playground added during home construction in 2017

PROJECT DATA

- 1.79 Acres = Total Lot Area
- R-1 = Zoning District
- 19,493 SF = Maximum Impervious Area per Zoning (25% of Lot)
- 10,038 SF = Proposed Impervious Area
- 6,100 SF = Maximum Roof Coverage per Zoning
- 4,535 SF = Proposed Roof Coverage
- 5,503 SF = Proposed Hardscape Area

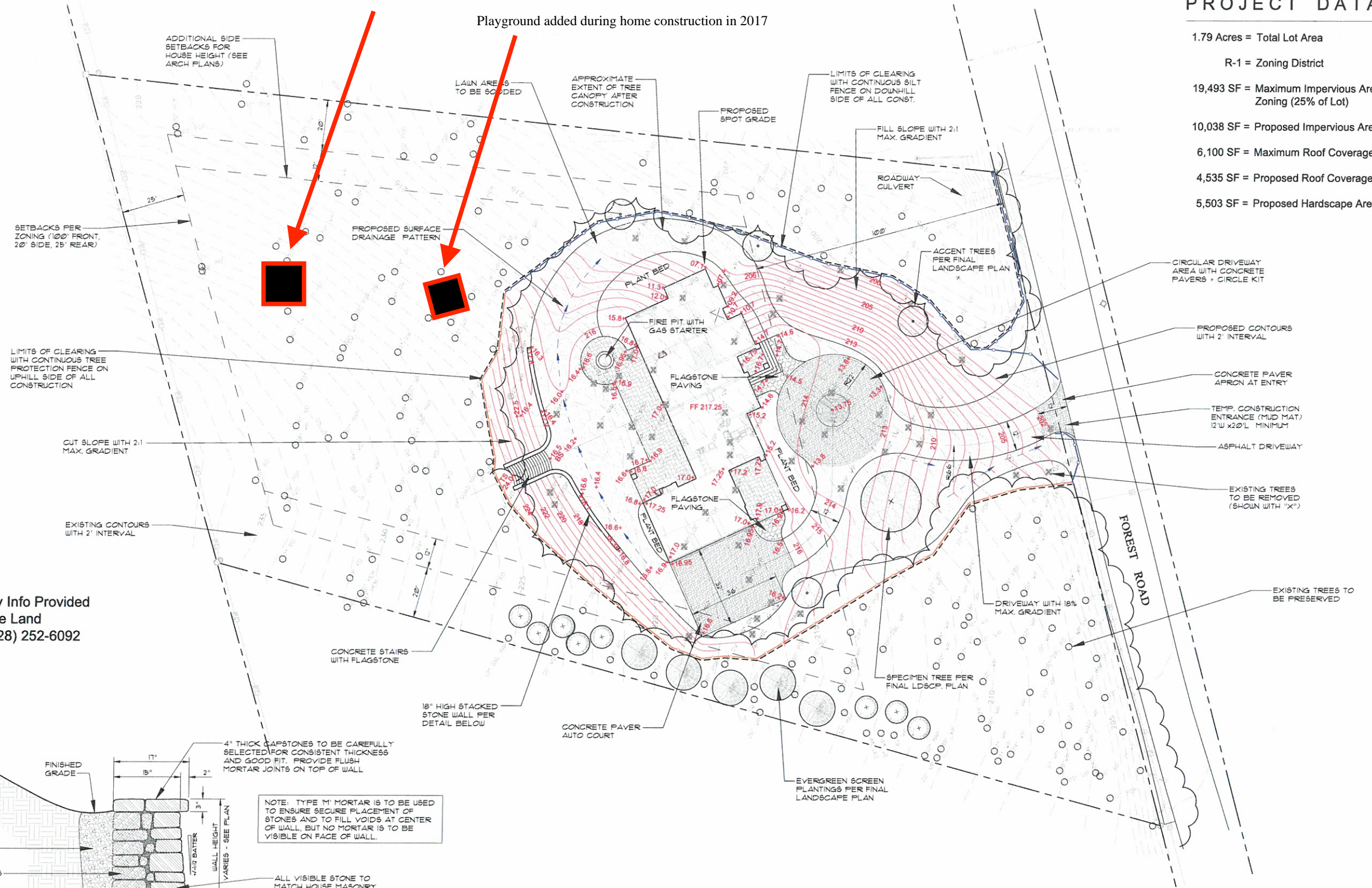


Nathan & Erin Renfro Residence
Lot 36, Block N, Forest Road
Biltmore Forest, North Carolina

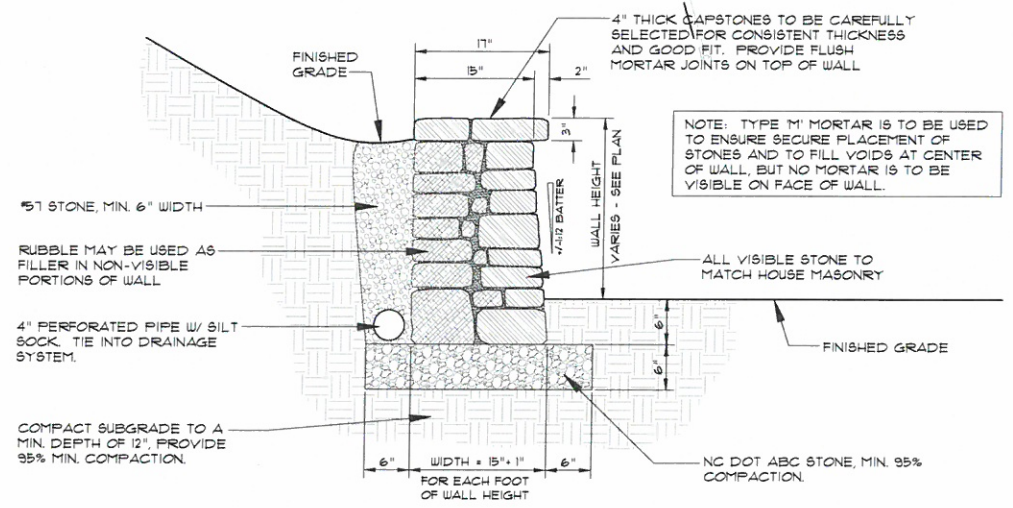
Preliminary Site Plan

Date: March 7, 2016

SP-1



Note: Survey Info Provided
By Blue Ridge Land
Surveying (828) 252-6092



1 STACKED STONE RETAINING WALL
LD-1 SCALE: 1"=1'-0"

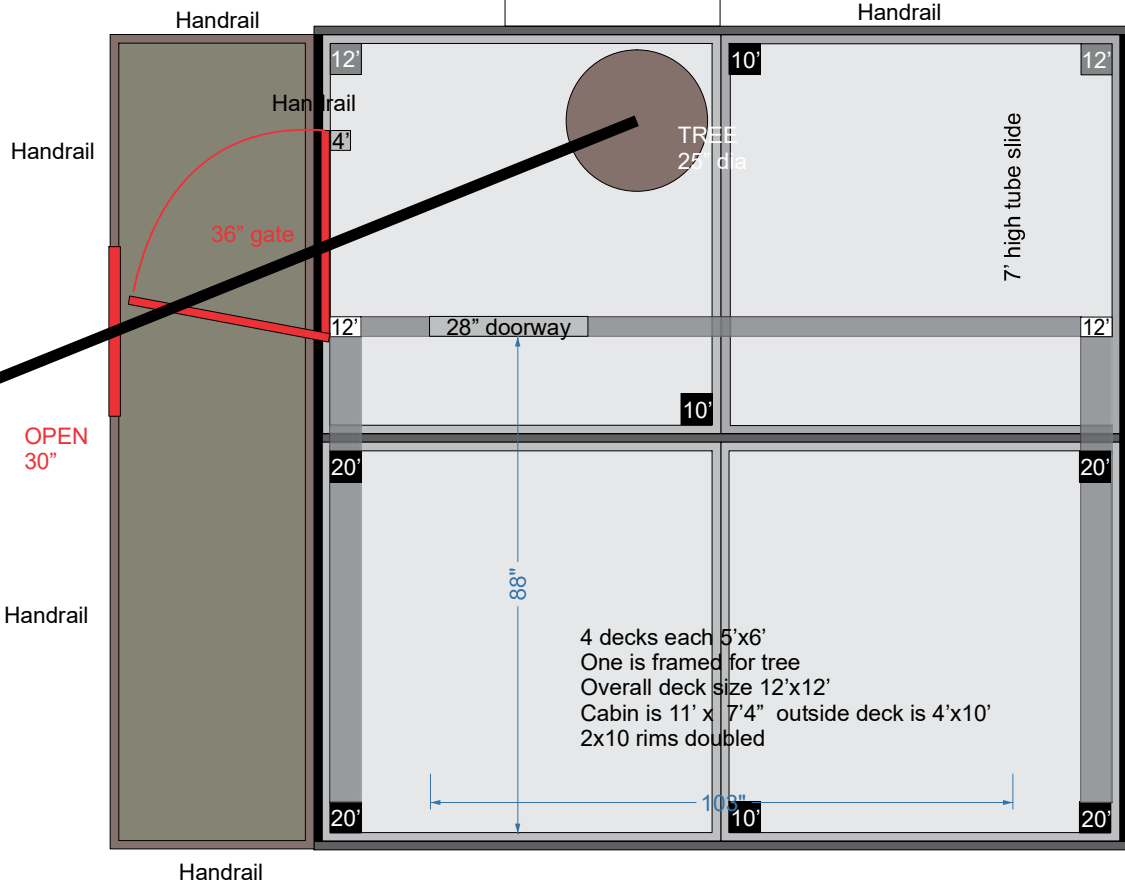
PRELIMINARY - NOT FOR CONSTRUCTION



Note: Client is responsible for obtaining structural design from registered engineer for any retaining wall over 5' tall.

Zip line deck w/
hinged handrail
(opens for zip line
use, closed other
times). Deck is
attached to posts
at 1' below cabin
& deck. Zip line
attaches to tree.

7' ladder



24" diameter
7' deck height
residential
tube slide



The treehouse is a two-story wooden structure. The upper level has a gabled roof and a large window with a decorative grid pattern. Below this, there is a smaller window with a curved top. A wooden deck with a railing is attached to the side of the treehouse. The structure is supported by several wooden posts and beams, and a green slide is visible on the right side.

A wooden ladder is attached to the side of the treehouse, providing access to the upper level. It has several rungs and is supported by wooden posts.

A green plastic slide is attached to the side of the treehouse. It has a curved design and is supported by wooden posts.

The ground is covered in a thick layer of brown pine needles and fallen leaves. There are several pine cones scattered on the ground. A small green object is visible in the foreground.







355 Vanderbilt Rd | Biltmore Forest, NC
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www.biltmoreforest.org



George F. Goosmann, III, Mayor
Fran G. Cogburn, Mayor-Pro Tem
E. Glenn Kelly, Commissioner
Doris P. Loomis, Commissioner

Jonathan B. Kanipe,
Town Manager

MEMORANDUM

To: Board of Adjustments Members
From: Jonathan Kanipe, Town Manager
Re: Board of Adjustments Case Number 1 (15 Park Road)
Date: February 24, 2020

Request for Special Use Permit for Construction of a Swimming Pool and Perimeter Fence

A special use permit is requested for construction of a 16'x40' swimming pool. The pool will be located behind the house and will be enclosed by perimeter fencing as required by state law. The fencing material proposed is black metal. Landscape buffering is planned around the boundary of the fence.

The property owner received a permit for a house addition in 2017. The plans submitted at that time included the future location of the swimming pool, but official approval was not requested. The pool will not encroach upon any setbacks and the proposed impervious surface coverage of 5,127 square feet is well under the allowed allotment of 15,790 square feet.

The pool and fence must be approved by special use permit as it is considered an accessory structure.

Zoning Compliance Application

Town of Biltmore Forest

Name

Donald Schmitt

Property Address

15 Park Road

Phone

(828) 505-5515

Email

drschmitt@gmail.com

Parcel ID/PIN Number

964668472100000

ZONING INFORMATION

Current Zoning

R-1

Lot Size

1.45

Maximum Roof Coverage

5,500 square feet (Up to 1.5 acres)

Proposed Roof Coverage Total

640

Maximum Impervious Surface Coverage

1-3 acres (25 percent of lot area)

Proposed Impervious Surface Coverage

1127

Front Yard Setback

60 feet (R-1 District)

Side Yard Setback

20 feet (R-1 District)

Rear Yard Setback

25 feet (R-1 District)

Building Height

0

Description of the Proposed Project

Installation of pool (16 x 40 feet = 640 sq ft) with automated pool cover and perimeter fence.

Estimated Start Date

3/1/2020

Estimated Completion Date

3/31/2020

Estimated Cost of Project

\$60,000.00

Supporting Documentation (Site Plan, Drawings, Other Information)

2020 - 15 Park - SCHMITT - Landscaping FINAL.pdf

Applicant Signature

Date
1/20/2020

A handwritten signature in black ink, appearing to read "D. Selt". The signature is written in a cursive style with a large initial "D" and a stylized "Selt". Below the signature is a thin horizontal line.

Special Use Permit Application

Town of Biltmore Forest

Name

Donald Schmitt

Address

15 Park Rd

Phone

(828) 505-5515

Email

drschiitt@gmail.com

Please select the type of special use you are applying for:

Accessory Structures

The applicant must show that the proposed use will not materially endanger public health or safety or injure value of adjoining or abutting property. In addition, the proposed use must be in general conformity with the plan of development of the town and be in harmony with scale, bulk, height, coverage, density, and character of the neighborhood.

Please provide a description of the proposed project:

Pool

Explain why the project would not adversely affect the public interest of those living in the neighborhood:

Pool was on our Landscape Plan

I hereby certify that all of the information set forth above is true and accurate to the best of my knowledge.

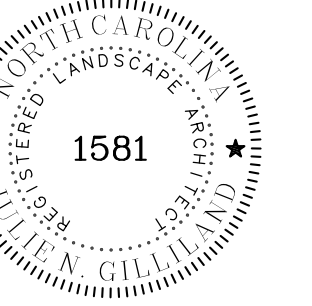
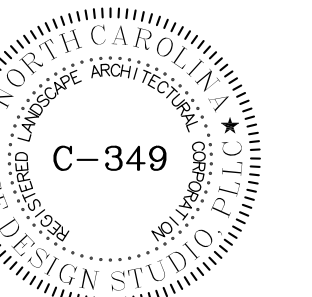
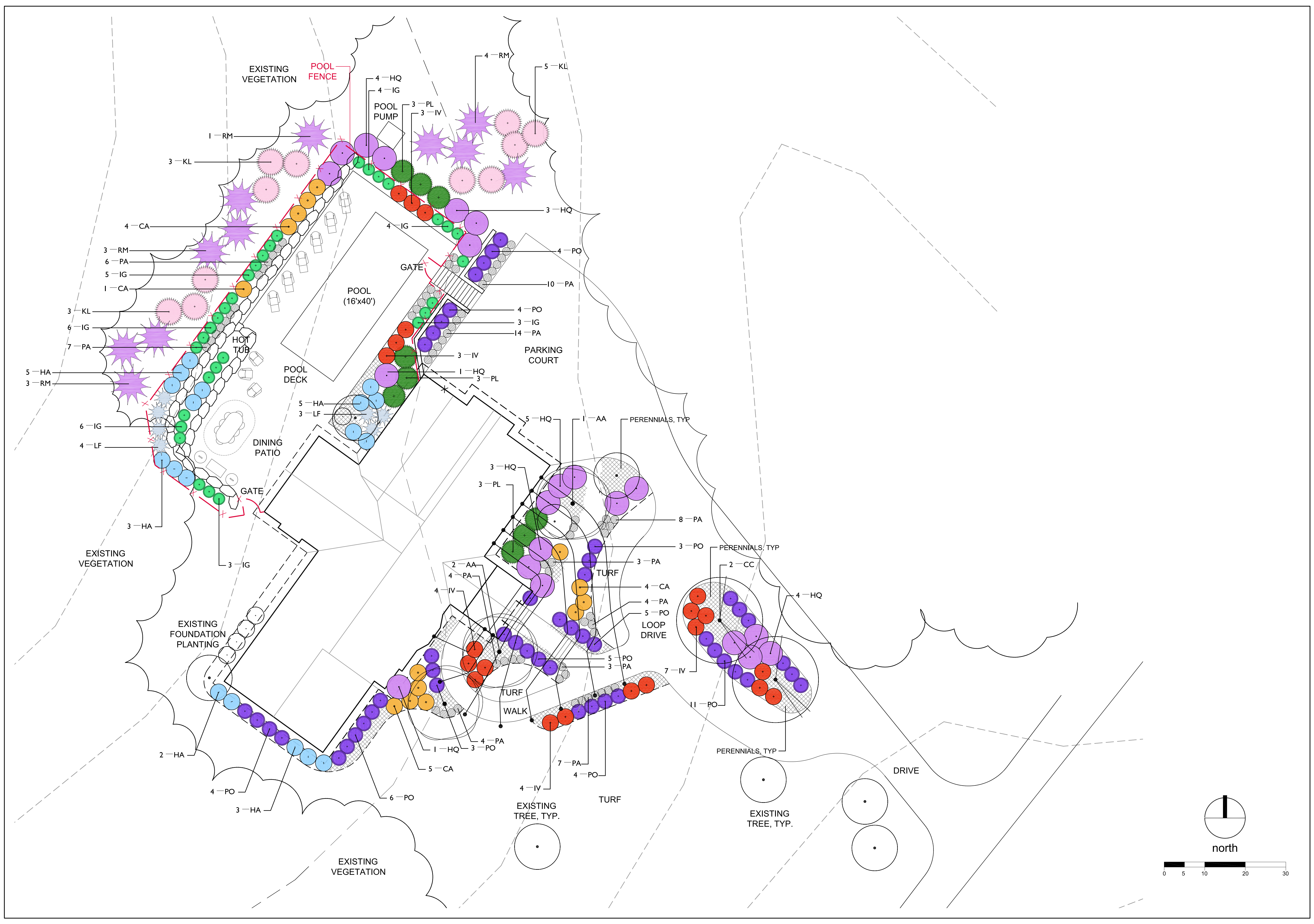
Signature



Donald Schmitt

Date

1/3/2020



SCHMITT RESIDENCE
15 PARK ROAD
BILTMORE FOREST
 ASHEVILLE, NORTH CAROLINA

DATE: SEPTEMBER 13, 2017
 DESIGNED BY: JTG
 CHECKED BY: JNG
 SCALE: 1" = 10'
 PROJECT #: 17-040

REVISIONS:
 JANUARY 8, 2020

SHEET TITLE
LANDSCAPE PLAN

SHEET NUMBER
L102

PLANT LIST

Key	Qty.	Ornamental Trees	Size
AA	3	Amelanchier arborea Serviceberry	1.5" cal. 12-14' high at planting, B&B, Single straight leader; well branched
CC	2	Cercis canadensis Eastern Redbud	1.5" cal. 12-14' high at planting, B&B, Single straight leader; well branched

Key	Qty.	Large Evergreen Shrubs	Size
KL	11	Kalmia latifolia Mountain Laurel	24" high at planting, 5 gal. or 10" root ball, Full Plant
PL	9	Prunus laurocerasus 'Schipkaensis' Skip Laurel	24" high at planting, 5 gal. or 10" root ball, Full Plant
RM	11	Rhododendron maximum Rosebay Rhododendron	24" high at planting, 5 gal. or 10" root ball, Full Plant

Key	Qty.	Large Deciduous Shrubs	Size
HQ	20	Hydrangea quercifolia Oakleaf Hydrangea	24" high at planting, 5 gal. or 10" root ball, Full Plant

Key	Qty.	Small Evergreen Shrubs	Size
IG	31	Ilex glabra Inkberry Holly	18" high at planting, 3 gal. or 10" root ball, Full Plant
LF	7	Leucothoe fontanesiana Leucothoe	18" high at planting, 3 gal. or 10" root ball, Full Plant
PO	49	Prunus laurocerasus 'Otto Luyken' Otto Luyken Cherry Laurel	18" high at planting, 3 gal. or 10" root ball, Full Plant

Key	Qty.	Small Deciduous Shrubs	Size
CA	14	Clethra alnifolia Sweet Clethra	24" high at planting, 5 gal. or 10" root ball, Full Plant
HA	18	Hydrangea arborescens 'Annabelle' Annabelle Hydrangea	24" high at planting, 5 gal. or 10" root ball, Full Plant
IV	21	Itea virginica Sweetspire	24" high at planting, 5 gal. or 10" root ball, Full Plant

Key	Qty.	Grasses	Size
PA	70	Pennisetum alopecuroides 'Hamelin' Dwarf Fountain Grass	24" high at planting, 5 gal. or 10" root ball, Full Plant

Key	Qty.	Perennials	Size
cl		Coreopsis lanceolata Lanceleaf Coreopsis	1 gal., Full Plant
ha		Hosta sp. Hosta	1 gal., Full Plant
ho		Helleborus orientalis Christmas Rose	1 gal., Full Plant
la		Lavendula Lavender	1 gal., Full Plant
so		Saponaria ocyroides Soapwort	1 gal., Full Plant

LEGEND

Key	AA	Amelanchier arborea Serviceberry
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Key	CC	Cercis canadensis Mountain Laurel
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Key	KL	Kalmia latifolia Mountain Laurel
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Key	RM	Rhododendron maximum Rosebay Rhododendron
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Key	PL	Prunus laurocerasus 'Schipkaensis' Skip Laurel
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Key	VB	Viburnum davidii David Viburnum
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Key	HQ	Hydrangea quercifolia Oakleaf Hydrangea
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Key	IG	Ilex glabra Inkberry Holly
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Key	LF	Leucothoe fontanesiana Leucothoe
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Key	PO	Prunus laurocerasus 'Otto Luyken' Otto Luyken Cherry Laurel
-----	----	--



Key	CA	Clethra alnifolia Sweet Clethra
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Key	HA	Hydrangea arborescens 'Annabelle' Annabelle Hydrangea
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Key	IV	Itea virginica 'Little Henry' Little Henry Virginia Sweetspire
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Key	PA	Pennisetum alopecuroides 'Hamelin' Dwarf Fountain Grass
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Key	cl	Coreopsis lanceolata Lanceleaf Coreopsis
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Key	ha	Hosta sp. Hosta
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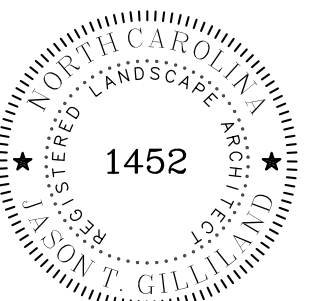
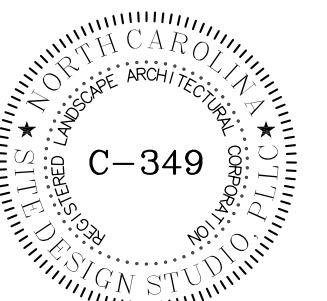
Key	ho	Helleborus orientalis Christmas Rose
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Key	la	Lavendula Lavender
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Key	so	Saponaria ocyroides Soapwort
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SCHMITT RESIDENCE
15 PARK ROAD
BILTMORE FOREST
ASHEVILLE, NORTH CAROLINA

DATE: SEPTEMBER 13, 2017
DESIGNED BY: JTG
CHECKED BY: JNG
SCALE: NTS
PROJECT #: 17-040

REVISIONS:

SHEET TITLE
**ILLUSTRATED
PLANT LIST &
SCHEDULE**

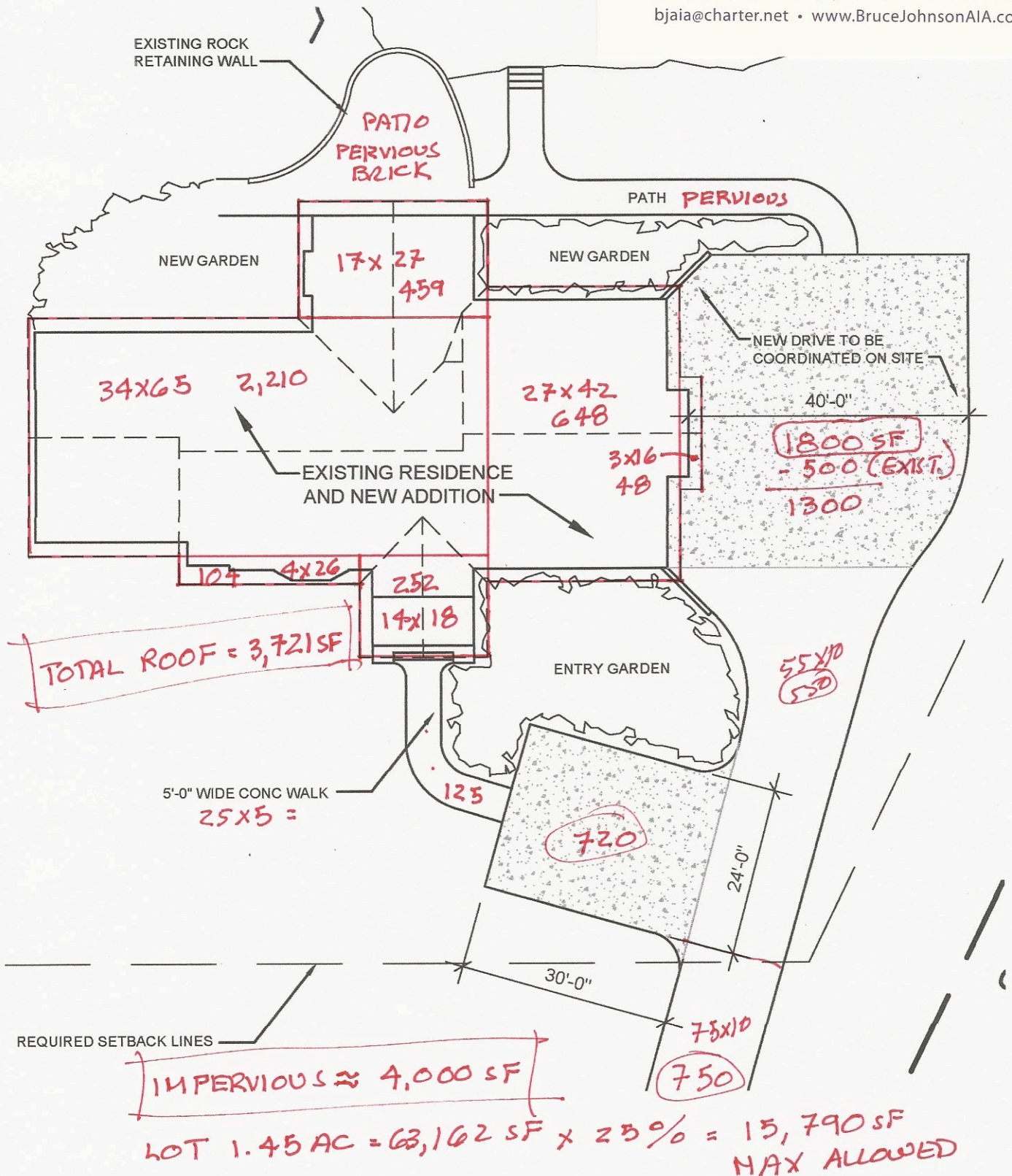
SHEET NUMBER
L103

POOL FENCE

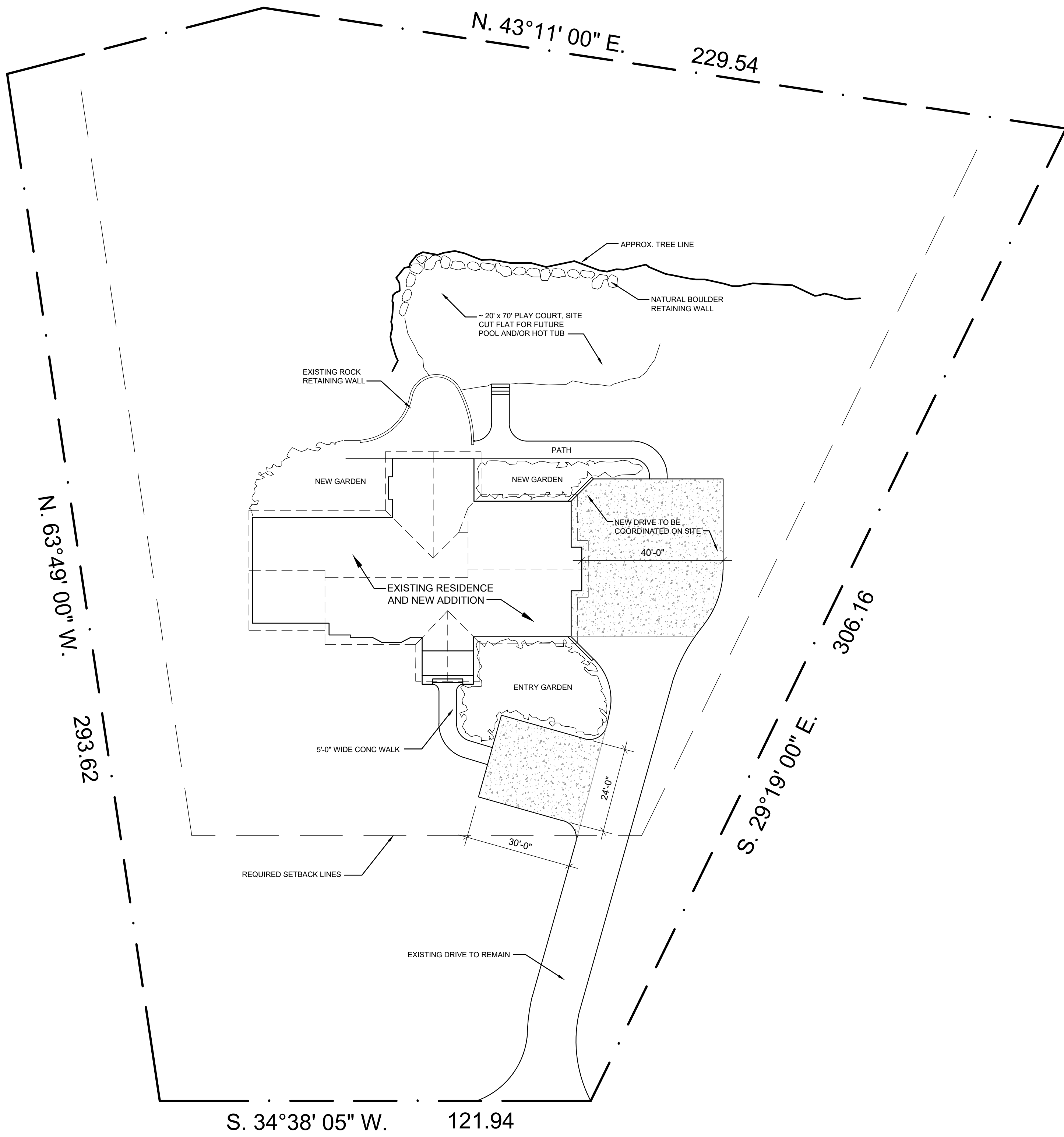


Bruce Johnson, AIA

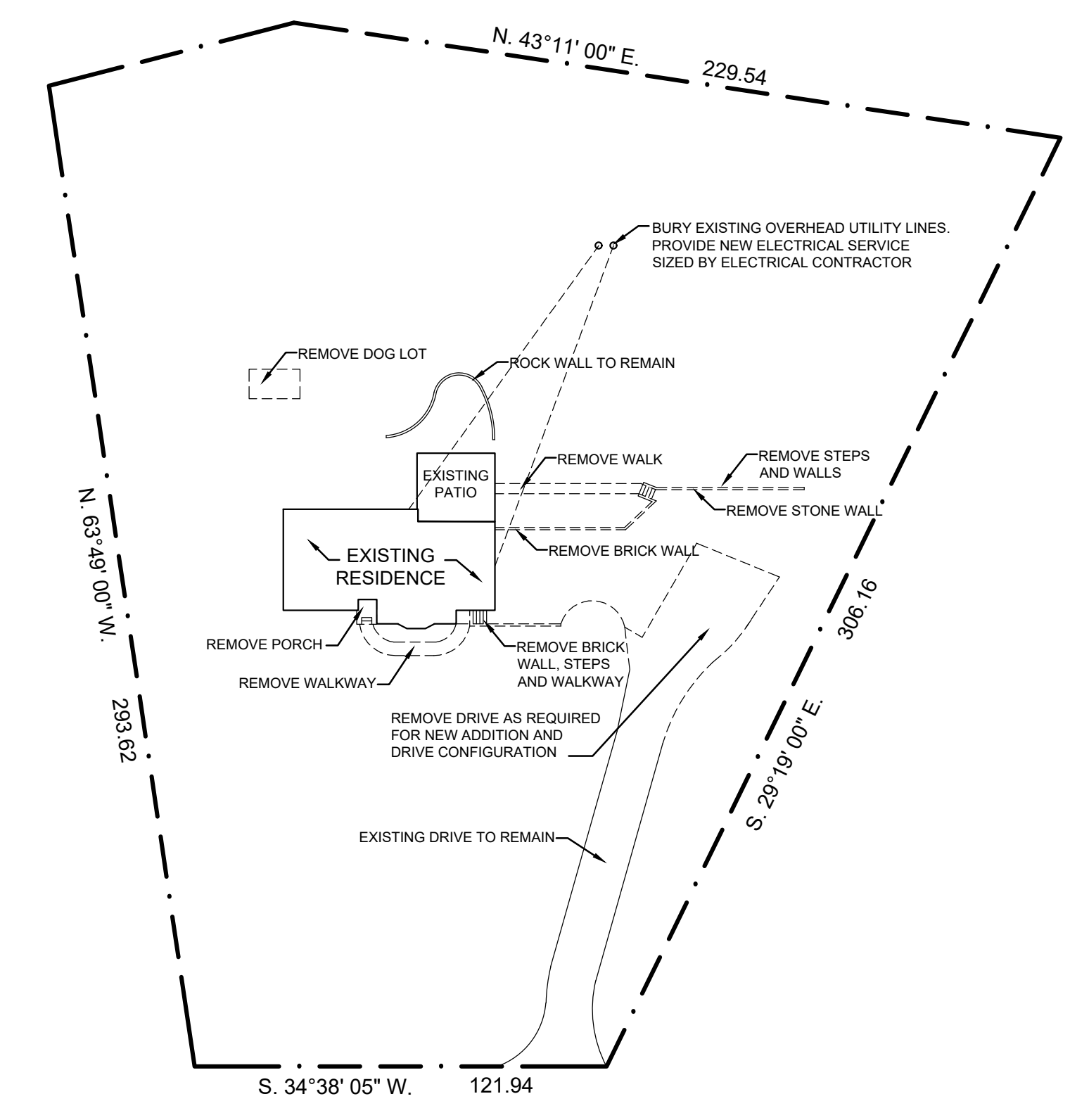
66 Forest Road, Asheville, NC 28803 • 828-274-3922
 bjaia@charter.net • www.BruceJohnsonAIA.com



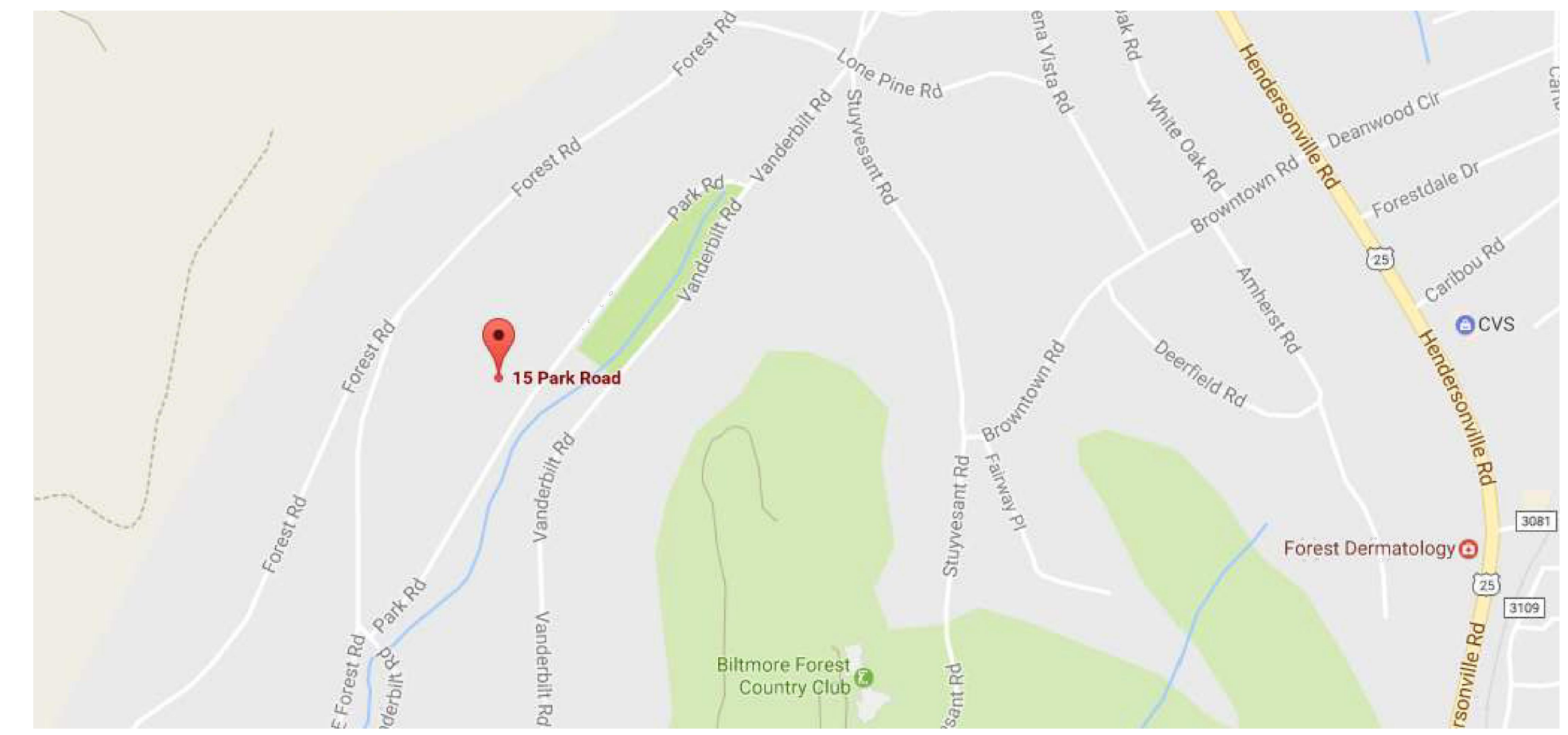
SCHMITT CALCULATIONS



Overall Site Plan
SCALE: 1" = 20'-0"

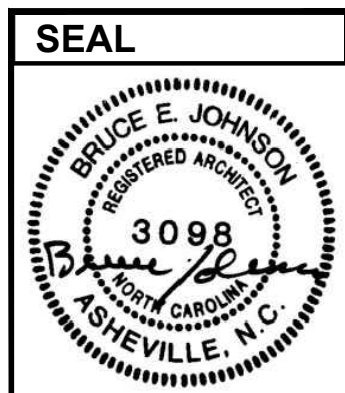


Site Demolition Plan
SCALE: 1" = 40'-0"



Site Location Map
N.T.S.

DRAWING INDEX	
A0	COVER
A1	FOUNDATION PLAN
A2	EXISTING / DEMOLITION FLOOR PLAN
A3	MAIN FLOOR PLAN
A4	LOWER FLOOR PLAN
A5	EXTERIOR ELEVATIONS
A6	EXTERIOR ELEVATIONS
A7	ROOF PLAN
A8	BUILDING SECTIONS



BRUCE JOHNSON ARCHITECTURE, PA
66 FOREST ROAD, ASHEVILLE, NC 28803
828-274-3922, bjajia@charter.net, www.brucejohnsonaia.com

SCHMITT RESIDENCE
15 PARK ROAD
ASHEVILLE, NC 28803

REVISIONS

DATE
3/1/17

SHEET
A0

Zoning Compliance Application

Town of Biltmore Forest

Name

Xiaowei Wilson

Property Address

625 Hendersonville rd

Phone

(828) 803-7510

Email

showway88@hotmail.com

Parcel ID/PIN Number

ZONING INFORMATION

Current Zoning

R-1

Lot Size

1.26

Maximum Roof Coverage

5,060 square feet (Up to 1.2 acres)

Proposed Roof Coverage Total

576

Maximum Impervious Surface Coverage

1-3 acres (25 percent of lot area)

Proposed Impervious Surface Coverage

576 sqft

Front Yard Setback

60 feet (R-1 District)

Side Yard Setback

20 feet (R-1 District)

Rear Yard Setback

25 feet (R-1 District)

Building Height

23 feet

Description of the Proposed Project

Add an attached 2-car garage (24x24) with a bonus room above at the rear of house, use the exits back door to entrance main house from garage.

Estimated Start Date

2/6/2020

Estimated Completion Date

6/6/2020

Estimated Cost of Project

\$20,000.00

Supporting Documentation (Site Plan, Drawings, Other Information)

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7352C9C2-6328-4118-A31F-6103F469D27D.png

0FC5715E-FCAA-4ABA-8569-558D8D2B63B3.png

Applicant Signature



A handwritten signature in black ink, consisting of a stylized 'X' followed by a dot and a large, looped 'S' with a vertical line extending downwards from its right side. The signature is positioned above a horizontal line.

Date
2/6/2020

Zoning Compliance Application

Town of Biltmore Forest

Name

Xiaowei Wilson

Property Address

625 Hendersonville rd

Phone

(828) 803-7510

Email

showway88@hotmail.com

Parcel ID/PIN Number

ZONING INFORMATION

Current Zoning

R-1

Lot Size

1.26

Maximum Roof Coverage

5,060 square feet (Up to 1.2 acres)

Proposed Roof Coverage Total

308 sqft

Maximum Impervious Surface Coverage

1-3 acres (25 percent of lot area)

Proposed Impervious Surface Coverage

308 sqft

Front Yard Setback

60 feet (R-1 District)

Side Yard Setback

20 feet (R-1 District)

Rear Yard Setback

25 feet (R-1 District)

Building Height

12 feet

Description of the Proposed Project

Add an addition (14x22) to existing guest house which is at the back yard, the addition is 308 sqft, including a bedroom, bathroom and closet.

Estimated Start Date

2/18/2020

Estimated Completion Date

4/6/2020

Estimated Cost of Project

\$15,000.00

Supporting Documentation (Site Plan, Drawings, Other Information)

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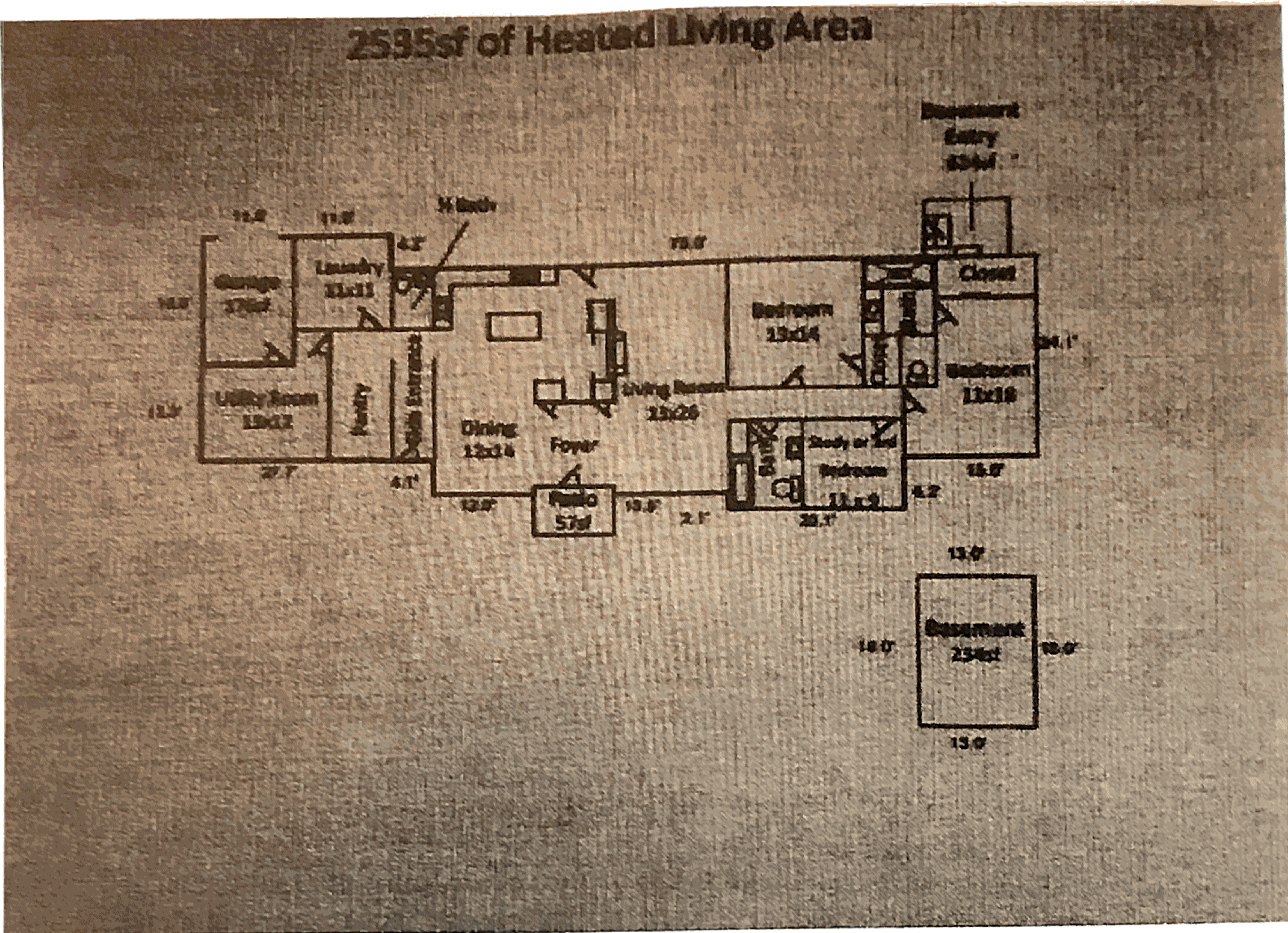
Applicant Signature

X'S

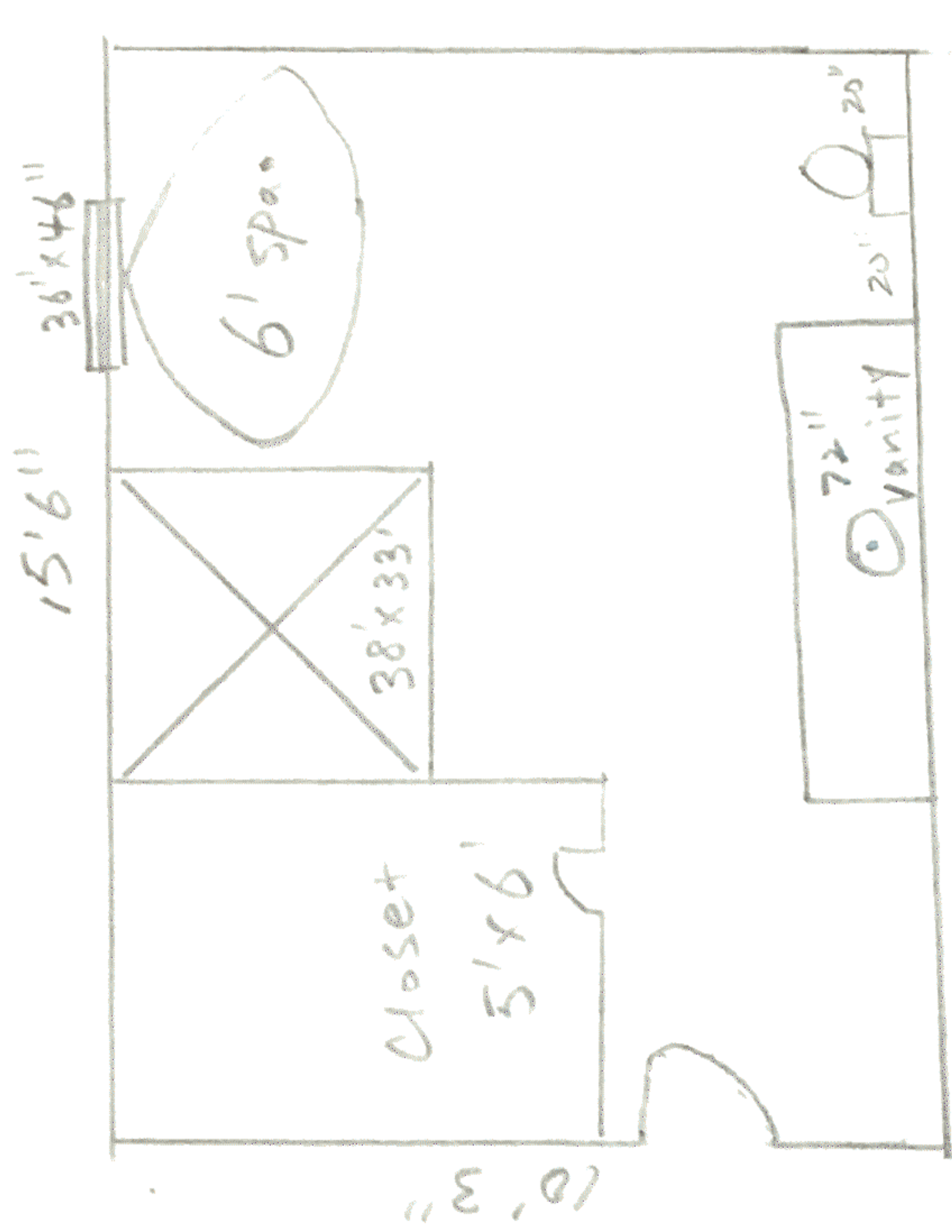
Date
2/6/2020

625 Hendersonville rd

2535sf of Heated Living Area

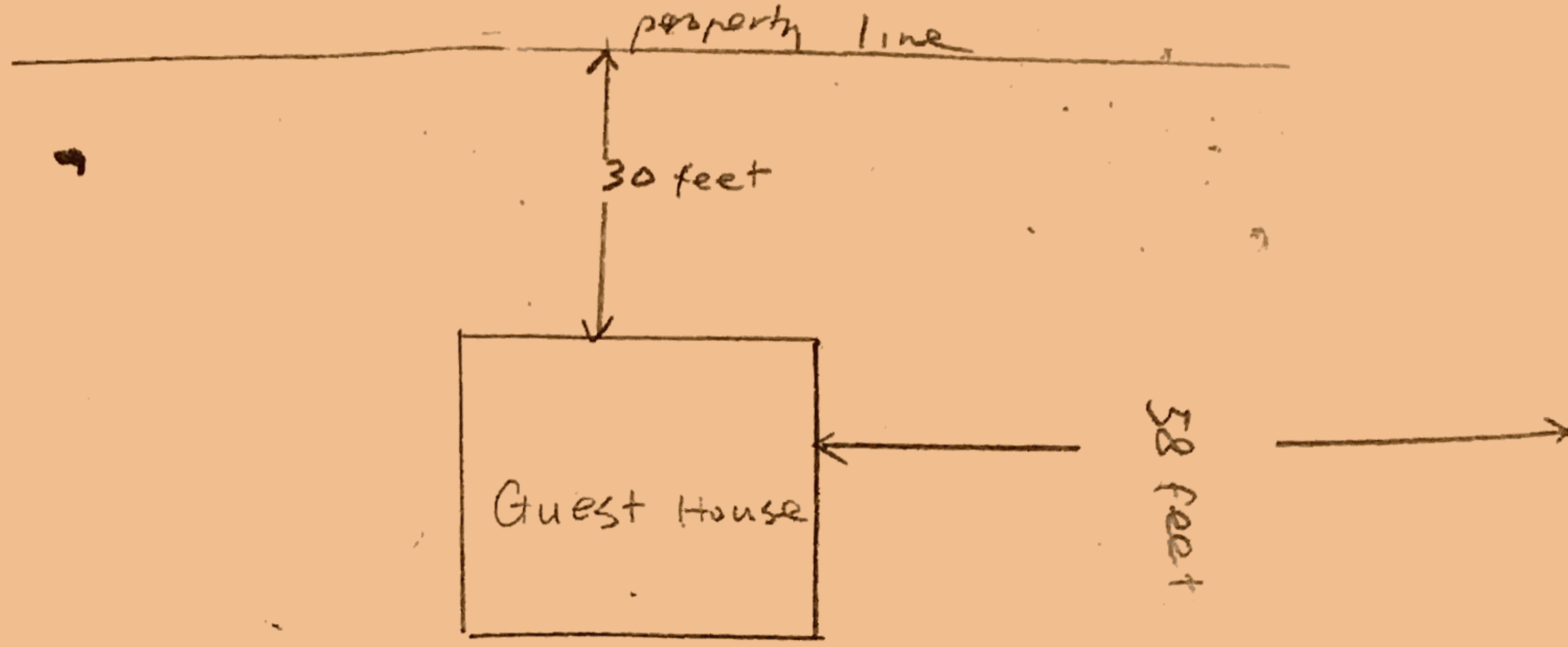


exist plan



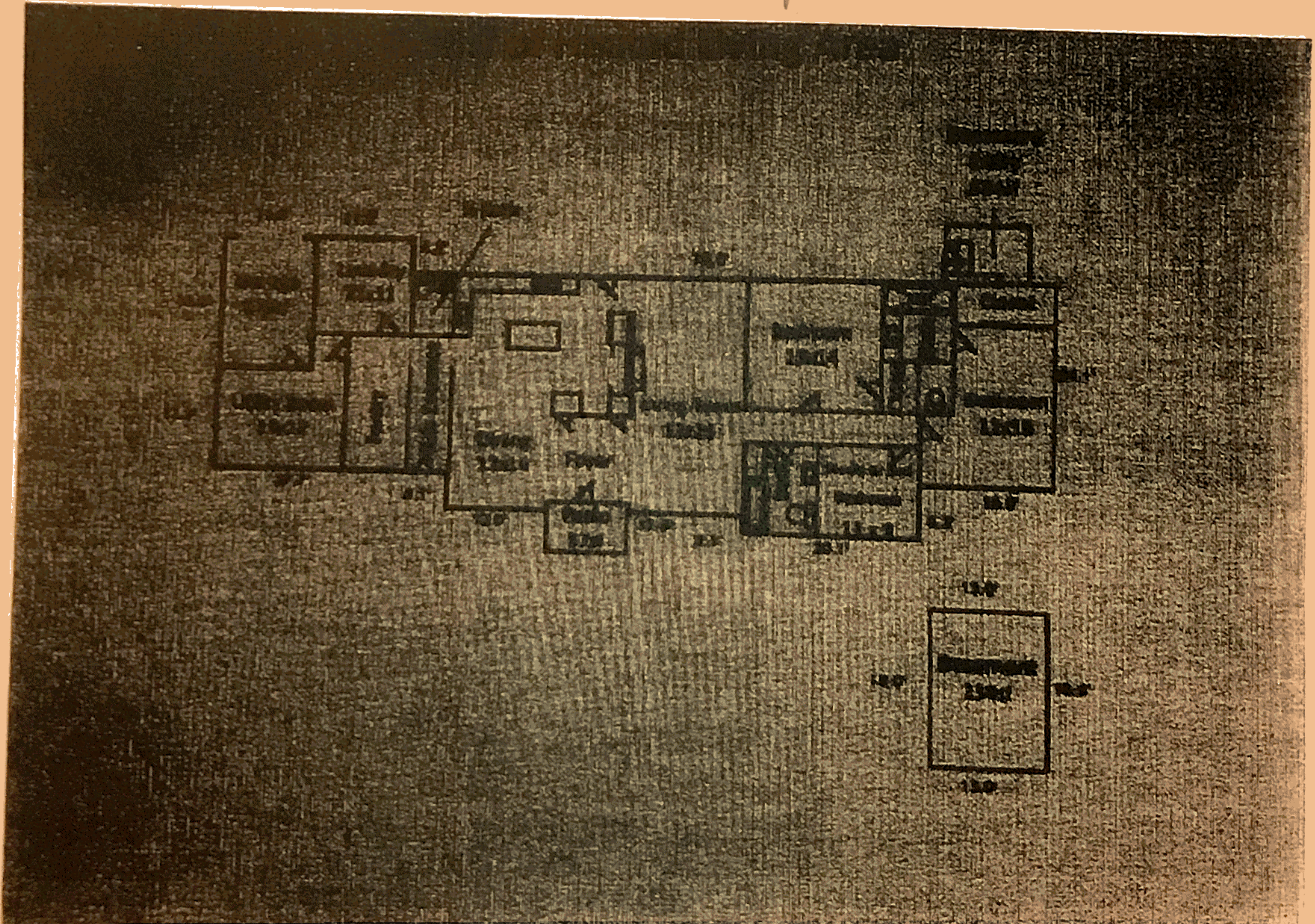
Change exist garage to Bathroom with

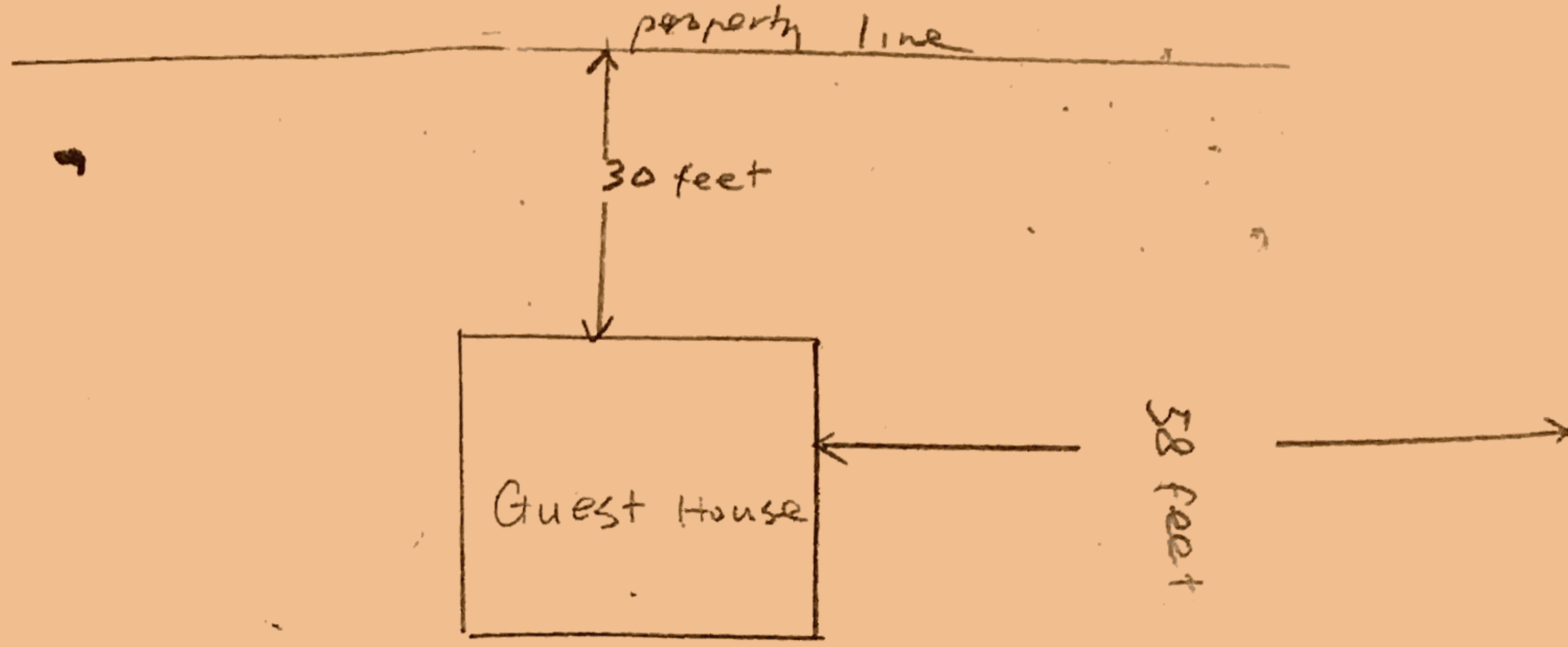
Closet



Back yard exist guest House

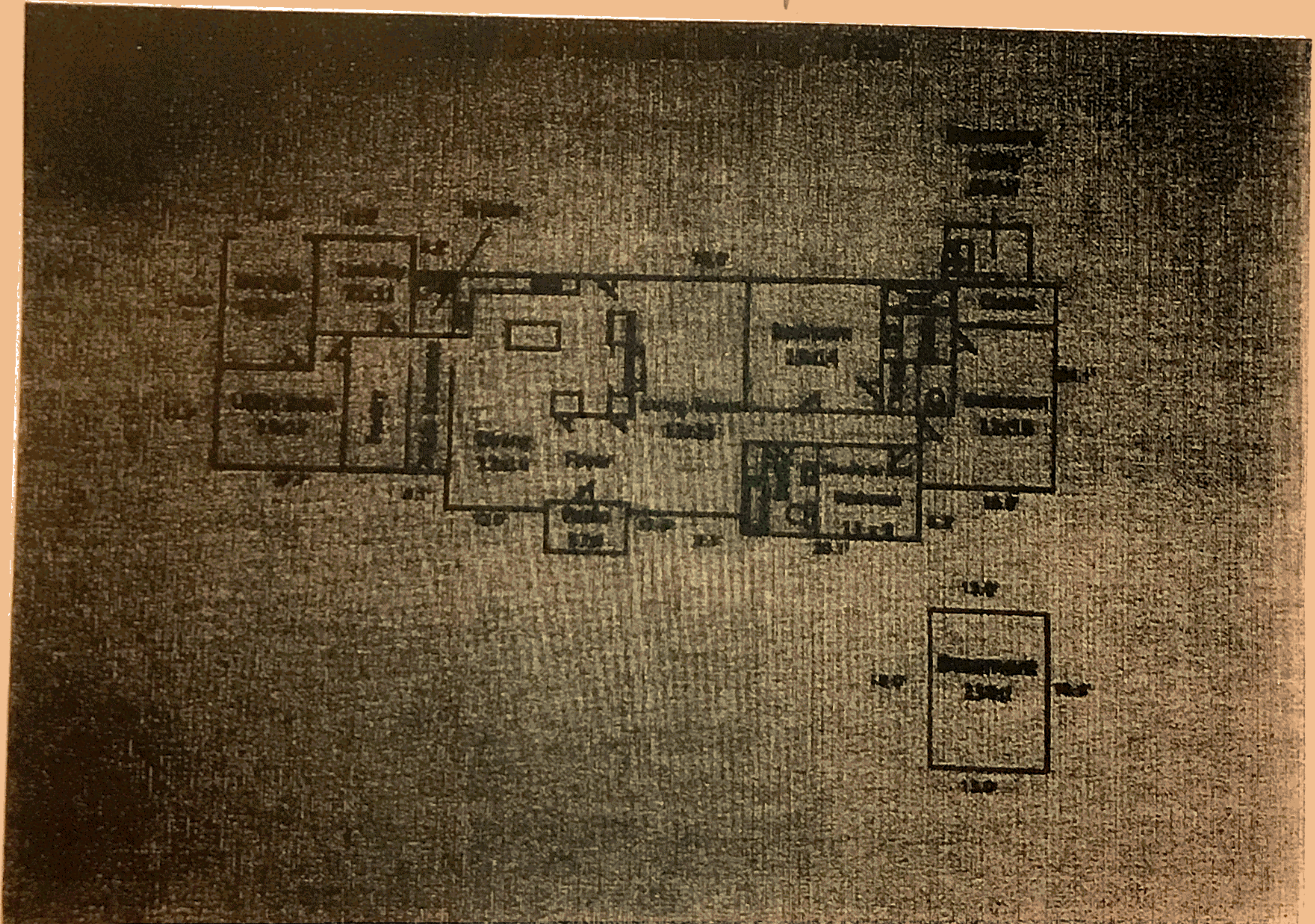
EXIST House plan



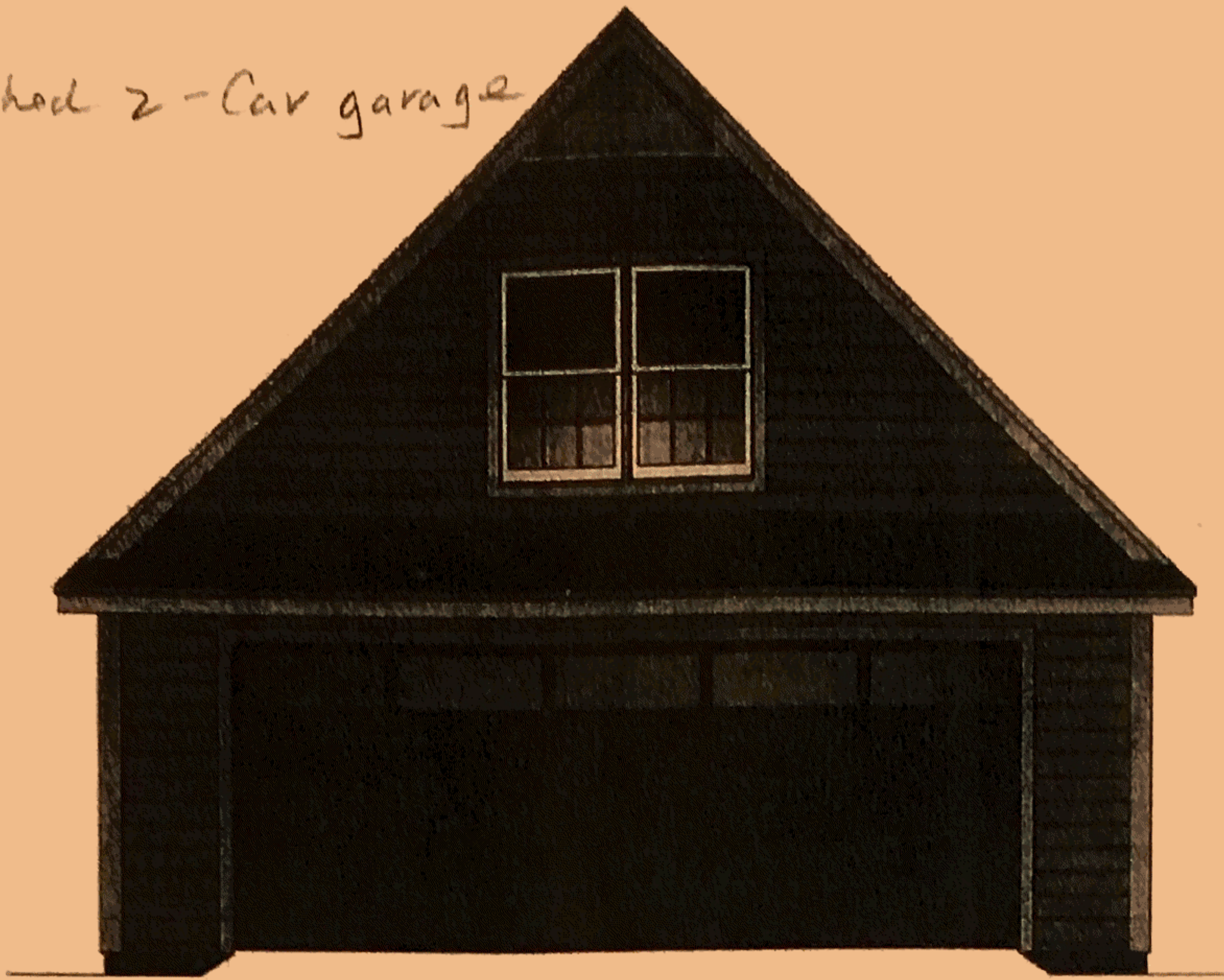


Back yard exist guest House

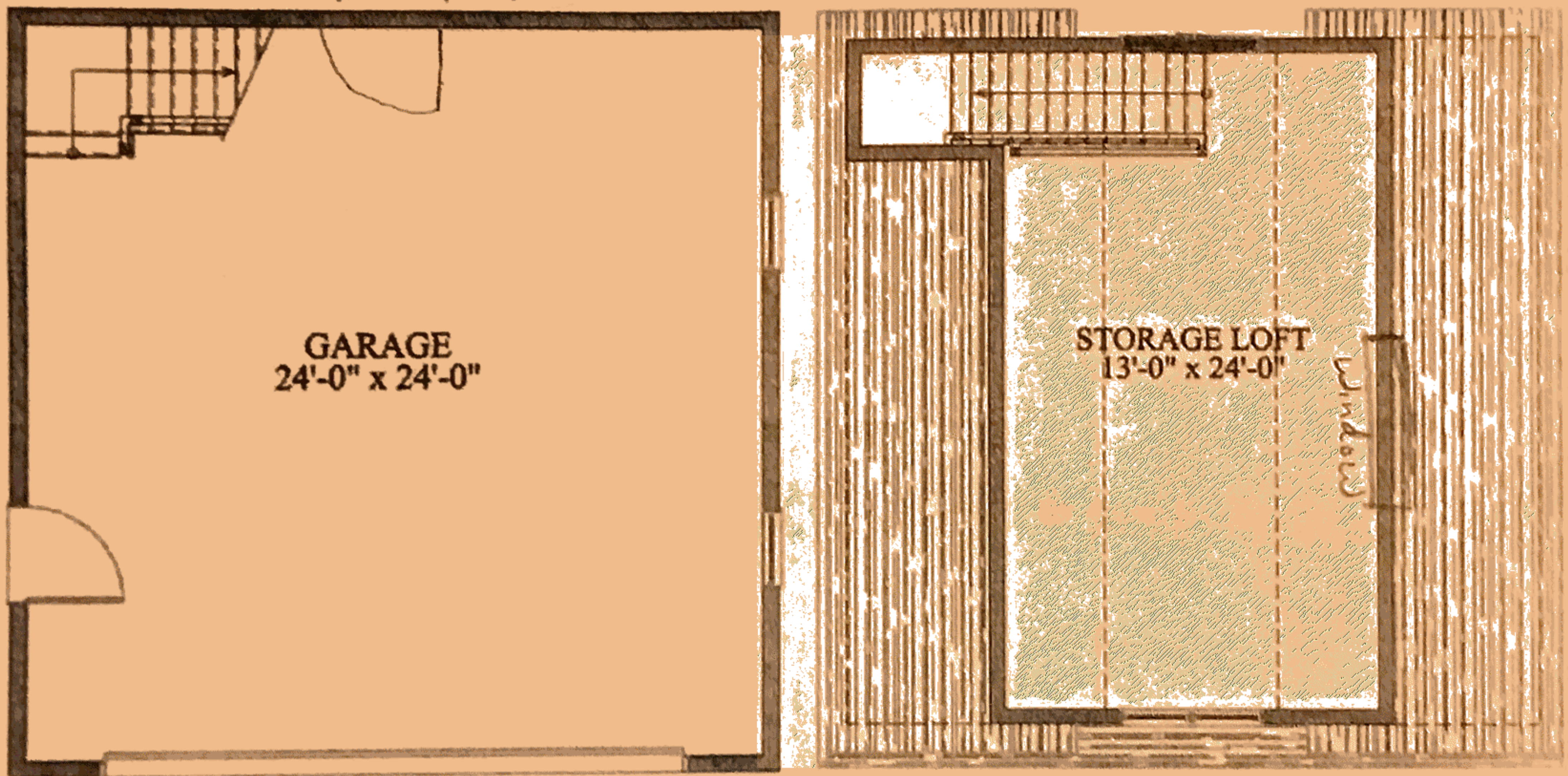
EXIST House plan



Attached 2-Car garage

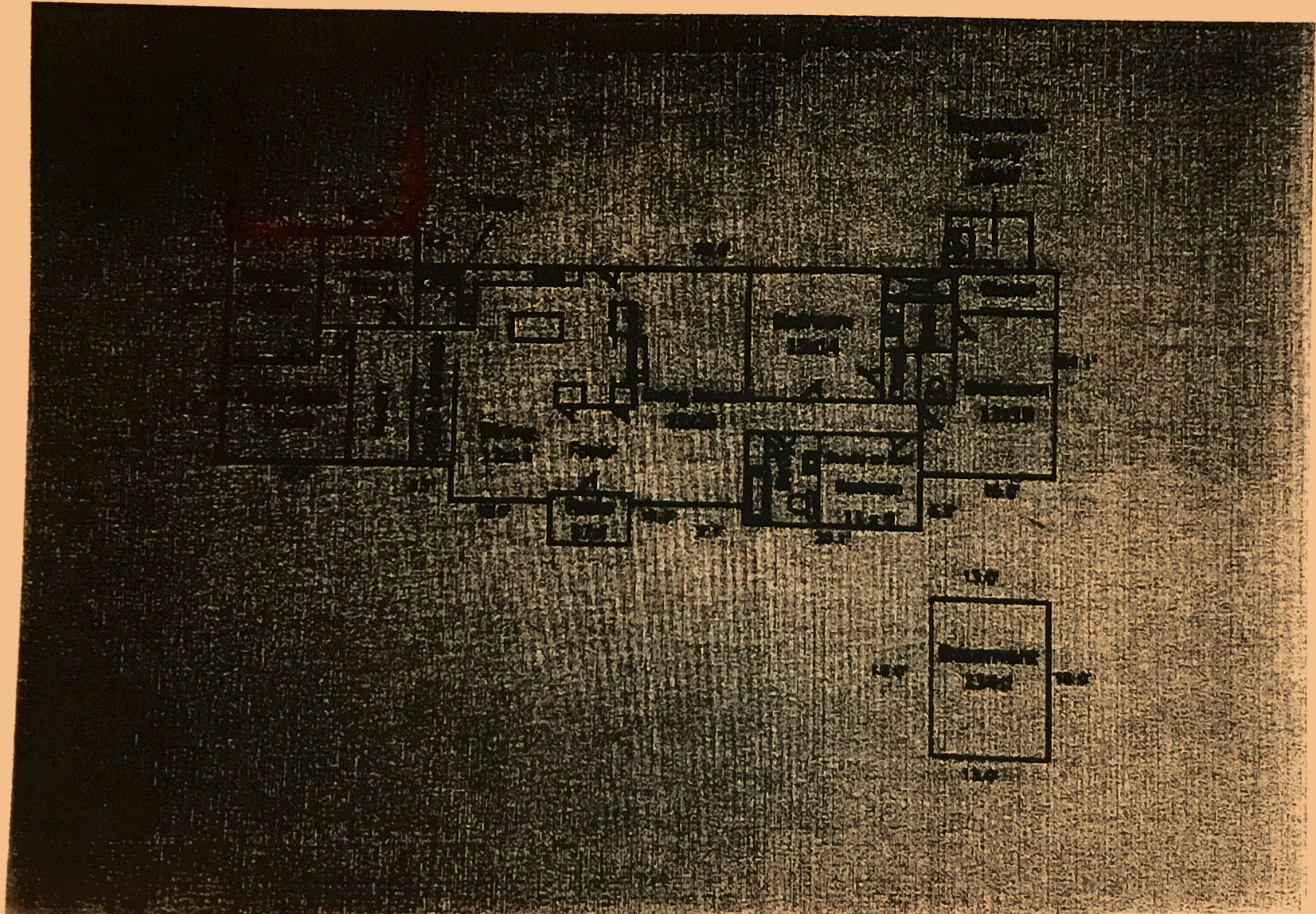
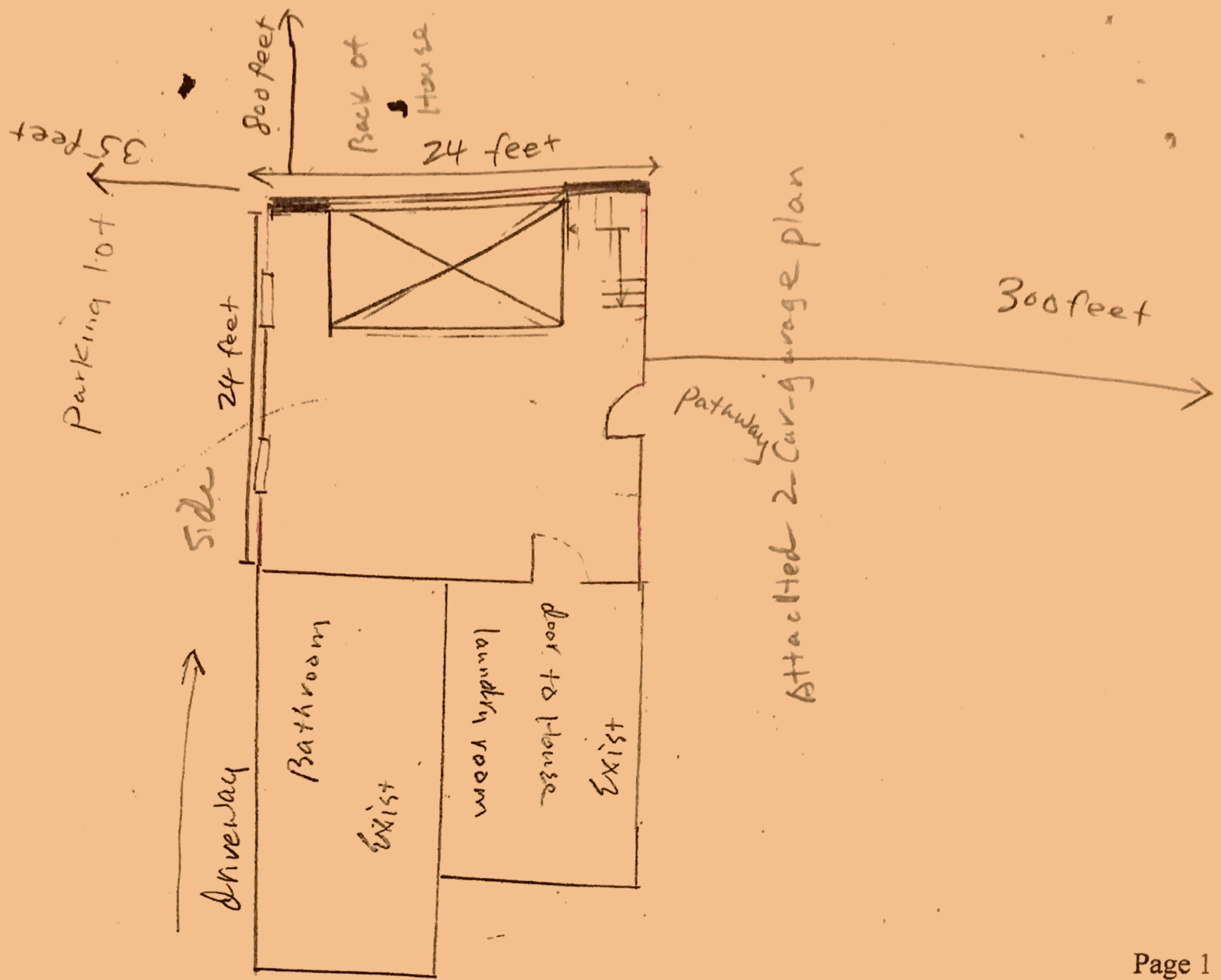


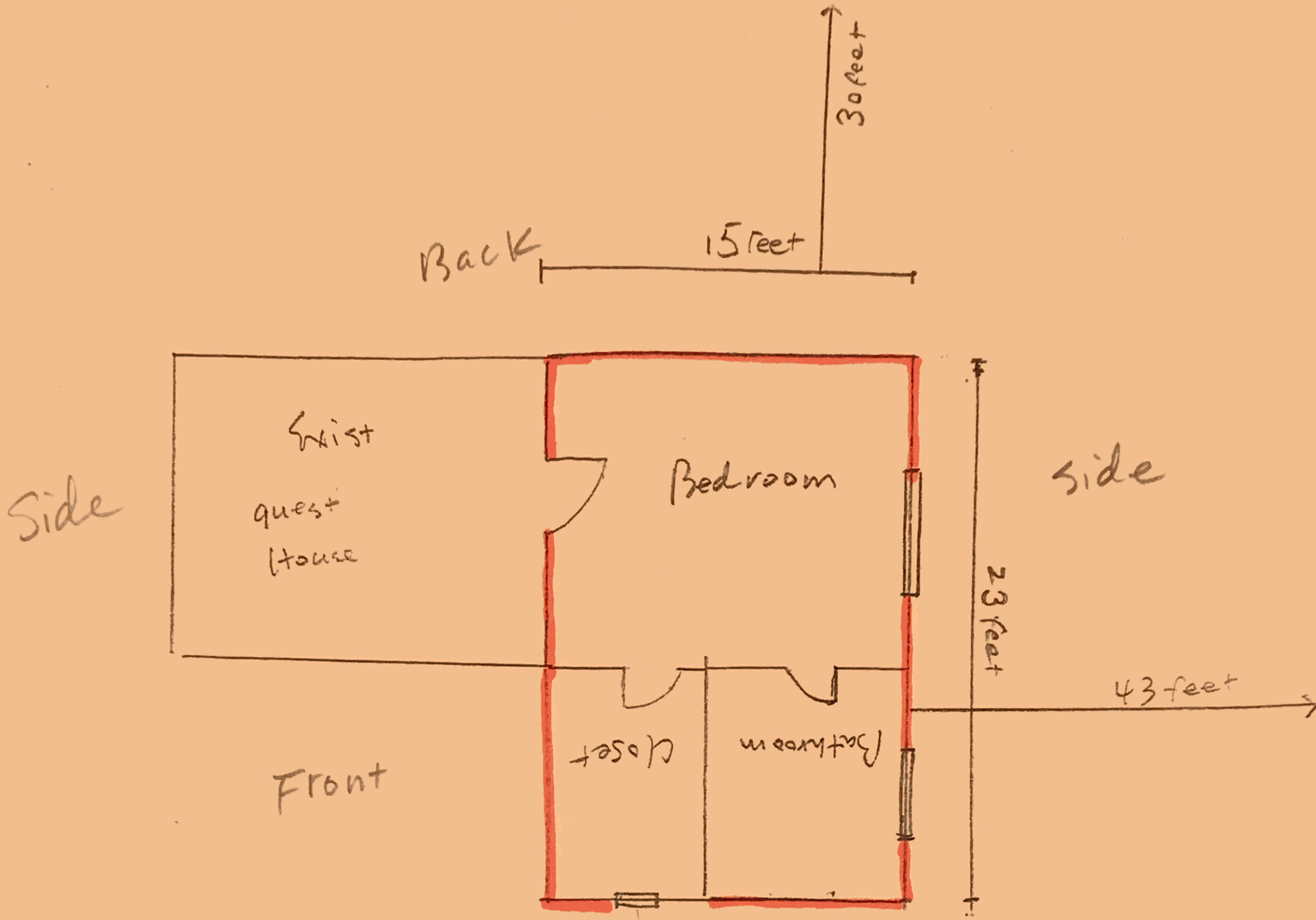
door to House



Back

625 Hendersonville rd .





Add $\left\{ \begin{array}{l} \text{quest + addition} \\ \text{House} \end{array} \right. 308 \text{ sqft}$

625 Hendersonville rd.

















SH ROCK
AVL BUILDERS



GREENBUILT
ALLIANCE

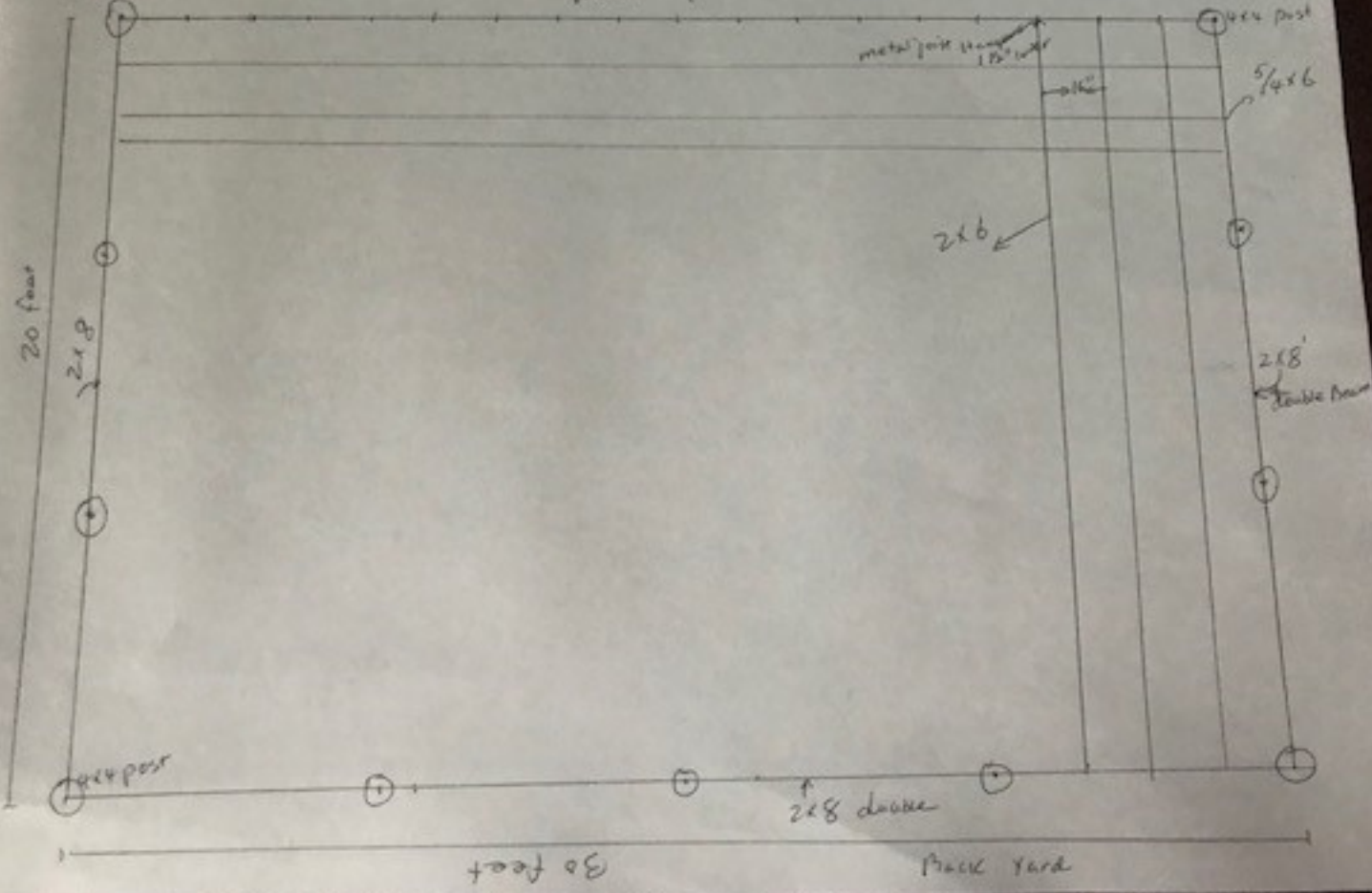
BUILD

625 Hendersonville rd - Ground level deck 20' x 30'

Concrete footing
4x4 post

main House Brick

if all wood are treated







Zoning Compliance Application

Town of Biltmore Forest

Name

Robert Sweetser

Property Address

2 Westwood Road, Biltmore Forest, NC

Phone

(828) 274-5979

Email

Parcel ID/PIN Number

9646-74-7798

ZONING INFORMATION

Current Zoning

R-1

Lot Size

2.97 acre

Maximum Roof Coverage

7,500 square feet (Up to 3 acres)

Proposed Roof Coverage Total

7,483 square feet

Maximum Impervious Surface Coverage

1-3 acres (25 percent of lot area)

Proposed Impervious Surface Coverage

18,615 square feet

Front Yard Setback

60 feet (R-1 District)

Side Yard Setback

20 feet (R-1 District)

Rear Yard Setback

25 feet (R-1 District)

Building Height

28 feet

Description of the Proposed Project

1,287 additional square feet main level only addition and terrace to rear of home

Estimated Start Date

3/16/2020

Estimated Completion Date

12/15/2020

Estimated Cost of Project

\$600,000.00

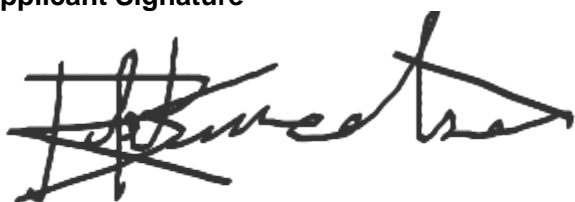
Supporting Documentation (Site Plan, Drawings, Other Information)

WILKINSON 12_17_2019 (Watermarked).pdf

Applicant Signature

Date

1/21/2020

A handwritten signature in black ink, appearing to read "H. Medina". The signature is written in a cursive style with some overlapping strokes.

for owner

RENOVATION & ADDITION TO 2 WESTWOOD RD, BILTMORE FOREST, NC

DRAWINGS ARE FORMATTED FOR 24"x36" PAPER. IF PRINTED ON 12"x18" PAPER, ASSUME HALF SCALE. IF PRINTED ON ANY OTHER SIZE PAPER, ASSUME NOT TO SCALE.



WILKINSON REMODEL
2 WESTWOOD RD.
BILTMORE FOREST, NC 28803

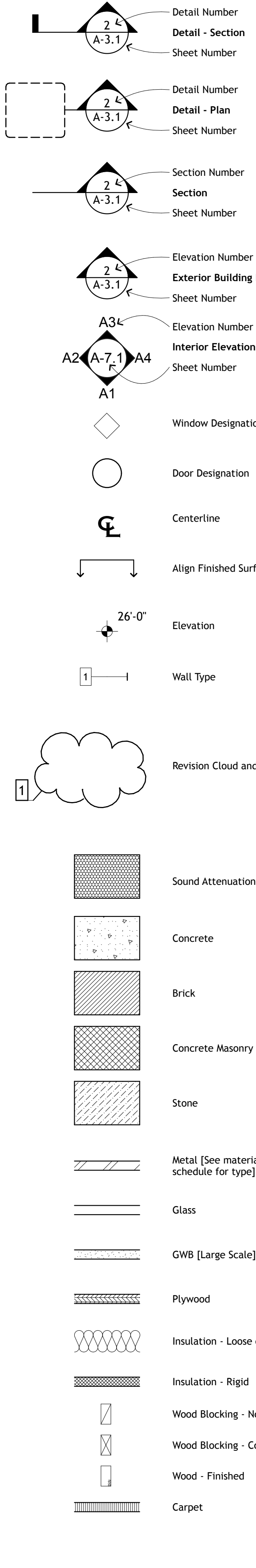
Cover

PROJECT ARCHITECT:
#Contact Full Name
DRAWN BY:
#CAD Technician
Full Name
ISSUED FOR:

REVISIONS:
NO. DATE:
NO. DATE:
NO. DATE:
NO. DATE:
NO. DATE:

SHEET NO:
G-1.1
DATE:
12/18/19

NOT FOR CONSTRUCTION



ABV	ABOVE	NA	NOT APPLICABLE
AC	AIR CONDITIONING	NC	NOT IN CONTRACT
ACT	ACUSTICAL CEILING TILE	ND	NUMBER
ADU	AIR CONDENSING UNIT	NO	NOMINAL
AD	AREA DRAIN	NS	NET SQUARE FEET
ADJ	ADJUSTABLE	NTS	NOT TO SCALE
AFF	ABOVE FINISHED FLOOR	OA	OVERALL
AHU	AIR HANDLING UNIT	OC	ON CENTER
ALT	ALTERNATE	OCUP	OCCUPANT LOAD/OCCUPANCY
ALUM	ALUMINUM	OD	OUTSIDE DIAMETER
APPROX	APPROXIMATELY	OH	OVERHEAD
APVO	APPROVED	OP	OPERABLE
ARCH	ARCHITECTURAL	OPNG	OPENING
ASPT	ASPHALT	ORIG	ORIGINAL
AT	ACUSTICAL TILE	OV	OVEN
B	BATHROOM	P	PANTRY
BD	BOARD	PAN	PANTRY
BEHM	BEDROOM	PART	PARTITION
BEL	BELOW	PASS	PASSAGE
BELG	BELONG	PC	PLUMBING CONTRACTOR
BLK	BLOCKING	PC	PERSONAL COMPUTER
BM	BEAM	PCL	PORCELAIN TILE
BMK	BENCHMARK	PH	PAPER HOLDER
BMS	BEARING	PL	PLATE
BRK	BRICK	PL	PROPERTY LINE
BS	BAR SINK	PLAM	PLASTER LAMINATE
BSMT	BASEMENT	PLNG	PLUMBING
BTM	BOTTOM	PLSTR	PLASTER
BTWM	BETWEEN	PNT	PANTRY
C	CHANNEL	PNTD	PAINTED
CBU	CEMENTOUS BACKER UNIT	POB	POINT OF BEGINNING
CCTV	CLOSED CIRCUIT TELEVISION	PAIR	PAIR
CD	CONDENSATE DRAIN	PRV	PRIVACY
CH	CEILING HEIGHT	PT	PRESSURE TREATED
CJ	CONTROL JOINT	PWD	PLYWOOD
CL	CENTERLINE	QT	QUARRY TILE
CLG	CEILING	R	RADIUS
CLR	CLEAR	RA	RETURN AIR
CLS	CLOSET	RAD	RADIATOR
CM	CABINET MAKER	RIB	RIBBED BRICK
CMU	CONCRETE MASONRY UNIT	RD	ROOF DRAIN
CO	CLEAN OUT	RDC	RIDGE
COL	COLUMN	REC	RECESSED
COMP	COMPONENTS	RECP	RECEPTACLE
CONC	CONCRETE	REF	REFRIGERATOR
COND	CONDENSATE	REFL	REFLECTED
CONST	CONSTRUCTION	REFR	REFRIGERATION
CONT	CONTINUOUS	REL	RELOCATED
CONTR	CONTRACTOR	REL	REMOVED
CORR	CORROD	REQD	REQUIRED
COV	COVER	RENT	RENT
CR	CHAR BRIL	REV	REVISION
CS	CAST STONE	RIG	ROOFING
CT	CERAMIC TILE	RFP	RECESSED FRAMING PROJECT
CTV	CABLE TELEVISION	RH	ROOF HOOK
CW	COLD WATER	RL	ROOF LEADER
D	DRIVER	RM	RANGE
DBL ACT	DOUBLE ACTION	RNG	RANGE
DBS	DOUBLE BOWL SINK	RO	ROUGH OPENING
DCT	DANGER CHANGING TABLE	RP	RAMP
DF	DRINKING FOUNTAIN	RS	ROUGH SAWN
DM	DIMENSION	S	SHAW/STAIN
DR	DOOR	SAB	SHIELD AND ROD
DS	DOWN SPOUT	S/S	STAINLESS STEEL
DTL	DETAIL	SA	SUPPLY AIR
DW	DISH WASHER	SALV	SALVAGED
DWG	DRAWING	SB	SINGLE BOWL SINK
DWR	DRAWER	SC	SOLID CORE
D	DIAMETER/ROUND	SCD	SELF CLOSING FIRE DOOR
E/EX/	EXISTING	SCHD	SCHEDULE
EA	EACH	SD	SMOKE DETECTOR
EC	ELECTRICAL CONTRACTOR	SEC	SECURITY
EJ	EXPANSION JOINT	SECT	SECTION
EL	ELEVATION	SEP	SEPARATE
ELEC	ELECTRICAL(S)	SF	SQUARE FEET
ELEV	ELEVATOR	SH	SHOWER
EMERG	EMERGENCY	SHL	SHELVING
EP	ELECTRIC PANEL	SHR	SHOWER
EQ	EQUAL	SHT	SHEET
EQIP	EQUIPMENT	SHTG	SHOOTING
ERH	EXHAUST	SM	SMALL
EXP	EXPOSED / EXPANSION	SM	SMALL
EXT	EXTERIOR	SPEC	SPECIFIED
F	FEMALE	SPP	SPRUCE/PINE/FIR
FAI	FRESH AIR INTAKE	SS	SLOPE TO DRAIN
FC	FIBROSE	STD	STANDARD
FD	FLOOR DRAIN	STL	STEEL
FON	FOUNDATION	STND	STANDARD
FE	FIRE EXTINGUISHER	STOR	STORAGE
FRA	FURNITURE, FURNISHINGS & FINISHES	STRCT	STRUCTURAL
FRE	FRESH FLOOR ELEVATION	SUSP	SUPERSEDED
FRI	FRESH AIR INTAKE	SVC	SERVICE DOOR
FR	FRAME	SW	SEWALK
FRM	FIRE RESISTANT TREATED	SYP	SOUTHERN YELLOW PINE
FRZ	FREESTER	T	TOILET ROOM
FT	FOOT/FREET	T/S	TIE-B / SHOWER
FTG	FOOTING	TB	TOWEL BAR
FUT	FUTURE	TS	TRIPLE SINK SINK
GAL	GALLON	TC	TRASH COMPACTOR
GALV	GALVANIZED	TEL	TELEPHONE
GC	GENERAL CONTRACTOR	TEMP	TEMPERED
GD	GARBAGE DISPOSAL	TERZ	TERAZZO
DEC	DECORATIVE	TH	THICKNESS
GEN	GENERATOR	THN	THRESHOLD
GLS	GLASS	TI	TENANT IMPROVEMENT
GFB	GROSS SQUARE FEET	TOB	TOP OF BEARING
GWB	GYP/SLM WALL BOARD	TOF	TOP OF FOOTING
GA	GAGE	TOS	TOP OF SLAB
GAR	GARAGE	TOW	TOP OF WALL
GRD	GRADE	TRNSP	TRANSFER
GL	GRADE LINE	TV	TELEVISION
GVL	GRAVEL	TYP	TYPICAL
GSR	GYP/SLM SHEATHING BOARD	U	UP
GYP	GYP/SLM	UC	UNDER CABINET
HR	HOSE BIB	UCR	UNDER COUNTER REFRIGERATOR
HC	HANDICAPPED	UGRD	UNDERGROUND
H/C	HOLLOW CORE	UH	UNIT HEATER
HO	HOOK	UL	UNDERWRITERS LABORATORY
HOR	HEADER	UNIN	UNFINISHED
HOW	HARDWARE	UNL	UNLESS OTHERWISE NOTED
HRT	HIGHT	UR	URNAL
HM	HOLLOW METAL	UTL	UTILITY
HORIZ	HORIZONTAL	V	VENT
HNDL	HANDRAIL	V/L	VENT LIGHT
HR	HOUR	VAC	VACUUM
HVAC	HEATING, VENTILATION & AIR CONDITIONING	VAL	VALLEY
HW	HOT WATER	VAT	VINYL ASBESTOS TILE
HWI	HOT WATER DISPENSER	VCT	VINYL COMPOSITION TILE
HWV	HOT WATER VALVE	VEIT	VERTICAL
ID	INSIDE DIAMETER	VF	VESTIBULE
IN	INCH	VF	VEEP IN FIELD
INCL	INCLUDED	VS	VENT STACK
INST	INSTALLED	VST	VINYL SHEET TILE
INSUL	INSULATION	VTR	VENT THROUGH ROOF/PLUMBING
INT	INTERIOR	VWC	VINYL WALL COVERING
JAN	JANITOR	W	WASHING MACHINE
JB	JUNCTION BOX	W/O	WITHOUT
JT	JUNCTION	WC	WATER CLOSET
KITCH	KITCHEN	WCG	WALL COVERING
L	ANGLE	WDS	WOOD
LAV	LAVATORY	WG	WIRE GLASS
LG	LENGTH	WH	WATER HEATER
LIT	LIGHTING	WIK	WALK IN CLOSET
LIB	LIBRARY	WIR	WATER METER
LIN	LINEN	WPC	WATERPROOF MEMBRANE
LINR	LINING ROOM	WPM	WESTERN WOOD CEDAR
LOC	LIMIT OF CONTRACT	WS	WASTE STACK
LSD	LINEAR SLOT DIFFUSER	WT	WELDED WIRE FABRIC
LST	LINOLEUM SHEET TILE	WVF	WELDED WIRE FABRIC
LT	LEAVE	XPS	EXTRUDED POLYSTYRENE
LVS	LEAVES		
M	MALE		
MACH	MACHINE		
MAGN	MAGNETIC		
MATL	MATERIAL		
MAX	MAXIMUM		
MBL	MARBLE		
MBR	MEMBRANE		
MC	MECHANICAL CONTRACTOR		
MED	MEDICAL		
MEDS	MEDICAL		
MEZZ	MEZZANINE		
MFR	MANUFACTURER		
MH	MANHOLE		
MIR	MIRROR		
MIR	MIRROR		
MIS	MISCELLANEOUS		
MOLD	MOLDING		
MNTD	MOUNTED		
MO	MASONRY OPENING		
MTL	METAL		
MW	MICROWAVE OVEN		

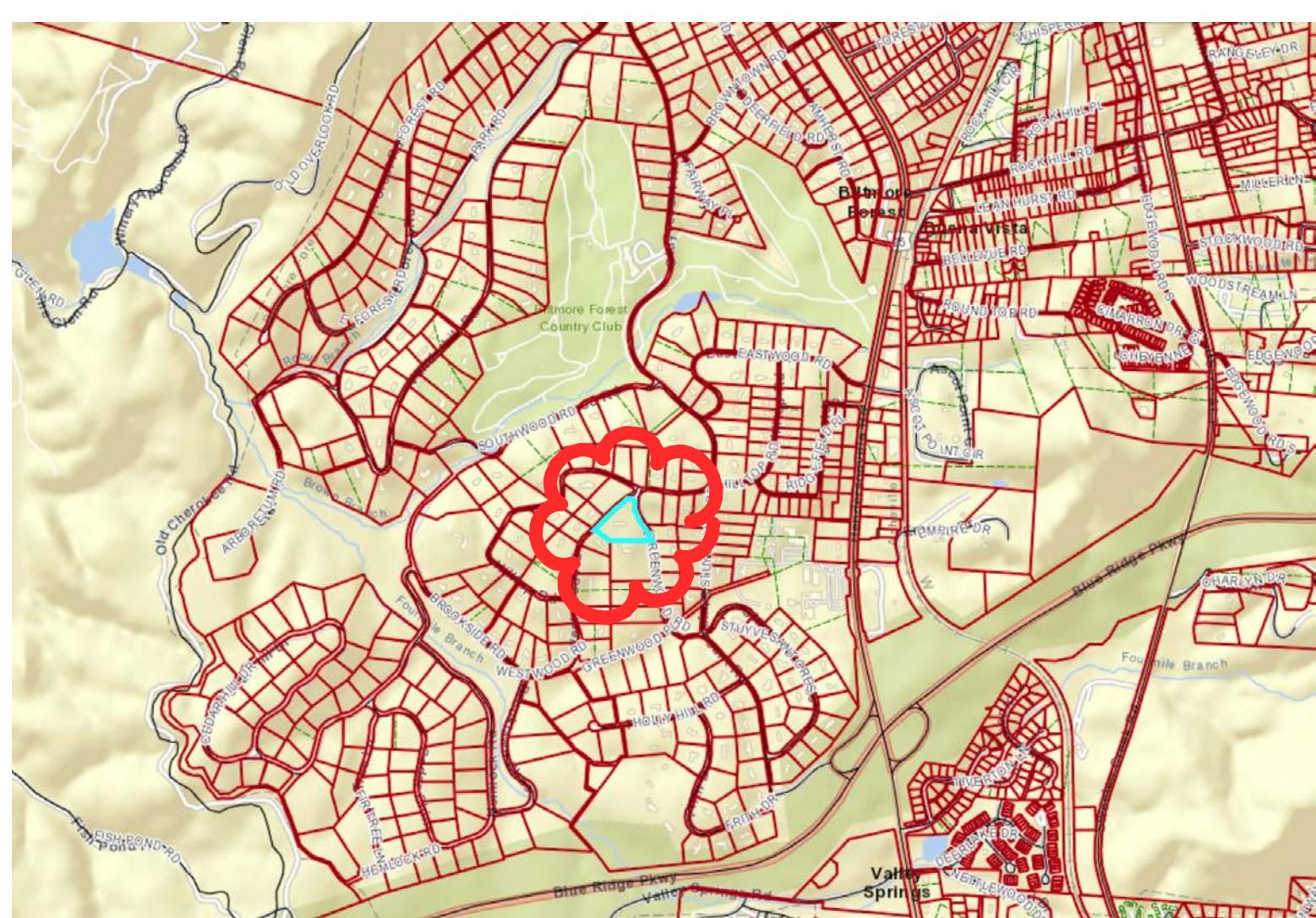


ARCHITECT
GRIFFIN ARCHITECTS P.A.
ONE VILLAGE LANE, SUITE ONE
ASHEVILLE, NC 28803

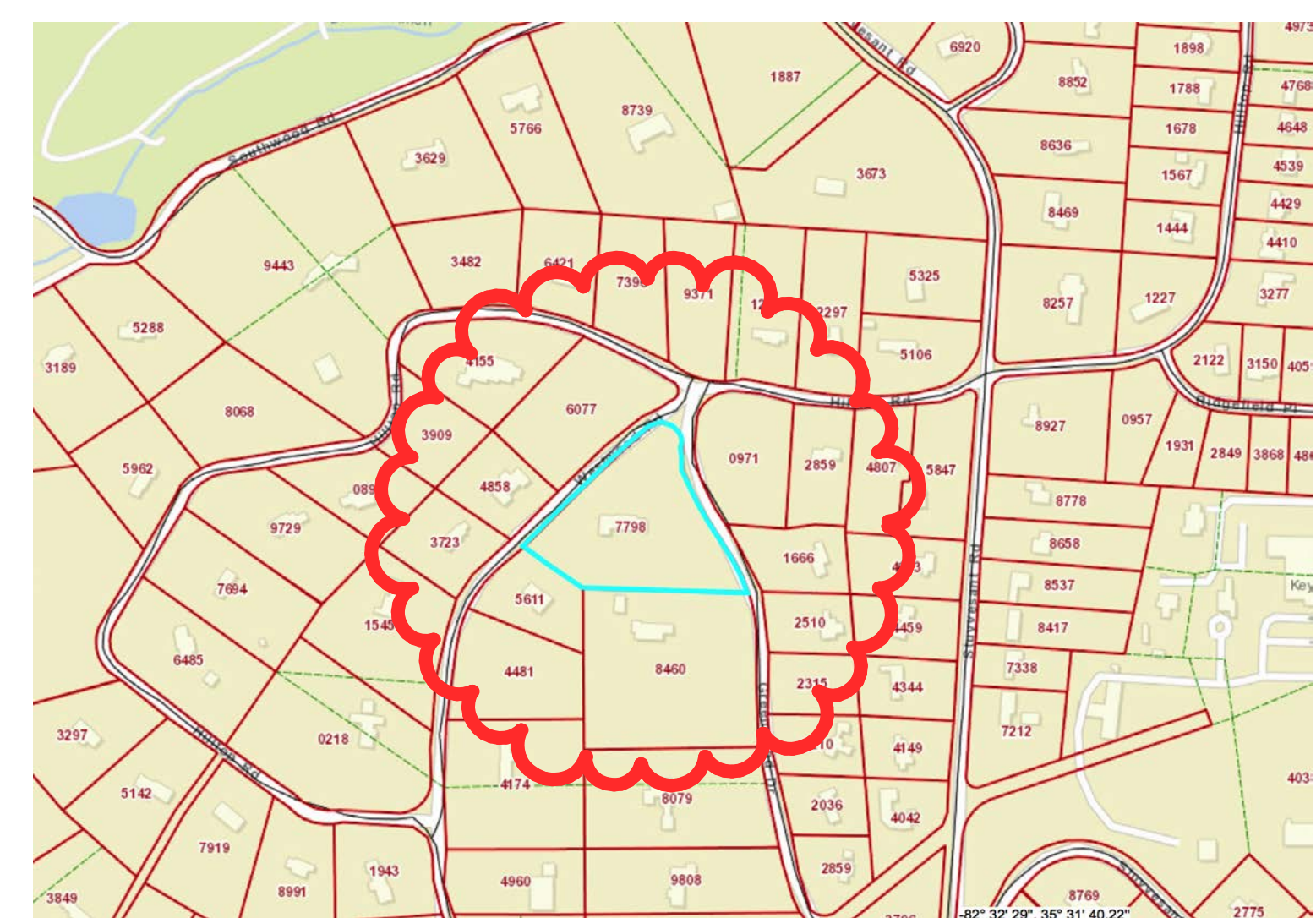
STRUCTURAL ENGINEER
MEDLOCK & ASSOCIATES ENGINEERING, PA
53 ASHELAND AVENUE, SUITE 101
ASHEVILLE, NC 28801

CONTRACTOR










VICINITY MAP

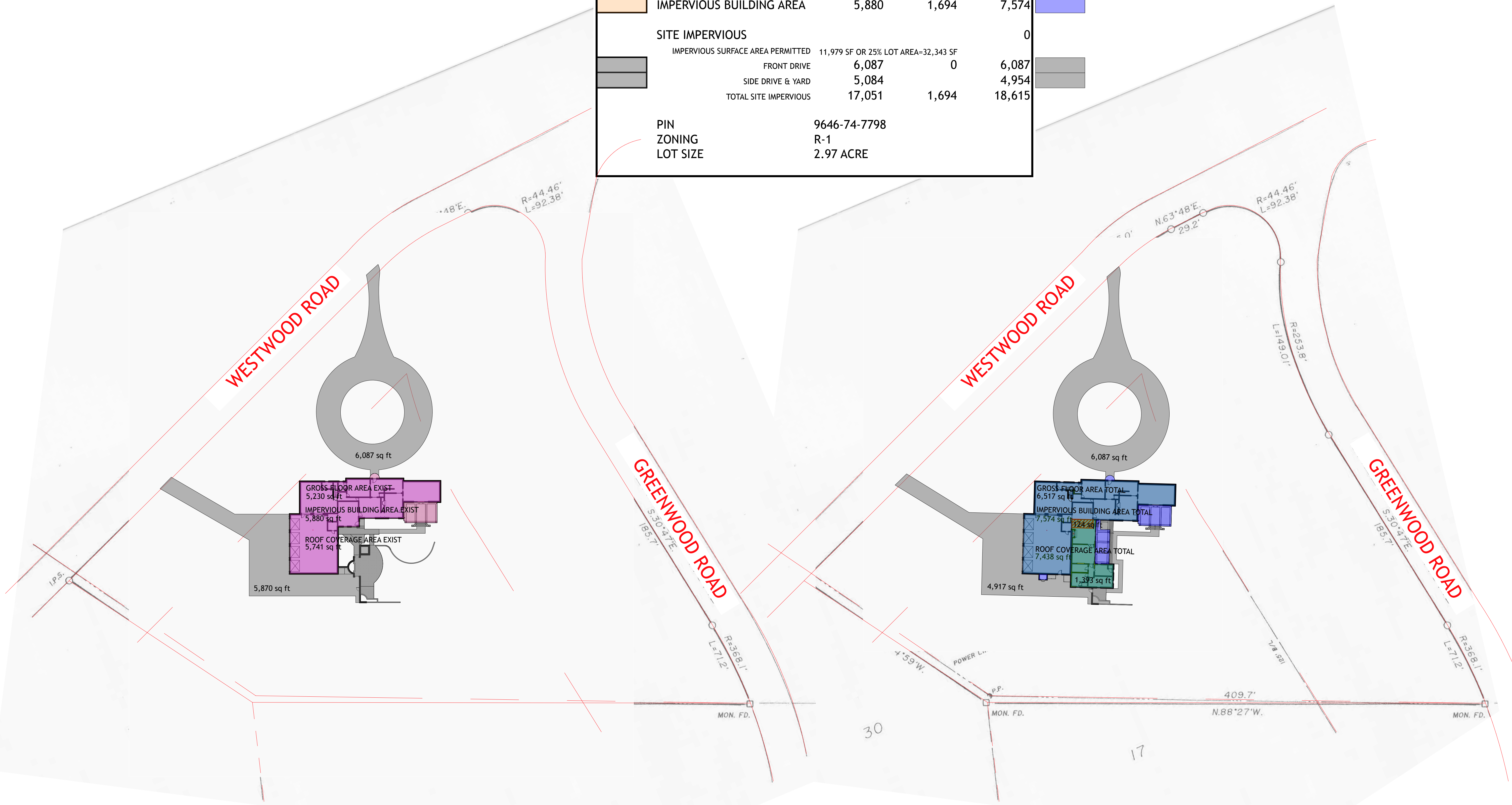


SITE MAP: PIN 9646-74-7798-00000



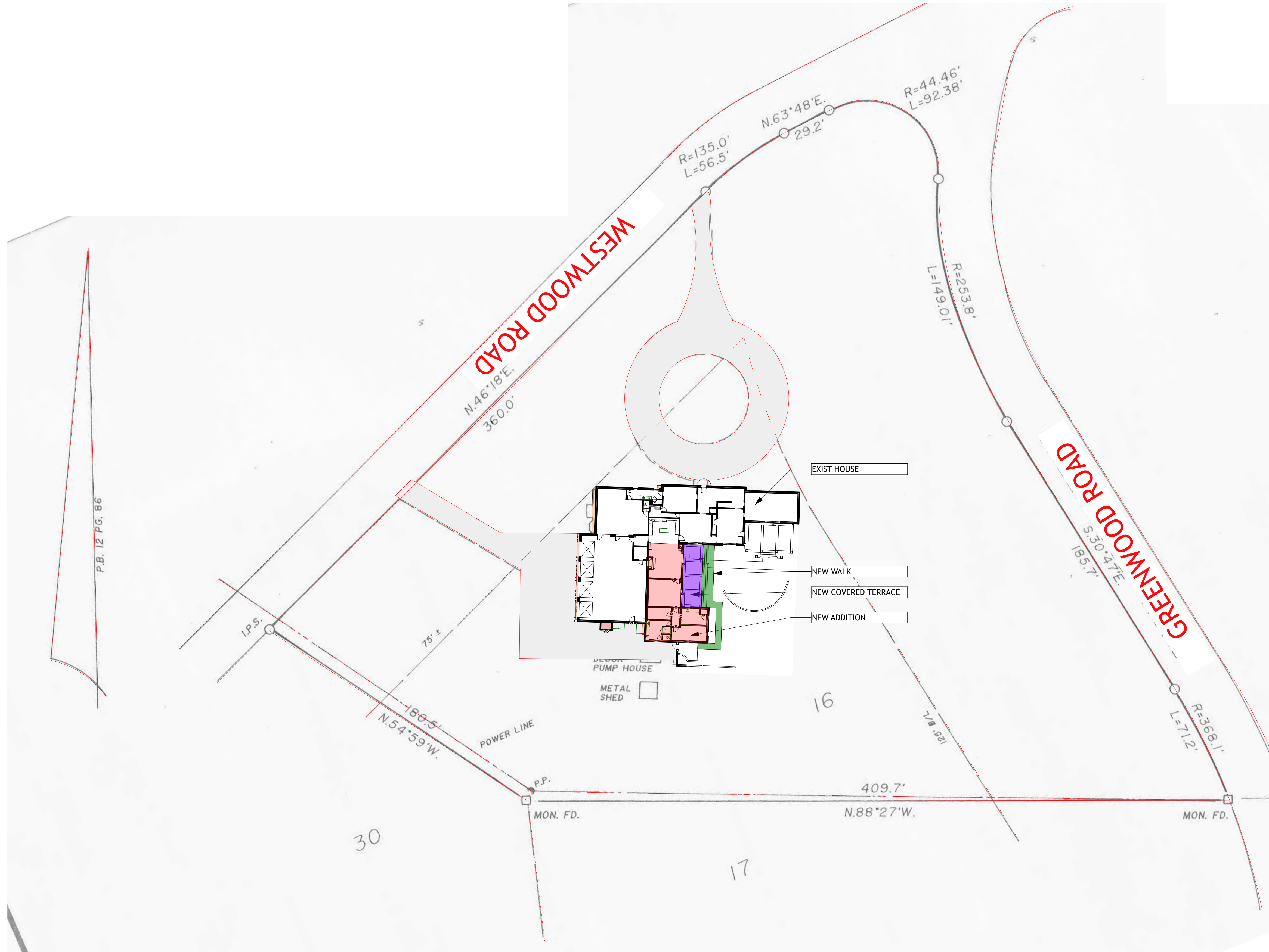
NOT FOR CONSTRUCTION

AREA CALCULATIONS			
	EXISTING	ADDITION	TOTAL
 FLOOR DEMOLITION		126	
 GROSS FLOOR AREA	5,230	1,287	6,517
 ROOF COVERAGE PERMITTED	7,500 SF		
 ROOF COVERAGE	5,741	1,842	7,483
 IMPERVIOUS BUILDING AREA	5,880	1,694	7,574
SITE IMPERVIOUS			
 IMPERVIOUS SURFACE AREA PERMITTED	11,979 SF OR 25% LOT AREA=32,343 SF		0
 FRONT DRIVE	6,087	0	6,087
 SIDE DRIVE & YARD	5,084		4,954
 TOTAL SITE IMPERVIOUS	17,051	1,694	18,615
PIN 9646-74-7798			
ZONING R-1			
LOT SIZE 2.97 ACRE			



EXISTING IMPERVIOUS SURFACE CALCULATIONS 1
G-1.2
SCALE: 1" = 40'

NEW IMPERVIOUS SURFACE CALCULATIONS 2
G-1.2
SCALE: 1" = 40'



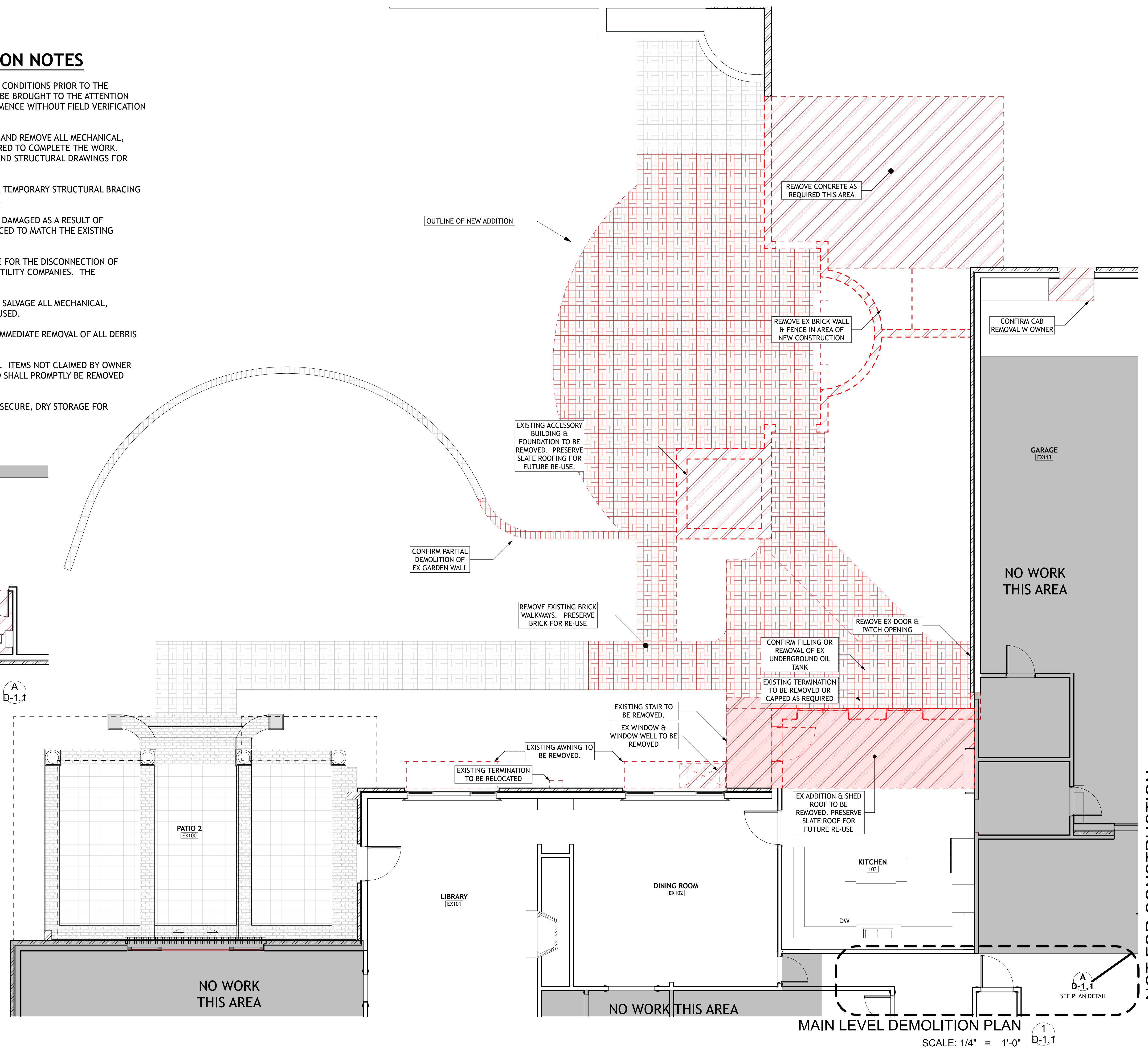
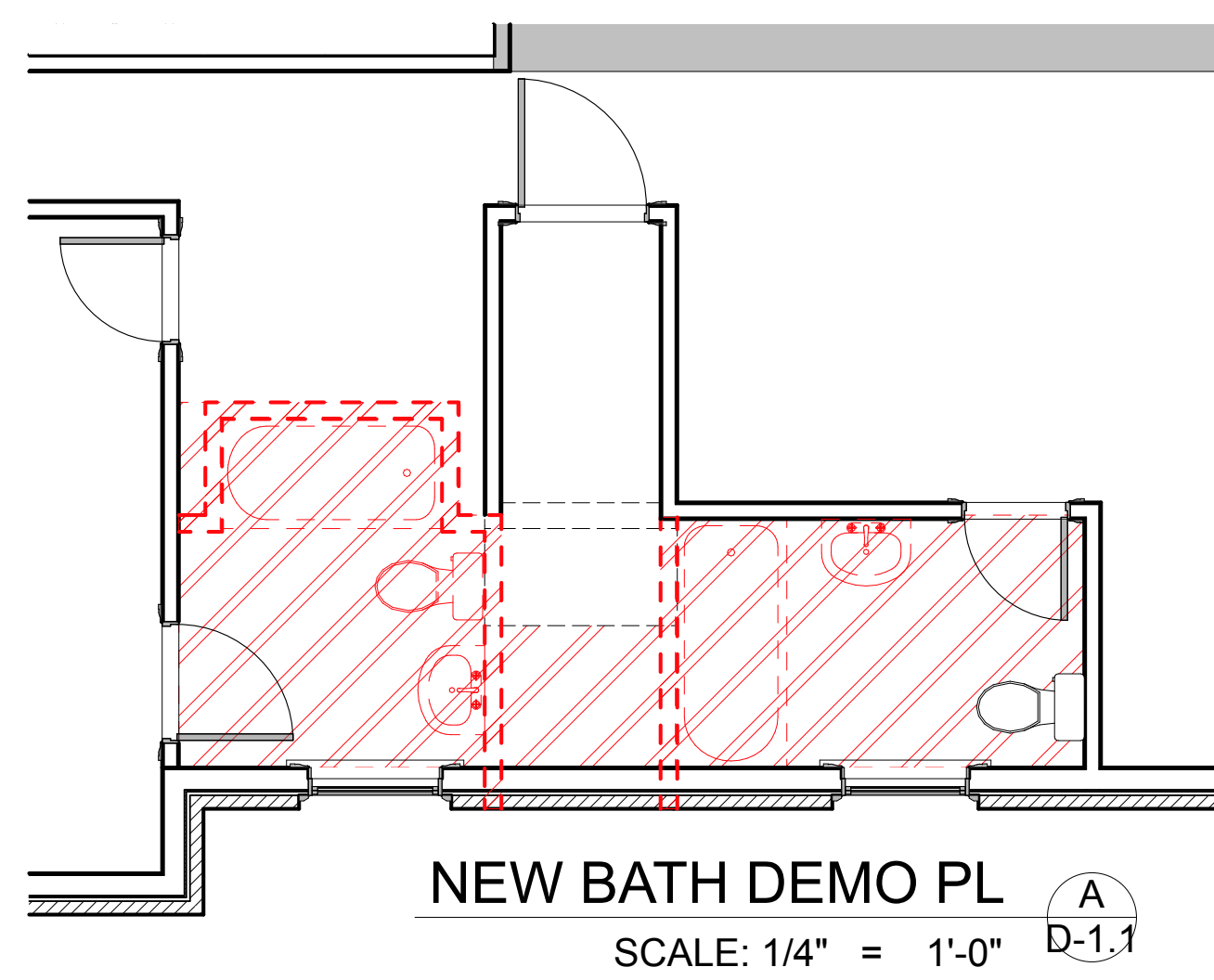
SITE PLAN
SCALE: 1" = 30'

NOT FOR CONSTRUCTION

PROJECT ARCHITECT:	#Contact Full Name
DRAWN BY:	PCAD Technician
ISSUED FOR:	Full Name
REVISIONS:	####
NO.	DATE:
NO.	DATE:
NO.	DATE:
NO.	DATE:
NO.	DATE:

GENERAL DEMOLITION NOTES

1. THE CONTRACTOR SHALL FIELD VERIFY ALL EXISTING CONDITIONS PRIOR TO THE COMMENCEMENT OF WORK. ANY DISCREPANCIES SHALL BE BROUGHT TO THE ATTENTION OF THE ARCHITECT. NO DEMOLITION WORK SHALL COMMENCE WITHOUT FIELD VERIFICATION BY THE CONTRACTOR, OWNER AND ARCHITECT.
2. IT IS THE CONTRACTOR'S RESPONSIBILITY TO LOCATE AND REMOVE ALL MECHANICAL, ELECTRICAL AND MISCELLANEOUS EQUIPMENT AS REQUIRED TO COMPLETE THE WORK. REFER TO ARCHITECTURAL, MECHANICAL, ELECTRICAL AND STRUCTURAL DRAWINGS FOR DEMOLITION INFORMATION.
3. THE CONTRACTOR SHALL IDENTIFY AND PROVIDE ALL TEMPORARY STRUCTURAL BRACING AS REQUIRED DURING DEMOLITION AND CONSTRUCTION.
4. ANY PORTION OF THE PROJECT TO REMAIN WHICH IS DAMAGED AS A RESULT OF CONSTRUCTION ACTIVITY SHALL BE REPAIRED OR REPLACED TO MATCH THE EXISTING CONDITION.
5. THE CONTRACTOR SHALL COORDINATE AND ARRANGE FOR THE DISCONNECTION OF ALL UTILITIES AND EQUIPMENT WITH THE OWNER AND UTILITY COMPANIES. THE CONTRACTOR SHALL CAP OFF ALL UNUSED UTILITIES.
6. THE CONTRACTOR SHALL REMOVE, DISCONNECT AND SALVAGE ALL MECHANICAL, ELECTRICAL AND MISCELLANEOUS EQUIPMENT TO BE REUSED.
7. THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE IMMEDIATE REMOVAL OF ALL DEBRIS AND SALVAGE.
8. THE OWNER HAS FIRST RIGHT TO ALL SALVAGE ITEMS. ITEMS NOT CLAIMED BY OWNER SHALL BECOME THE CONTRACTOR'S RESPONSIBILITY AND SHALL PROMPTLY BE REMOVED FROM THE SITE.
9. IT IS THE CONTRACTOR'S RESPONSIBILITY TO PROVIDE SECURE, DRY STORAGE FOR OWNER RETAINED ITEMS.

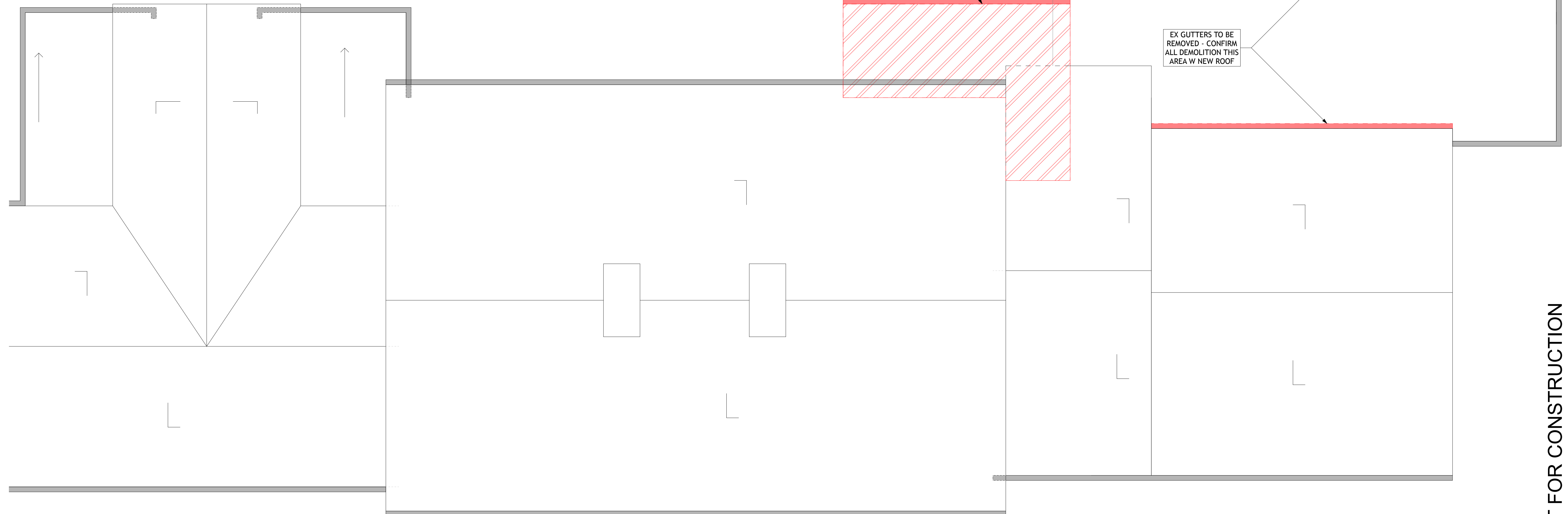


PROJECT ARCHITECT:	
#Contact Full Name	
DRAWN BY:	
ICAD Technician Full Name	
ISSUED FOR:	
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REVISIONS:	
NO. DATE:	
NO. DATE:	
NO. DATE:	
NO. DATE:	
NO. DATE:	

Griffin Architects, PAI01.02.20

GENERAL DEMOLITION NOTES

1. THE CONTRACTOR SHALL FIELD VERIFY ALL EXISTING CONDITIONS PRIOR TO THE COMMENCEMENT OF WORK. ANY DISCREPANCIES SHALL BE BROUGHT TO THE ATTENTION OF THE ARCHITECT. NO DEMOLITION WORK SHALL COMMENCE WITHOUT FIELD VERIFICATION BY THE CONTRACTOR, OWNER AND ARCHITECT.
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EX ADDITION & SHED
ROOF TO BE REMOVED -
PRESERVE SLATE FOR
FUTURE RE-USE

EX GUTTERS TO BE
REMOVED - CONFIRM
ALL DEMOLITION THIS
AREA W NEW ROOF



WILKINSON REMODEL
2 WESTWOOD RD.
BILTMORE FOREST, NC 28803

Upper Level/Roof Demolition
Plan

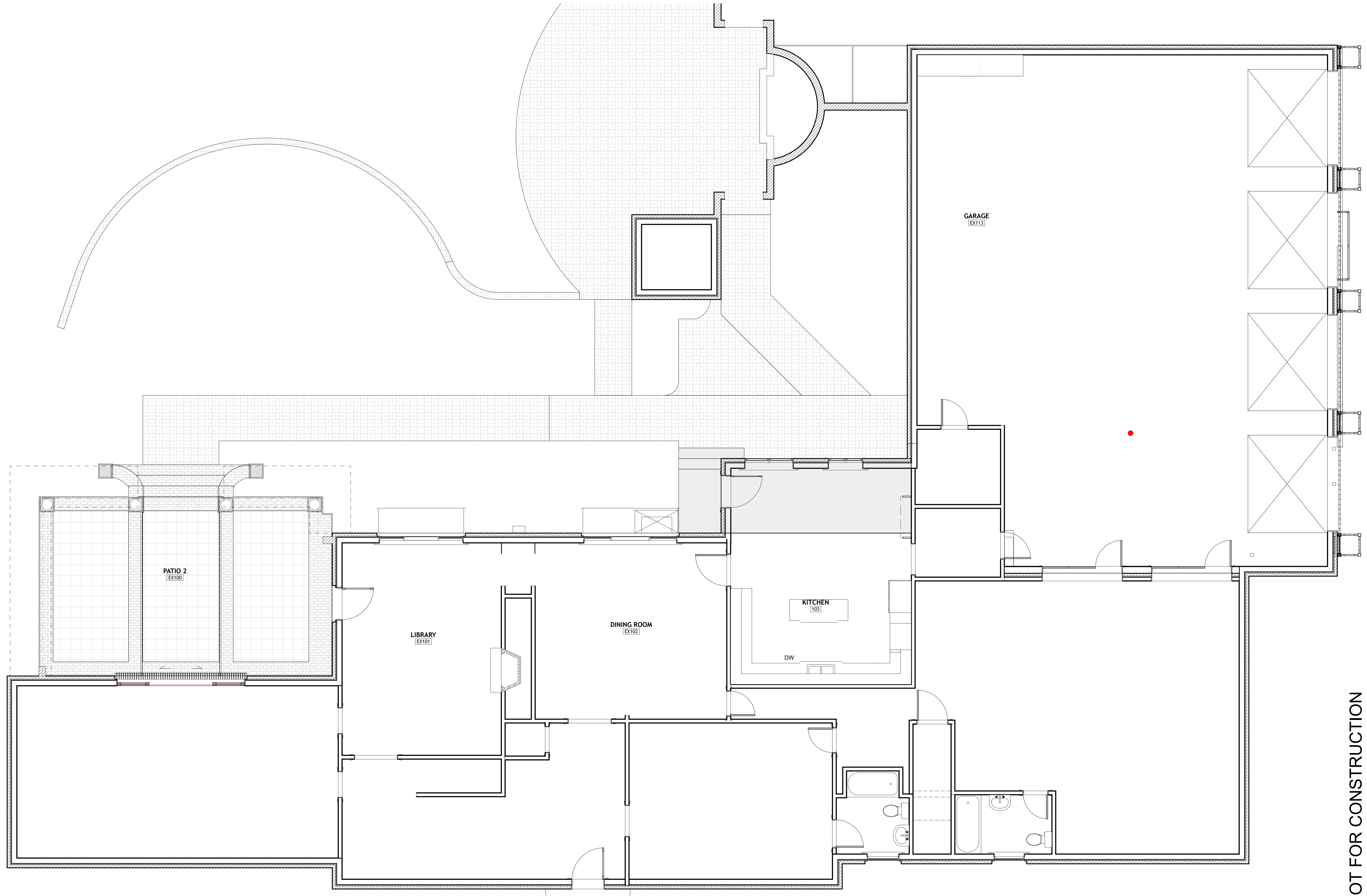
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#Contact Full Name	
DRAWN BY:	
ICAD Technician	
Full Name	
ISSUED FOR:	
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REVISIONS:	
NO. DATE:	
NO. DATE:	
NO. DATE:	
NO. DATE:	
NO. DATE:	

NOT FOR CONSTRUCTION

SHEET NO:	D-1.2
DATE:	12/18/19

UPPER LEVEL ROOF DEMOLITION 1
SCALE: 1/4" = 1'-0" D-1.2

Griffin Architects, PAI01.02.20



EXISTING MAIN LEVEL FLOOR PLAN

SCALE: 1/4" = 1'-0" A-2.1

NOT FOR CONSTRUCTION

PROJECT ARCHITECT:
 #Contact Full Name
 DRAWN BY:
 #CAD Technician Full Name
 ISSUED FOR:
 ####

REVISIONS:

NO.	DATE:
NO.	DATE:
NO.	DATE:
NO.	DATE:
NO.	DATE:

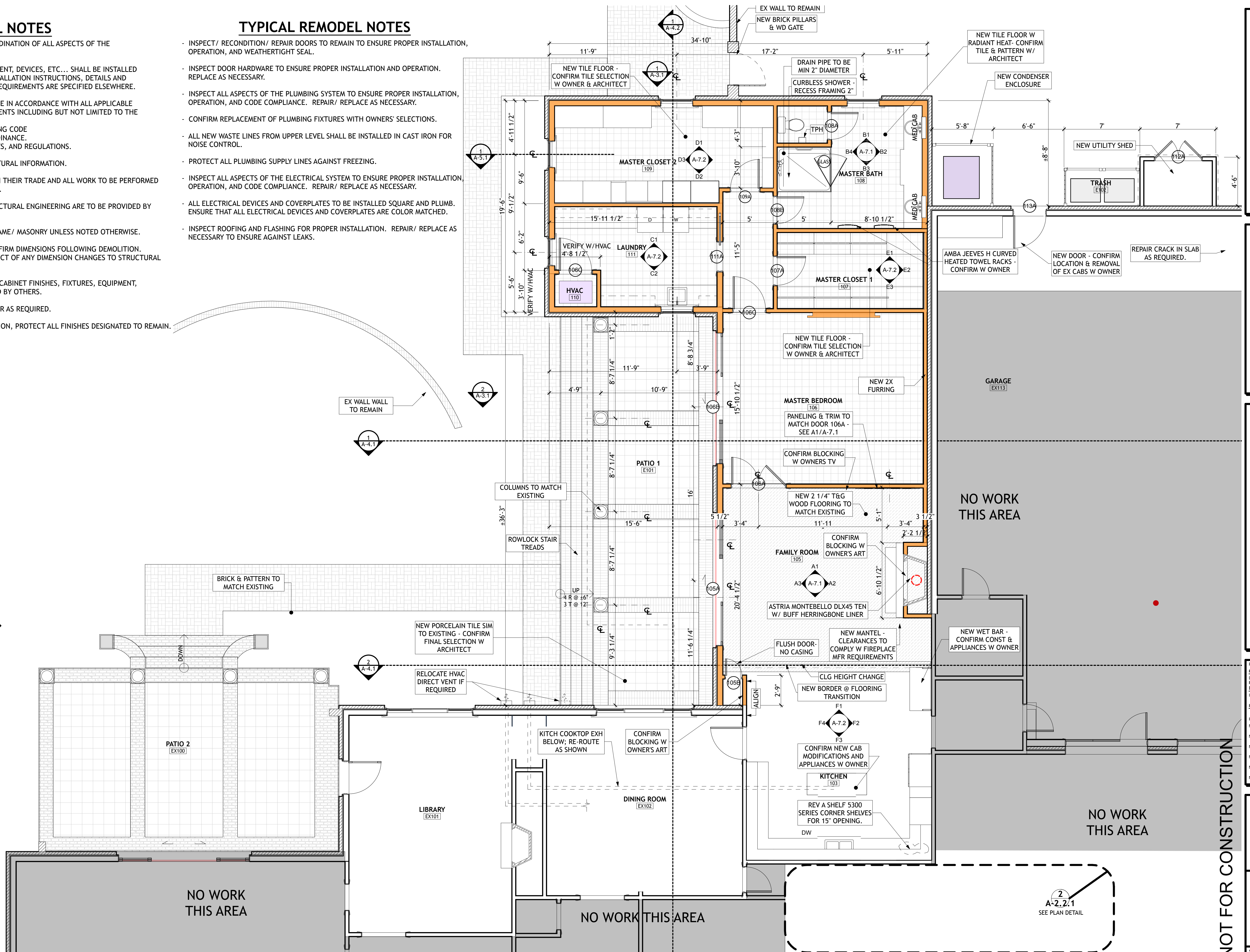
SHEET NO.	A-2.1
DATE:	12/18/19

GENERAL NOTES

- GENERAL CONTRACTOR SHALL ENSURE COORDINATION OF ALL ASPECTS OF THE PROJECT.
- ALL MATERIALS, FINISHES, FIXTURES, EQUIPMENT, DEVICES, ETC... SHALL BE INSTALLED IN ACCORDANCE WITH MANUFACTURER'S INSTALLATION INSTRUCTIONS, DETAILS AND SPECIFICATIONS, UNLESS MORE STRINGENT REQUIREMENTS ARE SPECIFIED ELSEWHERE.
- ALL CONSTRUCTION/ INSTALLATIONS SHALL BE IN ACCORDANCE WITH ALL APPLICABLE CODES, ORDINANCES, RULES, AND REQUIREMENTS INCLUDING BUT NOT LIMITED TO THE FOLLOWING:
 - NORTH CAROLINA STATE RESIDENTIAL BUILDING CODE
 - TOWN OF BILTMORE FOREST, NC ZONING ORDINANCE.
 - OTHER APPLICABLE LOCAL LAWS, ORDINANCES, AND REGULATIONS.
- SEE STRUCTURAL DRAWINGS FOR ALL STRUCTURAL INFORMATION.
- ALL SUBCONTRACTORS ARE TO BE EXPERTS IN THEIR TRADE AND ALL WORK TO BE PERFORMED TO CURRENT BEST PRACTICE FOR THE TRADE.
- PLUMBING, MECHANICAL, ELECTRICAL, STRUCTURAL ENGINEERING ARE TO BE PROVIDED BY OTHERS.
- PLAN DIMENSIONS ARE GIVEN TO FACE OF FRAME/ MASONRY UNLESS NOTED OTHERWISE.
- VERIFY EXISTING DIMENSIONS IN FIELD. CONFIRM DIMENSIONS FOLLOWING DEMOLITION. NOTIFY STRUCTURAL ENGINEER AND ARCHITECT OF ANY DIMENSION CHANGES TO STRUCTURAL ELEMENTS.
- UNLESS NOTED OTHERWISE, ALL MATERIALS, CABINET FINISHES, FIXTURES, EQUIPMENT, DEVICES, ETC...ARE SELECTED AND SPECIFIED BY OTHERS.
- PROVIDE ACCESS TO ATTIC SPACE AND DORMER AS REQUIRED.
- THROUGHOUT DEMOLITION AND CONSTRUCTION, PROTECT ALL FINISHES DESIGNATED TO REMAIN.

TYPICAL REMODEL NOTES

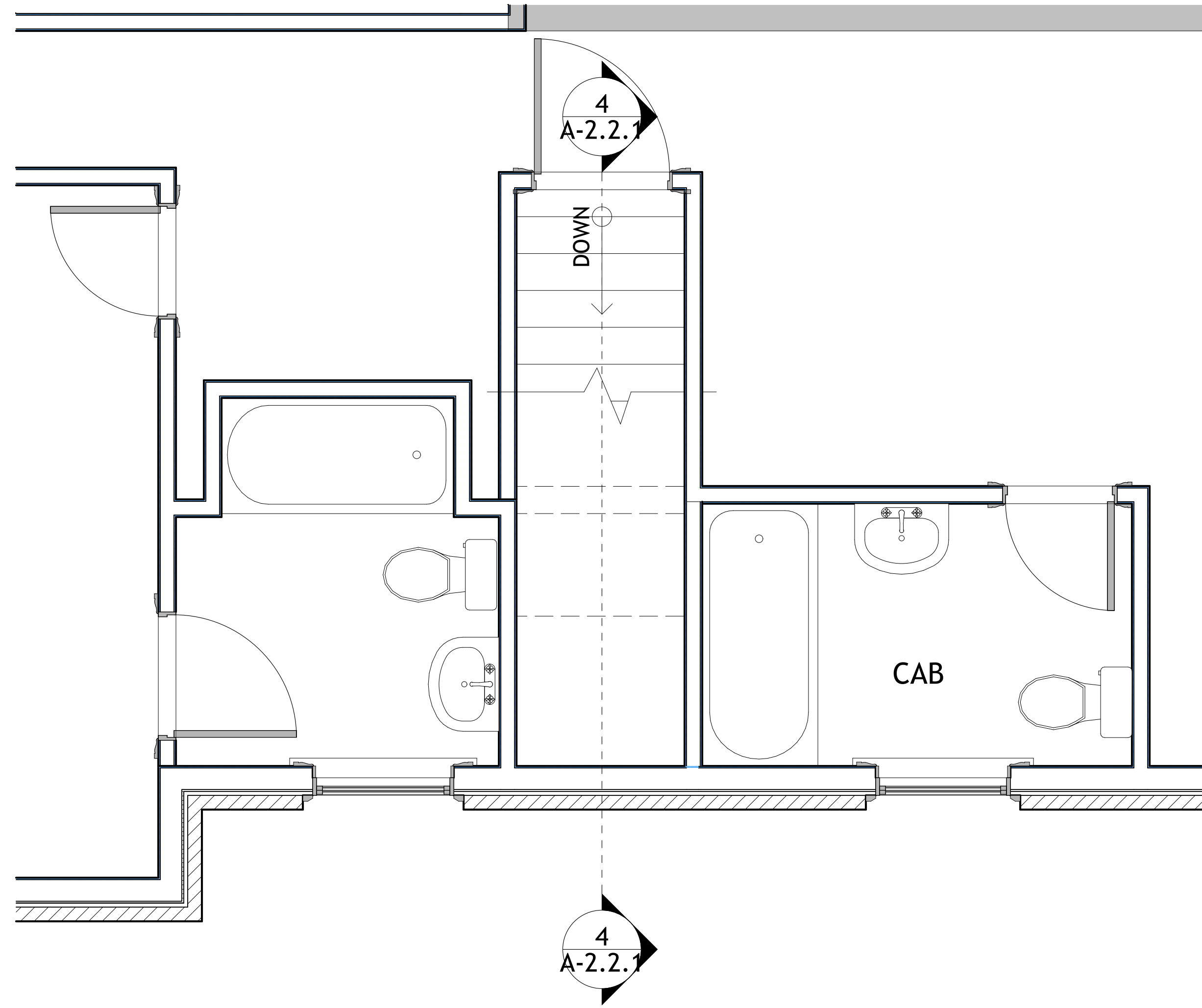
- INSPECT/ RECONDITION/ REPAIR DOORS TO REMAIN TO ENSURE PROPER INSTALLATION, OPERATION, AND WEATHERTIGHT SEAL.
- INSPECT DOOR HARDWARE TO ENSURE PROPER INSTALLATION AND OPERATION. REPLACE AS NECESSARY.
- INSPECT ALL ASPECTS OF THE PLUMBING SYSTEM TO ENSURE PROPER INSTALLATION, OPERATION, AND CODE COMPLIANCE. REPAIR/ REPLACE AS NECESSARY.
- CONFIRM REPLACEMENT OF PLUMBING FIXTURES WITH OWNERS' SELECTIONS.
- ALL NEW WASTE LINES FROM UPPER LEVEL SHALL BE INSTALLED IN CAST IRON FOR NOISE CONTROL.
- PROTECT ALL PLUMBING SUPPLY LINES AGAINST FREEZING.
- INSPECT ALL ASPECTS OF THE ELECTRICAL SYSTEM TO ENSURE PROPER INSTALLATION, OPERATION, AND CODE COMPLIANCE. REPAIR/ REPLACE AS NECESSARY.
- ALL ELECTRICAL DEVICES AND COVERPLATES TO BE INSTALLED SQUARE AND PLUMB. ENSURE THAT ALL ELECTRICAL DEVICES AND COVERPLATES ARE COLOR MATCHED.
- INSPECT ROOFING AND FLASHING FOR PROPER INSTALLATION. REPAIR/ REPLACE AS NECESSARY TO ENSURE AGAINST LEAKS.



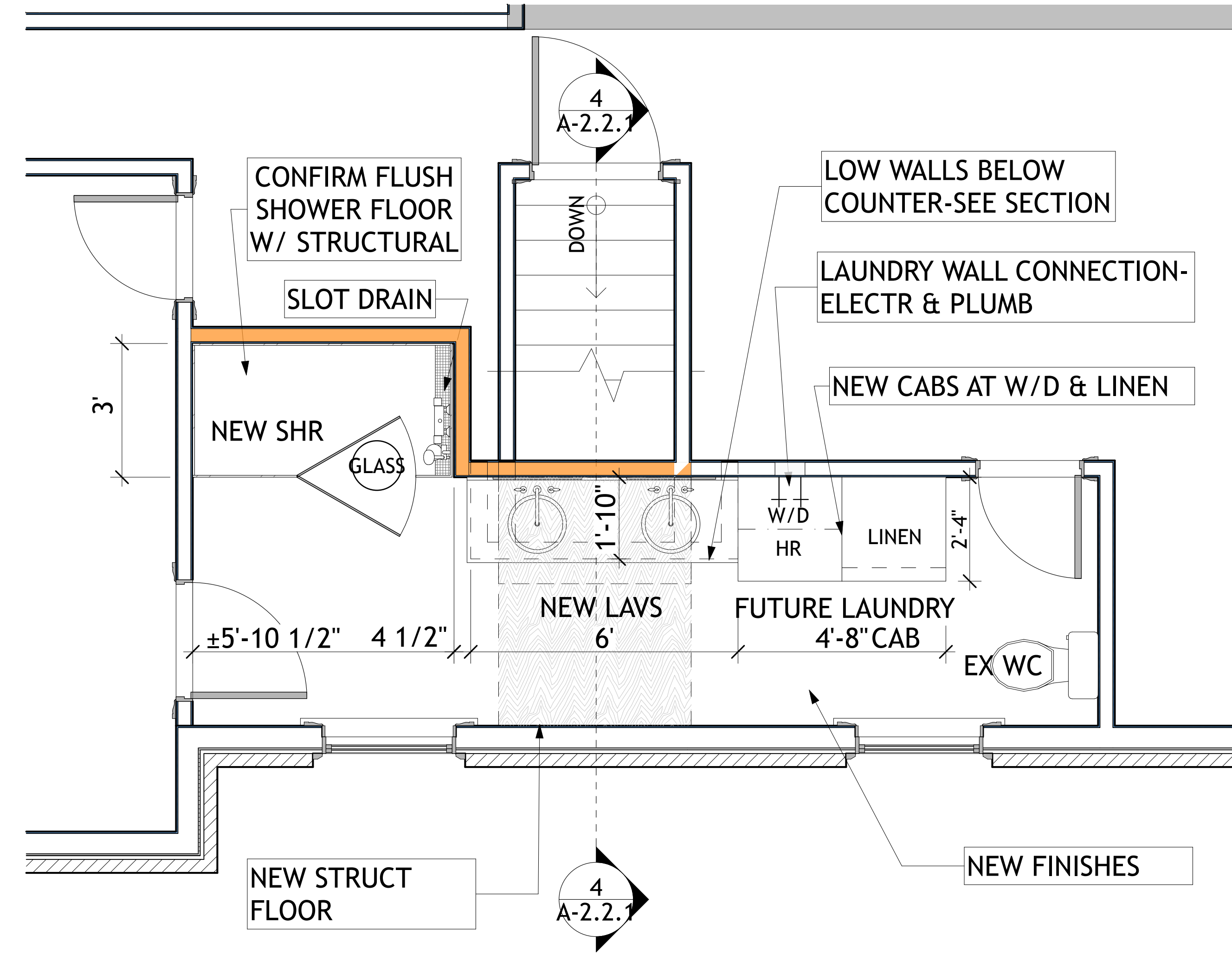
PROJECT ARCHITECT:
#Contact Full Name
DRAWN BY:
RCAO Technician
Full Name
ISSUED FOR:
####

REVISIONS:

NO.	DATE:
NO.	DATE:
NO.	DATE:
NO.	DATE:
NO.	DATE:
NO.	DATE:



EXISTING FLOOR PLAN ¹
SCALE: 1/2" = 1'-0" A-2.2.1

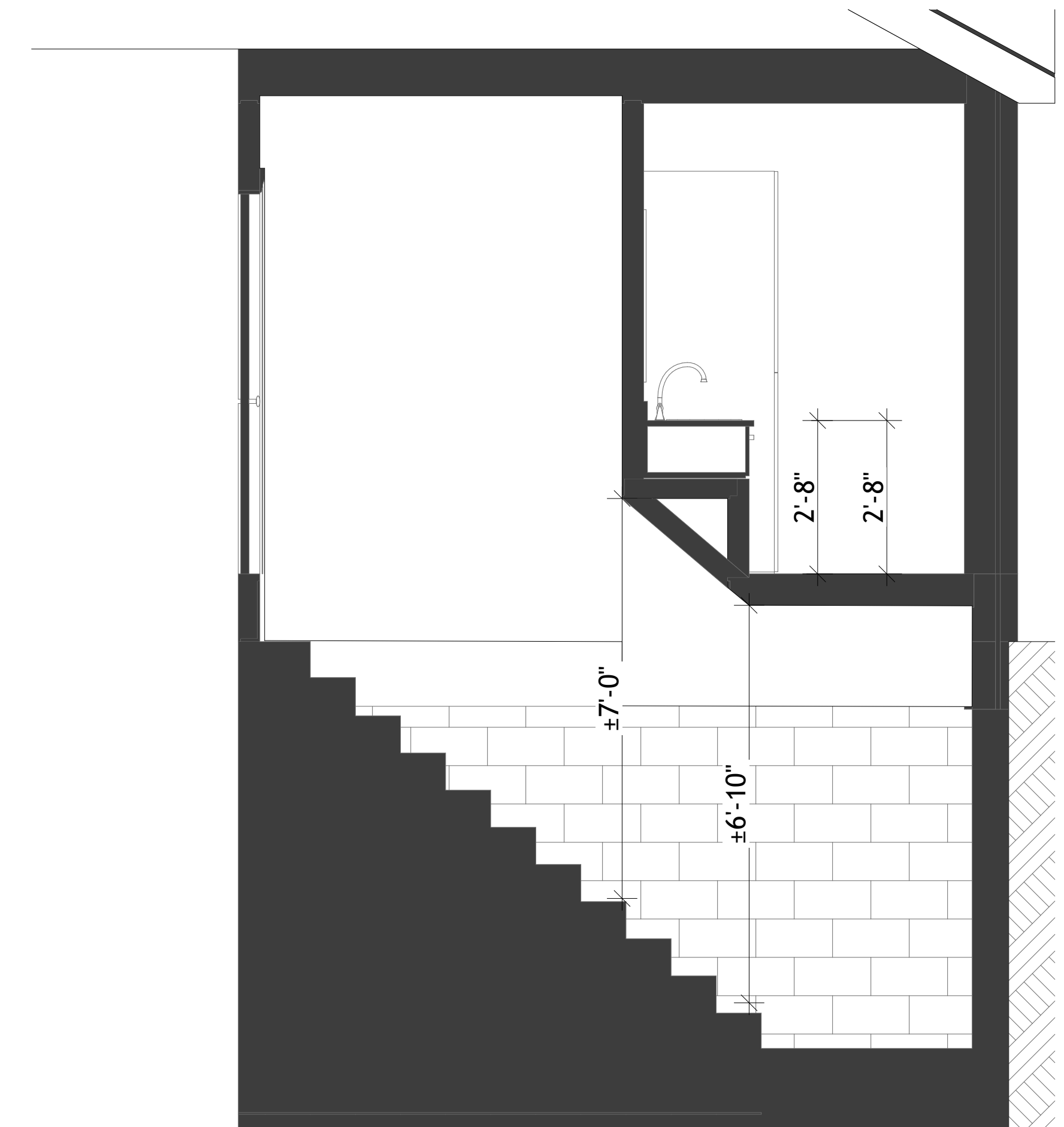


NEW FLOOR PLAN ²
SCALE: 1/2" = 1'-0" A-2.2.1

DRAWING SET FORMATTED FOR 24" X 36" PAPER.
IF PRINTED ON 12" X 18" PAPER, SCALE IS HALF OF WHAT IS NOTED

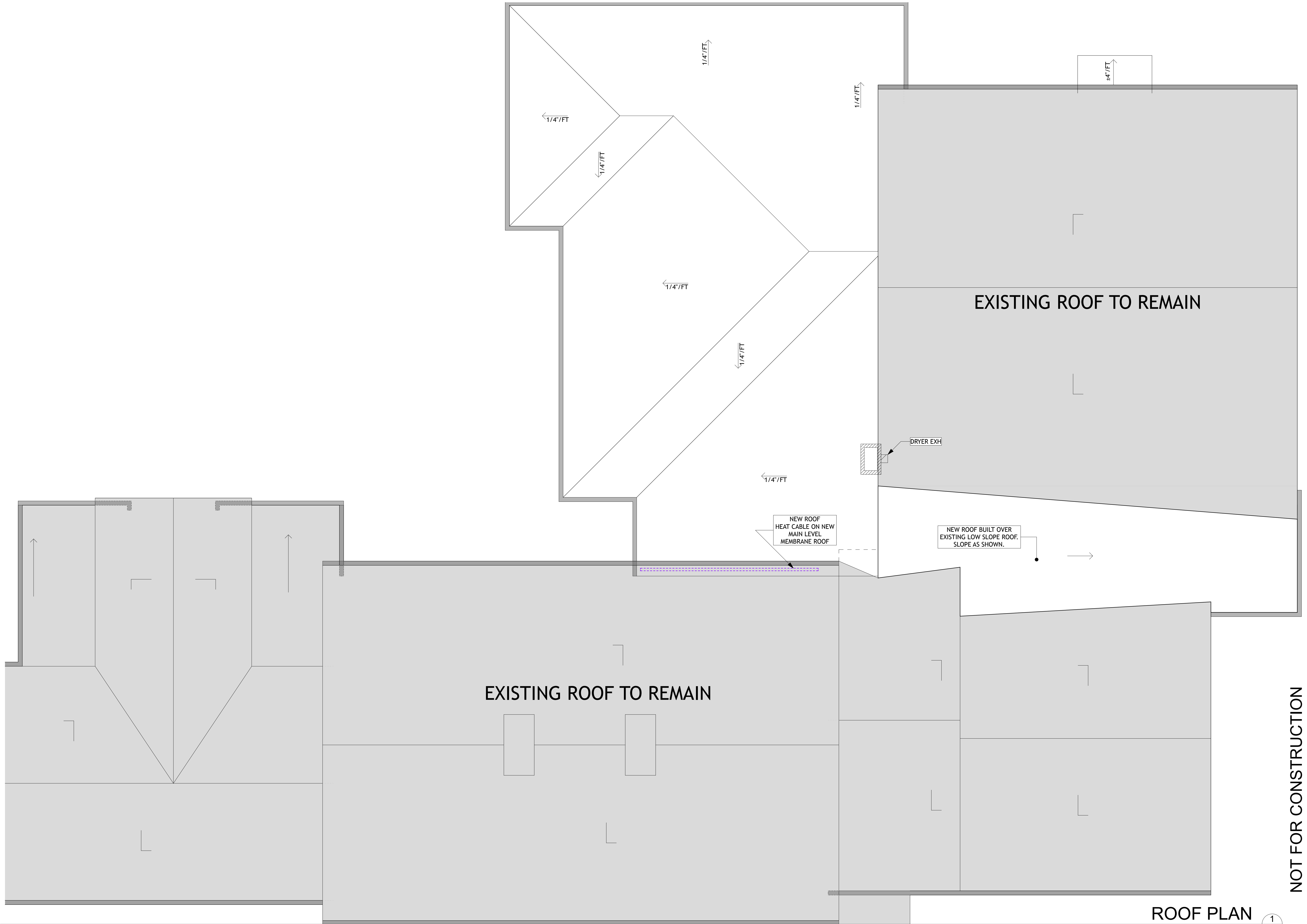


INTERIOR VIEWS ³
SCALE: 1/4" = 1'-0" A-2.2.1



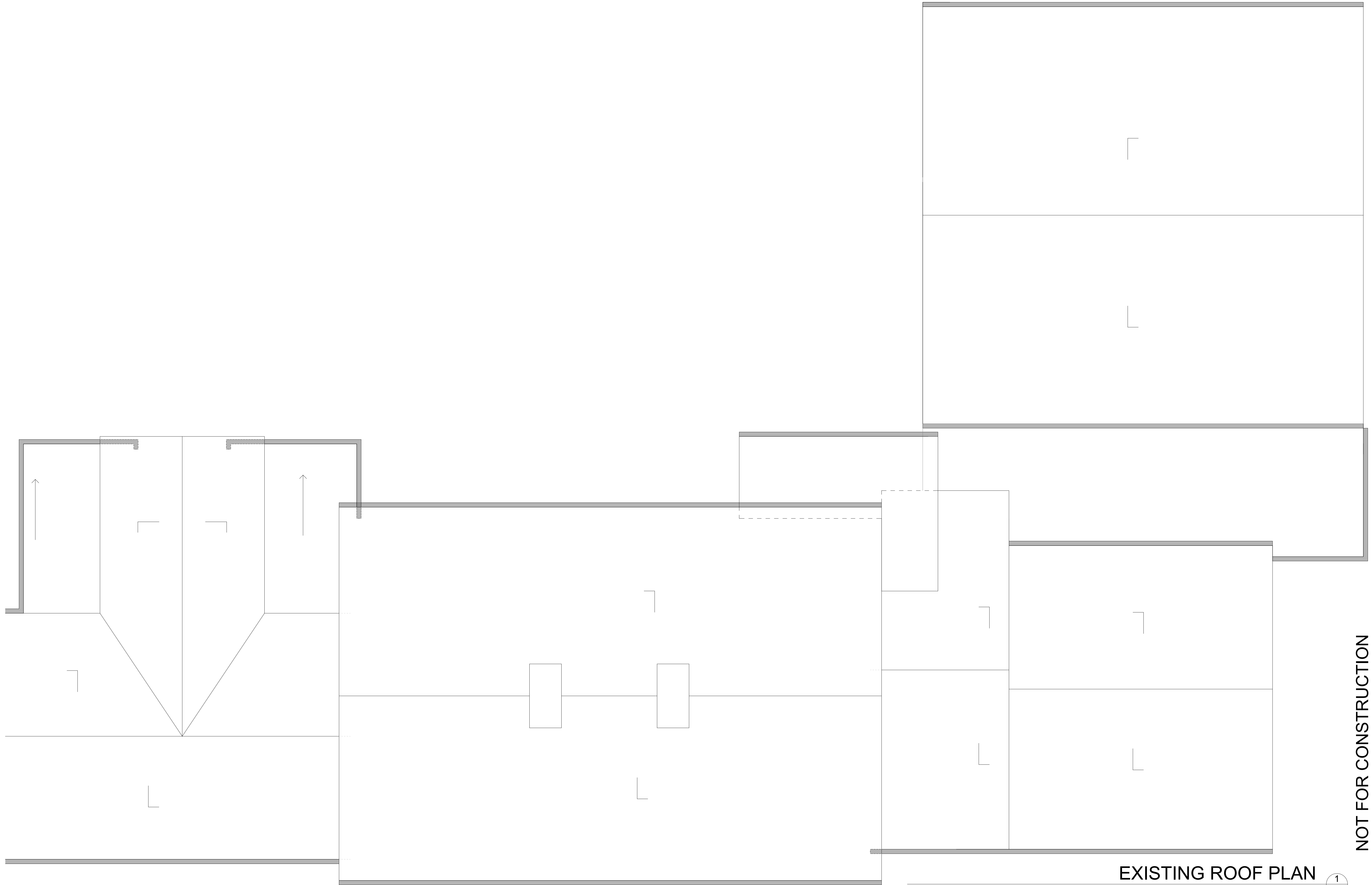
SECTION ⁴
SCALE: 1/2" = 1'-0" A-2.2.1

NOT FOR CONSTRUCTION



PROJECT ARCHITECT:	
#Contact Full Name	
DRAWN BY:	
PCAD Technician	
Full Name	
ISSUED FOR:	
####	
REVISIONS:	
NO.	DATE:
NO.	DATE:
NO.	DATE:
NO.	DATE:
NO.	DATE:
NO.	DATE:

NOT FOR CONSTRUCTION



EXISTING ROOF PLAN

SCALE: 1/4" = 1'-0" 1 A-2.5

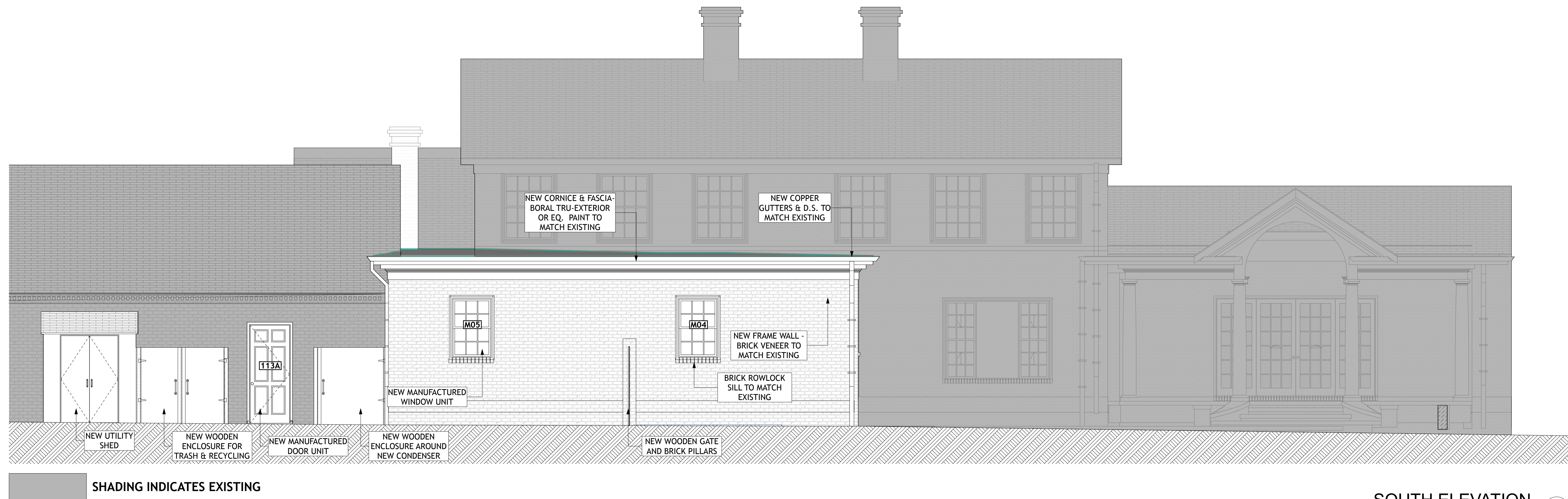
NOT FOR CONSTRUCTION

PROJECT ARCHITECT:	
#Contact Full Name	
DRAWN BY:	
PCAD Technician	
Full Name	
ISSUED FOR:	
####	
REVISIONS:	
NO. _____	DATE: _____
NO. _____	DATE: _____
NO. _____	DATE: _____
NO. _____	DATE: _____
NO. _____	DATE: _____

SHEET NO:
A-2.5
DATE:
12/18/19

Existing Roof Plan

WILKINSON REMODEL
2 WESTWOOD RD.
BILTMORE FOREST, NC 28803



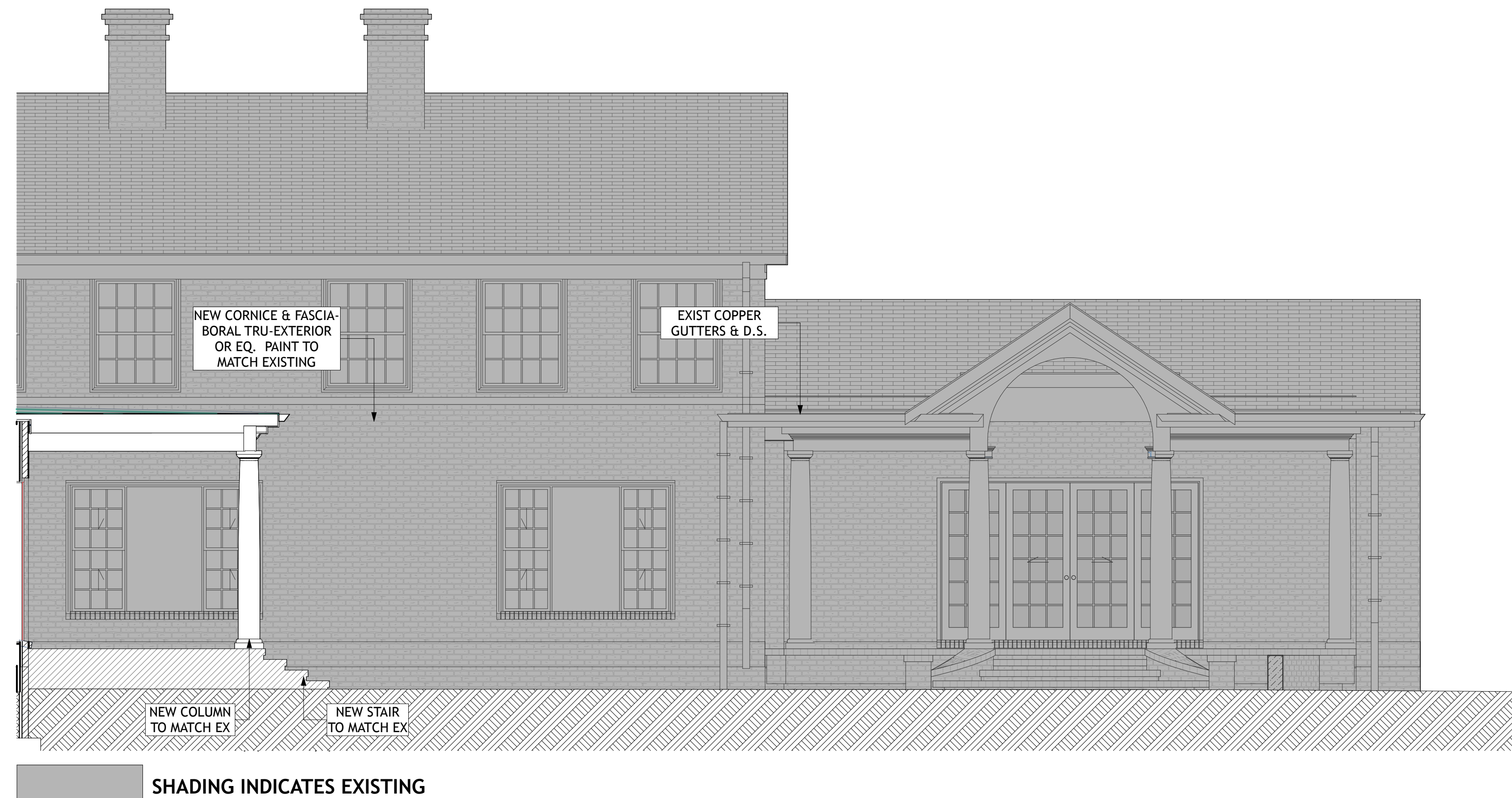
SOUTH ELEVATION 1

ON 24"x36" SHEET:

SCALE: 1/4" = 1'-0" A-3.1

GENERAL NOTES

- GENERAL CONTRACTOR SHALL ENSURE COORDINATION OF ALL ASPECTS OF THE PROJECT.
- ALL MATERIALS, FINISHES, FIXTURES, EQUIPMENT, DEVICES, ETC... SHALL BE INSTALLED IN ACCORDANCE WITH MANUFACTURER'S INSTALLATION INSTRUCTIONS, DETAILS AND SPECIFICATIONS, UNLESS MORE STRINGENT REQUIREMENTS ARE SPECIFIED ELSEWHERE.
- ALL CONSTRUCTION/ INSTALLATIONS SHALL BE IN ACCORDANCE WITH ALL APPLICABLE CODES, ORDINANCES, RULES, AND REQUIREMENTS INCLUDING BUT NOT LIMITED TO THE FOLLOWING:
 - NORTH CAROLINA STATE RESIDENTIAL BUILDING CODE
 - TOWN OF BILTMORE FOREST, NC ZONING ORDINANCE.
 - OTHER APPLICABLE LOCAL LAWS, ORDINANCES, AND REGULATIONS.
- SEE STRUCTURAL DRAWINGS FOR ALL STRUCTURAL INFORMATION.
- ALL SUBCONTRACTORS ARE TO BE EXPERTS IN THEIR TRADE AND ALL WORK TO BE PERFORMED TO CURRENT BEST PRACTICE FOR THE TRADE.
- PLUMBING, MECHANICAL, ELECTRICAL, STRUCTURAL ENGINEERING ARE TO BE PROVIDED BY OTHERS.
- PLAN DIMENSIONS ARE GIVEN TO FACE OF FRAME/ MASONRY UNLESS NOTED OTHERWISE.
- VERIFY EXISTING DIMENSIONS IN FIELD. CONFIRM DIMENSIONS FOLLOWING DEMOLITION. NOTIFY STRUCTURAL ENGINEER AND ARCHITECT OF ANY DIMENSION CHANGES TO STRUCTURAL ELEMENTS.
- UNLESS NOTED OTHERWISE, ALL MATERIALS, CABINET FINISHES, FIXTURES, EQUIPMENT, DEVICES, ETC...ARE SELECTED AND SPECIFIED BY OTHERS.
- PROVIDE ACCESS TO ATTIC SPACE AND DORMER AS REQUIRED.
- THROUGHOUT DEMOLITION AND CONSTRUCTION, PROTECT ALL FINISHES DESIGNATED TO REMAIN.



SOUTH ELEVATION [HIDDEN] 2

ON 24"x36" SHEET:

SCALE: 1/4" = 1'-0" A-3.1

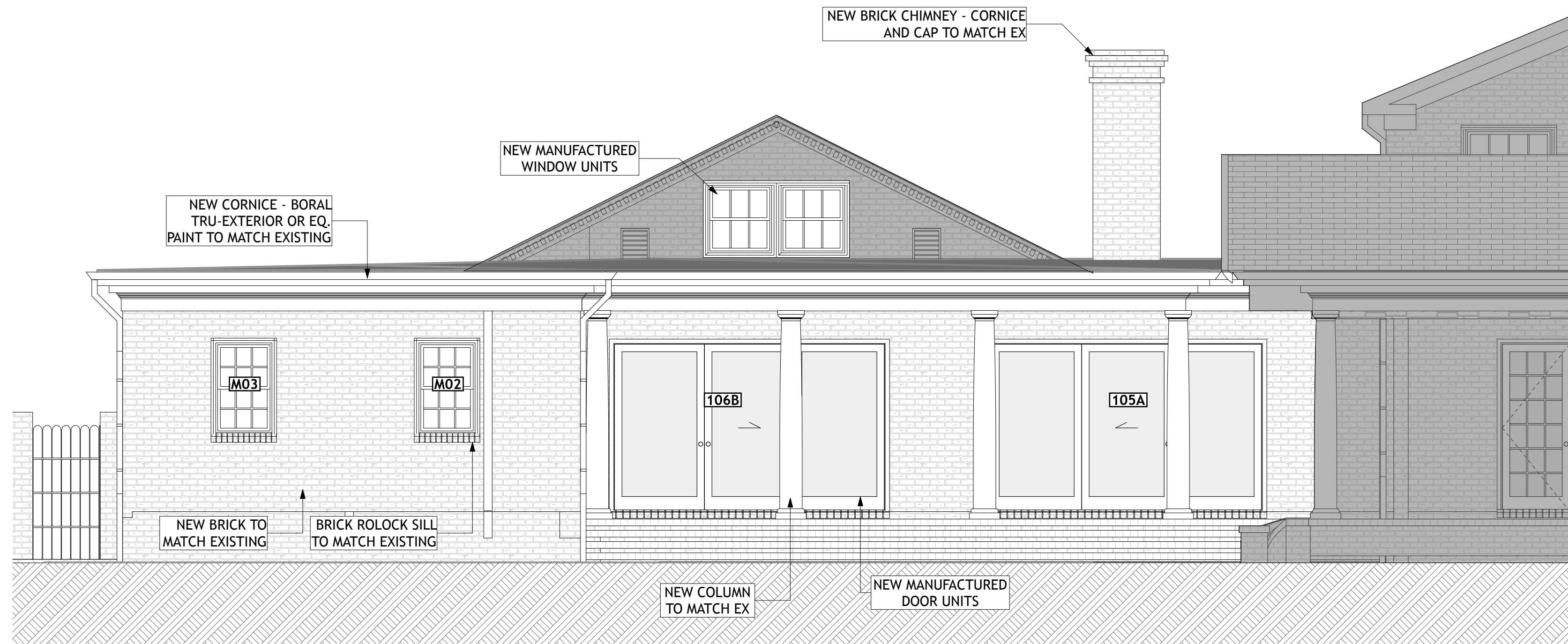
PROJECT ARCHITECT: #Contact Full Name	
DRAWN BY: #CAD Technician Full Name	
ISSUED FOR: ####	
REVISIONS:	
NO. DATE:	
NO. DATE:	
NO. DATE:	
NO. DATE:	
NO. DATE:	

NOT FOR CONSTRUCTION

SHEET NO: A-3.1
DATE: 12/18/19

GENERAL NOTES

- GENERAL CONTRACTOR SHALL ENSURE COORDINATION OF ALL ASPECTS OF THE PROJECT.
- ALL MATERIALS, FINISHES, FIXTURES, EQUIPMENT, DEVICES, ETC... SHALL BE INSTALLED IN ACCORDANCE WITH MANUFACTURER'S INSTALLATION INSTRUCTIONS, DETAILS AND SPECIFICATIONS, UNLESS MORE STRINGENT REQUIREMENTS ARE SPECIFIED ELSEWHERE.
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 - NORTH CAROLINA STATE RESIDENTIAL BUILDING CODE
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 - OTHER APPLICABLE LOCAL LAWS, ORDINANCES, AND REGULATIONS.
- SEE STRUCTURAL DRAWINGS FOR ALL STRUCTURAL INFORMATION.
- ALL SUBCONTRACTORS ARE TO BE EXPERTS IN THEIR TRADE AND ALL WORK TO BE PERFORMED TO CURRENT BEST PRACTICE FOR THE TRADE.
- PLUMBING, MECHANICAL, ELECTRICAL, STRUCTURAL ENGINEERING ARE TO BE PROVIDED BY OTHERS.
- PLAN DIMENSIONS ARE GIVEN TO FACE OF FRAME/ MASONRY UNLESS NOTED OTHERWISE.
- VERIFY EXISTING DIMENSIONS IN FIELD. CONFIRM DIMENSIONS FOLLOWING DEMOLITION. NOTIFY STRUCTURAL ENGINEER AND ARCHITECT OF ANY DIMENSION CHANGES TO STRUCTURAL ELEMENTS.
- UNLESS NOTED OTHERWISE, ALL MATERIALS, CABINET FINISHES, FIXTURES, EQUIPMENT, DEVICES, ETC...ARE SELECTED AND SPECIFIED BY OTHERS.
- PROVIDE ACCESS TO ATTIC SPACE AND DORMER AS REQUIRED.
- THROUGHOUT DEMOLITION AND CONSTRUCTION, PROTECT ALL FINISHES DESIGNATED TO REMAIN.



SHADING INDICATES EXISTING

EAST ELEVATION ①

ON 24"x36" SHEET: SCALE: 1/4" = 1'-0" A-3.2



SHADING INDICATES EXISTING

WEST ELEVATION ②

ON 24"x36" SHEET: SCALE: 1/4" = 1'-0" A-3.2

PROJECT ARCHITECT:	#Contact Full Name
DRAWN BY:	PCAD Technician Full Name
ISSUED FOR:	####
REVISIONS:	
NO. DATE:	
NO. DATE:	
NO. DATE:	
NO. DATE:	
NO. DATE:	

SHEET NO:	A-3.2
DATE:	3/15/19

NOT FOR CONSTRUCTION



3D EXTERIOR VIEW ¹
SCALE: 1/8" = 1'-0" A-3.3



3D EXTERIOR VIEW ¹
SCALE: 1/8" = 1'-0" A-3.3



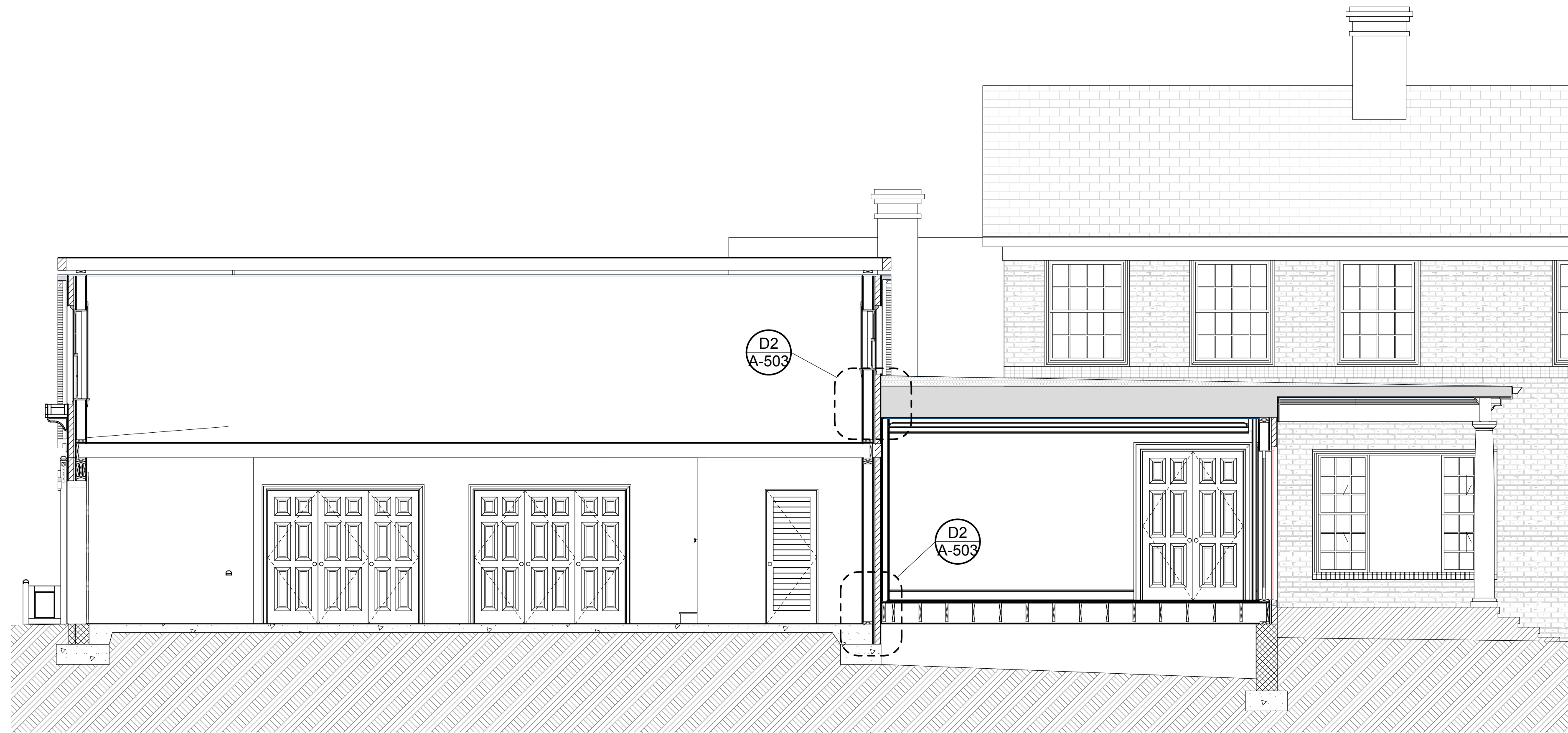
3D EXTERIOR VIEW ¹
SCALE: 1/8" = 1'-0" A-3.3



3D INTERIOR VIEW ¹
SCALE: 1/8" = 1'-0" A-3.3

PROJECT ARCHITECT:	#Contact Full Name
DRAWN BY:	ICAD Technician
ISSUED FOR:	Full Name
REVISIONS:	####
NO.:	DATE:
NO.:	DATE:
NO.:	DATE:
NO.:	DATE:
NO.:	DATE:

NOT FOR CONSTRUCTION



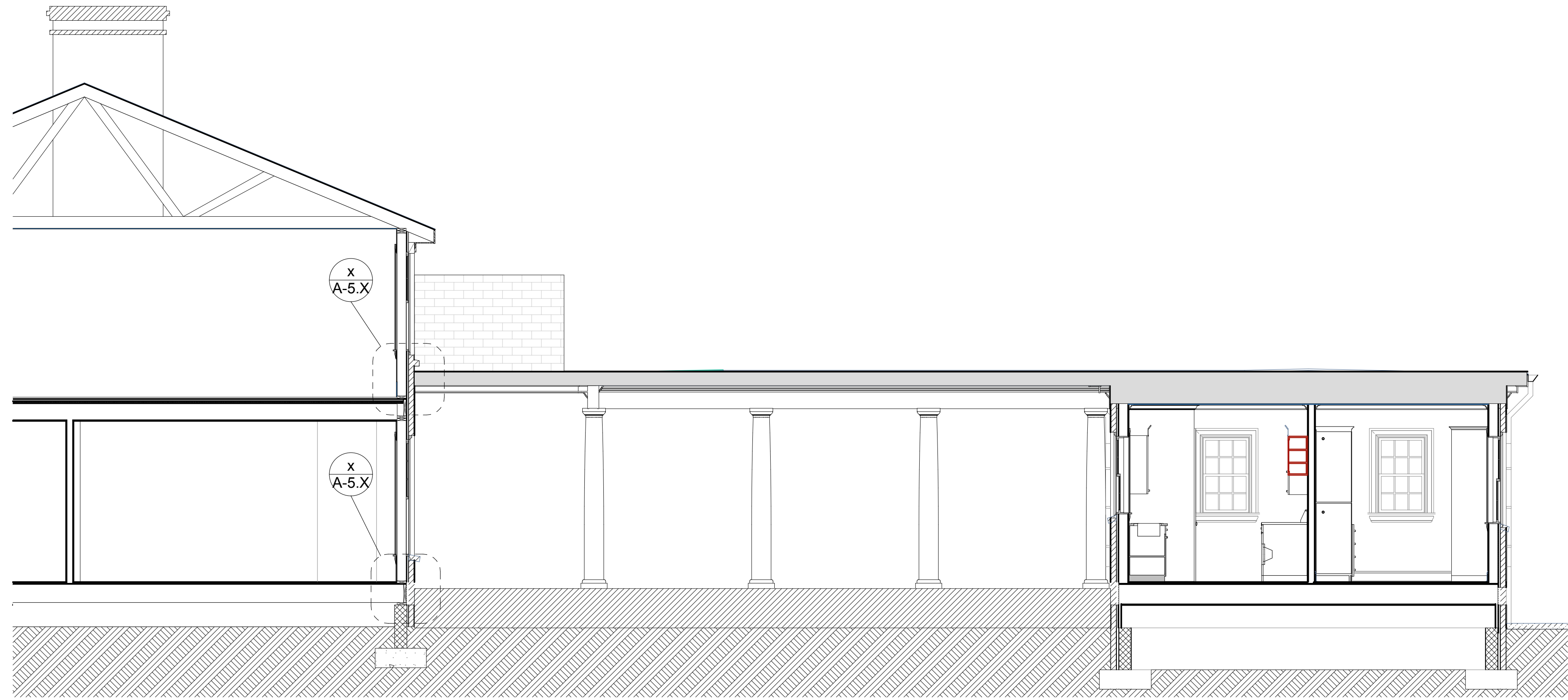
BUILDING SECTION 1 1
 SCALE: 1/4" = 1'-0" A-4.1



BUILDING SECTION 2 2
 SCALE: 1/4" = 1'-0" A-4.1

PROJECT ARCHITECT:	
#Contact Full Name	
DRAWN BY:	
ICAD Technician	
Full Name	
ISSUED FOR:	
####	
REVISIONS:	
NO.	DATE:
NO.	DATE:
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NO.	DATE:
NO.	DATE:

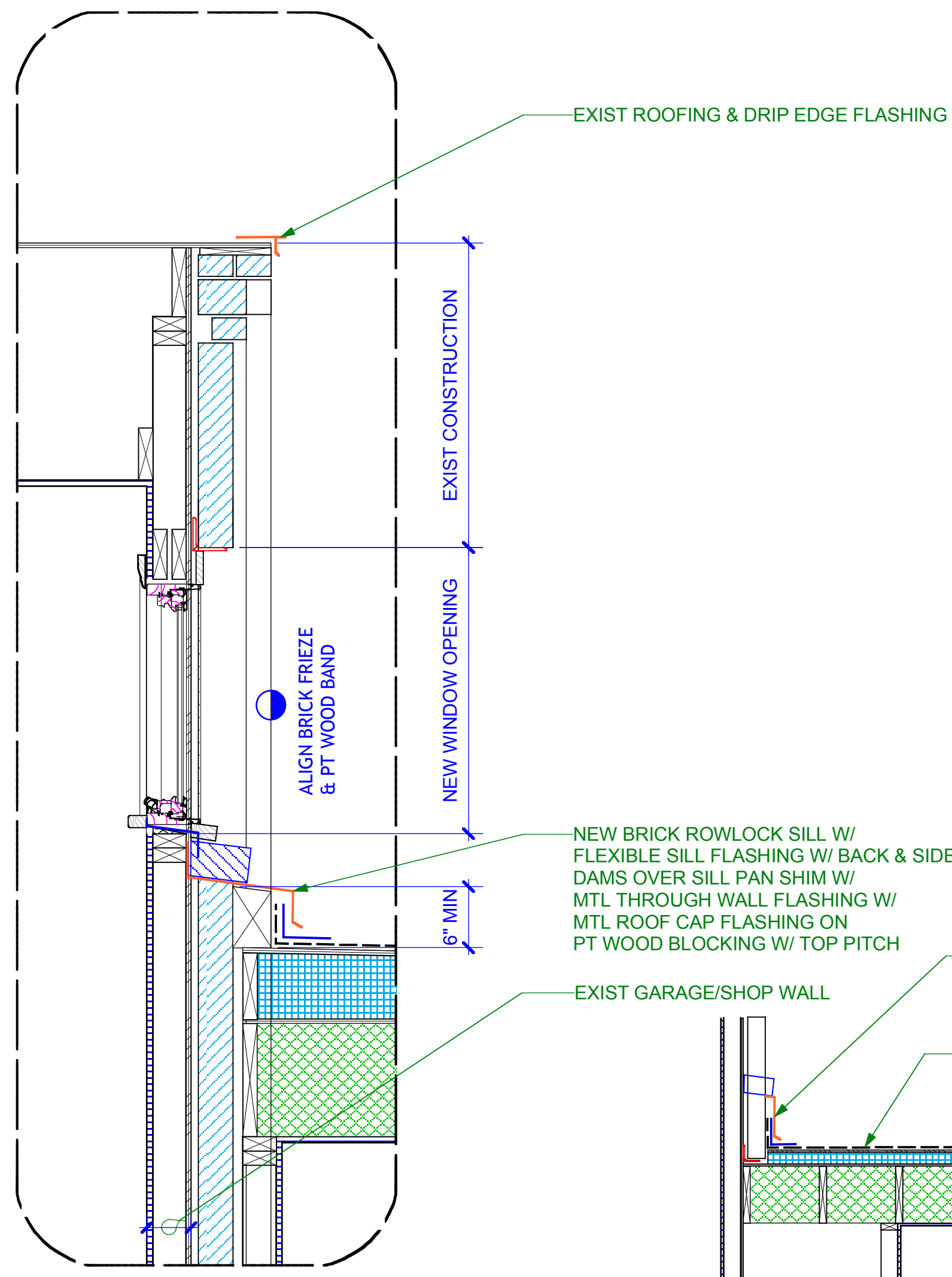
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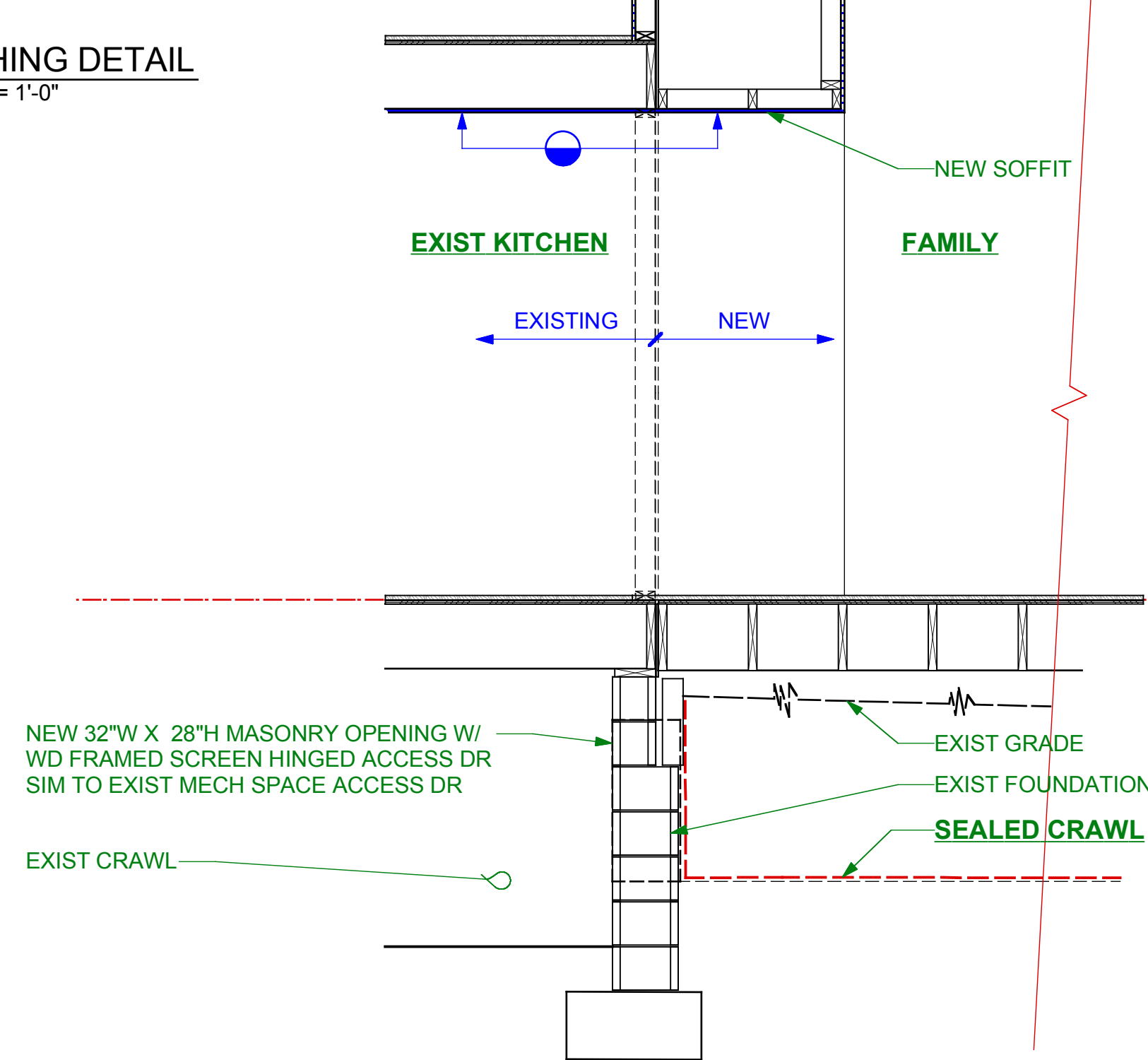
BUILDING SECTION 3 1
 SCALE: 1/4" = 1'-0" A-4.2

NOT FOR CONSTRUCTION

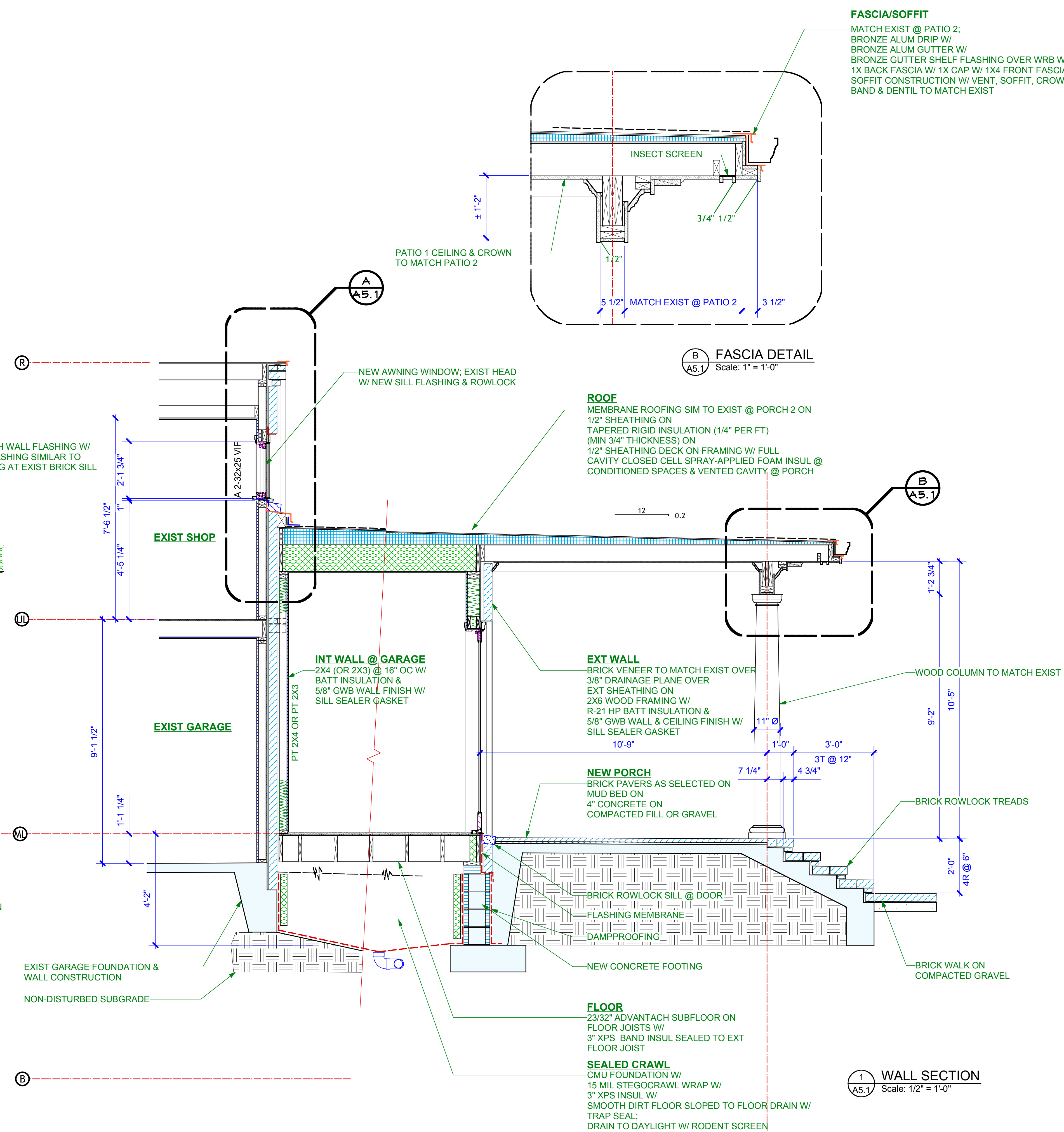
PROJECT ARCHITECT:	
#Contact Full Name	
DRAWN BY:	
#CAD Technician	
Full Name	
ISSUED FOR:	
####	
REVISIONS:	
NO.	DATE:
NO.	DATE:
NO.	DATE:
NO.	DATE:
NO.	DATE:
NO.	DATE:



A FLASHING DETAIL
A5.1 Scale: 1" = 1'-0"



2 WALL SECTION
A5.1 Scale: 1/2" = 1'-0"



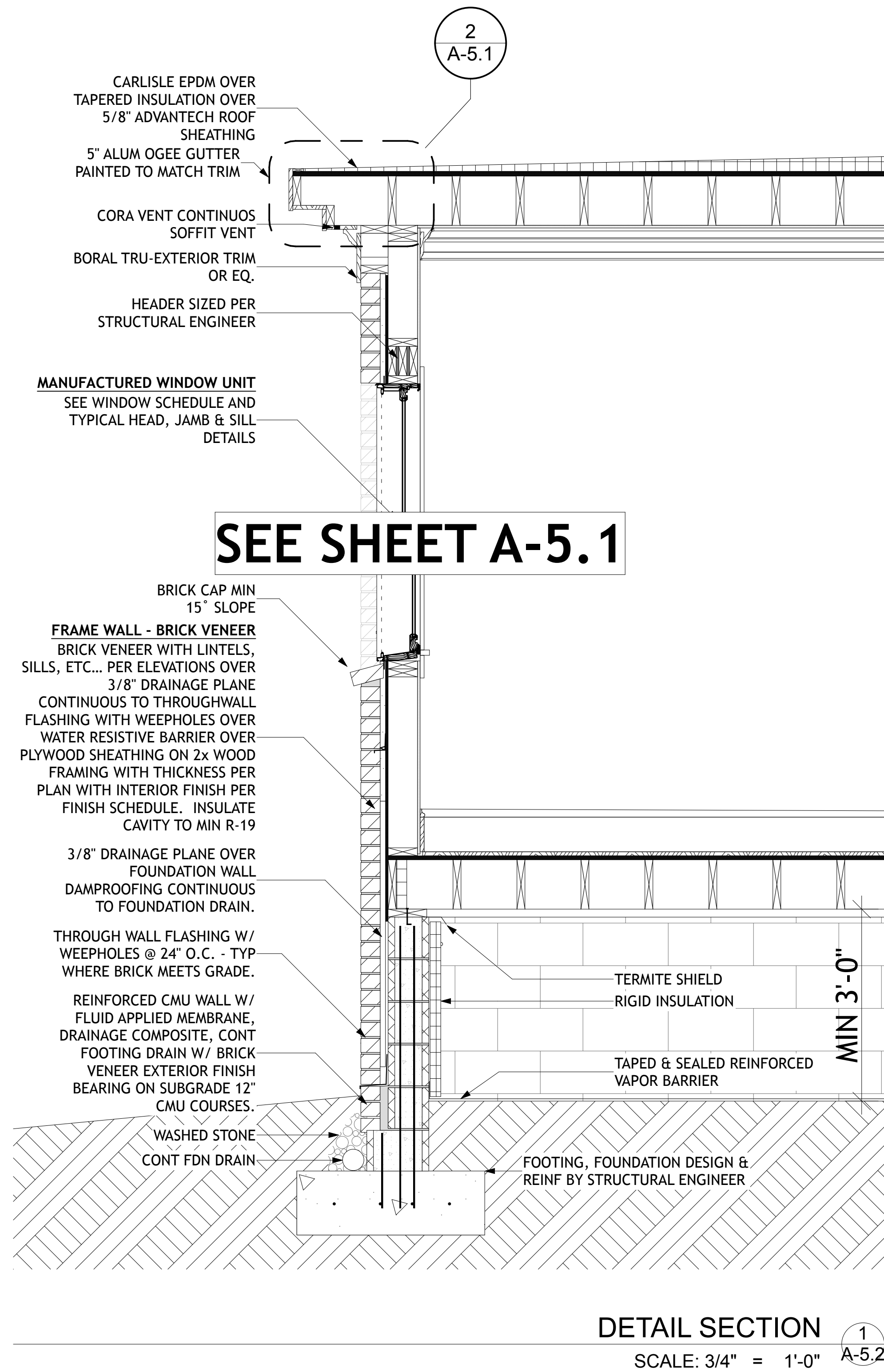
B FASCIA DETAIL
A5.1 Scale: 1" = 1'-0"

FASCIA/SOFFIT
MATCH EXIST @ PATIO 2;
BRONZE ALUM DRIP W/
BRONZE ALUM GUTTER W/
BRONZE GUTTER SHELF FLASHING OVER WRB W/
1X BACK FASCIA W/ 1X CAP W/ 1X4 FRONT FASCIA W/
SOFFIT CONSTRUCTION W/ VENT, SOFFIT, CROWN,
BAND & DENTIL TO MATCH EXIST

PROJECT ARCHITECT:
#Contact Full Name
DRAWN BY:
RCAO Technician
Full Name
ISSUED FOR:
####

REVISIONS:

NO.	DATE
NO.	DATE
NO.	DATE
NO.	DATE
NO.	DATE
NO.	DATE



TYPICAL WINDOW HEAD
SCALE: 1 1/2" = 1'-0" A-5.2

TYPICAL WINDOW SILL
SCALE: 1 1/2" = 1'-0" A-5.2

NOTE:
COMPONENTS SHOWN FOR CARLISLE EPDM.
CONFIRM EXACT DETAILS WITH MFR OF SELECTED
LOW SLOPE ROOF SYSTEM.

CARLISLE SYNTEC SYSTEMS MIN 60 MIL WHITE EPDM
MEMBRANE INSTALLED PER MFR RECOMMENDATIONS

EXTRUDED POLYSTYRENE BOARD
INSULATION TAPERED TO MIN 1/4" PER 1'

APPROVED 3/4"
DECKING

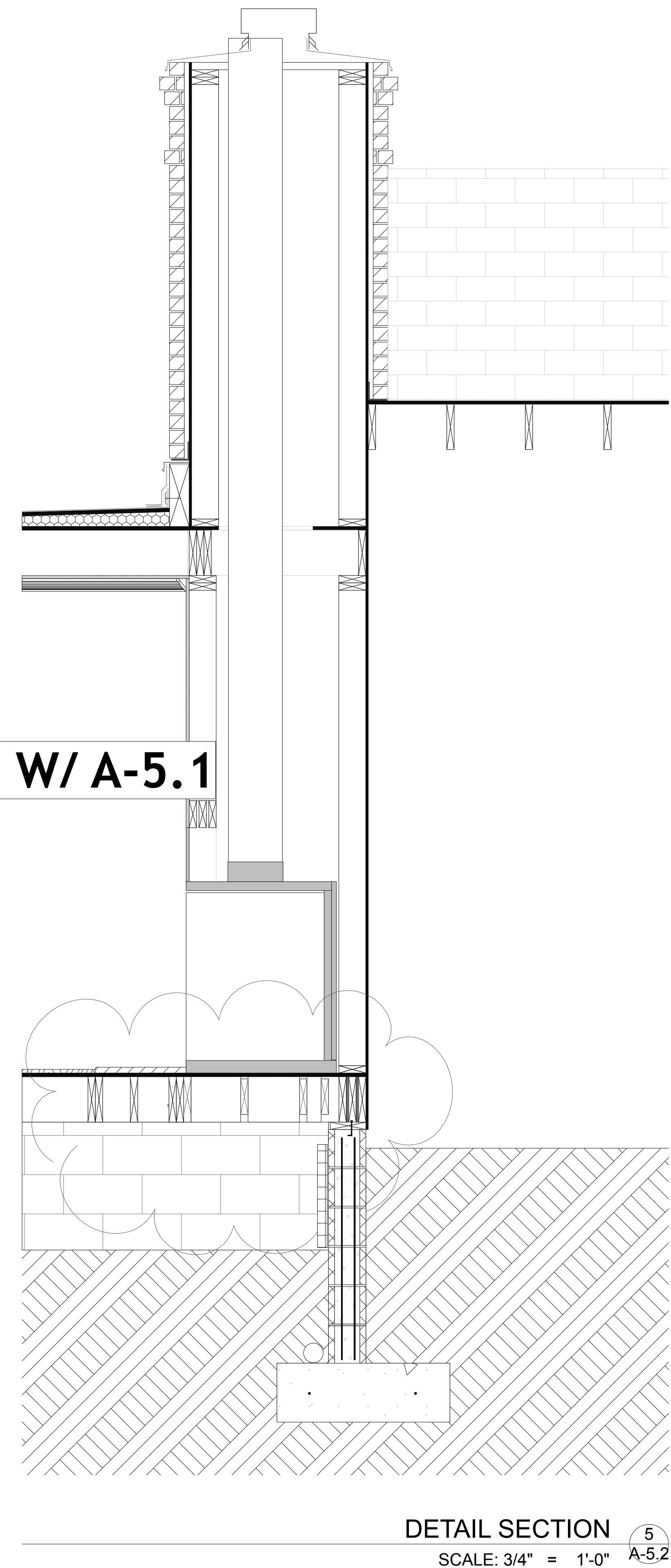
BONDING ADHESIVE

REINFORCED EPDM
MEMBRANE

6" WIDE PRESSURE
SENSITIVE SECURTAPE
CONTINUOUS DRIP
EDGE

TO BE COORDINATED W/ A-5.1

DETAIL @ ROOF EDGE
SCALE: 1" = 1'-0" A-5.2



PROJECT ARCHITECT:	
#Contact Full Name	
DRAWN BY:	
ICAD Technician	
Full Name	
ISSUED FOR:	
####	
REVISIONS:	
NO.	DATE:
NO.	DATE:
NO.	DATE:
NO.	DATE:
NO.	DATE:
NO.	DATE:

NOT FOR CONSTRUCTION

ROOM FINISH SCHEDULE

RM NO.	ROOM NAME	FLOORS		CEILING		WALLS		WAINSCOT	BASE			CASING			CROWN			CLG HT +/-	REMARKS
		FIN ALLOW	MATL	MATL	FINISH	MATL	FINISH		MATL	FINISH	TYPE	MATL	FINISH	CA / PL	MATL	FINISH	TYPE		
103	KITCHEN	---	EX WOOD	GWB	PAINT	GWB	PAINT		WOOD	PAINT	A	WOOD	PAINT	A	WOOD	PAINT	A	±9'-0"	
105	FAMILY ROOM	---	WOOD	GWB	PAINT	GWB	PAINT		WOOD	PAINT	A	WOOD	PAINT	A	WOOD	PAINT	A	±9'-0"	
106	MASTER BEDROOM	---	WOOD	GWB	PAINT	GWB	PAINT		WOOD	PAINT	A	WOOD	PAINT	A	WOOD	PAINT	A	±9'-0"	
107	MASTER CLOSET 1	---	WOOD ?	GWB	PAINT	GWB	PAINT		WOOD	PAINT	A	WOOD	PAINT	A	WOOD	PAINT	B	±9'-0"	
108	MASTER BATH	---	TILE	GWB	PAINT	GWB	PAINT	SEE INT ELEV	WOOD	PAINT		WOOD	PAINT	A	WOOD	PAINT	B	±9'-0"	
109	MASTER CLOSET 2	---	WOOD?	GWB	PAINT	GWB	PAINT		WOOD	PAINT	A	WOOD	PAINT	A	WOOD	PAINT	B	±9'-0"	
110	HVAC	---	TILE	GWB	PAINT	GWB	PAINT		WOOD	PAINT		WOOD	PAINT	A	WOOD	PAINT	B	±9'-0"	
111	LAUNDRY	---	TILE	GWB	PAINT	GWB	PAINT		WOOD	PAINT		WOOD	PAINT	A	WOOD	PAINT	B	±9'-0"	
E101	PATIO 1	---	TILE/BRICK	WOOD	PAINT													±9'-0"	

DOOR SCHEDULE ADD 108B & REMOVE 112A

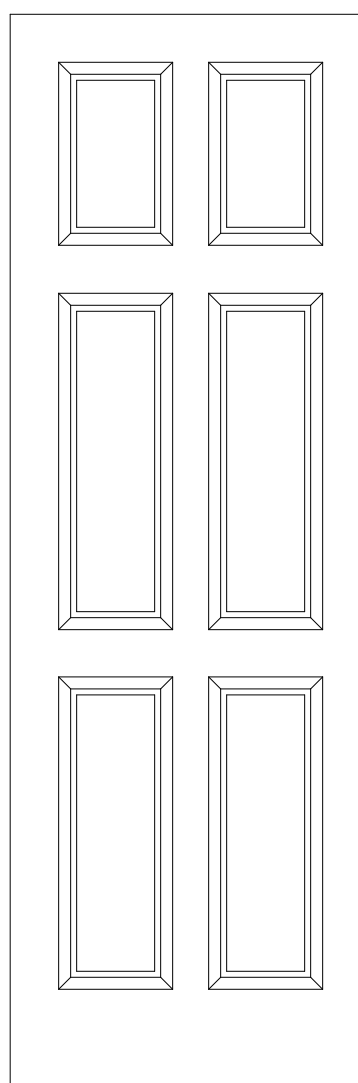
DOOR NUMBER	LEAVES	WIDTH	HEIGHT	THICKNESS	TYPE	MATERIAL	FINISH	REMARKS
105A	3	48"	90"	1 3/4	B	CLAD	PAINT	SLIDER - SEE PLAN
105B	1	16"	90"	1 3/4	A	MDF	PAINT	CONFIRM MATERIAL
106A	2	30"	90"	1 3/4	B	MDF	PAINT	SLIDER - SEE PLAN
106B	3	48"	90"	1 3/4	B	CLAD	PAINT	SLIDER - SEE PLAN
106C	1	36"	90"	1 3/4	A	MDF	PAINT	CONFIRM MATERIAL
107A	1	32"	90"	1 3/4	A	MDF	PAINT	CONFIRM MATERIAL
108A	1	30"	90"	1 3/4	A	MDF	PAINT	CONFIRM MATERIAL
109A	1	36"	90"	1 3/4	A	MDF	PAINT	CONFIRM MATERIAL
110A	1	32"	90"	1 3/4	A	MDF	PAINT	POCKET. CONFIRM MATERIAL
111A	1	32"	90"	1 3/4	A	MDF	PAINT	POCKET. CONFIRM MATERIAL
112A	1	28"	90"	1 3/4	A	MDF	PAINT	CONFIRM MATERIAL
113A	1	36"	90"	1 3/4	A	CLAD	PAINT	CONFIRM DOOR LOCATION W OWNER

NOTES
 SEE ELEVATION FOR DIVIDED LIGHT CONFIGURATIONS
 ALL DOOR UNITS TO BE PRIMED U.O.N. WITH OIL RUBBED BRONZE FINISH HARDWARE
 PANEL DOORS (NON ALUM. CLAD) DESIGNS BASED ON TRUSTILE MDF 1 3/4" SLABS - CONFIRM PANEL & STICKING STYLE
 ALL GLAZING IS AIR FILLED LoE-366 #2 UNLESS NOTED OTHERWISE
 PROVIDE TEMPERED GLASS AT ALL UNITS INDICATED TO HAVE SAFETY GLAZING AND AS REQ'D BY NC BLDG CODE
 EXTERIOR COLOR TO MATCH EXISTING
 INSTALL WINDOWS AND DOORS IN ACCORDANCE WITH WINDOW MANUFACTURER'S INSTALLATION INSTRUCTIONS
 GENERAL CONTRACTOR IS RESPONSIBLE FOR ALL DIMENSIONS
 ALL WINDOW AND DOOR DIMENSIONS ARE GENERIC. CONFIRM UNIT DIMENSIONS W/ SELECTED MANUFACTURER

WINDOW SCHEDULE

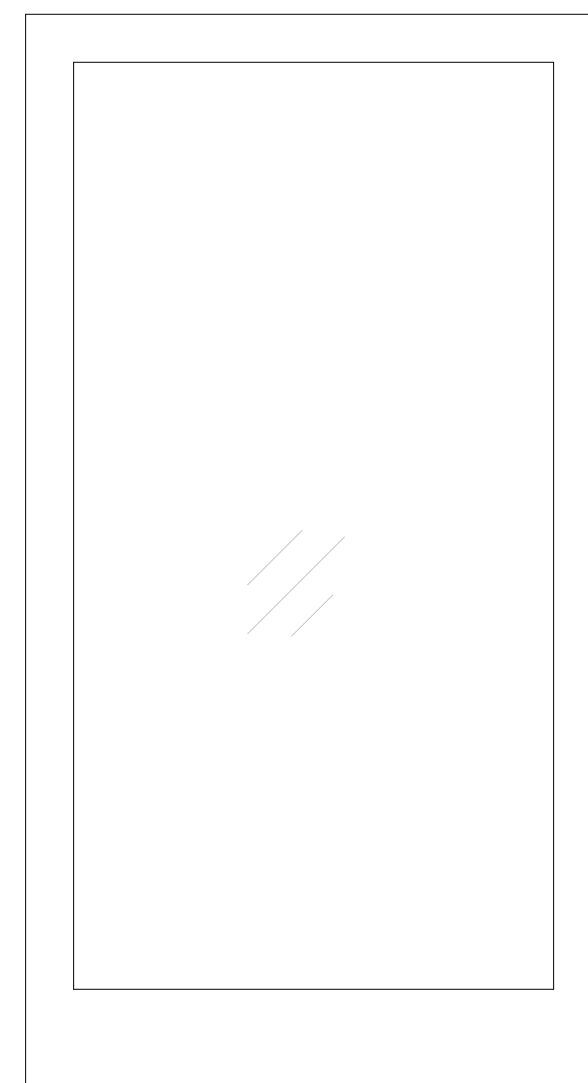
WINDOW NUMBER	WIDTH inches	HEIGHT inches	HEAD HEIGHT	JAMB WIDTH	LIGHTS per sash	EXTERIOR TRIM	SAFETY GLAZING	SHGC	U VALUE	REMARKS
M01	36"	48"	± 7'-6"		3 x 2	BRICK MOLD	NO			
M02	36"	48"	± 7'-6"		3 x 2	BRICK MOLD	NO			
M03	36"	48"	± 7'-6"		3 x 2	BRICK MOLD	NO			
M04	36"	60"	± 7'-6"		3 x 2	BRICK MOLD	NO			
M05	30"	60"	± 7'-6"		3 x 2	BRICK MOLD	NO			

NOTES
 ALL WINDOW AND DOOR UNITS TO BE PRIMED U.O.N. WITH OIL RUBBED BRONZE FINISH HARDWARE
 ALL GLAZING IS AIR FILLED LoE-366 #2 UNLESS NOTED OTHERWISE
 PROVIDE TEMPERED GLASS AT ALL UNITS INDICATED TO HAVE SAFETY GLAZING AND AS REQ'D BY NC BLDG CODE
 PROVIDE FRAMED INSECT SCREENS FOR ALL OPERABLE UNITS
 EXTERIOR COLOR TO MATCH EXISTING
 INSTALL WINDOWS AND DOORS IN ACCORDANCE WITH WINDOW MANUFACTURER'S INSTALLATION INSTRUCTIONS
 GENERAL CONTRACTOR IS RESPONSIBLE FOR ALL DIMENSIONS
 WINDOW HEADS TO ALIGN W/ DOOR HEADS. CONFIRM HEIGHT W DOOR SELECTION



DOOR LEAF TYPE A
SCALE: 3/4" = 1'-0"

1
A-6.1



DOOR LEAF TYPE B
SCALE: 3/4" = 1'-0"

2
A-6.1



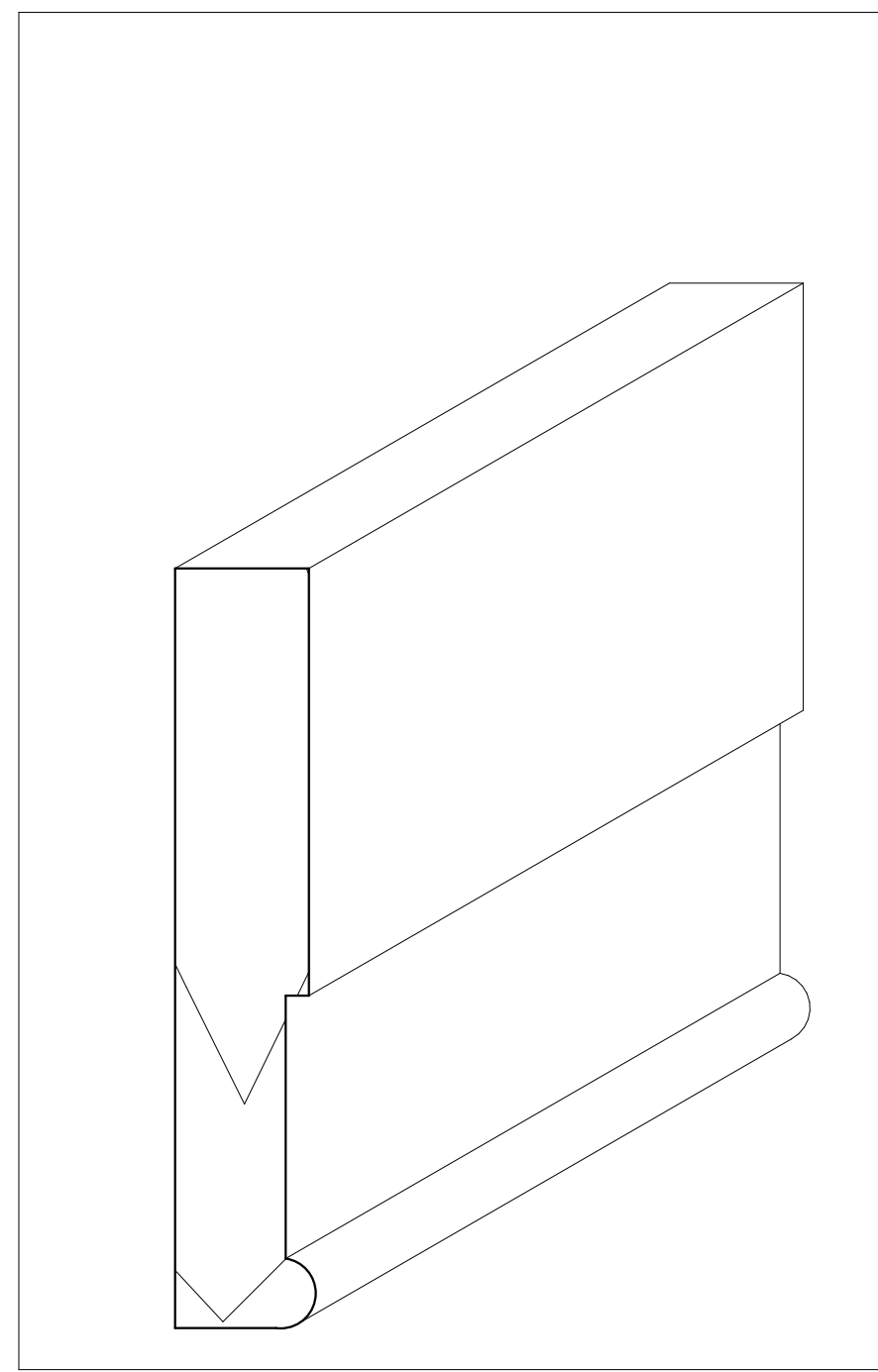
WILKINSON REMODEL
2 WESTWOOD RD.
BILTMORE FOREST, NC 28803

Schedules

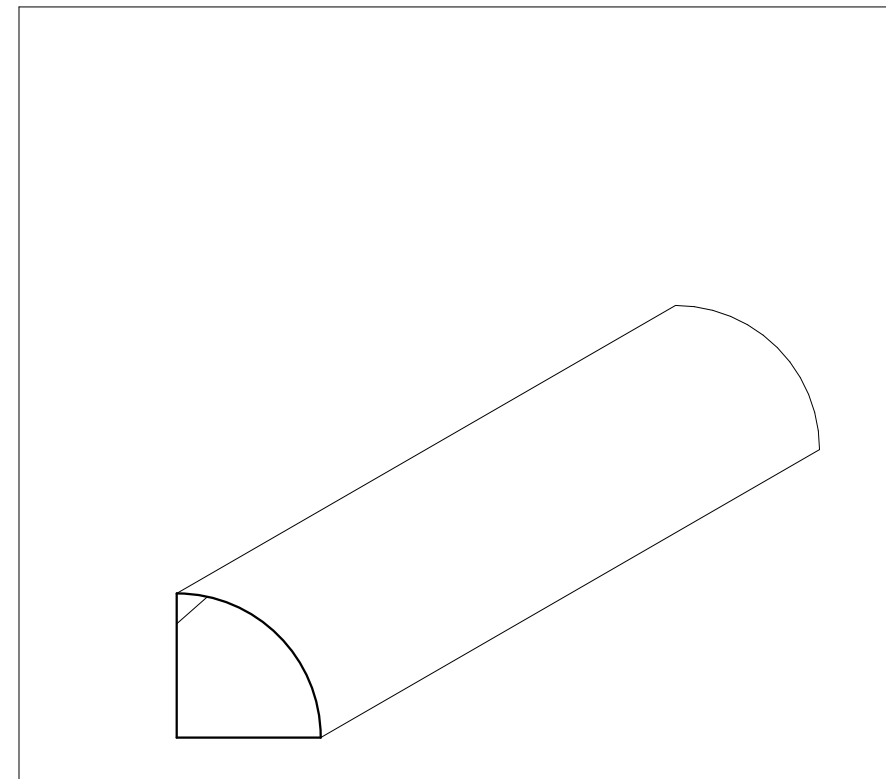
PROJECT ARCHITECT:	
#Contact Full Name	
DRAWN BY:	
ICAD Technician	
Full Name	
ISSUED FOR:	
####	
REVISIONS:	
NO. DATE:	
NO. DATE:	
NO. DATE:	
NO. DATE:	
NO. DATE:	

SHEET NO:	A-6.1
DATE:	12/18/19

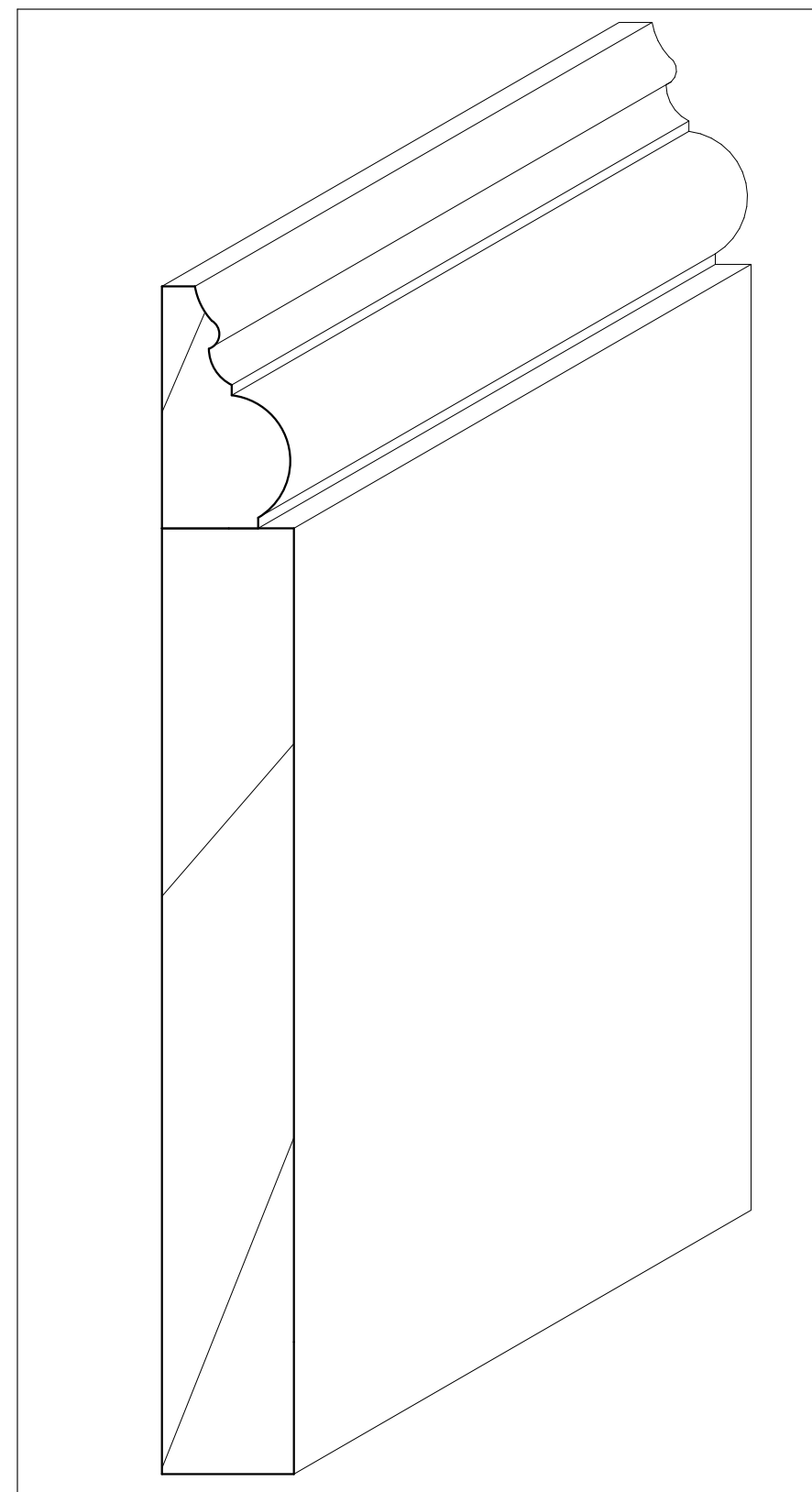
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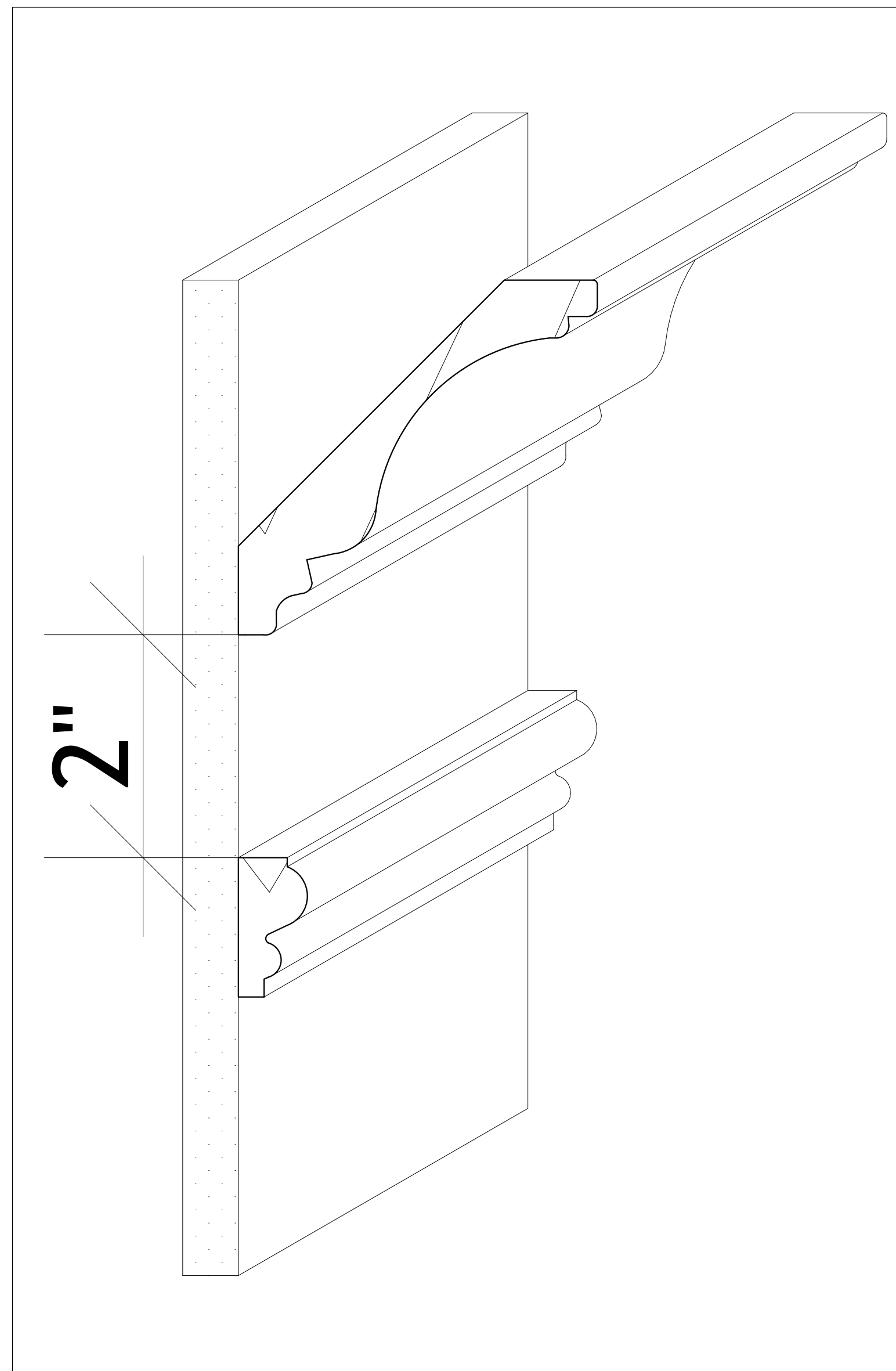
APRON 1
SCALE: 1' = 1'-0" A-6.2



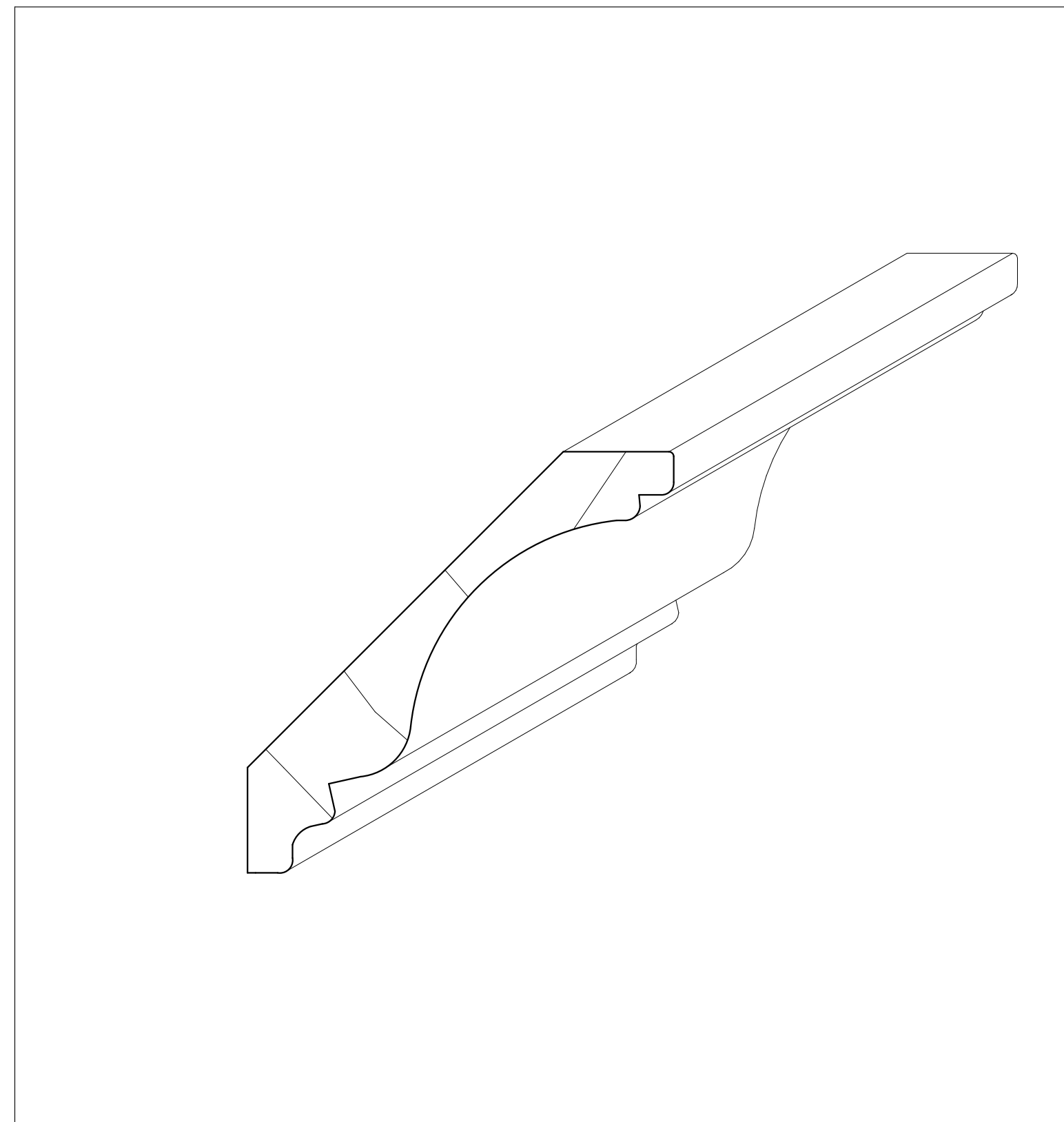
SHOE MOULDING 2
SCALE: 1' = 1'-0" A-6.2



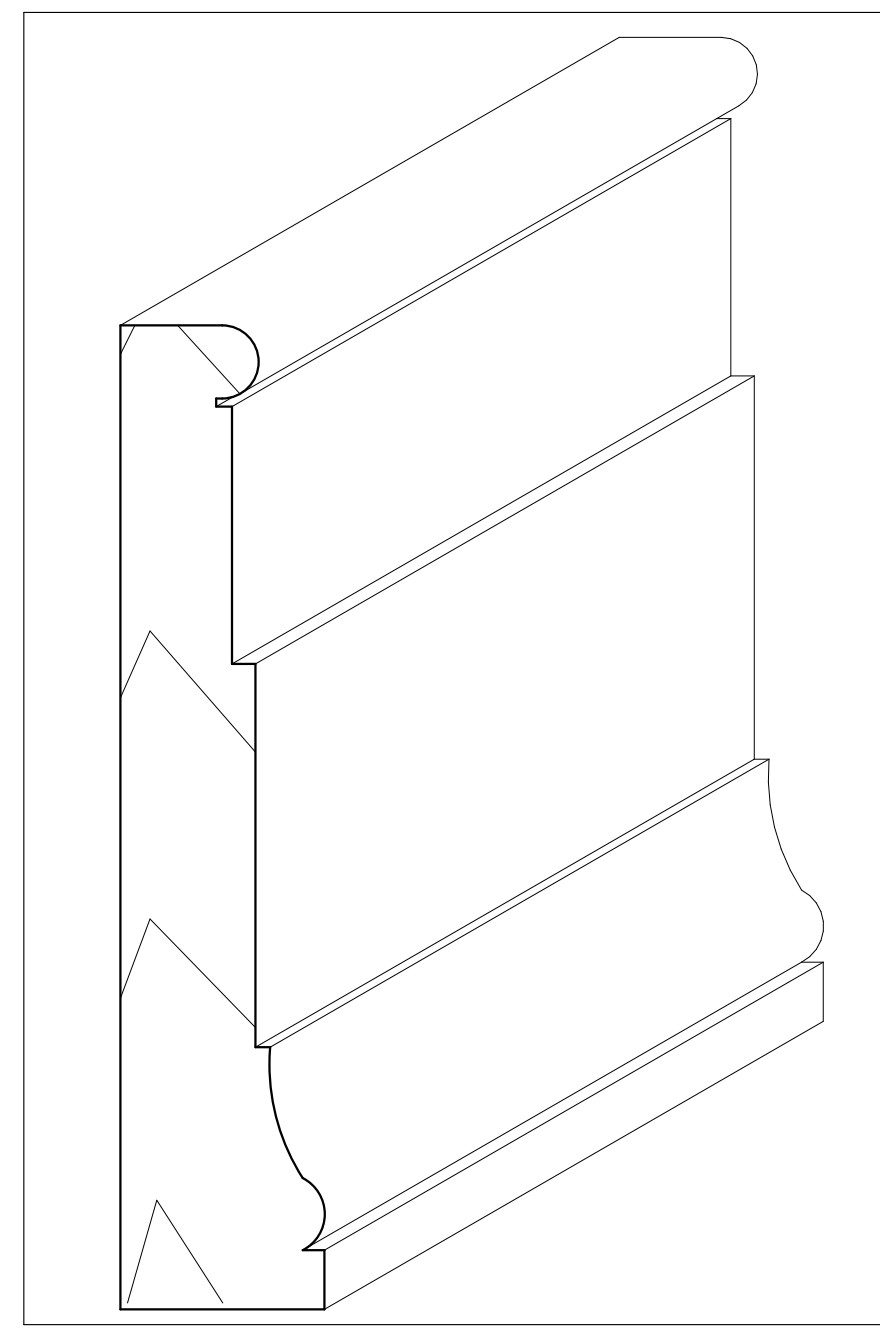
BASEBOARD TYPE A 3
SCALE: 1' = 1'-0" A-6.2



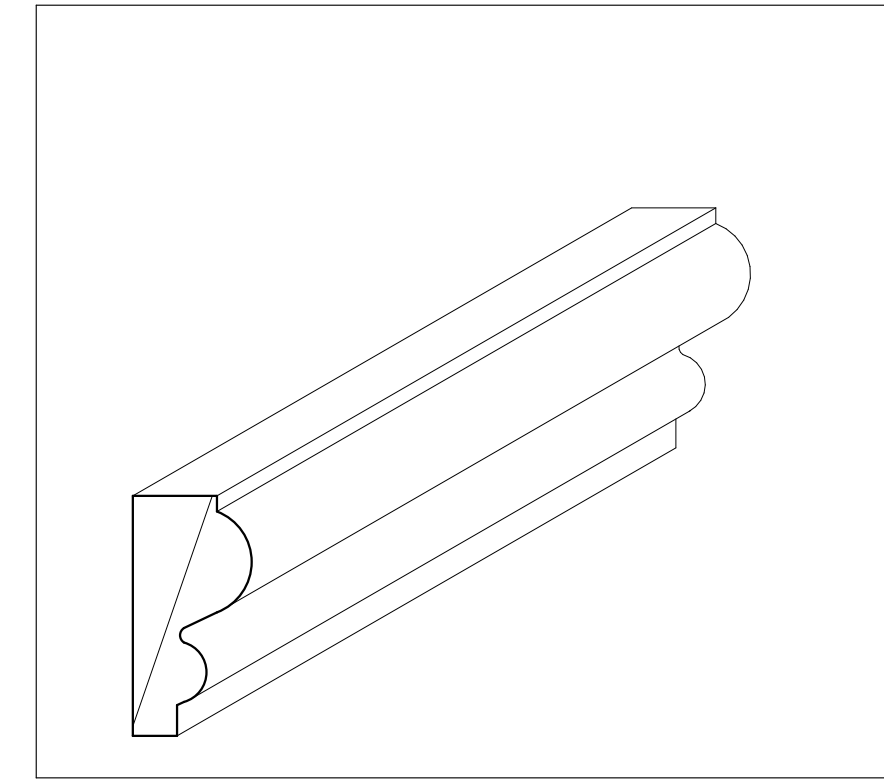
CROWN TYPE A 4
SCALE: 1' = 1'-0" A-6.2



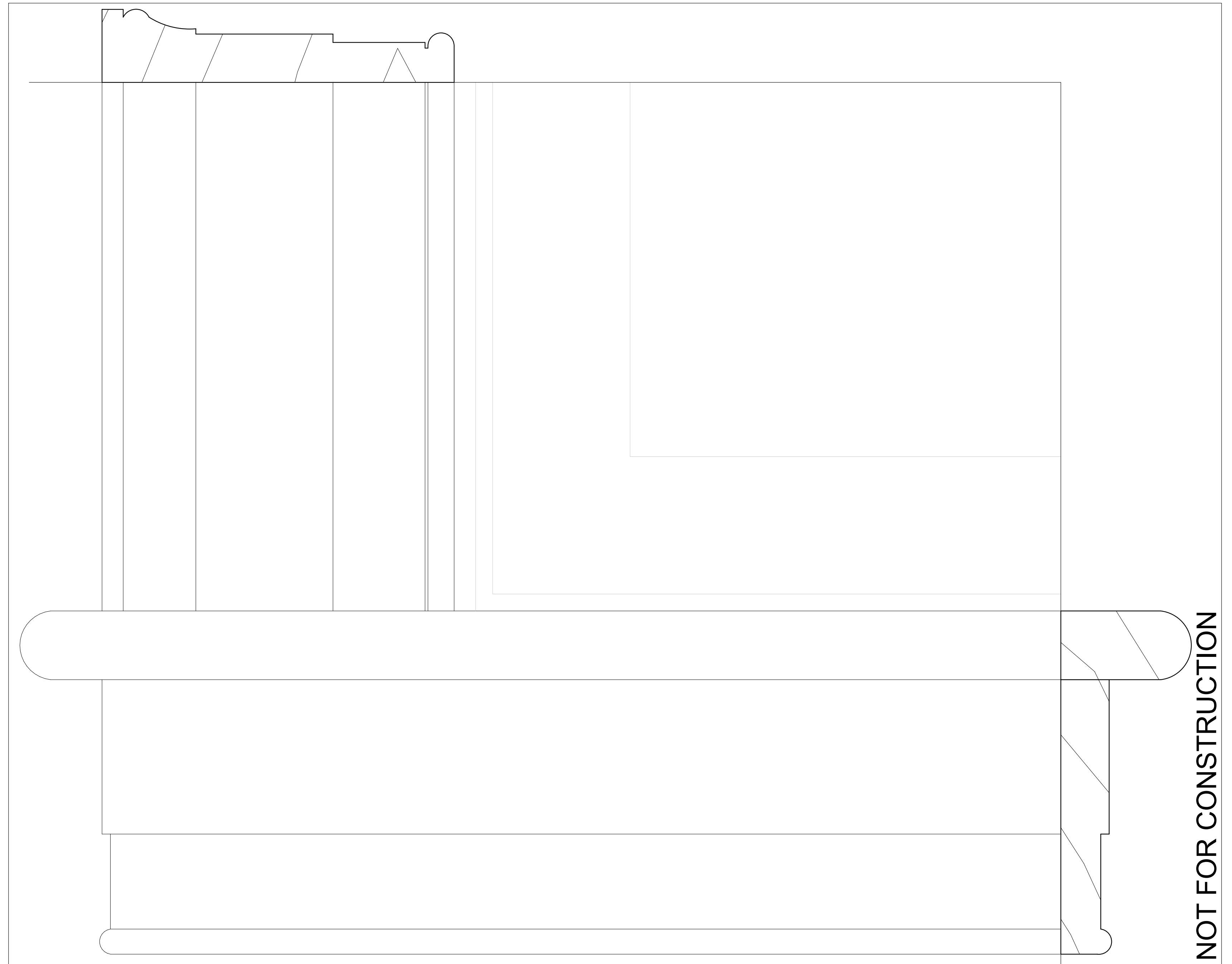
CROWN TYPE B 5
SCALE: 1' = 1'-0" A-6.2



CASINGTYPE A 6
SCALE: 1' = 1'-0" A-6.2



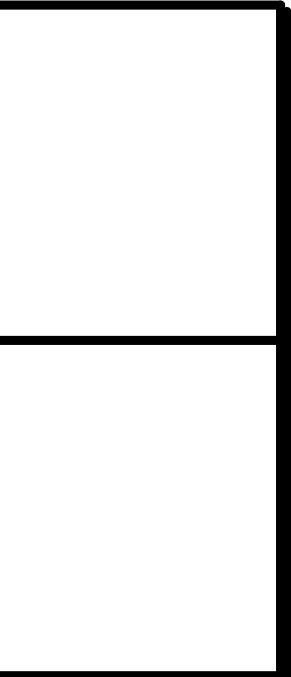
PANEL MOULDING 7
SCALE: 1' = 1'-0" A-6.2

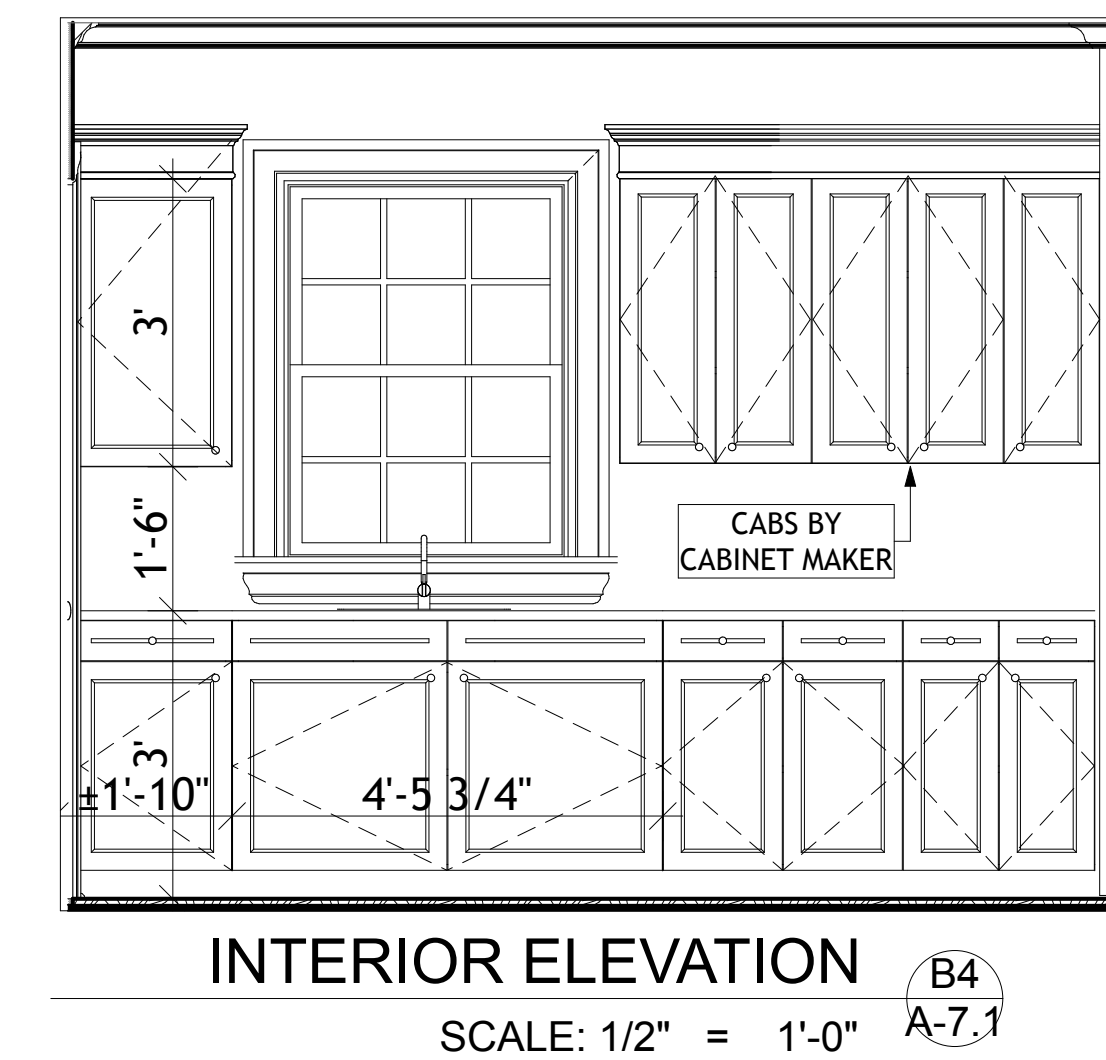
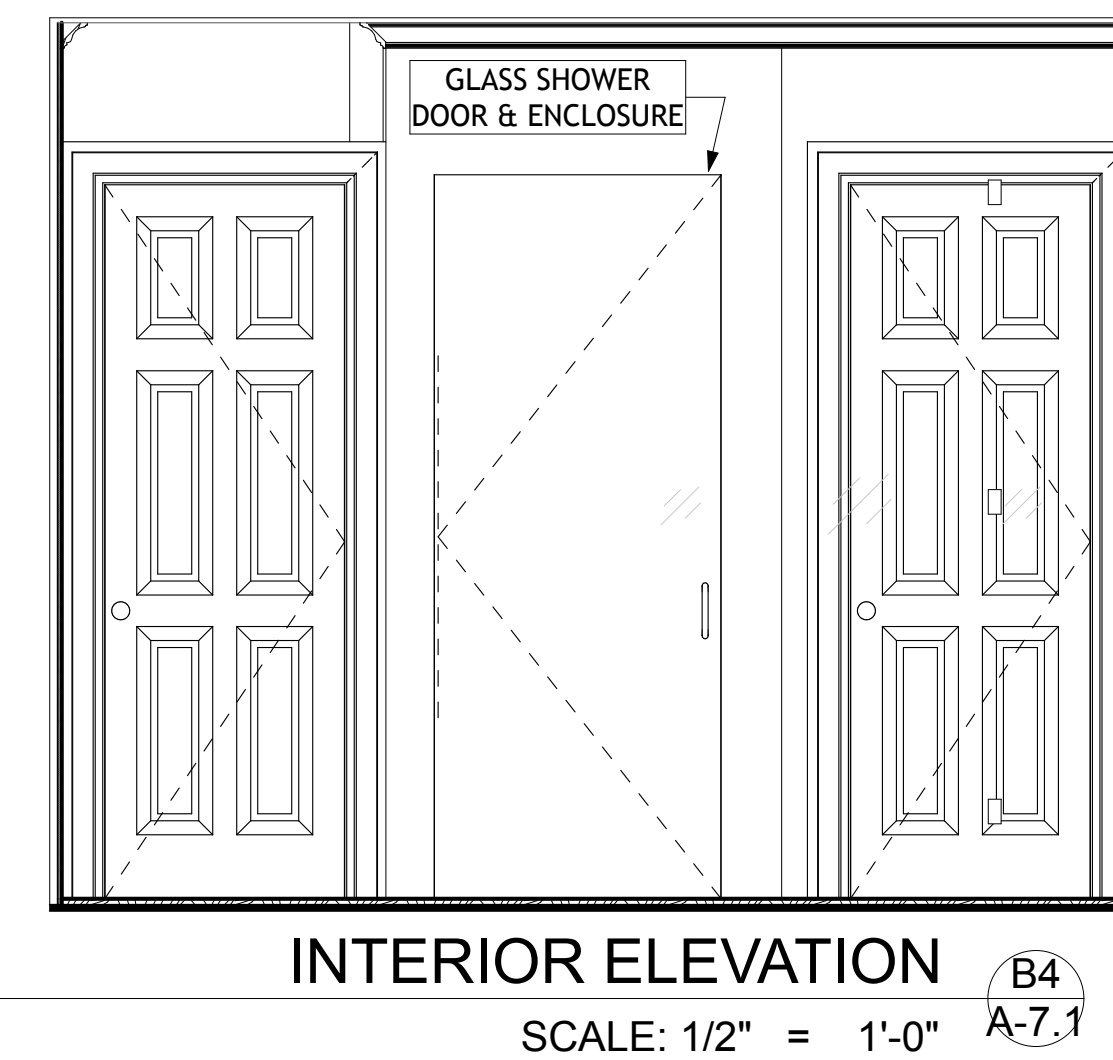
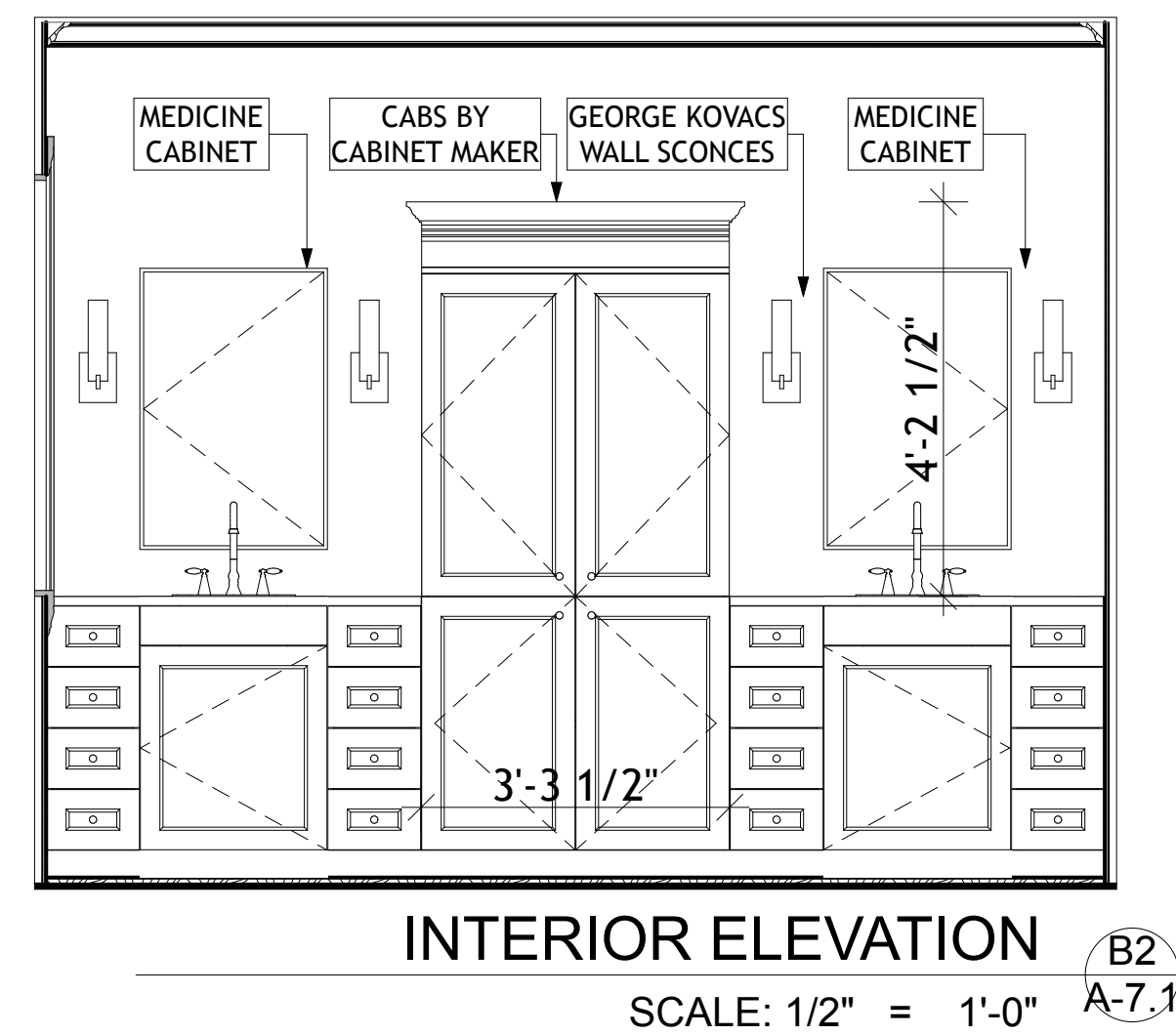
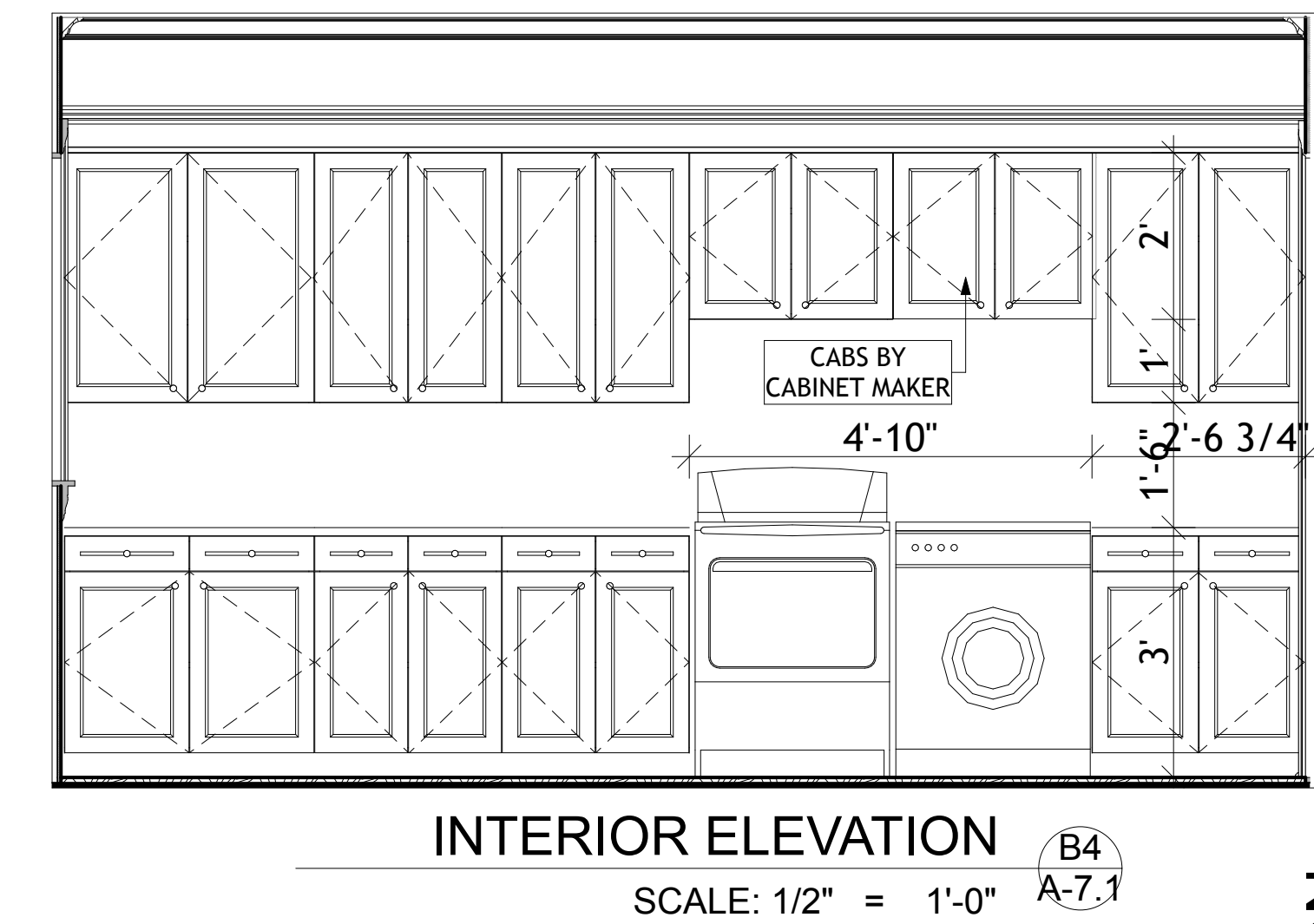
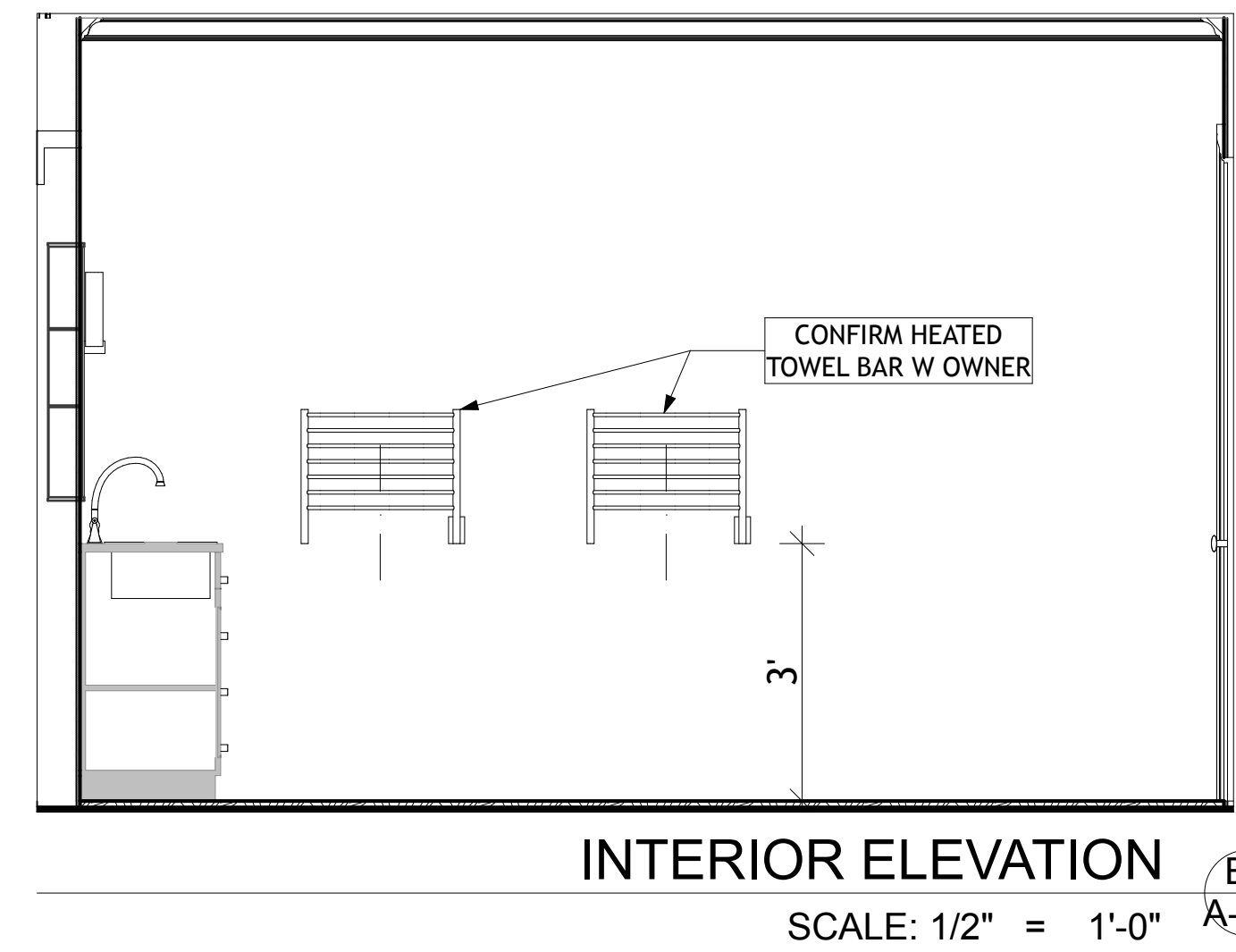
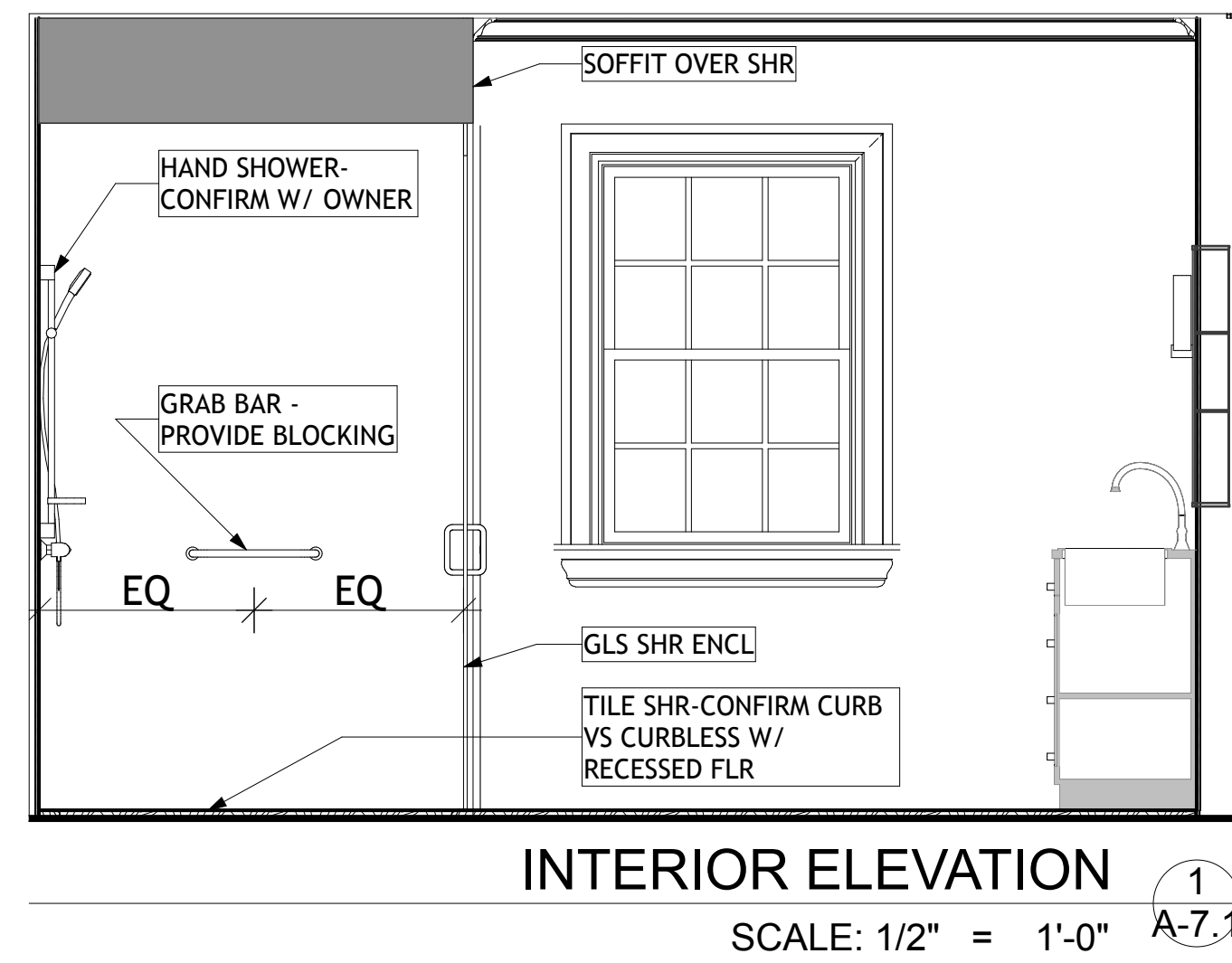
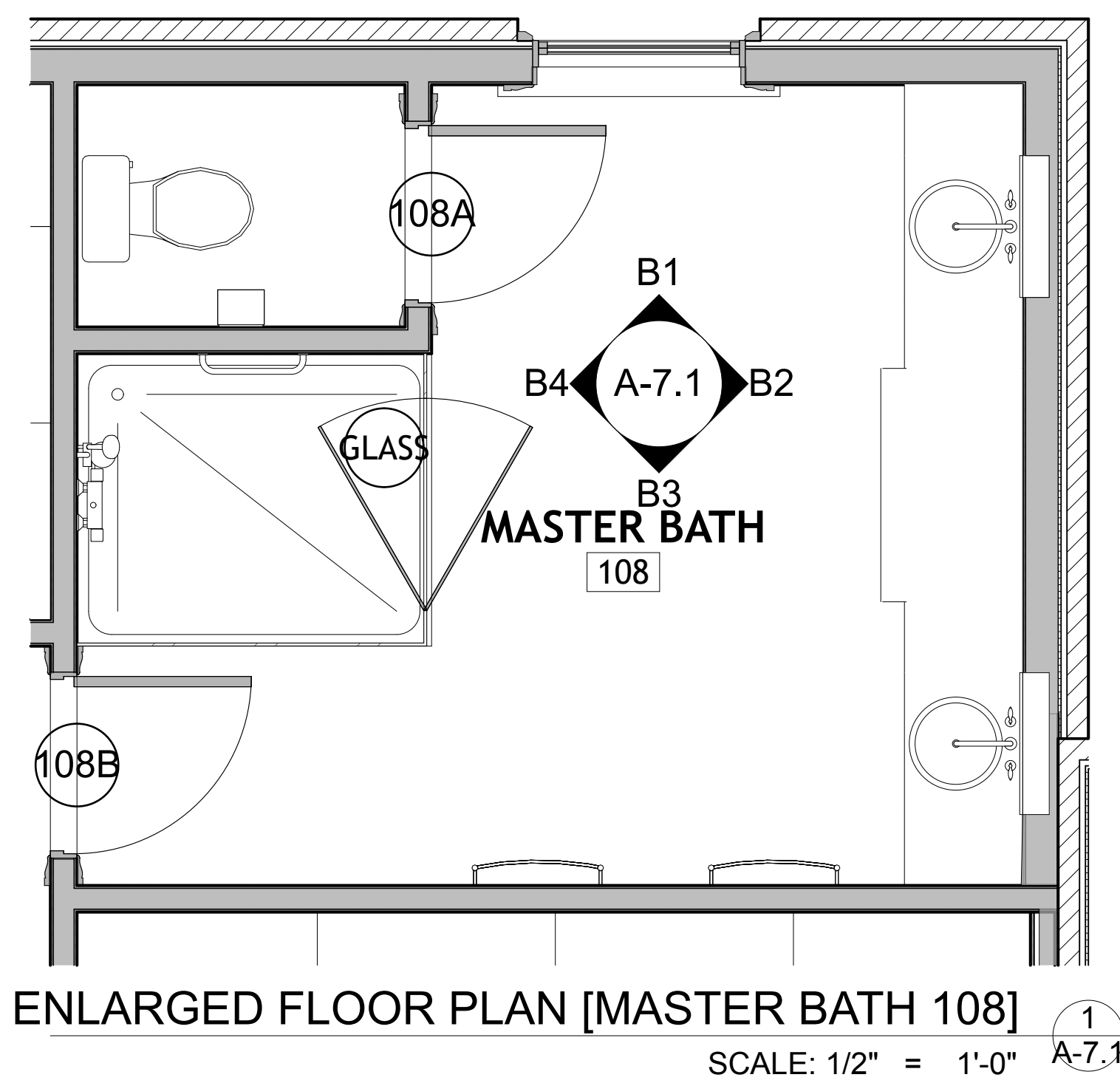
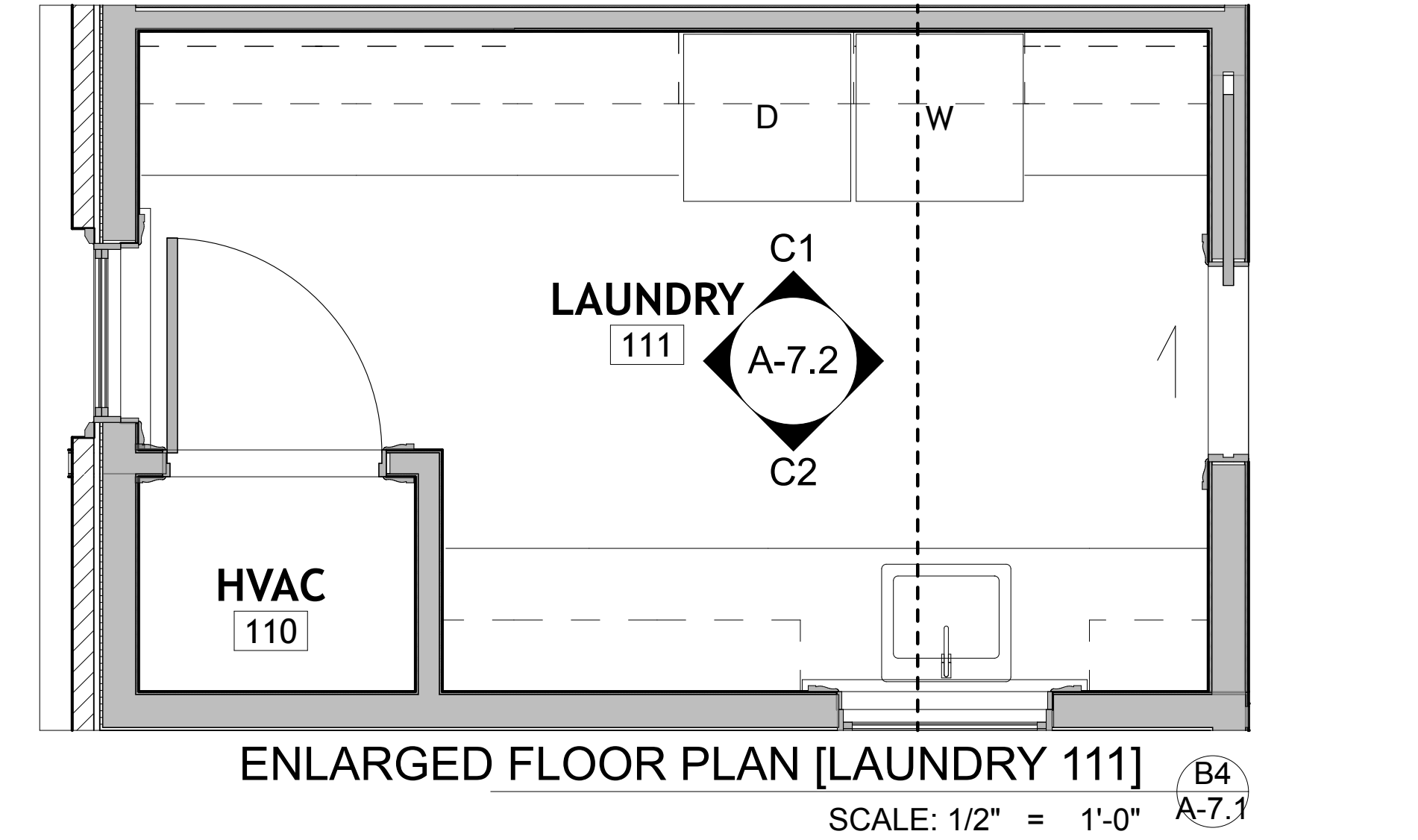
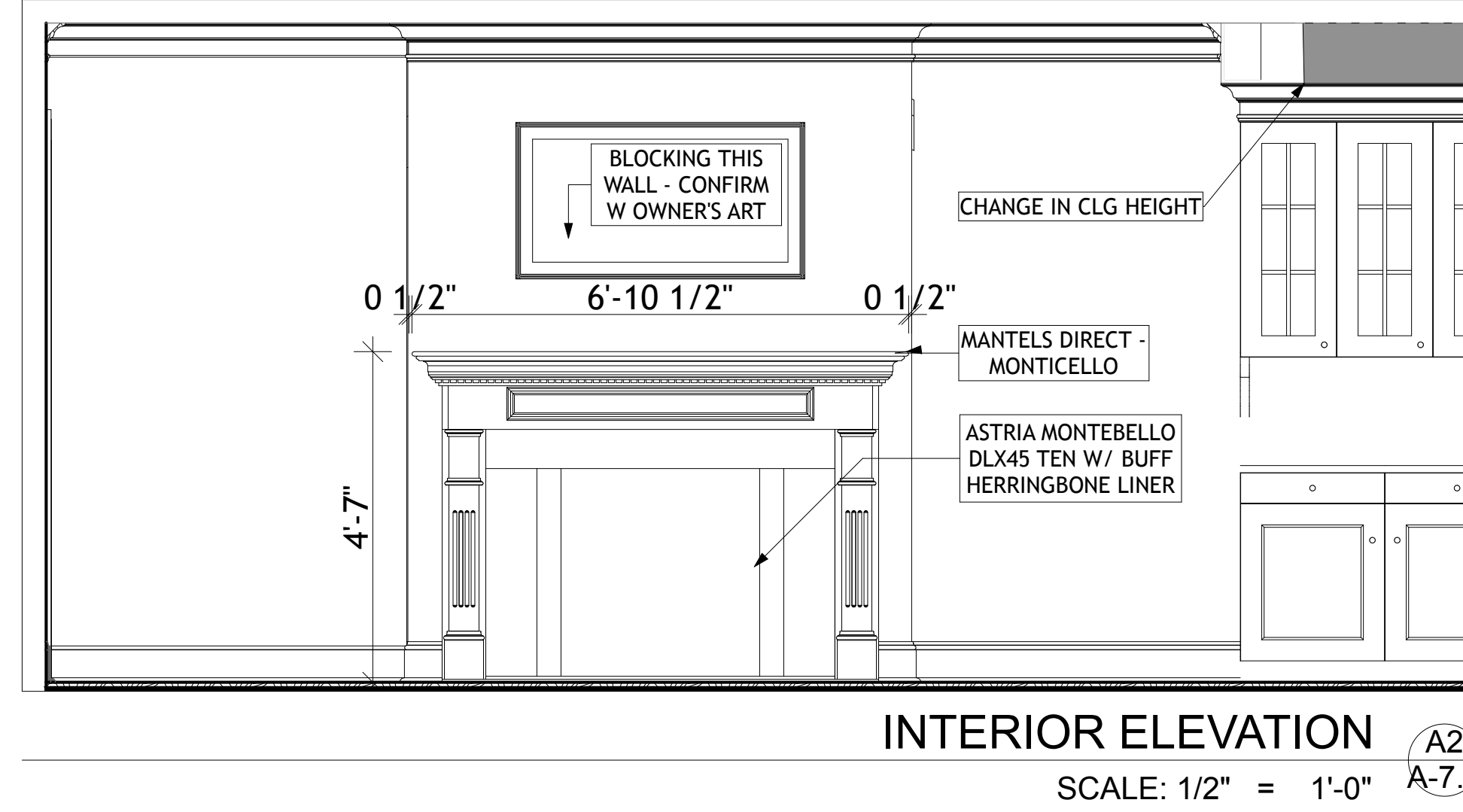
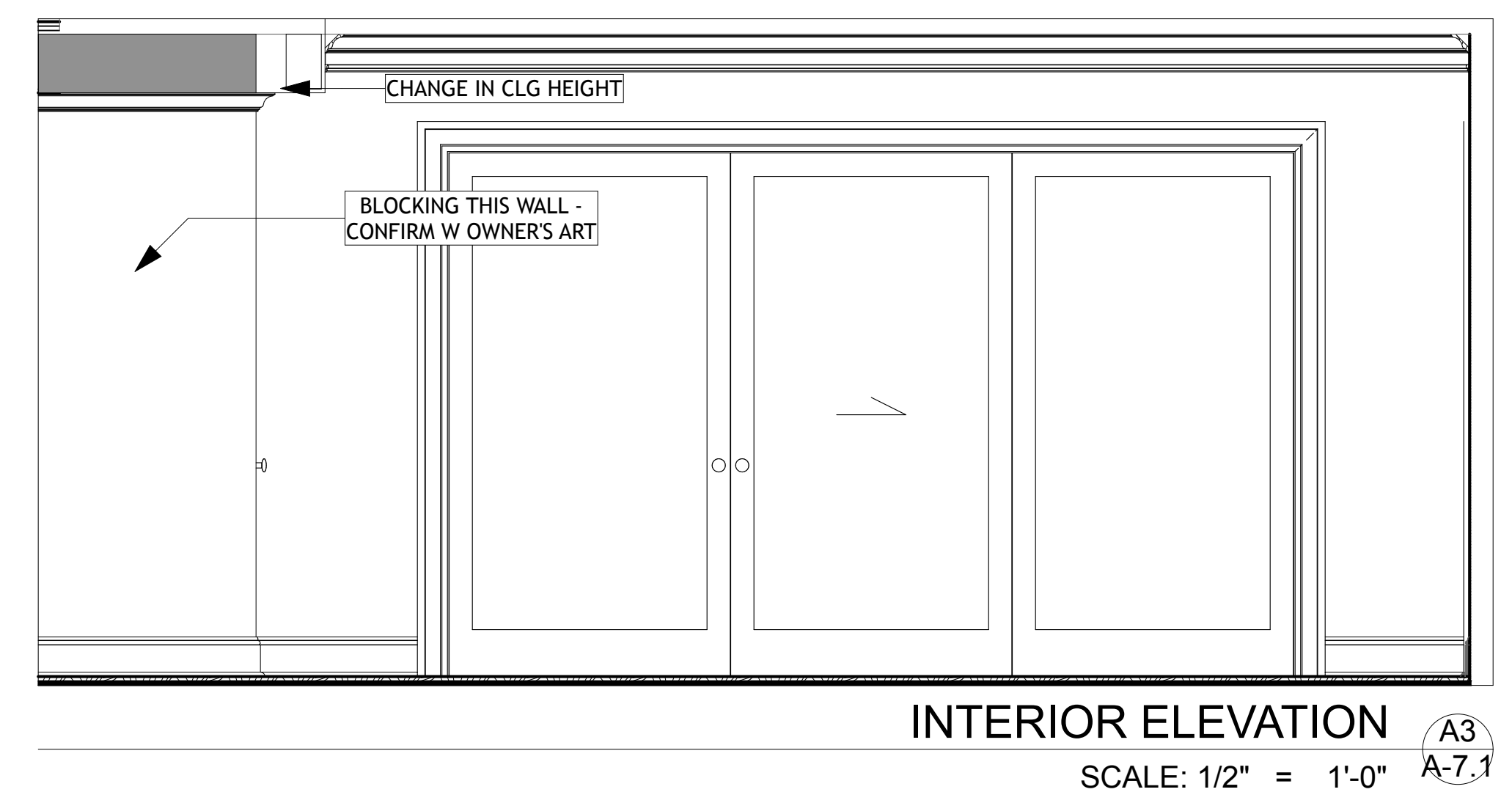
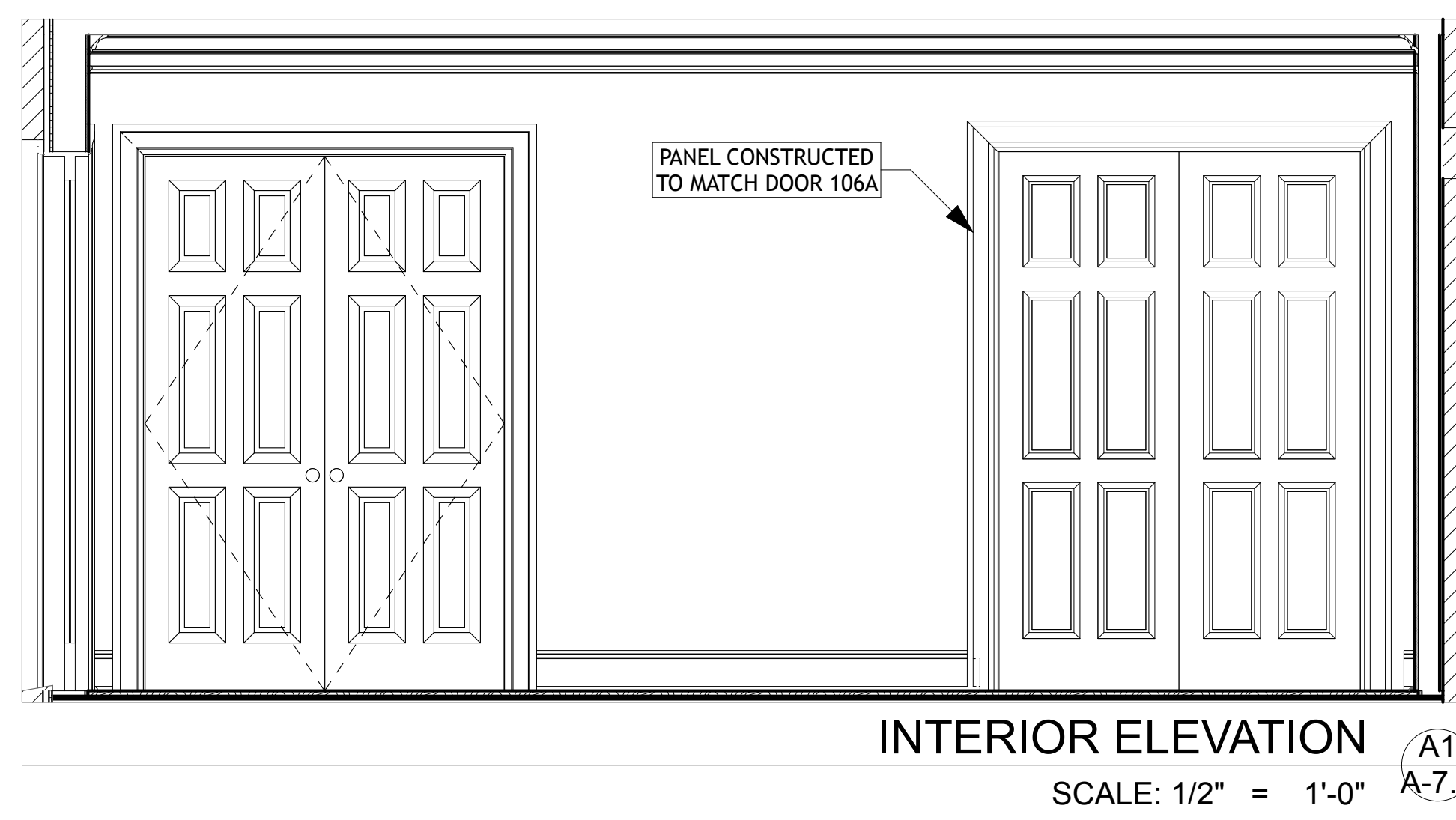
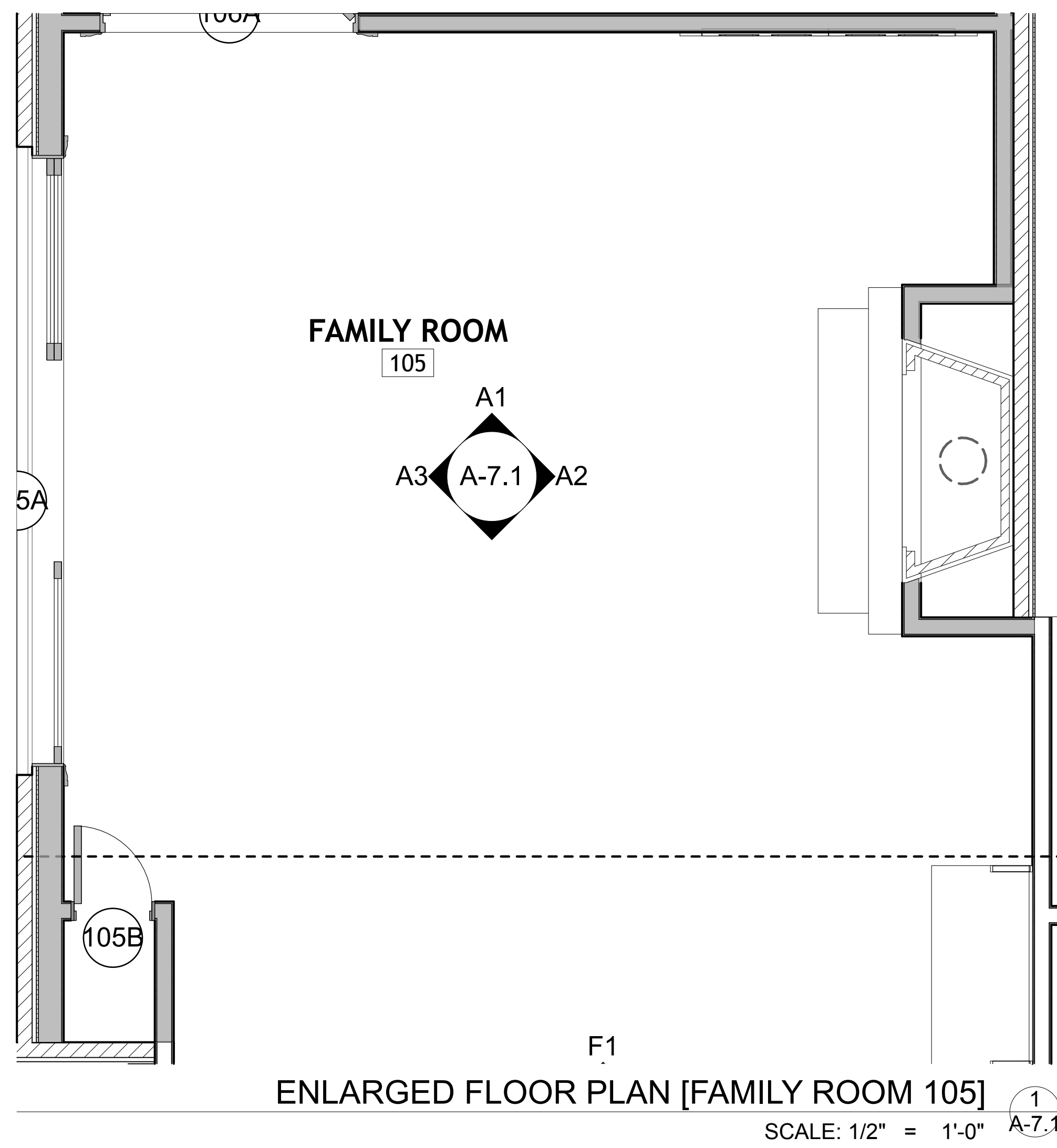


CASING/APRON DETAIL 8
SCALE: 1' = 1'-0" A-6.2

NOT FOR CONSTRUCTION

PROJECT ARCHITECT:	
#Contact Full Name	
DRAWN BY:	
PCAD Technician	
Full Name	
ISSUED FOR:	
####	
REVISIONS:	
NO.	DATE:
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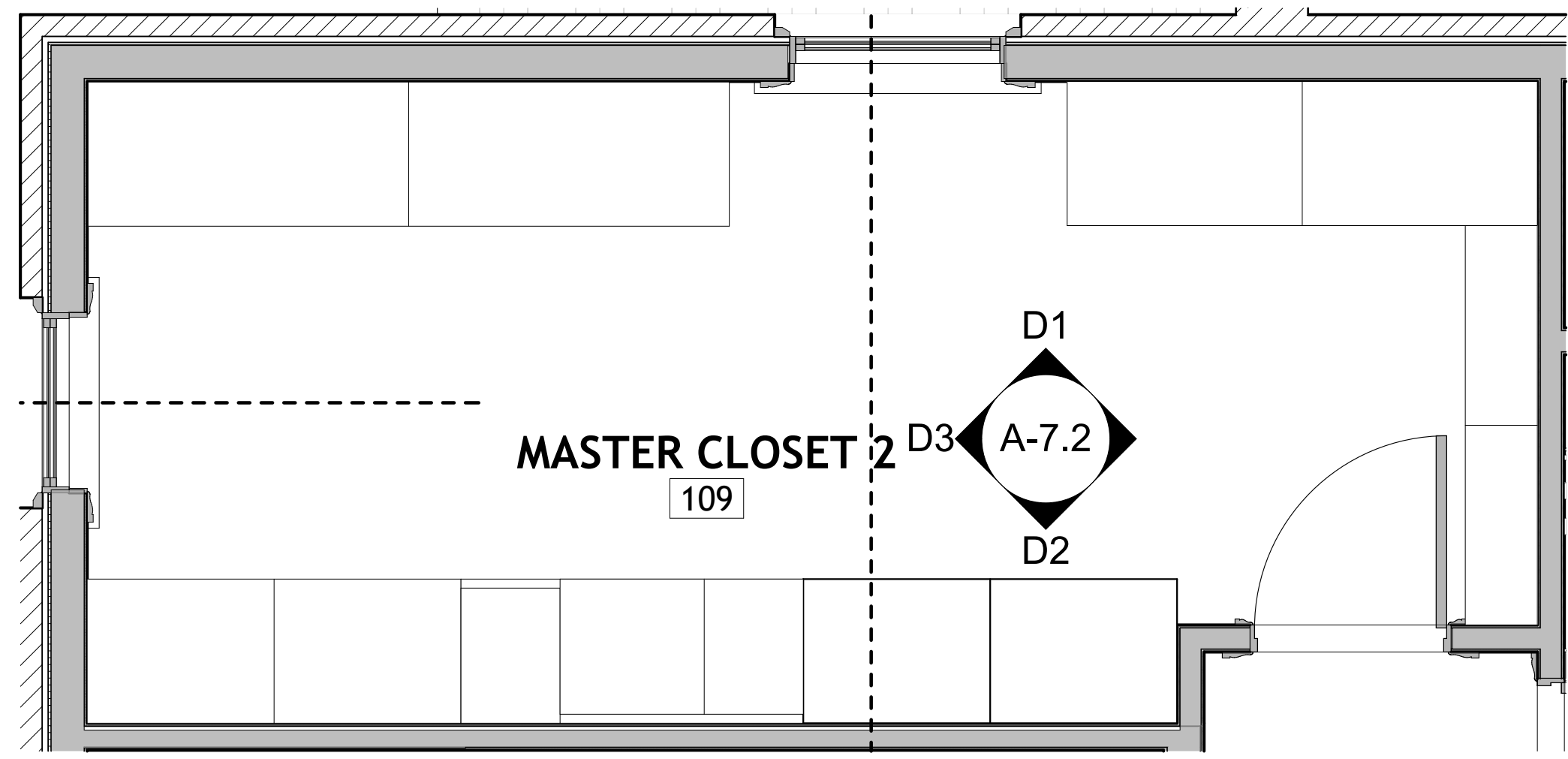




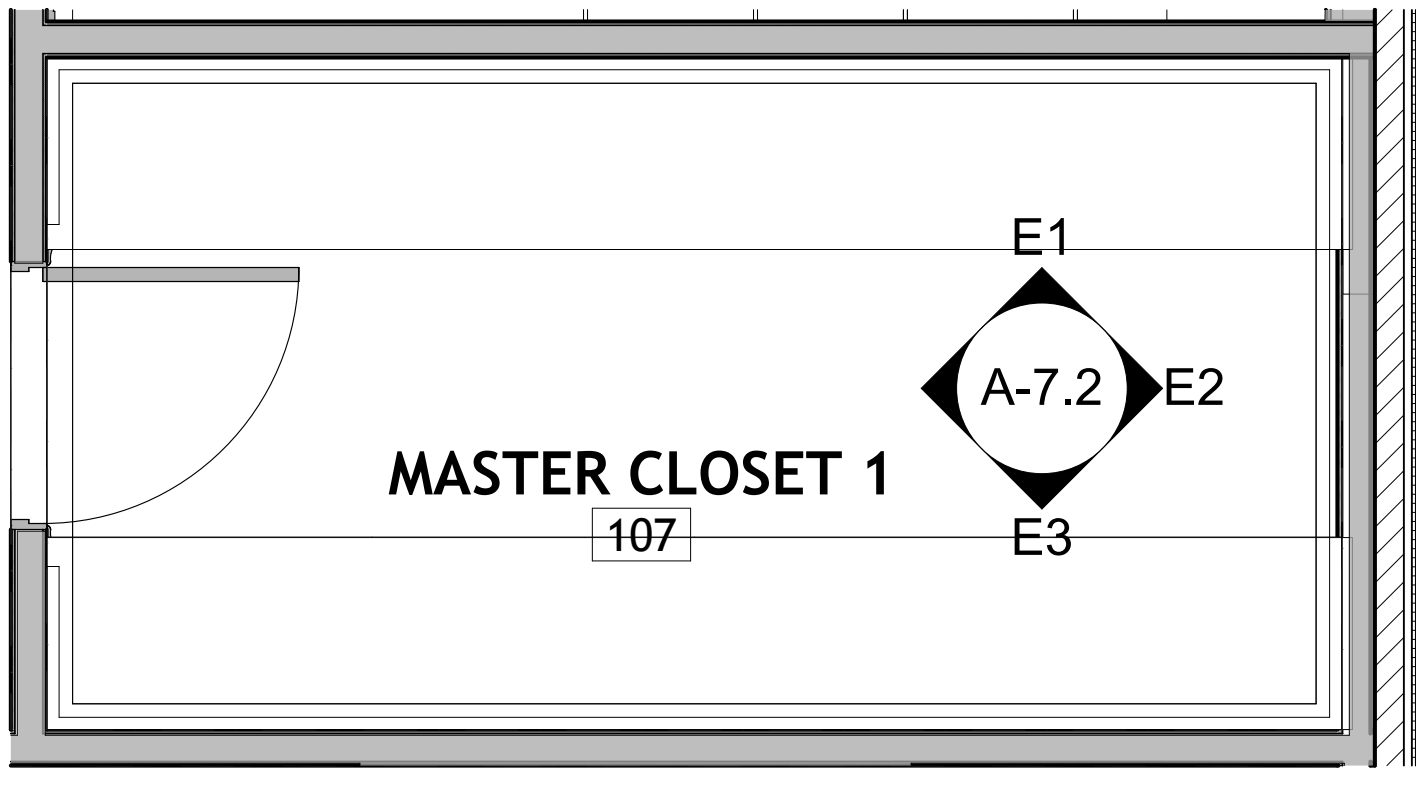
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DRAWN BY:
RCAO Technician
Full Name
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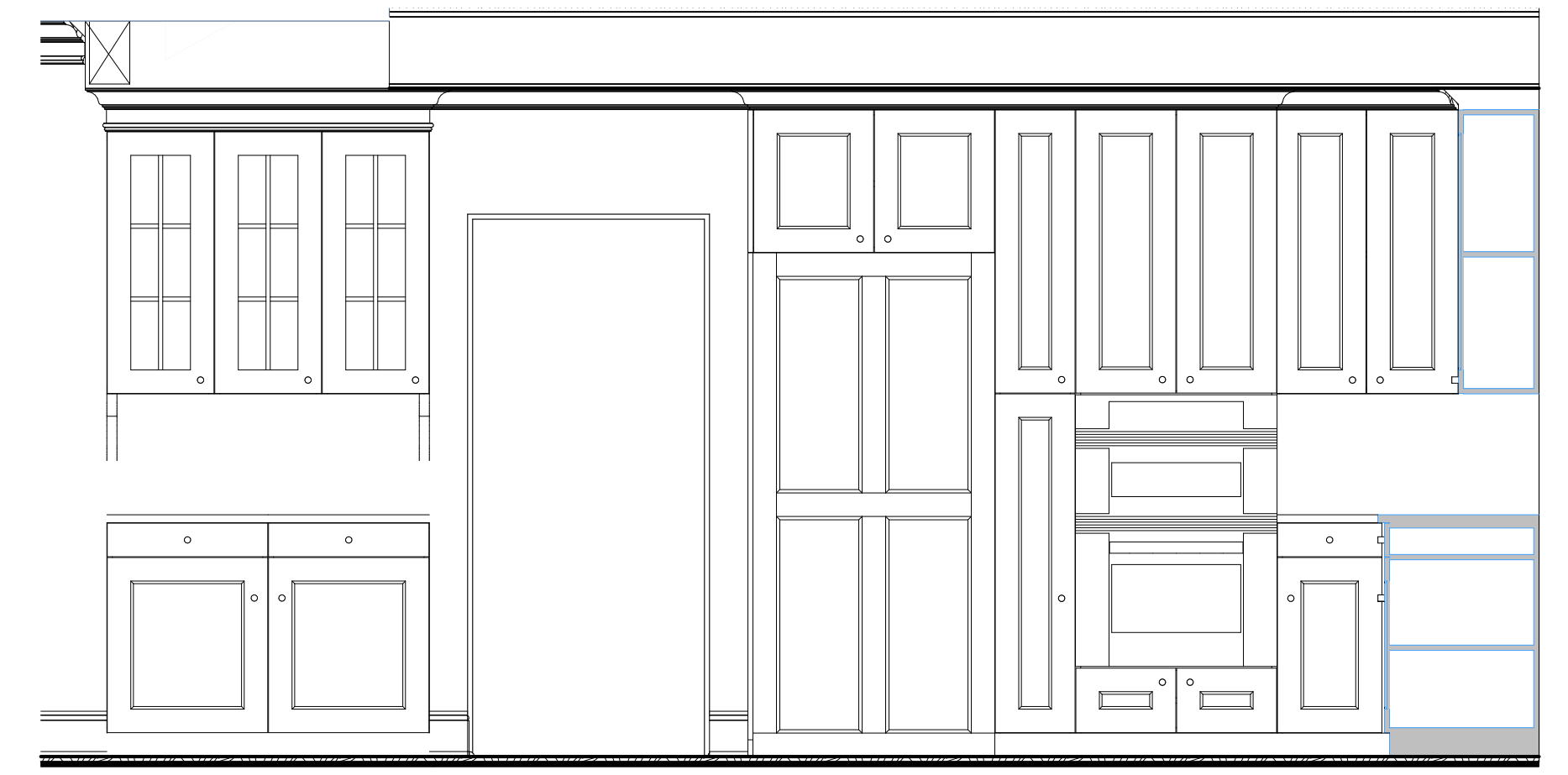
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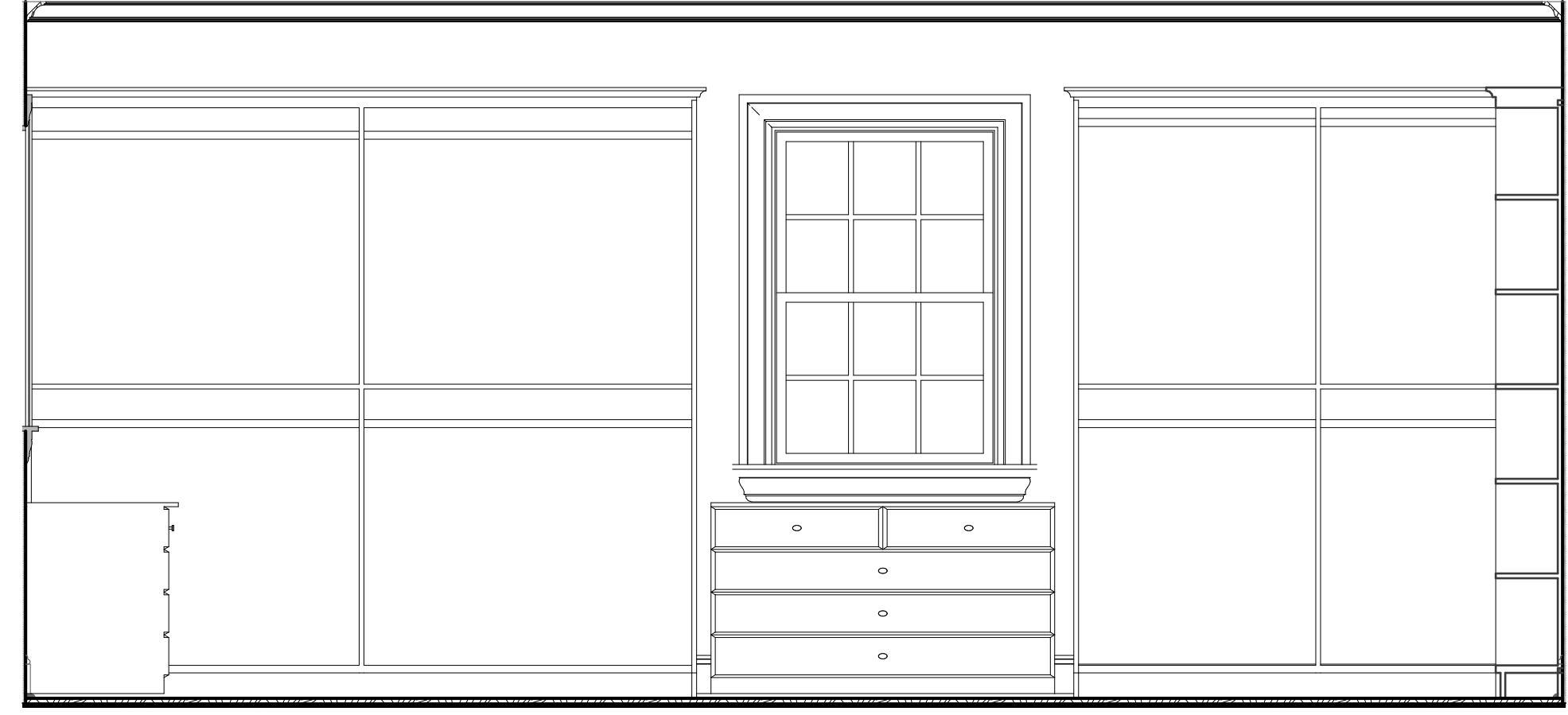
ENLARGED PLAN [MASTER CLOSET 2] A
A-7.2
SCALE: 1/2" = 1'-0"



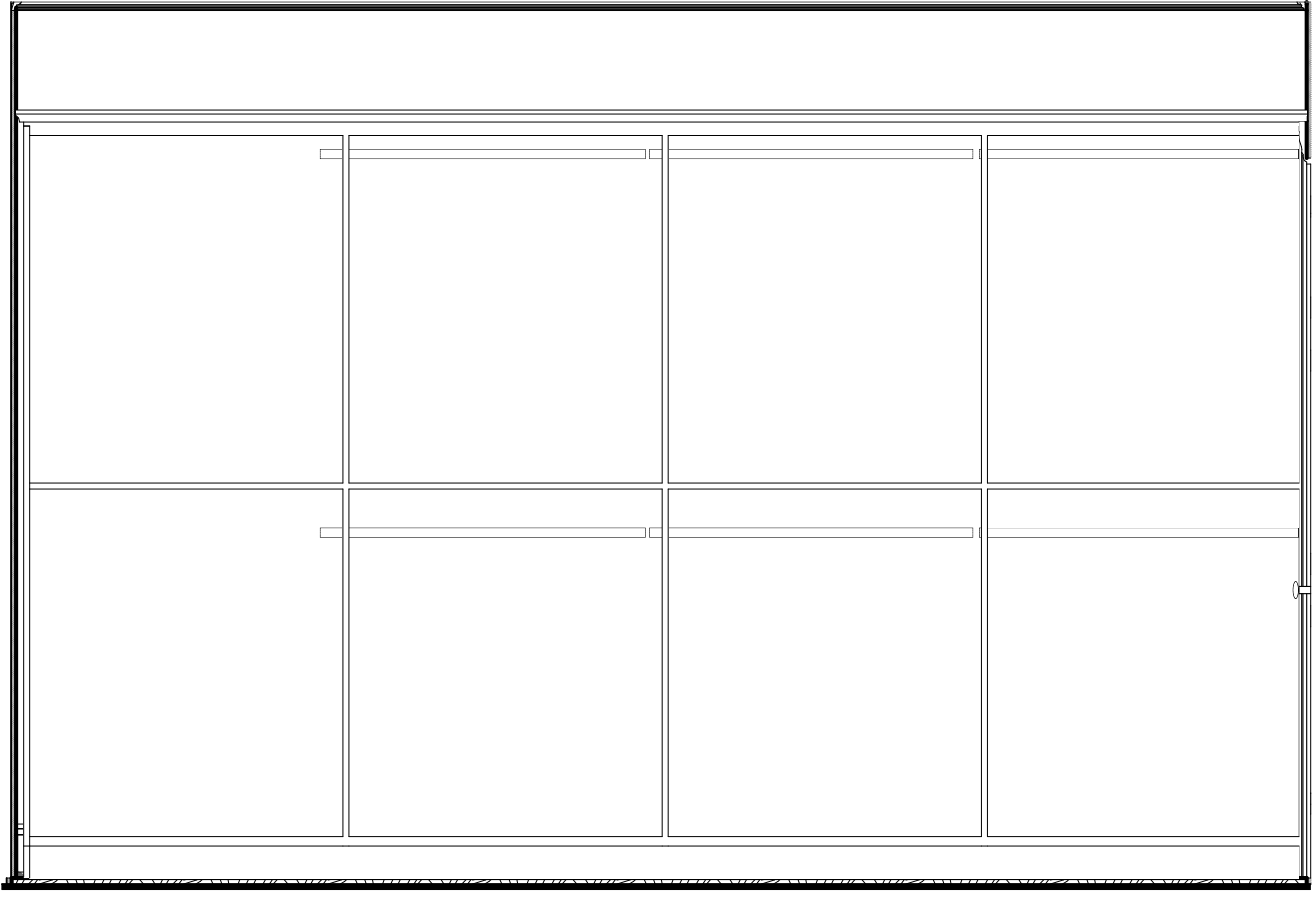
ENLARGED PLAN [MASTER CLOSET 1] B
A-7.2
SCALE: 1/2" = 1'-0"



KITCHEN WEST INTERIOR EL 1
A-7.2
SCALE: 1/2" = 1'-0"



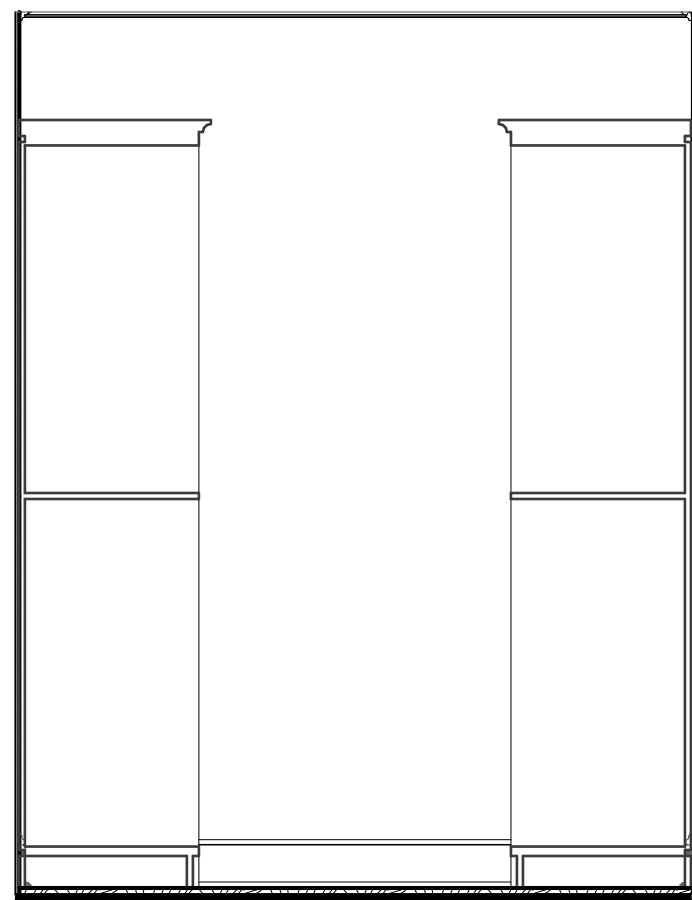
MASTER CLS 2 INTERIOR EL D1
A-7.2
SCALE: 1/2" = 1'-0"



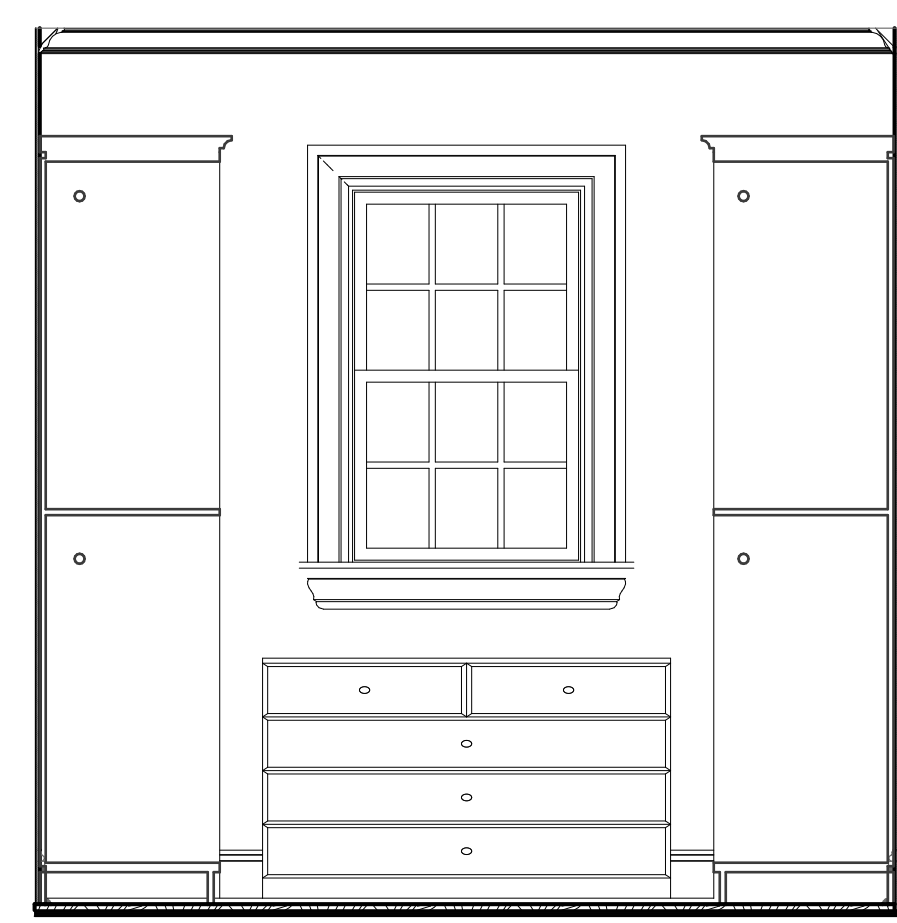
MASTER CLS 1 INTERIOR EL E1
A-7.2
SCALE: 1/2" = 1'-0"



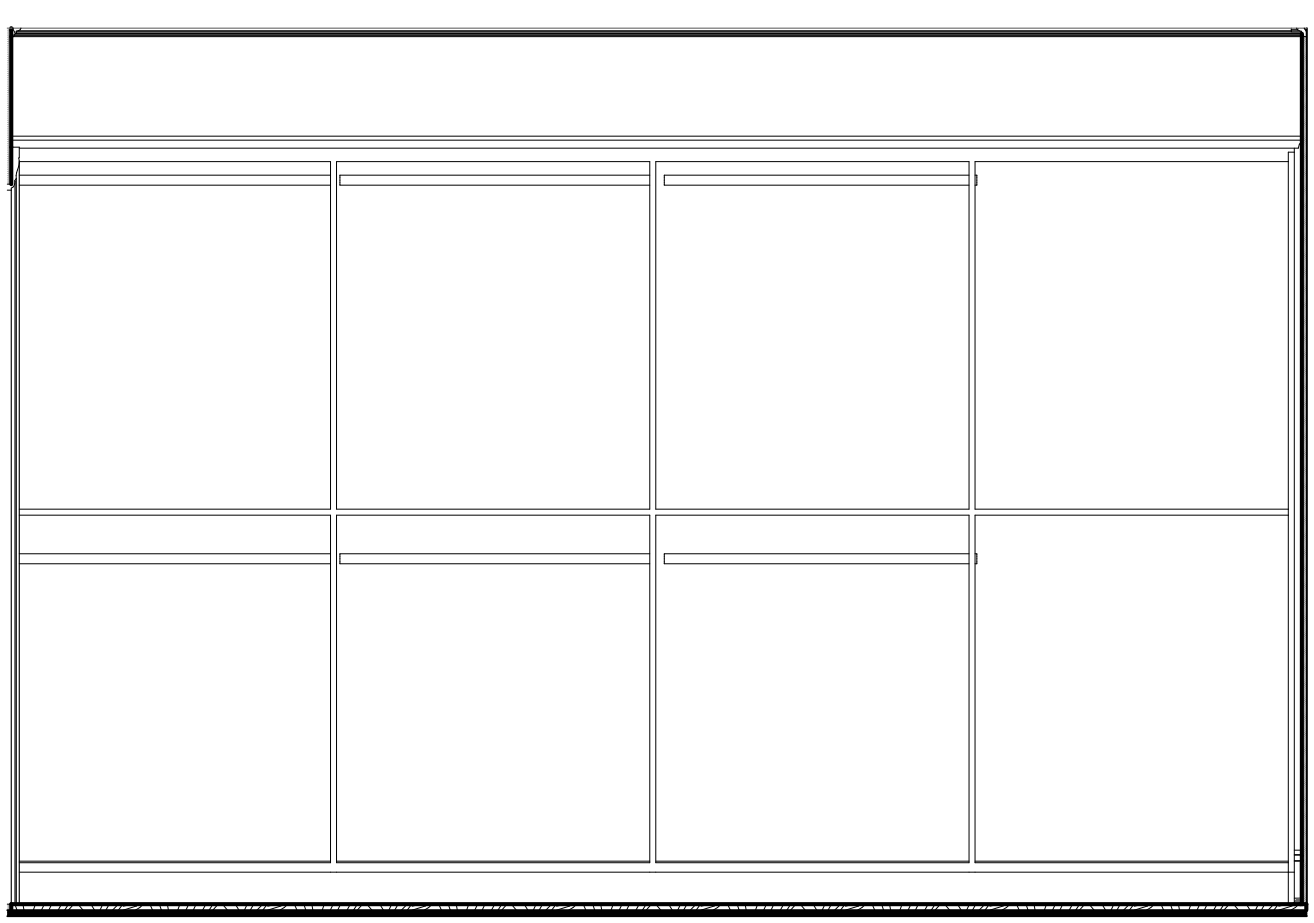
MASTER CLS 2 INTERIOR EL D2
A-7.2
SCALE: 1/2" = 1'-0"



MASTER CLS 1 INTERIOR EL E2
A-7.2
SCALE: 1/2" = 1'-0"



MASTER CLS 2 INTERIOR EL D3
A-7.2
SCALE: 1/2" = 1'-0"

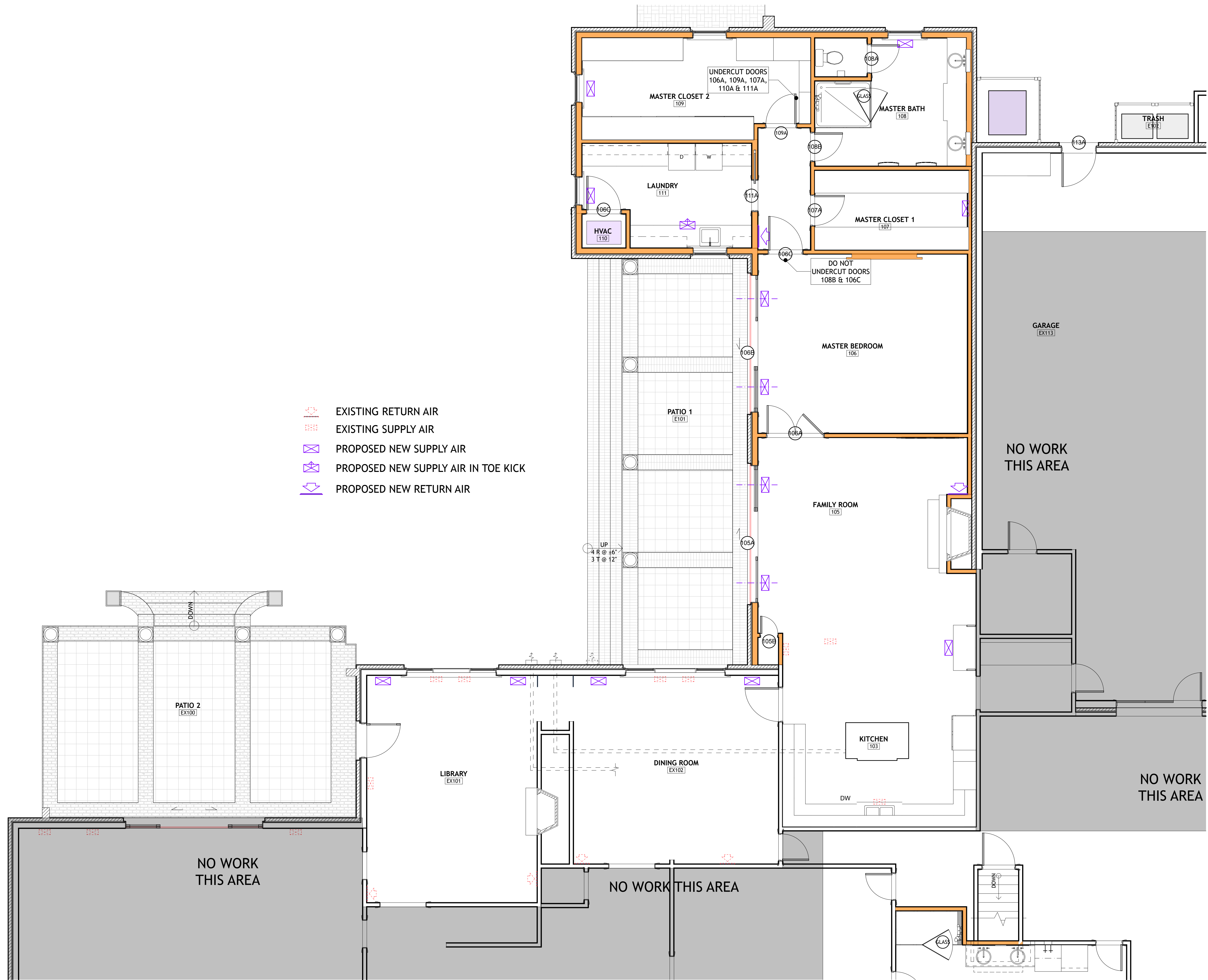


MASTER CLS 1 INTERIOR EL E3
A-7.2
SCALE: 1/2" = 1'-0"

PROJECT ARCHITECT:	
#Contact Full Name	
DRAWN BY:	PCAD Technician
Full Name	
ISSUED FOR:	
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NOT FOR CONSTRUCTION

SHEET NO:	A-7.2
DATE:	12/18/19



MAIN LEVEL MECHANICAL DIAGRAM

SCALE: 1/4" = 1'-0" 1 M-1.1

PROJECT ARCHITECT:	###
#Contact Full Name	
DRAWN BY:	###
ICAD Technician Full Name	
ISSUED FOR:	
REVISIONS:	
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NOT FOR CONSTRUCTION

SHEET NO.	M-1.1
DATE:	12/18/19

ELECTRICAL LEGEND

HALO TRIM #	ANG LAMP	HEMA LAMP	REMARKS
3006 WBB	EXN	50 W FL	35' SLOT FLOOD
3006 WBB	EXZ	50 W SP	35' SLOT SPOT

SWITCHES AND SWITCH LEGS SHOWN ARE FOR LOCATION AND PROGRAMMING INFORMATION FOR LUTRON HOMEWORX SYSTEMS.

FUNCTIONS SHOWN BY SWITCH LEGS SHALL DEFINE THE BASIC AND MINIMAL PROGRAMMING FUNCTIONS FOR THE LIGHTING CONTROL SYSTEM.

ADDITIONAL SCENES SHALL INCLUDE THREE SCENES AT VARIOUS COMBINATIONS OF CIRCUITS & BRIGHTNESS FOR EACH ROOM.

ALL ON & OFF SWITCHES FOR:

- DAILY FAMILY LIFE
- ENTERTAINING AT DUSK
- ENTERTAINING AT DAWN
- EMERGENCY LIGHTING
- WITH LIGHTING FROM BACK & MAIN HALL TO MASTER BEDROOM, KITCHEN, AND TWO OTHER PATHS AS DESIGNATED BY OWNER.

ANY ROOMS OR LEVELS SHALL BE SWITCHED BY STANDARD LUTRON SWITCHES & DIMMERS AS DEFINED IN THE SPECIFICATIONS.

PROVIDE VARIABLE OVERRIDE LIGHT SWITCHES IN BOTH REMOTE AND CONVENIENT LOCATIONS AS DETERMINED BY ARCHITECT & OWNER.

RIGHT CHANNEL SPEAKER

LEFT CHANNEL SPEAKER

CENTER CHANNEL SPEAKER

SUBWOOFER

SECURITY FIXTURE - PENDANT - LED 1840 LUMENS DOUBLE HEAD UTIL TECH OR EQUAL

SWITCH - DIMMER - SIZE TO LOAD CONFIRM AT ROUGH-IN

SWITCH - 3-WAY

SWITCH - 3-WAY DIMMER

SWITCH - 4-WAY

SWITCH - 4-WAY DIMMER

SWITCH - TIMER

SWITCH - JAMB

SWITCH - PROGRAMMABLE RADIO CONTROLLED WITH REPEATERS AS REQUIRED

SWITCH - TOUCH PAD

SWITCH - TOUCH SCREEN

SWITCH - MOTION

GARAGE DOOR OPENER

EXHAUST VENT

DOOR BELL BUTTON - TUDOR FURNISHINGS DBE03 BERRY & LEAF

DOOR BELL CHIME

SPECIAL CONNECTION AS NOTED

SPECIAL CONNECTION - HOT WATER HEATER

SPECIAL CONNECTION - MECHANICAL

SPECIAL CONNECTION - GAS

SPECIAL CONNECTION - VENT HOOD

SPECIAL CONNECTION - DISPOSAL

SECURITY PANEL

GLASS BREAK SENSOR

DOOR SENSOR

FLOOD LIGHT - EQUAL TO COPPER MKI - 200 WATT

MOTION DETECTOR

THERMOSTAT - 365 DAY PROGRAMMABLE THERMOSTAT APPROVED BY OWNER

VOLUME CONTROL

LED FIXTURE - CLOSET - SURFACE MOUNTED

LED FIXTURE - 1 X 4 - SURFACE MOUNTED

LED FIXTURE - 2 X 4 - SURFACE MOUNTED

DETECTOR - CARBON MONOXIDE

DETECTOR - SMOKE

LED AMBIENT FIXTURE OR DECORATIVE FIXTURE BY OWNER

CEILING FAN

RJ-45 CONNECTION - CAT 6 & CABLE

[2] COAXIAL CONNECTIONS AND [2] RJ-45 CONNECTIONS - [2] RG-6 QUADSHIELD CABLES, [2] CAT 6 CABLES, AND [2] SINGLE FIBER CABLES IN A DOUBLE GANG BOX - THE FIBER CABLES ARE NOT TO BE TERMINATED

COAXIAL CONNECTION AND RJ-45 CONNECTION RG-6 QUADSHIELD CABLE AND CAT 6 CABLE IN A SINGLE GANG BOX

BATH EXHAUST EQUAL TO PANASONIC 80 CFM 0.3 SONES - WHISPERGREEN

LED LIGHT FIXTURE IN ARCH

COAXIAL CONNECTION - RG-6 QUADSHIELD CABLE

OUTLET - DUPLEX (VERTICAL)

OUTLET - DUPLEX (HORIZONTAL IN BASEBOARD)

OUTLET - DUPLEX (WATERPROOF)

OUTLET - DUPLEX (SPLIT WIRED - SWITCHED)

OUTLET - QUADPLEX

OUTLET TO BE COORDINATED WITH TILE WORK OR PANNELING LEAVE 1/2" MIN RAT TAIL WIRES STUBBED OUT FOR LATER PRECISE LOCATION RELATIVE TO TILE OR OTHER W/ RETROFIT BOX

OUTLET - DUPLEX (IN-FLOOR) BRONZE RECESS OUTLET WITH GASKETED SCREW COVER

OUTLET - QUAD (IN-FLOOR) BRONZE RECESS OUTLET WITH GASKETED SCREW COVER

OUTLET - 220 VOLT

CLOCK PLUG WITH HEIGHT AFF (VERIFY IN FIELD)

TELEPHONE - RJ-25 CONNECTION ONLY

FIXTURE - WALL MOUNT - ALLOW 150 WATTS

FIXTURE - CEILING - ALLOW 700 WATTS

FIXTURE - PENDANT - ALLOW 200 WATTS

FIXTURE - PENDANT - ALTMAN 1Q38 QUARTZ 250 WATTS

FIXTURE - PENDANT - ALTMAN P48 CDM 150 WATTS EXTERIOR SPOT BY OWNER - ALLOW 100W

CARD TABLE LIGHT - ART DECO STYLE W/ BRASS RODS

FIXTURE - CHANDALIER (ALLOW MIN 200 POUNDS) - ALLOW 1000 WATTS

FIXTURE - CHANDALIER (ALLOW MIN 100 POUNDS) - ALLOW 250 WATTS

FIXTURE - IN FLOOR UPLIGHT

FIXTURE - IN COLUMN UPLIGHT - DOUBLE WIDE HIGH DENSITY LED STRIP LIGHT- 480 LUMENS/FT. 6W/FT. INSTALL ON EACH FACE OF COL CAPITAL

FIXTURE - UNDER COUNTER / CABINET - SW LED. CONFIRM SPACING W FIXTURE SELECTION

FIXTURE - UPLIGHT - SW LED. CONFIRM SPACING

FIXTURE - PROVIDE SINGLE CIRCUIT TRACK WITH HEADS - ALLOW 100 WATTS PER HEAD - ALLOW 550 PER HEAD / LAMP

FIXTURE - LOW VOLTAGE TRACK LIGHT WITH HEADS - VAC MONORAIL - ALLOW 75 WATTS PER HEAD - ALLOW 575 PER HEAD / LAMP

FIXTURE - LED PICTURE DOWNLIGHT

VAC 480 800 BK - 50 WATT NARROW FLOOD WITH INTERNAL ELECTRONIC TRANSFORMER

FIXTURE - 120V MONOPOINT FOR DAMP LOCATIONS - ALLOW 75 WATTS

FIXTURE - CSL POOLED WARM WHITE - CUSTOM LENGTH AS REQUIRED FOR (HORIZONTAL STRIP FOR UP OR DOWN LIGHT) SUPPLY TRANSFORMERS FOR DIMMING - LIGHTS & CONNECTIONS AS REQUIRED FOR EVEN LIGHTING

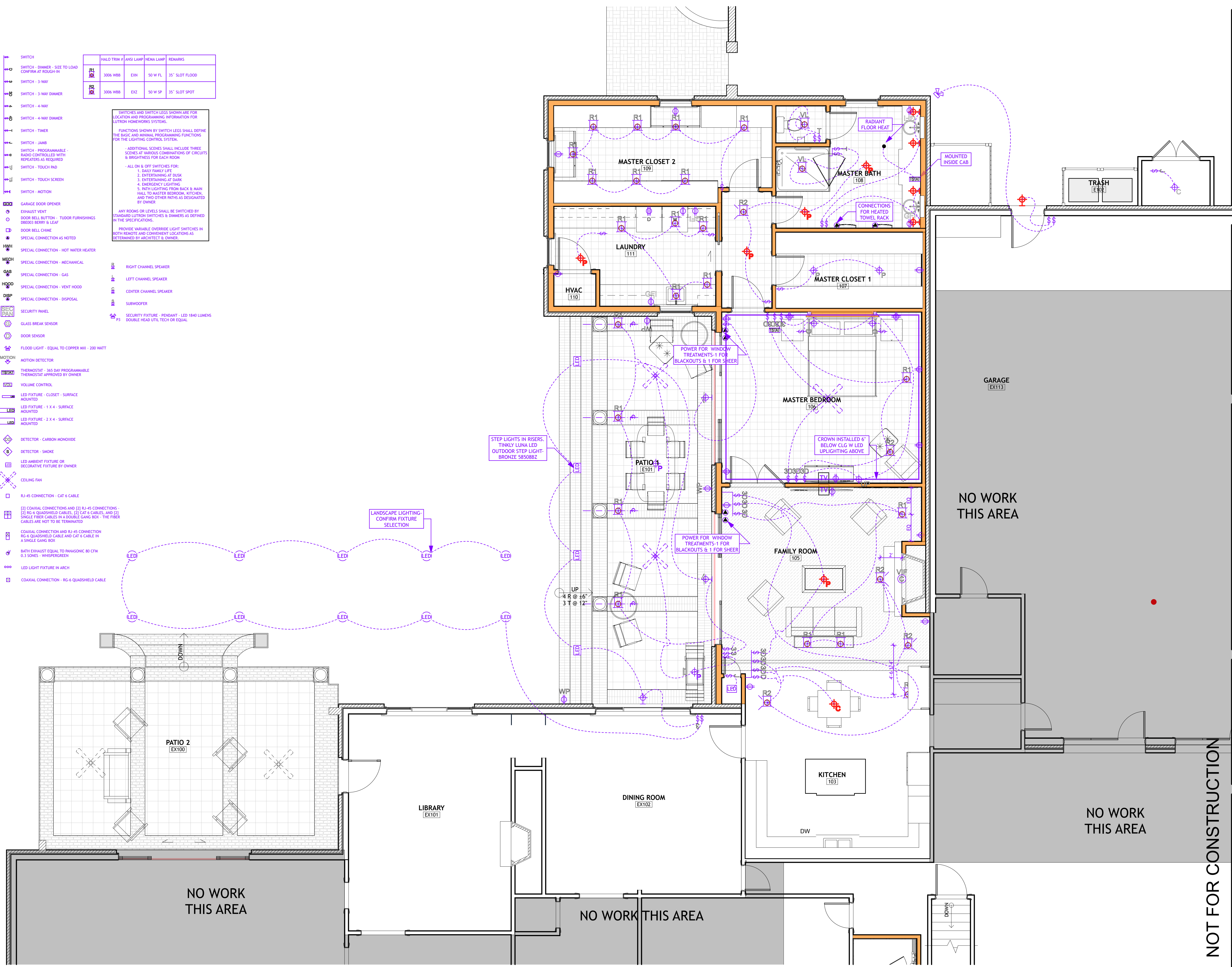
FIXTURE - CSL POOLED WARM WHITE - CUSTOM LENGTH AS REQUIRED FOR (VERTICAL STRIP BOTH SIDES OF CABINETS) SUPPLY TRANSFORMERS FOR DIMMING - LIGHTS & CONNECTIONS AS REQUIRED FOR EVEN LIGHTING

FIXTURE - VAC LINEAR COVE & GENERAL LIGHTING W/ SBH110 BK 12V 10W LAMP @ 4" O.C. - PROVIDE 12 (TWELVE) SF-216 BK MR-16 50W FLOODS FOR LIVING ROOM

FIXTURE - RECESSED - FANTECH VENT LIGHT - SWITCH FAN W/ TIMER & SEPARATE FROM LIGHT - SUBMIT PROPOSED LOCATION & ACCESS TO ARCHITECT PRIOR TO INSTALLATION - 50 CFM MIN

FIXTURE - RECESSED SHOWER - FANTECH DUMMY VENT LIGHT (DUCT NOT REQUIRED)

DATA/COM DCE-50-3123-KIT RECESSED PRO POWER & FLAT PANEL TV ORGANIZER KIT AS REQUIRED TO ACCOMMODATE POWER & DATA TO TELEVISIONS & CABLE BOXES, DVD PLAYERS, ETC. AT REMOTE LOCATIONS & ON INTERNET. PROVIDE COAX AND CAT 6 CABLE. COORDINATE WIRING TO ACCESSORY DEVICES SUCH AS DVD PLAYER, CABLE BOX, INTERNET, & AUXILIARY SPEAKERS



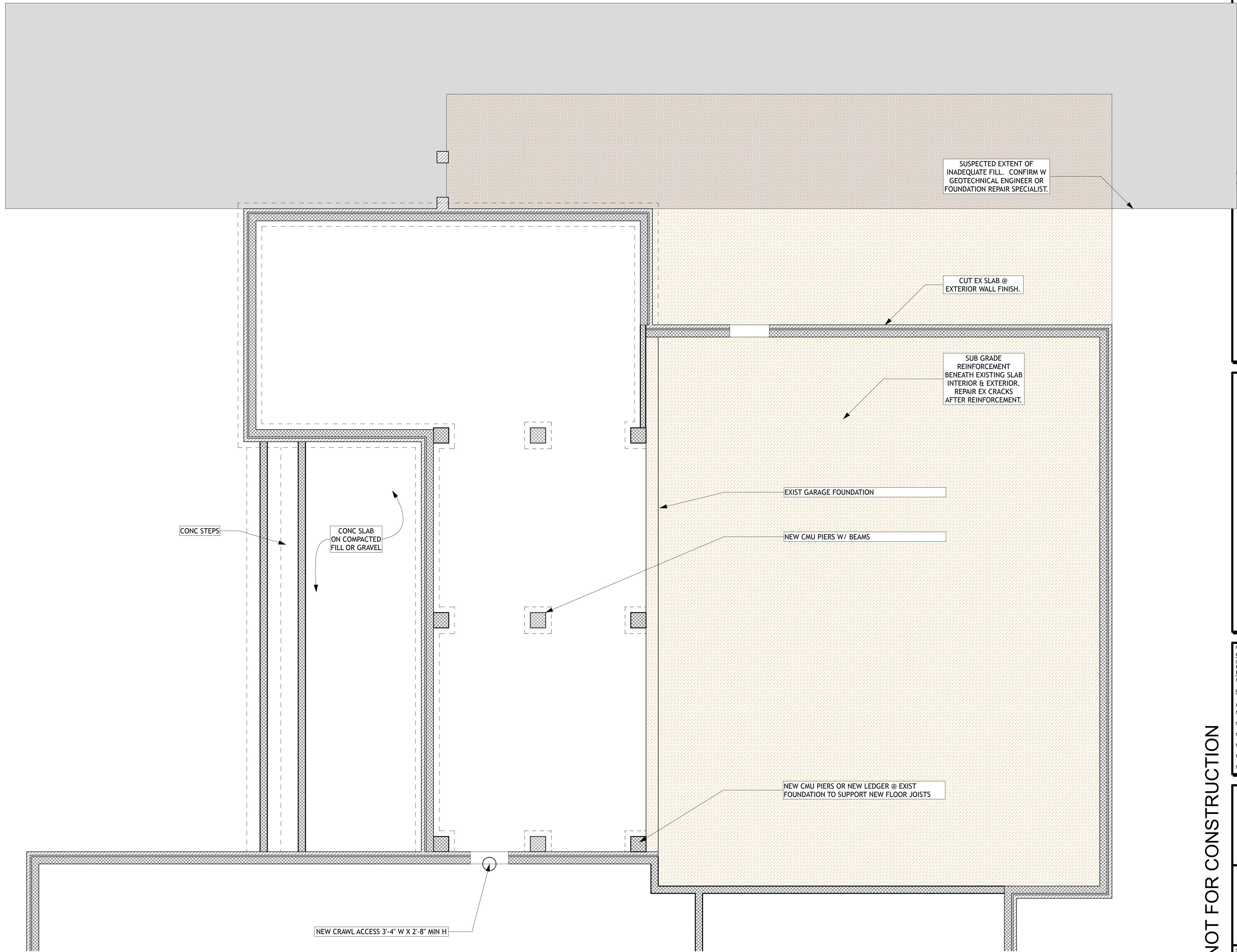
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#Contact Full Name
DRAWN BY:
#CAD Technician Full Name
ISSUED FOR:
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REVISIONS:

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NO.	DATE:
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NO.	DATE:

MAIN LEVEL ELECTRICAL DIAGRAM

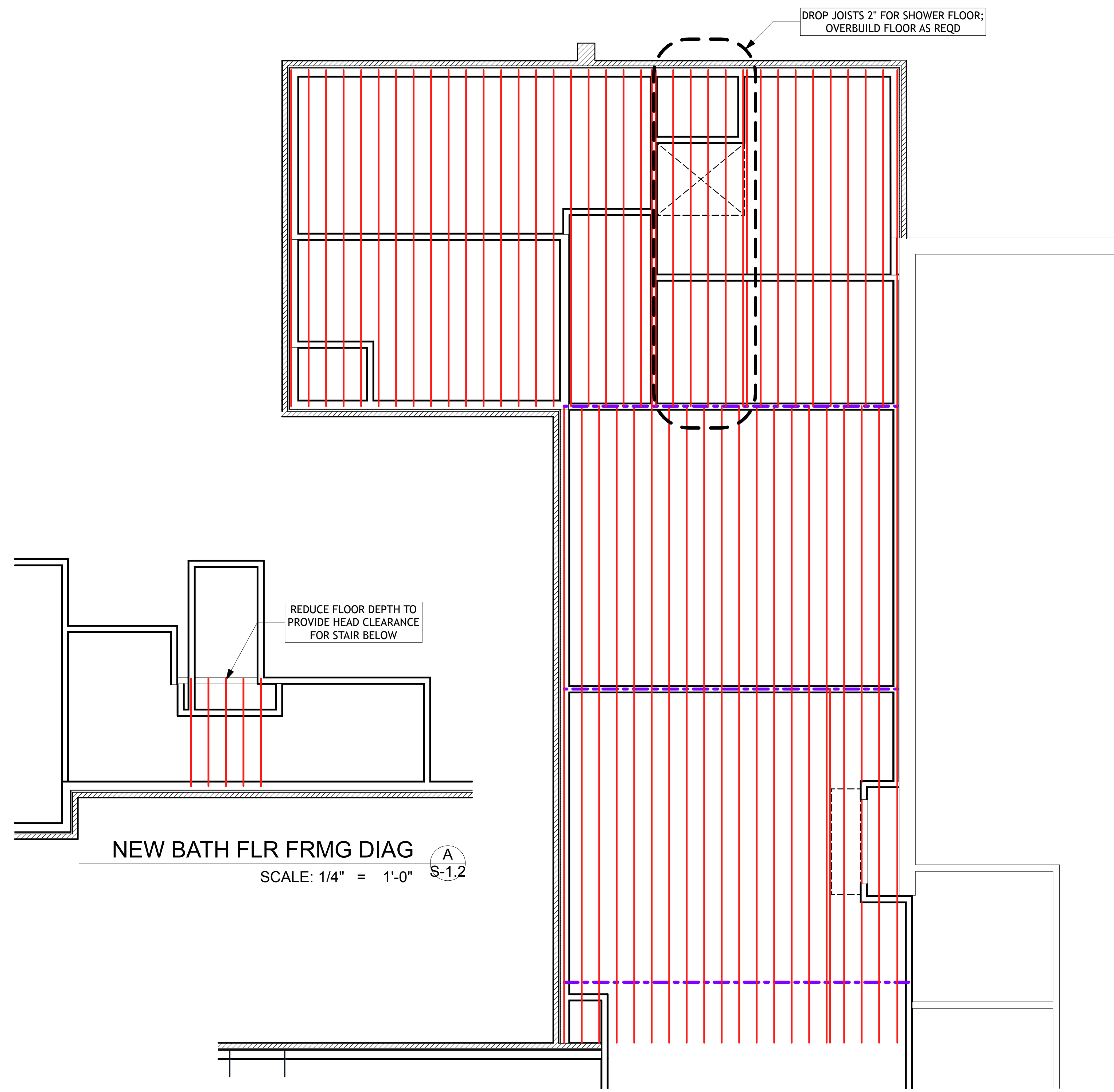
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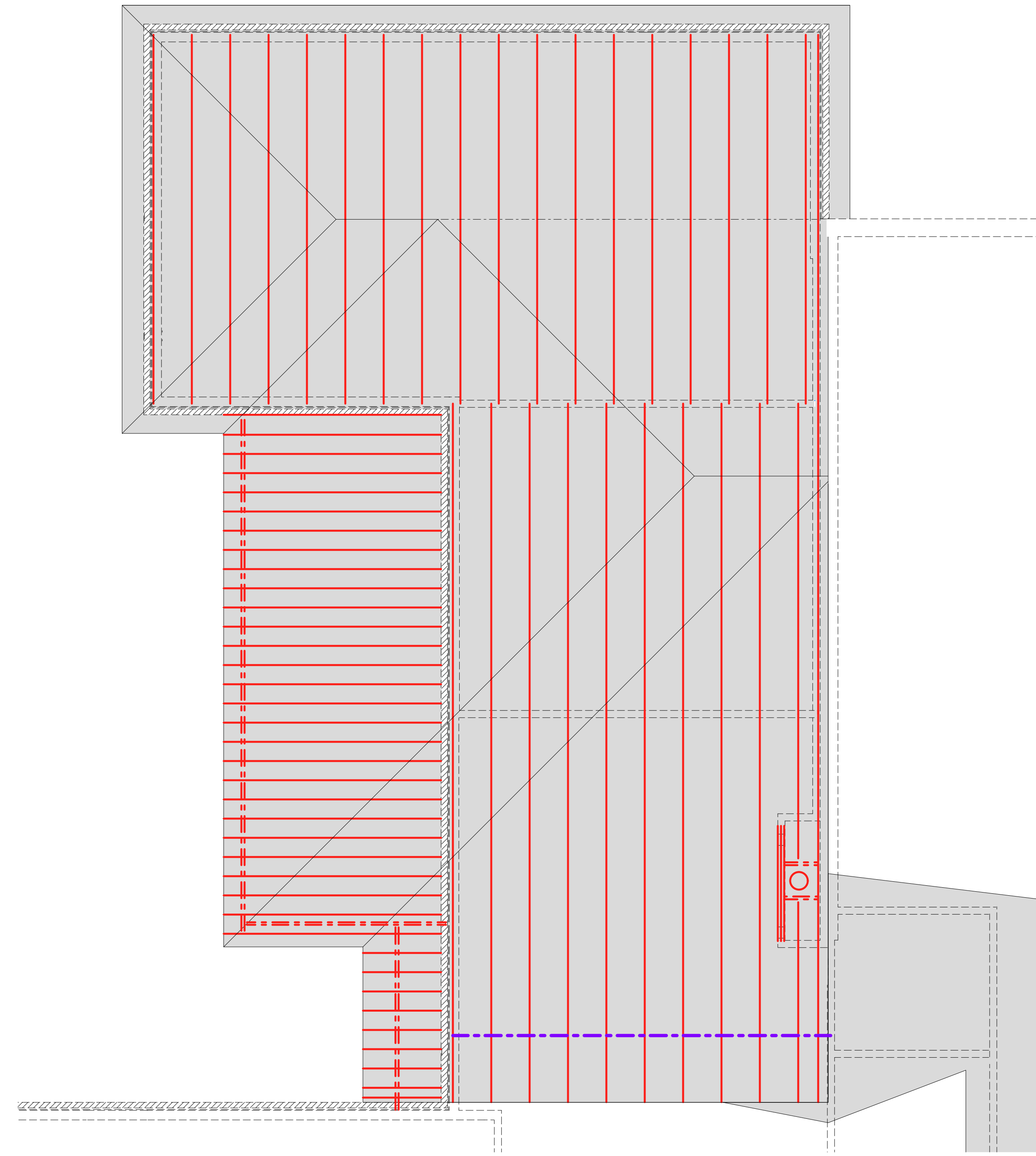
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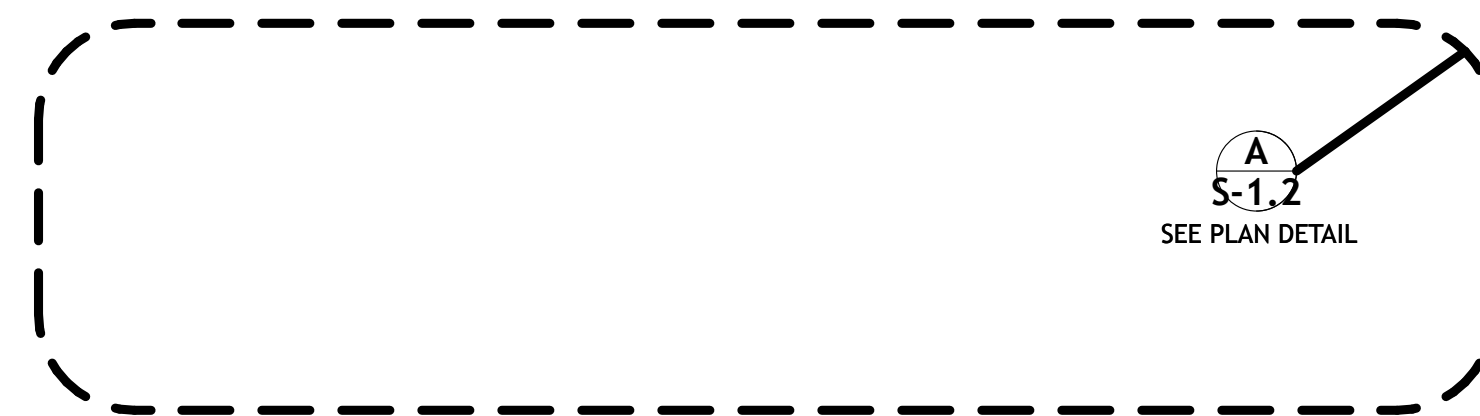
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DATE	12/18/19



MAIN LEVEL FLOOR FRAMING DIAGRAM 1
 SCALE: 1/4" = 1'-0" S-1.2



ROOF FRAMING DIAGRAM 1
 SCALE: 1/4" = 1'-0" S-1.2



PROJECT ARCHITECT:	#Contact Full Name
DRAWN BY:	ICAD Technician
ISSUED FOR:	Full Name
REVISIONS:	####
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NOT FOR CONSTRUCTION

355 Vanderbilt Rd | Biltmore Forest, NC
Po Box 5352 | Biltmore Forest, NC 28803
P (828) 274-0824 | F (828) 274-8131

www.biltmoreforest.org



George F. Goosmann, III, Mayor
Fran G. Cogburn, Mayor-Pro Tem
E. Glenn Kelly, Commissioner
Doris P. Loomis, Commissioner

Jonathan B. Kanipe,
Town Manager

MEMORANDUM

To: Board of Adjustment Members
From: Jonathan Kanipe, Town Manager
Re: Board of Adjustments Case Number 3 (57 Chauncey Circle)
Date: February 17, 2020

Request for Special Use Permit for Construction of a Swimming Pool with Fencing

The property owner has presented plans for construction of a new single-family home with an in-ground pool and a hot tub. A special use permit is requested for the pool and associated fencing. As you may recall, the original request for this property also included two variance requests for exceeding roof coverage and for construction of a wall in the front yard setback. After review by the board, the architect for the project agreed to work with the property owner to develop a plan that would be in compliance with the ordinance.

The new plans are in compliance with the roof coverage requirement. Additionally, the property owner has worked with the Ramble DRC to remove the requirement of a wall in the front yard setback. The only approval required under the new plan is a special use permit for the pool/hot tub area and related fencing.

The pool will be screened with a continuous barrier consisting of a combination of walls, hedges, and fencing. The pool/hot tub area will not be visible from adjoining properties.

Zoning Compliance Application

Town of Biltmore Forest

Name

Mark Rudolf

Property Address

57 Chauncey Circle

Phone

(970) 618-1889

Email

mark@vellumad.com

Parcel ID/PIN Number

964660915300000

ZONING INFORMATION

Current Zoning

R-3

Lot Size

1 acre

Maximum Roof Coverage

4,682 square feet (Up to 1 acres)

Proposed Roof Coverage Total

4679.7

Maximum Impervious Surface Coverage

Up to 1 acre (27.5 percent of lot area)

Proposed Impervious Surface Coverage

25.4%

Front Yard Setback

50 feet (R-2, R-3, R-4, and R-5 Districts)

Side Yard Setback

15 feet (R-2, R-3, R-4, and R-5 Districts)

Rear Yard Setback

20 feet (R-2, R-3, R-4, and R-5 Districts)

Building Height

23'-10"

Description of the Proposed Project

The proposed project consists of a single-family home (4034 conditioned s.f.) with an in-ground pool and hot tub. The project conforms to all town zoning requirements including setbacks, Impervious Surface Coverage, Roof Coverage and Building Height.

Estimated Start Date

3/15/2020

Estimated Completion Date

7/31/2021

Estimated Cost of Project

\$1,375,000.00

Supporting Documentation (Site Plan, Drawings, Other Information)

2019-02-03- BARLAS RESIDENCE- ALA SD PRESENTATION.pdf

2020-01-29 -ALA - BARLAS RESIDENCE- Site Plan.pdf

Barlas - PERMIT Set 1-24-20.pdf

Applicant Signature

Date
2/3/2020



A handwritten signature in black ink, appearing to be the initials 'MPA', is written above a horizontal line.

Special Use Permit Application

Town of Biltmore Forest

Name

Mark Rudolf

Address

57Chauncey Circle

Phone

(970) 618-1889

Email

mark@vellumad.com

Please select the type of special use you are applying for:

Accessory Structures

The applicant must show that the proposed use will not materially endanger public health or safety or injure value of adjoining or abutting property. In addition, the proposed use must be in general conformity with the plan of development of the town and be in harmony with scale, bulk, height, coverage, density, and character of the neighborhood.

Please provide a description of the proposed project:

The proposed project consists of a single-family home (4157 conditioned s.f.) with an in-ground pool and hot tub. The pool and hot tub will be protected by a continuous barrier (as per state codes) consisting of a combination of walls, hedges, and fences. These features will be built to code standards.

Explain why the project would not adversely affect the public interest of those living in the neighborhood:

The pool and hot tub are well screened and will not be visible from adjoining properties. They will also be secured per state codes as described above.

I hereby certify that all of the information set forth above is true and accurate to the best of my knowledge.

Signature



Date

2/3/2020

Special Use Permit Application

Town of Biltmore Forest

Name

Mark Rudolf

Address

57 Chauncey Circle

Phone

(970) 618-1889

Email

mark@vellumad.com

Please select the type of special use you are applying for:

Accessory Structures

The applicant must show that the proposed use will not materially endanger public health or safety or injure value of adjoining or abutting property. In addition, the proposed use must be in general conformity with the plan of development of the town and be in harmony with scale, bulk, height, coverage, density, and character of the neighborhood.

Please provide a description of the proposed project:

We are proposing a 4'-0" fence designed per state pool codes to enclose our previously proposed pool and hot tub. This fence will not run continuous but will provide infill between other barriers including hedges and walls. The combination of these elements is part of the overall landscape design. The general goal is to minimize the use of fences and obscure them as much as possible. The fence and other barriers are necessary to meet state pool codes and insurance requirements.

Explain why the project would not adversely affect the public interest of those living in the neighborhood:

As stated above, the design proposal minimizes the use of fences as much as possible and obscures them whenever possible. The largest section of visible fence contains the main gate out of the rear yard to the rest of the property.

I hereby certify that all of the information set forth above is true and accurate to the best of my knowledge.

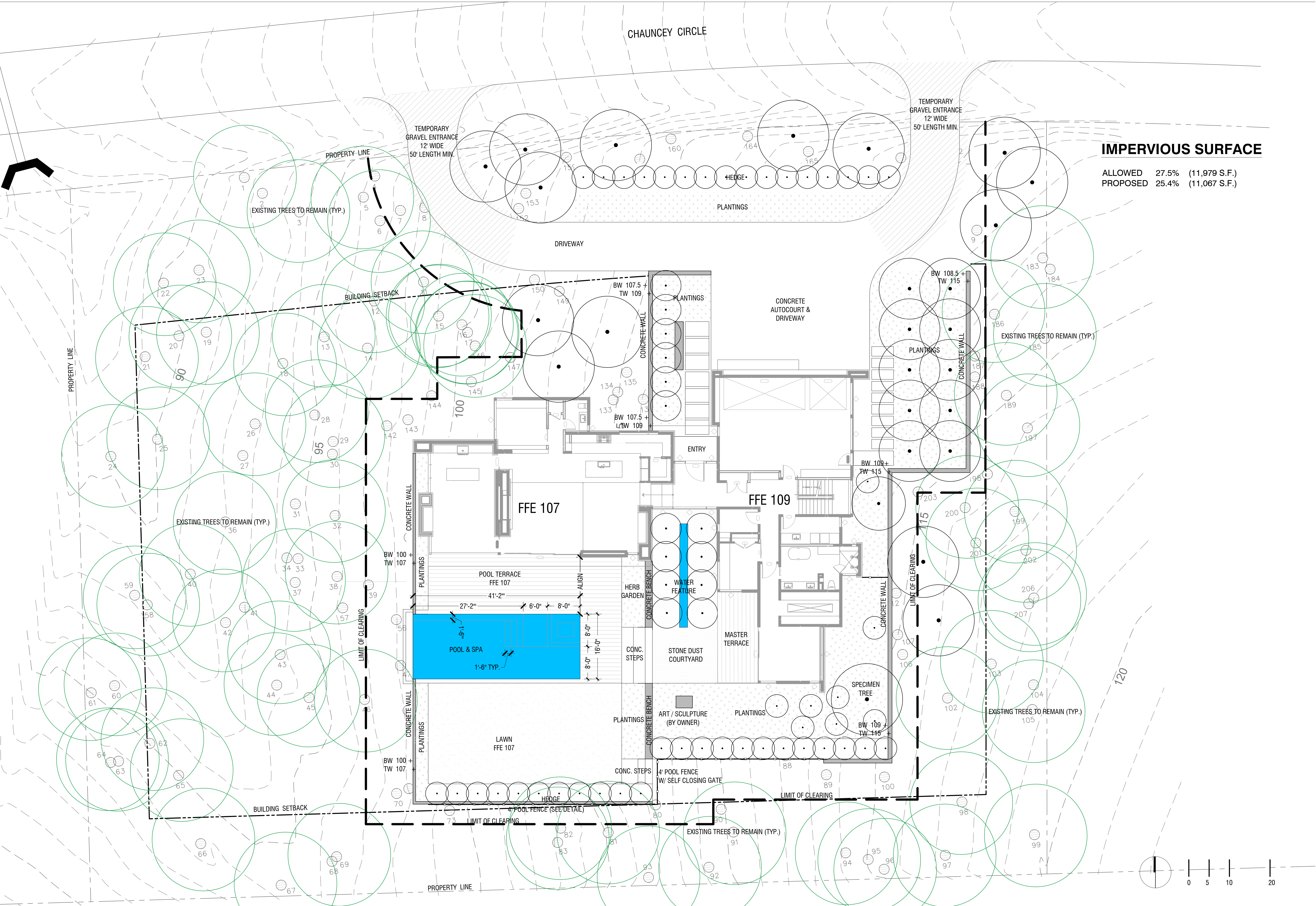
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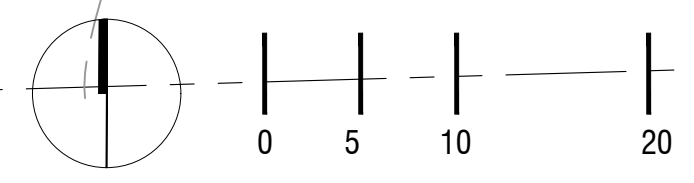
Date

2/3/2020

REVISIONS	DATE



IMPERVIOUS SURFACE
 ALLOWED 27.5% (11,979 S.F.)
 PROPOSED 25.4% (11,067 S.F.)



ISSUE	DATE
DRC Submittal	09/12/2019
Schematic Design	09/26/2019
Design Review	11/25/2019
Permit Set	01/31/2020

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These documents have been prepared specifically for the TBD Chauncey Circle. They are not suitable for use on other projects or in other locations without the approval and participation of the Architect. Reproduction prohibited without approval of the Architect.

SHEET TITLE
COVER SHEET | ARCH

A000

DRAWING INDEX

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- SURVEY
- A100 SITE PLAN
- AFAR FAR CALCS.

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- A202 MAIN LEVEL PLAN
- A203 UPPER LEVEL PLAN
- A204 ROOF PLAN
- A301 ELEVATION
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- A610 STAIR DETAILS
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- A704 DOOR SCHEDULE - INTERIOR
- A705 FIXTURES & MATERIALS

Barlas Residence

Asheville, NC

PERMIT SET 01/31/2020

PROJECT INFO

57 CHAUNCEY CIRCLE, NC 28803

JURISDICTION: Buncombe County
PARCEL ID: XXX-XXX-XX-XXX
LEGAL DESC: Lot 19: Biltmore Forest Block Z

NORTH CAROLINA STATE BUILDING CODE - RESIDENTIAL
NORTH CAROLINA STATE BUILDING CODE - ENERGY CONSERVATION CODE

Climate Zone: 4A



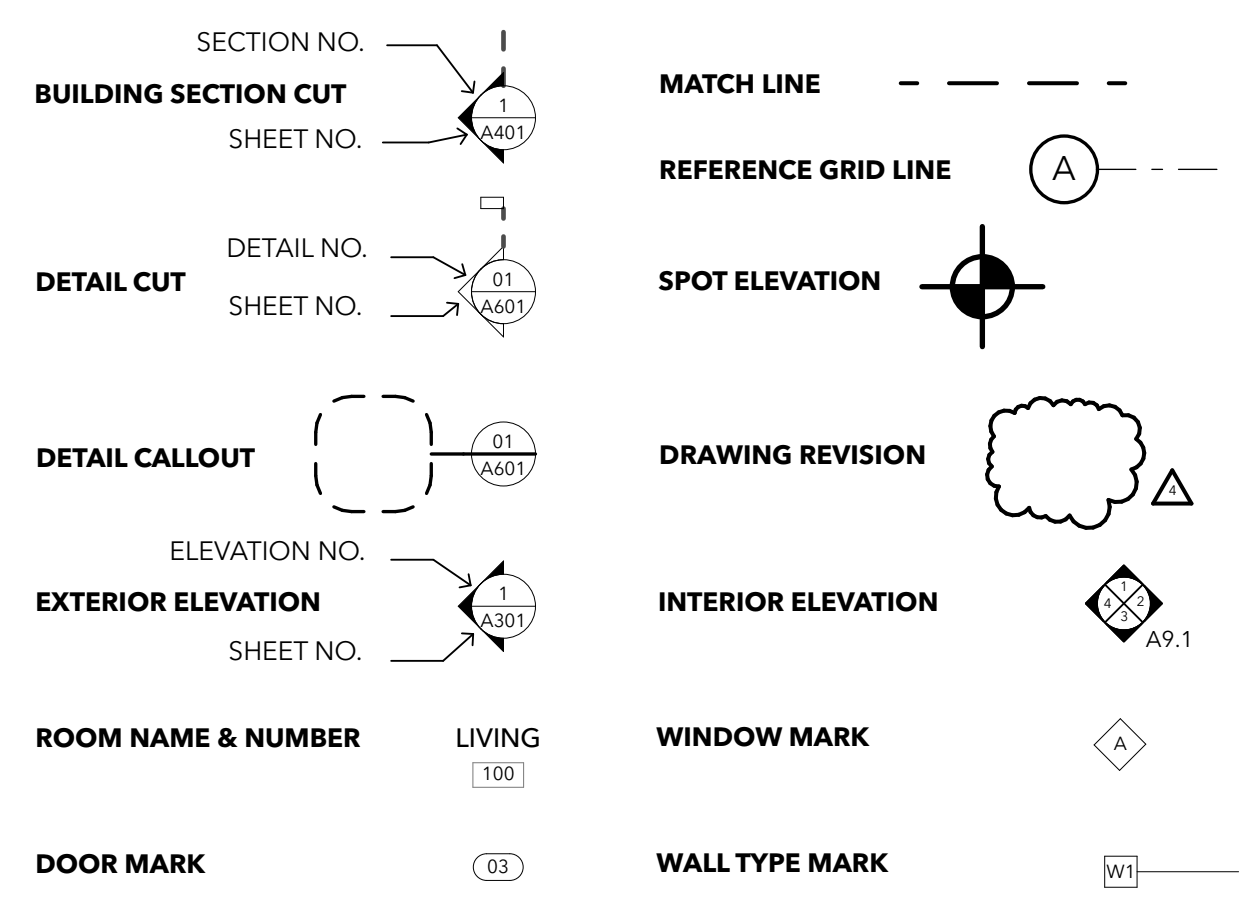
ABBREVIATIONS

AAD	Attic Access Door	GALV	Galvanized	RW	Roof Window
ADD	Addendum	GC	General Contractor	RO	Rough Opening
ADJ	Adjacent	GL	Glass	SAN	Sanitary
AOR	Area of Refuge	GR	Grade	SECT	Section
AGG	Aggregate	GLB	Laminated Wood Beam	SEW	Sewer
AFF	Above Finished Floor	GYP	Gypsum	SHT	Sheet
ALT	Alternate	GWB	Gypsum Wallboard	SHEV	Shelves
ARCH	Architectural	HW	Hardware	SIM	Similar
BM	Beam	HD	Head	SL	Siding
BRG	Bearing	HVAC	Heating, Ventilating, and Air Conditioning	SM	Sheet Metal
BET	Between	HT	Height	STC	Sound-Transmission Class
BD	Board	HWY	Highway	SPEC	Specification
BS	Both Sides	HOR	Horizontal	SQ	Square
BO	Bottom Of	ID	Inside Diameter	STD	Standard
BLDG	Building	INT	Interior	STL	Steel
CAB	Cabinet	INT	Interior	STRUCT	Structure (all)
CL	Centerline	JT	Joint	SUB	Substitute
BLDG	Building	LAM	Laminate	SUPPL	Supplier (all)
CLR	Clear	LAV	Lavatory	SUSP	Suspend (all)
CLOS	Closet	MFG	Manufacturer	TEL	Telephone
CMU	Concrete Masonry Unit	MO	Masonry Opening	TV	Television
COL	Column	MTL	Material	TEMP	Tempered
CONC	Concrete	MAX	Maximum	THK	Thick
CJ	Construction Joint	MECH	Mechanical	TPH	Toilet Paper Holder
CONT	Continuous	MIN	Minimum	T&G	Tongue and Groove
DP	Dampening	MISC	Miscellaneous	T&B	Top and Bottom
DET	Detail	NIC	Not in Contract	TO	Top Of
DIA	Diameter	NA	Not Applicable	T	Tread
DIM	Dimension	NTS	Not to Scale	TS	Tube Steel
DW	Dishwasher	DN	Down	TYP	Typical
DN	Down	OC	On Center	UG	Underground
DR	Drain	OPP	Opposite	U.N.G.	Unless Noted Otherwise
DS	Downspout	DRWG	Drawing	UNFN	Unfinished
DRWG	Drawing	OD	Outside Diameter	UBC	Uniform Building Code
EA	Each	d	Phenyl (malls, etc.)	USG	United States Gage
EL	Elevation	PERF	Perforated (d)	V	Variable
CLOS	Closet	EXIST	Existing	VENT	Ventilate
EQ	Equip	EXPJ	Expansion Joint	V	Verify in Field
EXIST	Existing	EXT	Exterior	VERT	Vertical
EXT	Exterior	PROD	Product	VAT	Vinyl Asbestos Tile
FEC	Fire Extinguisher Cabinet	PROJ	Project	V	Voltage
FOC	Face Of Concrete	PROP	Property	WC	Water Closet
FOS	Face Of Stud	R	Radius or Riser	WP	Waterproof
FIN	Finish	REF	Refer	WT	Weight
FIN	Finish	REFR	Refrigerator	WIN	Window
FD	Floor Drain	REFN	Reinforce (d)	W	With (comb. form)
FD	Floor Drain	REQD	Required	W/O	Without
FTG	Footing	RHSM	Round Head Sheet Metal Screw	WD	Wood
FDN	Foundation	RM	Room		
GA	Gauge				

GENERAL NOTES

- THE AIA DOCUMENT 201, "GENERAL CONDITIONS OF THE CONTRACT FOR CONSTRUCTION", 2017, ARE HEREBY MADE A PART OF THESE CONTRACT DOCUMENTS. COPIES ARE ON FILE AND ARE AVAILABLE FOR INSPECTION AT THE OFFICES OF THE ARCHITECT.
- THE CONTRACT DOCUMENTS CONSIST OF THE AGREEMENT, THE GENERAL NOTES, THE SPECIFICATIONS, AND THE DRAWINGS, WHICH ARE COOPERATIVE AND CONTINUOUS. WORK INDICATED OR REASONABLY IMPLIED IN ANY ONE OF THE DOCUMENTS SHALL BE SUPPLIED AS THOUGH FULLY COVERED IN ALL. ANY DISCREPANCY BETWEEN THE DIFFERENT PARTS SHOULD BE REPORTED TO THE ARCHITECT IMMEDIATELY.
- ALL WORK SHALL COMPLY WITH ALL STATE AND LOCAL CODES AND ORDINANCES, AND SHALL BE PERFORMED TO THE HIGHEST STANDARDS OF CRAFTSMANSHIP BY JOURNEYMEN OF THE APPROPRIATE TRADES. GENERALLY, ALL MATERIALS TO BE INSTALLED IN ACCORDANCE WITH MANUFACTURER'S SPECIFICATIONS, UNLESS OTHERWISE REGULATED OR SPECIFIED BY ARCHITECT OR GOVERNING BODIES.
- THESE DOCUMENTS ARE INTENDED TO INCLUDE ALL LABOR, MATERIALS, EQUIPMENT AND SERVICES REQUIRED TO COMPLETE ALL WORK DESCRIBED HEREIN. IT IS THE RESPONSIBILITY OF THE CONTRACTOR TO BRING TO THE ATTENTION OF THE ARCHITECT ANY CONDITIONS WHICH WILL NOT PERMIT CONSTRUCTION ACCORDING TO THE INTENTIONS OF THESE DOCUMENTS. IT IS THE RESPONSIBILITY OF THE ARCHITECT TO PROVIDE DETAILS AND/OR DIRECTIONS REGARDING DESIGN INTENT WHERE IT IS ALTERED BY EXISTING CONDITIONS OR WHERE NEGLECTED IN THE DOCUMENTS.
- ANY MATERIALS PROPOSED FOR SUBSTITUTION OF THOSE SPECIFIED OR CALLED OUT BY TRADE NAME IN THESE DOCUMENTS SHALL BE PRESENTED TO THE ARCHITECT FOR REVIEW. THE CONTRACTOR SHALL SUBMIT SAMPLES WHEN REQUIRED BY THE ARCHITECT. AND ALL SUCH SAMPLES SHALL BE REVIEWED BY THE ARCHITECT BEFORE THE WORK IS PERFORMED. WORK MUST CONFORM TO THE REVIEWED SAMPLES. ANY WORK WHICH DOES NOT CONFORM SHALL BE REMOVED AND REPLACED WITH WORK WHICH CONFORMS TO THE REQUESTS AND SAMPLES FOR REVIEW THROUGH THE GENERAL CONTRACTOR'S EXPENSE. SUBCONTRACTORS SHALL SUBMIT CONTRACTOR WHEN WORK IS LET THROUGH HIM OR HER. REQUIRED VERIFICATIONS AND SUBMITTALS TO BE MADE IN ADEQUATE TIME AS NOT TO DELAY WORK IN PROGRESS.
- SHOP DRAWINGS SHALL BE SUBMITTED TO THE ARCHITECT FOR HIS OR HER REVIEW WHERE CALLED FOR ANYWHERE IN THESE DOCUMENTS. REVIEW SHALL BE MADE BY THE ARCHITECT BEFORE WORK IS BEGUN, AND WORK SHALL CONFORM TO THE REVIEWED SHOP DRAWINGS. SUBJECT TO REPLACEMENT AS REQUIRED IN PARAGRAPH E, ABOVE.
- THE BUILDING INSPECTOR SHALL BE NOTIFIED BY THE CONTRACTOR WHEN THERE IS NEED OF INSPECTION AS REQUIRED BY THE UNIFORM BUILDING CODE OR ANY LOCAL CODE OR ORDINANCE.
- THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE SAFETY AND CARE OF ADJACENT PROPERTIES DURING CONSTRUCTION, FOR COMPLIANCE WITH FEDERAL AND STATE O.S.H.A. REGULATIONS, AND FOR THE PROTECTION OF ALL WORK UNTIL IT IS DELIVERED COMPLETED TO THE OWNER.
- ALL DIMENSIONS NOTED TAKE PRECEDENCE OVER SCALED. DIMENSIONS NOTED WITH "N.T.S." DENOTES NOT TO SCALE. DRAWINGS NOT TO BE SCALED, NOTIFY ARCHITECT OF ANY CONFLICTS OR OMISSIONS.
- CONTRACTOR SHALL VERIFY AND COORDINATE ALL OPENINGS THROUGH FLOORS, CEILINGS, AND WALLS WITH ARCHITECTURAL, STRUCTURAL, MECHANICAL, PLUMBING AND ELECTRICAL DRAWINGS.
- CONTRACTOR WILL ASSUME RESPONSIBILITY OF ITEMS REQUIRING COORDINATION AND RESOLUTION DURING THE BIDDING PROCESS.

SYMBOL LEGEND



PROJECT DIRECTORY

Chris Barlas (OWNER)
767 Caribou Road
Asheville, NC 28803
gurusam@aol.com
CONTACT: Chris Barlas

VELLUM ARCHITECTURE & DESIGN (ARCHITECT)
188 Charlotte Street, Suite 3
Asheville, NC 28801
mark@vellumad.com
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PO Box 3787
Portland, ME 04101
sk@acetola.com
CONTACT: Seth Kimball
(207) 221-3390

VICINITY PLAN



Barlas Residence

TBD Chauncey Circle
Asheville, NC 28803

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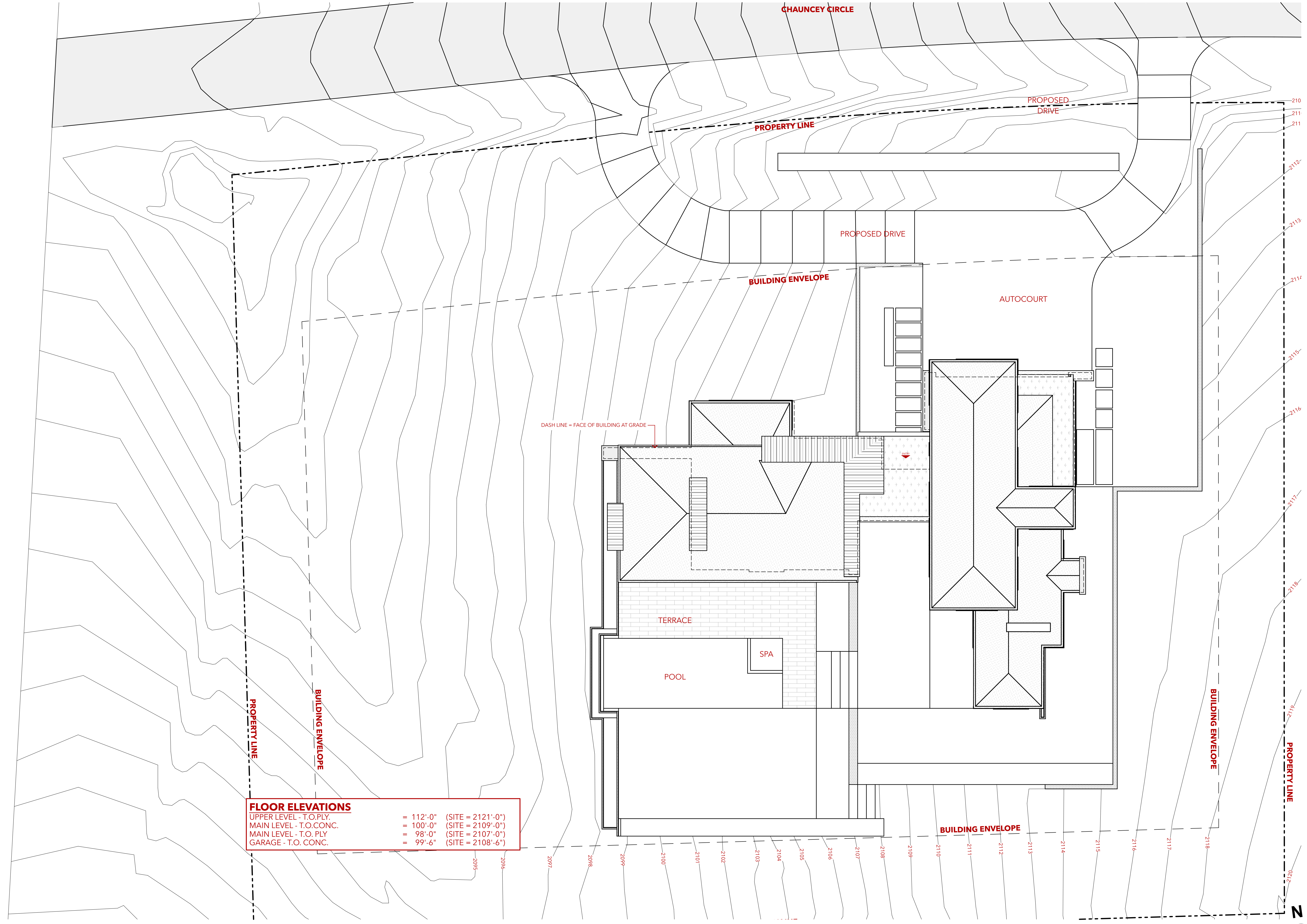
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SHEET TITLE
SITE PLAN

A100



FLOOR ELEVATIONS		
UPPER LEVEL - T.O. PLY.	=	112'-0" (SITE = 2121'-0")
MAIN LEVEL - T.O. CONC.	=	100'-0" (SITE = 2109'-0")
MAIN LEVEL - T.O. PLY.	=	98'-0" (SITE = 2107'-0")
GARAGE - T.O. CONC.	=	99'-6" (SITE = 2108'-6")

Site Plan **1**

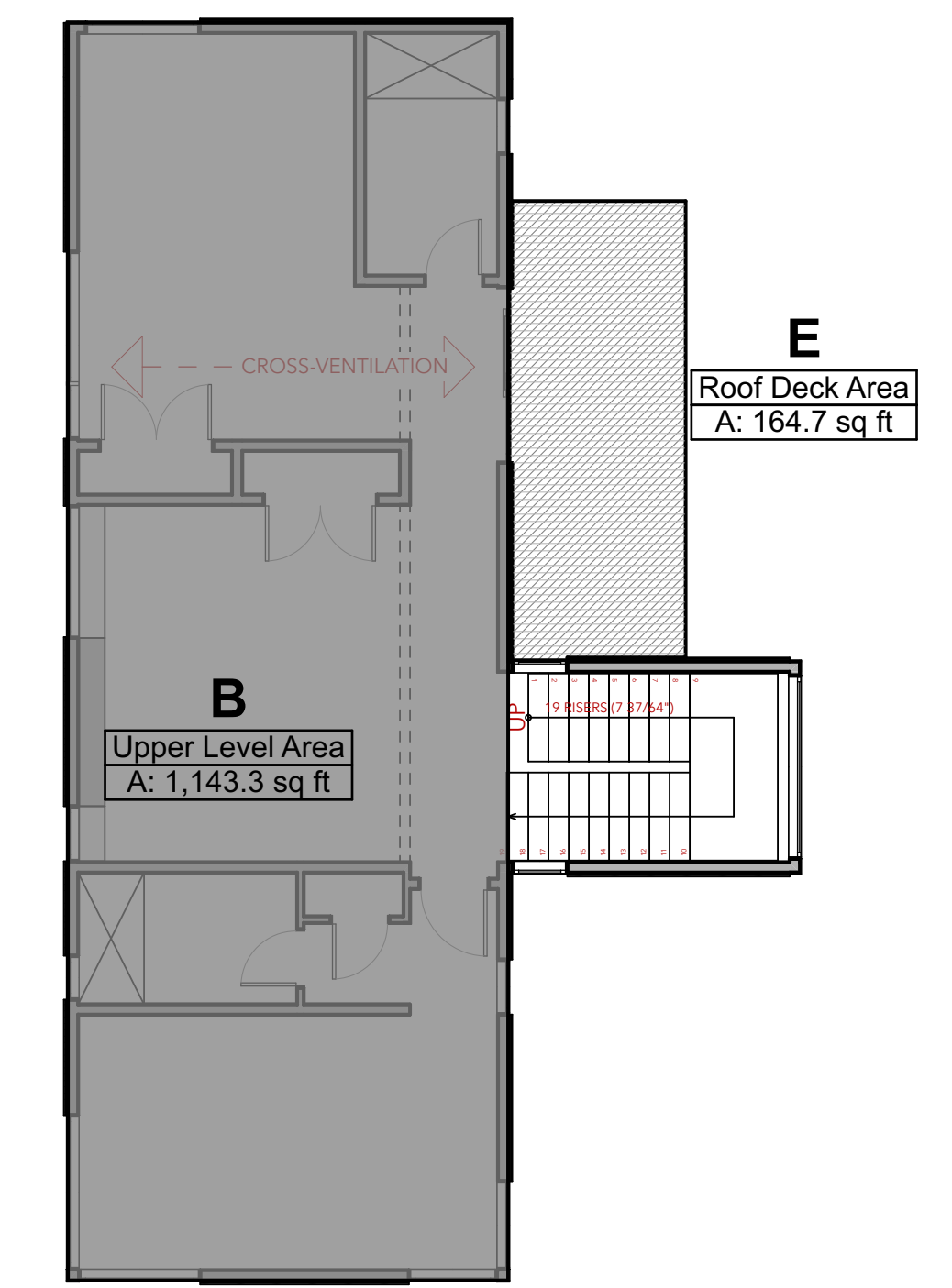
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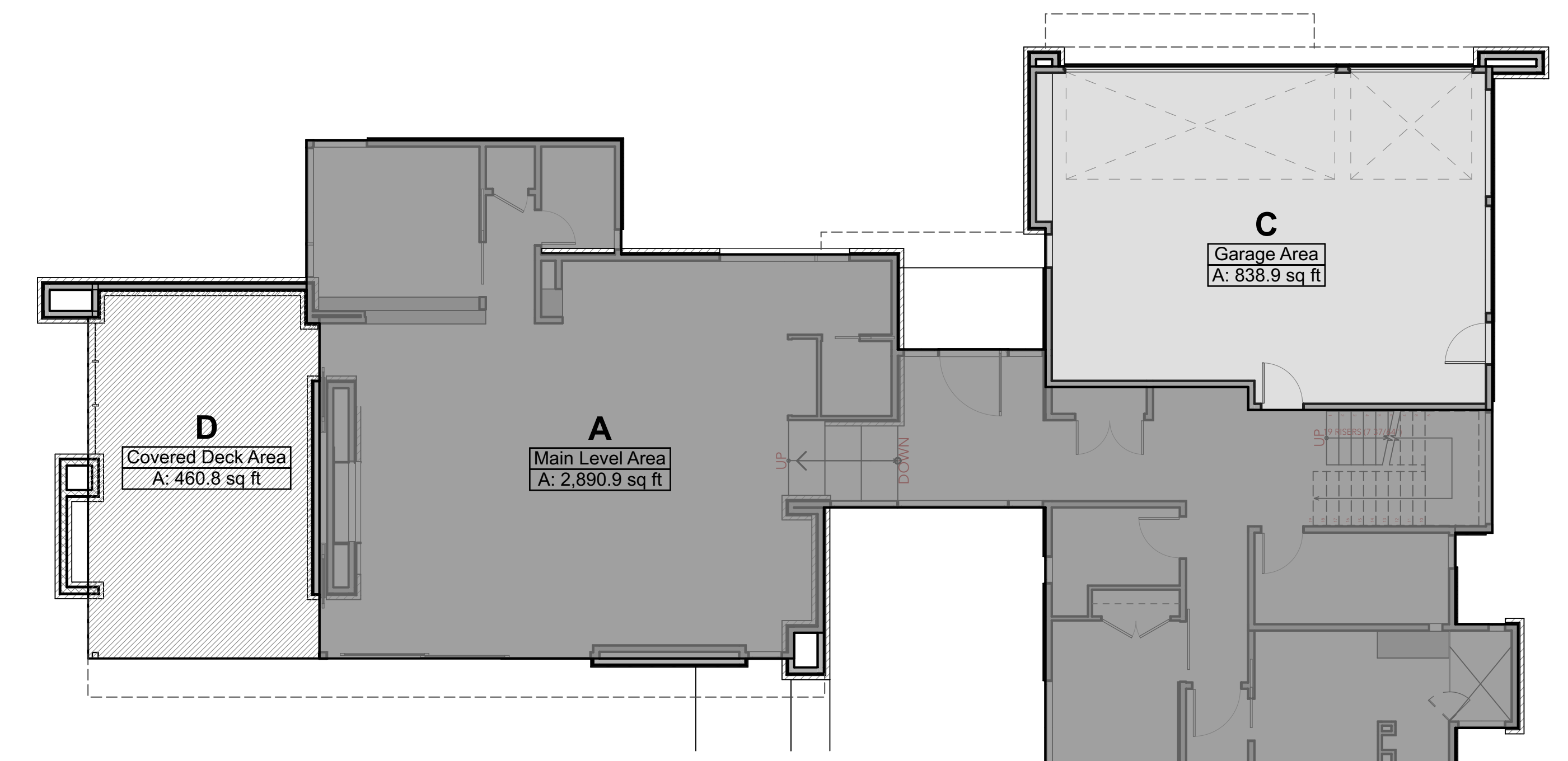
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**SHEET TITLE
FAR CALCS.**



Upper Level **2**
SCALE: 1/8" = 1'-0"



FLOOR AREA KEY
 FLOOR AREA
 COVERED DECK AREA

Main Level **1**
SCALE: 1/8" = 1'-0"
N

FLOOR AREA TOTALS				
ID	Floor Level	Description	Area	Notes
A	Main Level	Main Level Area	2,891	
B	Upper Level	Upper Level Area	1,143	
C	Main Level	Garage Area	839	
D	Main Level	Covered Deck Area	461	
E	Upper Level	Roof Deck Area	165	

FLOOR AREA CALCULATION				
ID	Floor	Description	Actual Area	Notes
A	Main Level	Main Level Area	2,891	
B	Upper Level	Upper Level Area	1,143	
TOTAL HEATED FLOOR AREA			4,034 sq ft	

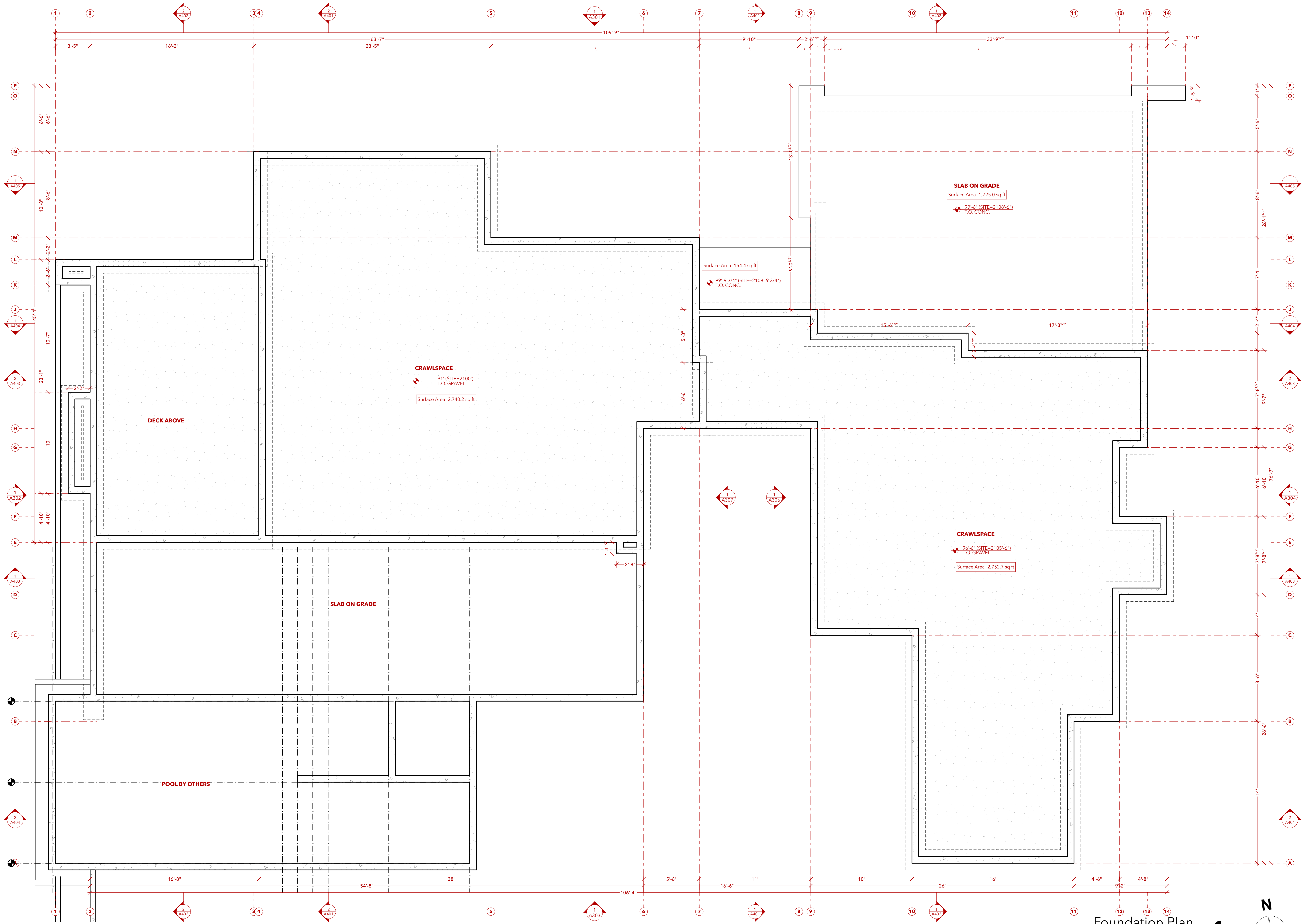
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SHEET TITLE
FOUNDATION PLAN

A201



Foundation Plan **1**
 SCALE: 1/4" = 1'-0"

Barlas Residence

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Asheville, NC 28803

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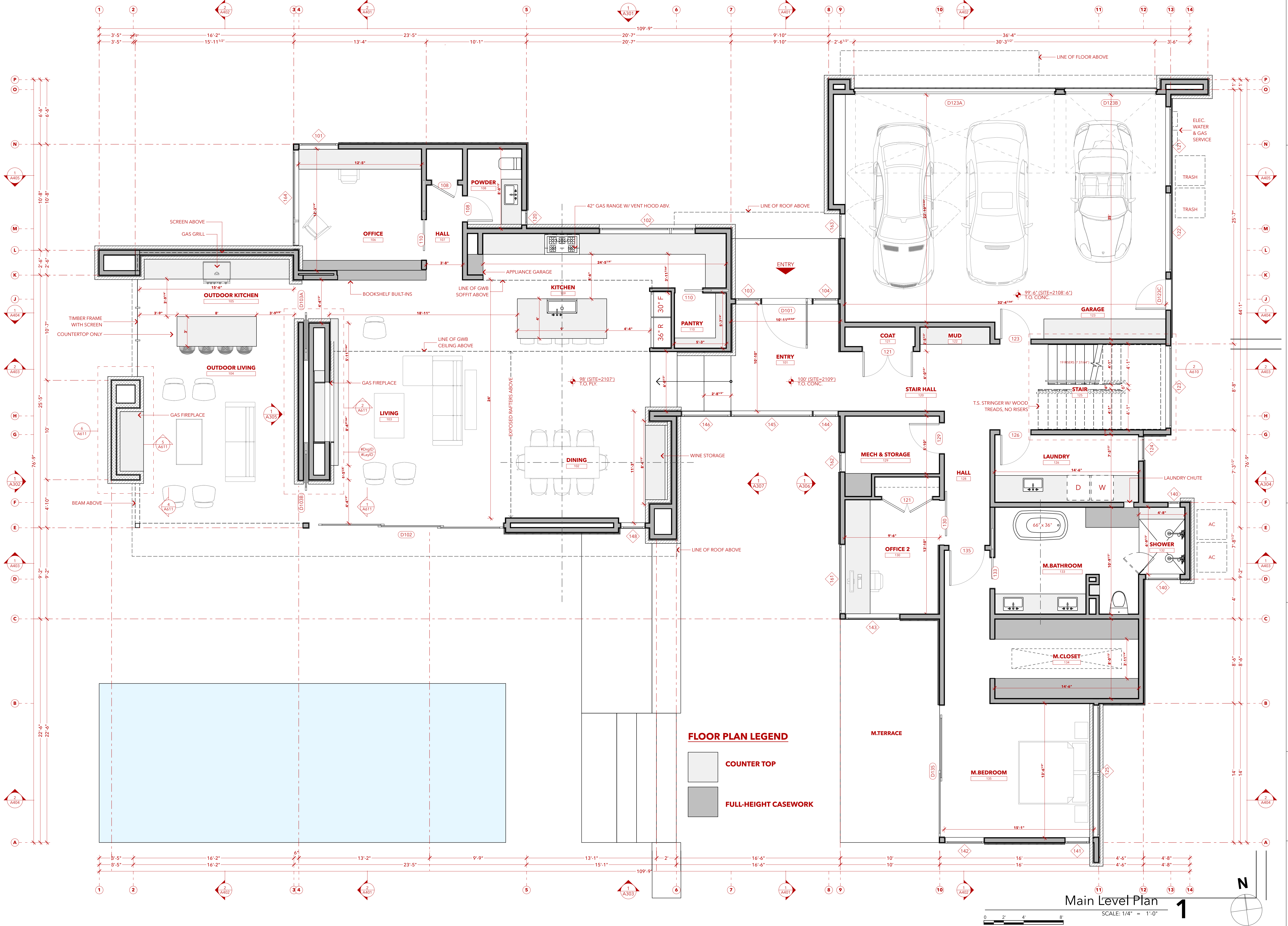
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SHEET TITLE
MAIN LEVEL PLAN

A202

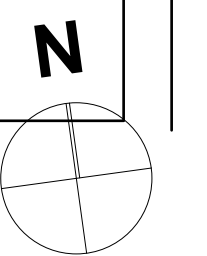
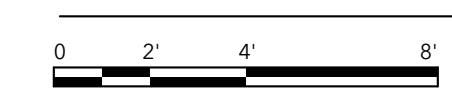


FLOOR PLAN LEGEND

- COUNTER TOP
- FULL-HEIGHT CASEWORK

Main Level Plan **1**

SCALE: 1/4" = 1'-0"



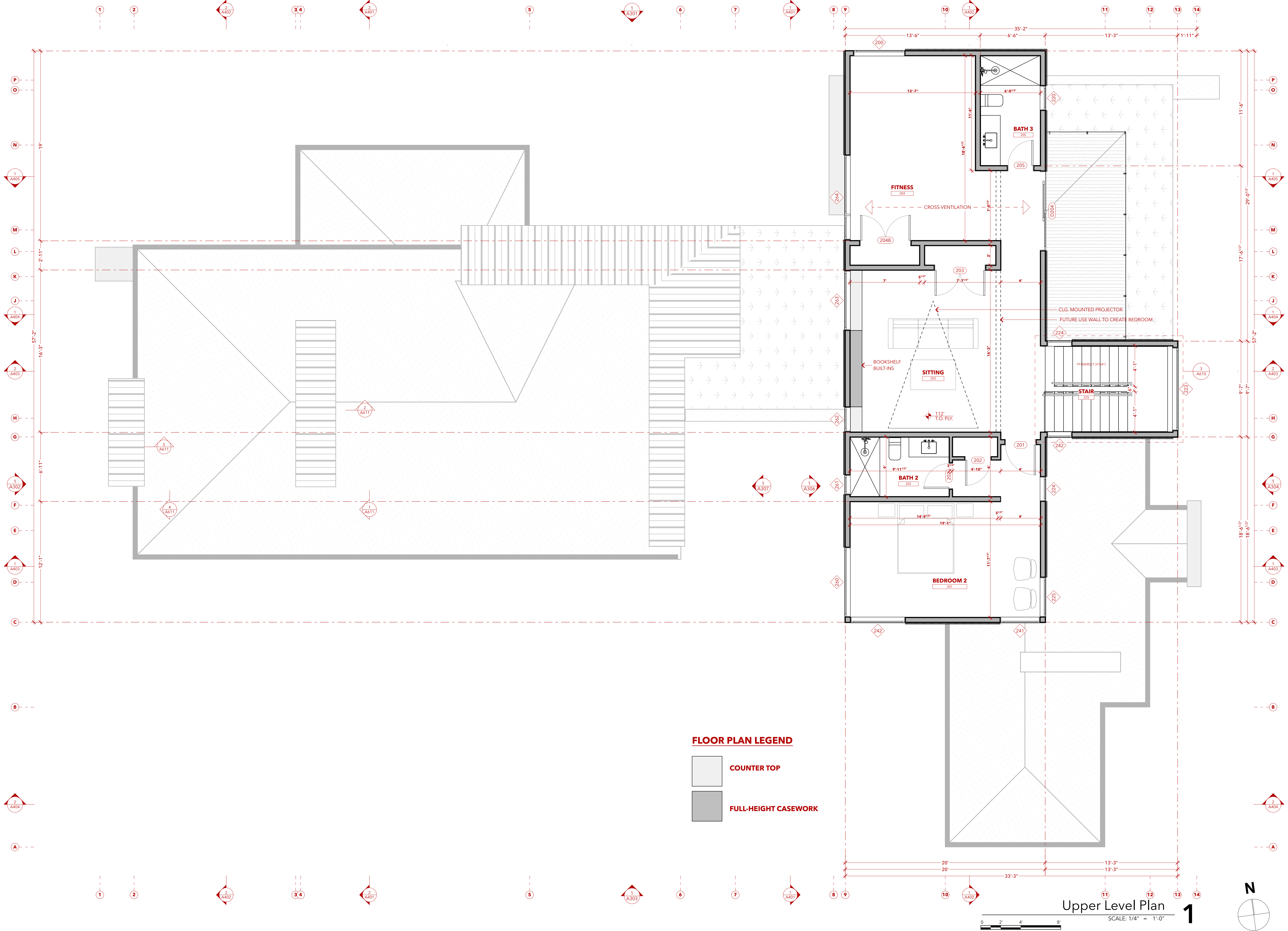
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SHEET TITLE
UPPER LEVEL PLAN

A203



Barlas Residence

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Asheville, NC 28803

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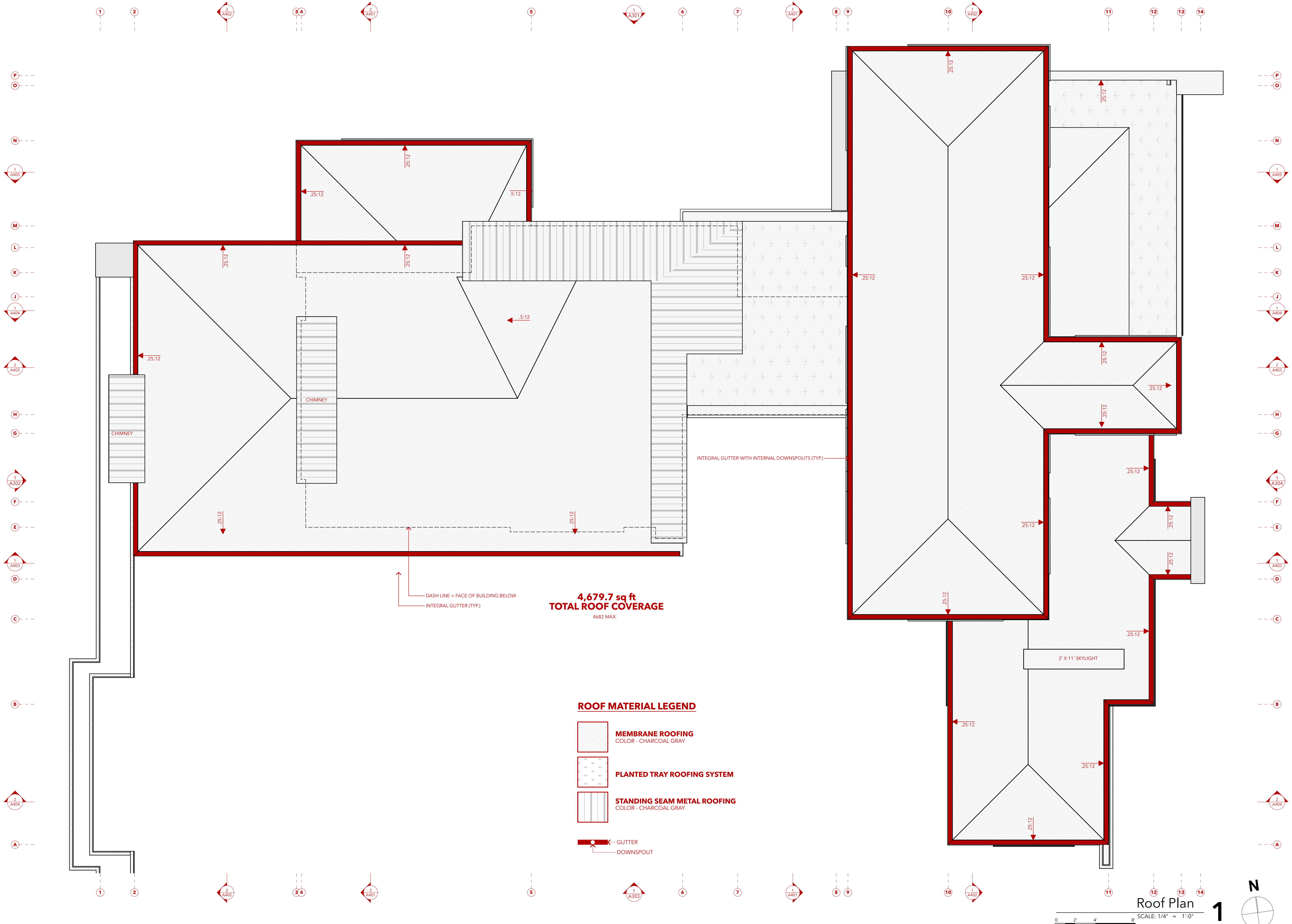
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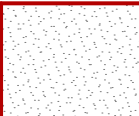
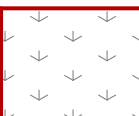
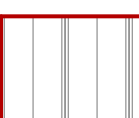


SHEET TITLE
ROOF PLAN

A204



4,679.7 sq ft
TOTAL ROOF COVERAGE
4682 MAX.

ROOF MATERIAL LEGEND

-  **MEMBRANE ROOFING**
COLOR - CHARCOAL GRAY
-  **PLANTED TRAY ROOFING SYSTEM**
-  **STANDING SEAM METAL ROOFING**
COLOR - CHARCOAL GRAY
-  **GUTTER**
-  **DOWNSPOUT**

Roof Plan

SCALE: 1/4" = 1'-0"

1

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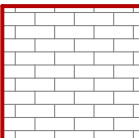
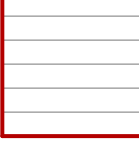
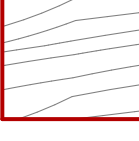

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SHEET TITLE
ELEVATION

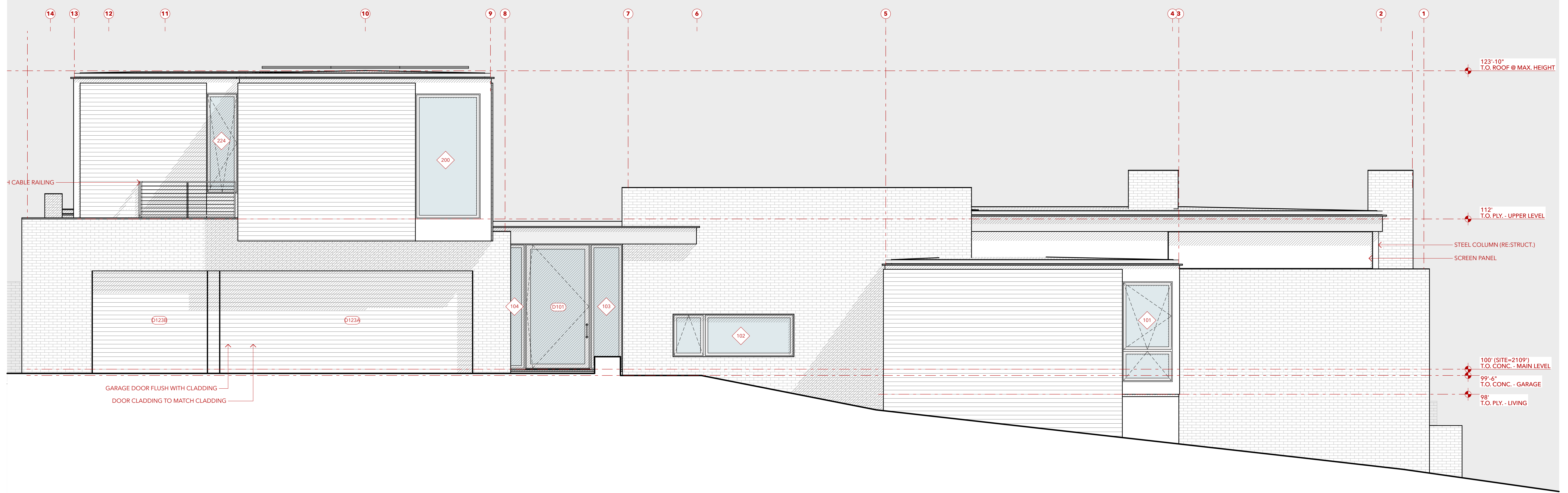
A301

ELEVATIONS MATERIAL LEGEND

-  **BRICK VENEER**
Corso White
-  **HORIZONTAL WOOD RAINSCREEN**
Thermory 1x6 Ash
-  **WOOD TIMBERS & TRIM**
TBD
-  **PAPER COMPOSITE PANEL**
Richlite Black Diamond

GENERAL NOTES

- 1)  INDICATES WINDOW, SEE WINDOW SCHEDULE ON A701
- 2)  INDICATES DOOR, SEE DOOR SCHEDULE ON A703



North Elevation **1**
SCALE: 1/4" = 1'-0"



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CONSTRUCTION**

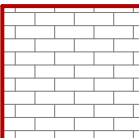
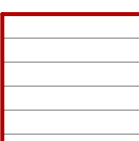
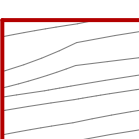

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ELEVATION

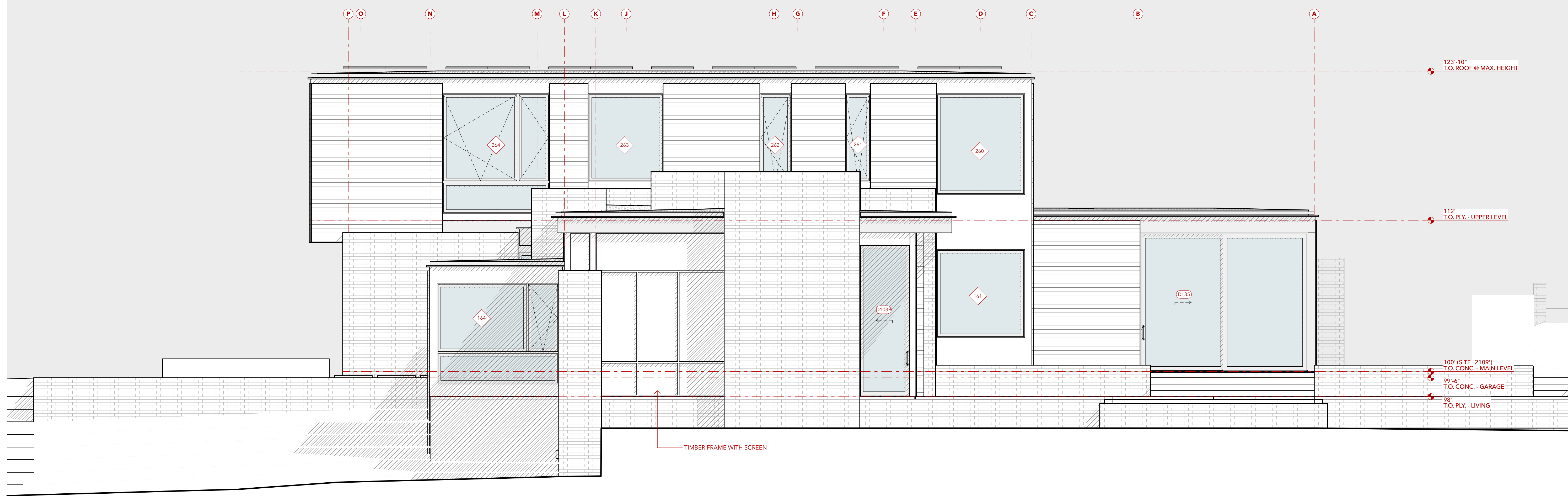
A302

ELEVATIONS MATERIAL LEGEND

-  **BRICK VENEER**
Corso White
-  **HORIZONTAL WOOD RAINSCREEN**
Thermory 1x6 Ash
-  **WOOD TIMBERS & TRIM**
TBD
-  **PAPER COMPOSITE PANEL**
Richlite Black Diamond

GENERAL NOTES

- 1)  INDICATES WINDOW, SEE WINDOW SCHEDULE ON A701
- 2)  INDICATES DOOR, SEE DOOR SCHEDULE ON A703



West Elevation



SCALE: 1/4" = 1'-0"

1

**NOT FOR
CONSTRUCTION**

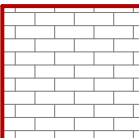
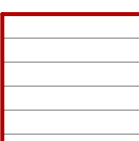
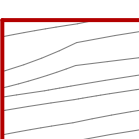

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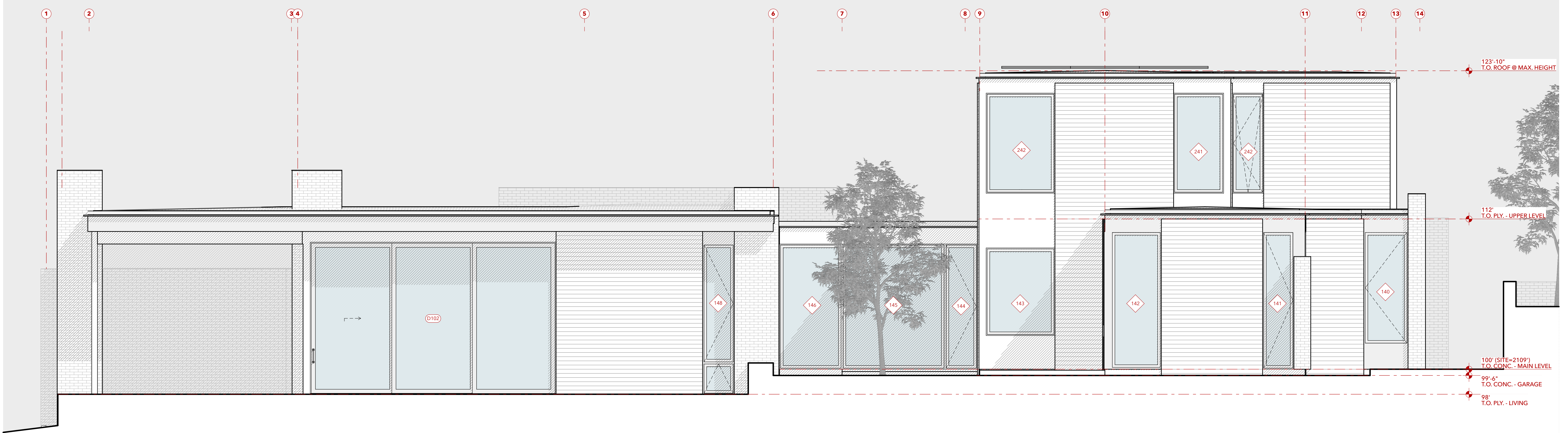
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ELEVATIONS MATERIAL LEGEND

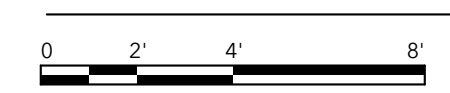
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Corso White
-  **HORIZONTAL WOOD RAINSCREEN**
Thermory 1x6 Ash
-  **WOOD TIMBERS & TRIM**
TBD
-  **PAPER COMPOSITE PANEL**
Richlite Black Diamond

GENERAL NOTES

- 1)  INDICATES WINDOW, SEE WINDOW SCHEDULE ON A701
- 2)  INDICATES DOOR, SEE DOOR SCHEDULE ON A703



South Elevation **1**



SCALE: 1/4" = 1'-0"

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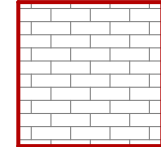
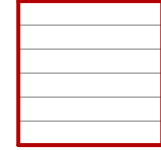
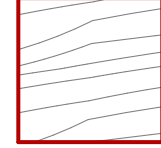
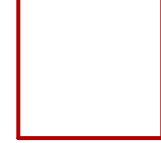
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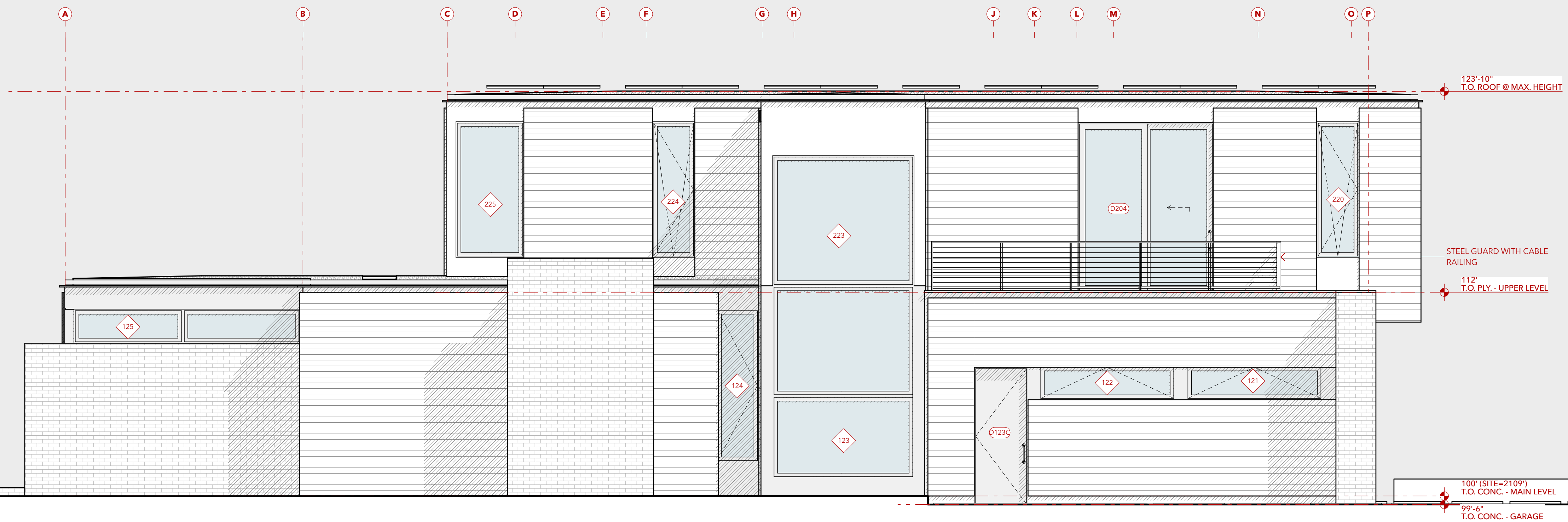
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ELEVATIONS MATERIAL LEGEND

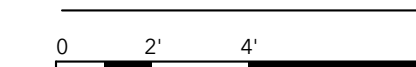
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Corso White
-  **HORIZONTAL WOOD RAINSCREEN**
Thermory 1x6 Ash
-  **WOOD TIMBERS & TRIM**
TBD
-  **PAPER COMPOSITE PANEL**
Richlite Black Diamond

GENERAL NOTES

- 1)  INDICATES WINDOW, SEE WINDOW SCHEDULE ON A701
- 2)  INDICATES DOOR, SEE DOOR SCHEDULE ON A703



East Elevation



SCALE: 1/4" = 1'-0"

1

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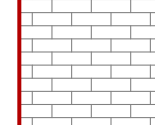

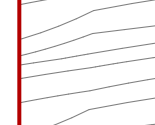

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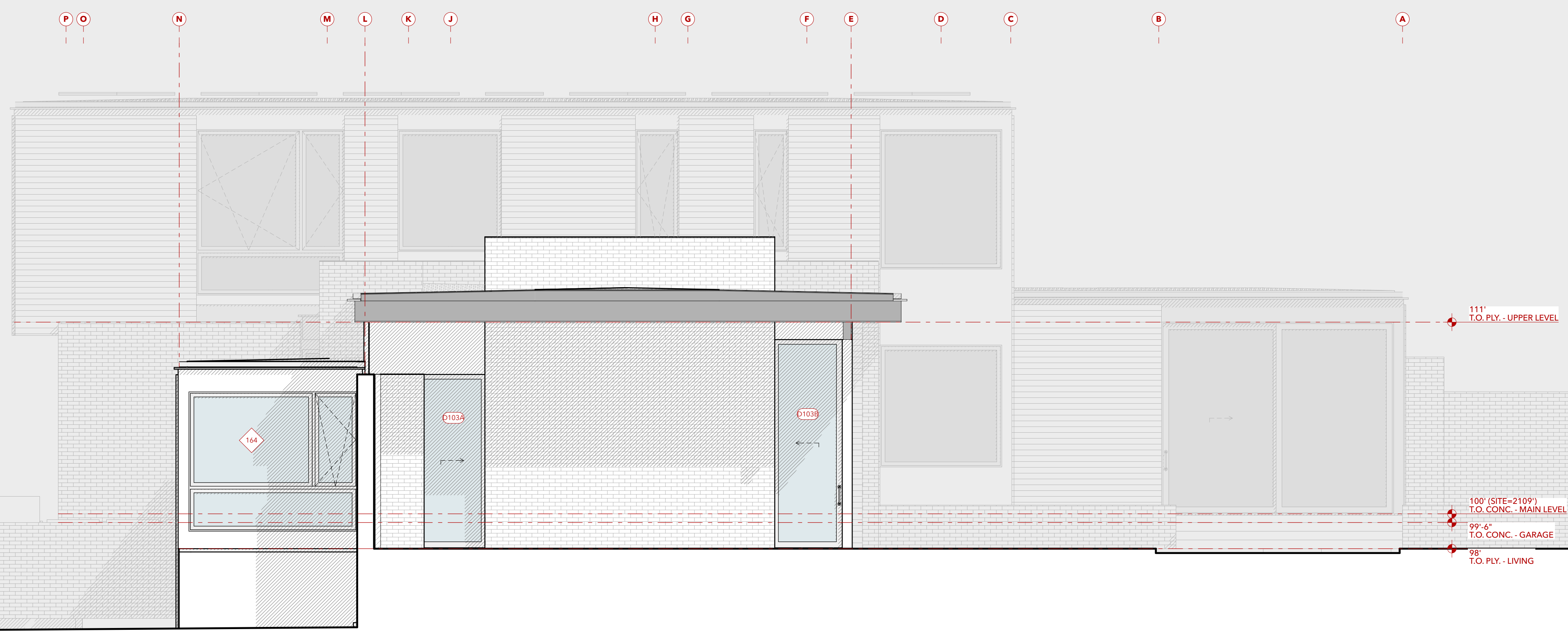
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ELEVATIONS MATERIAL LEGEND

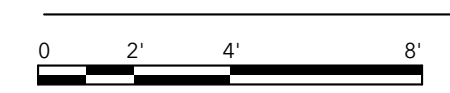
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-  **HORIZONTAL WOOD RAINSCREEN**
Thermory 1x6 Ash
-  **WOOD TIMBERS & TRIM**
TBD
-  **PAPER COMPOSITE PANEL**
Richlite Black Diamond

GENERAL NOTES

- 1)  INDICATES WINDOW, SEE WINDOW SCHEDULE ON A701
- 2)  INDICATES DOOR, SEE DOOR SCHEDULE ON A703



Partial West Elevation @ Outdoor Living



SCALE: 1/4" = 1'-0"

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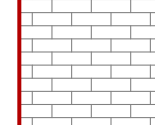

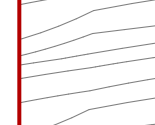

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ELEVATION

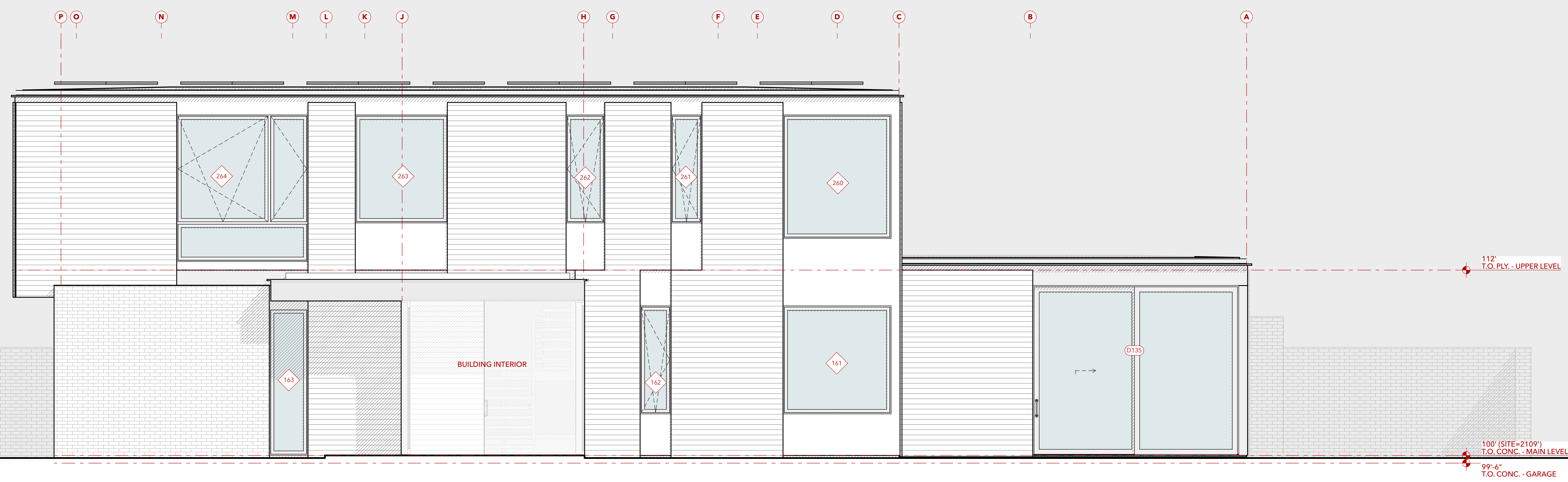
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ELEVATIONS MATERIAL LEGEND

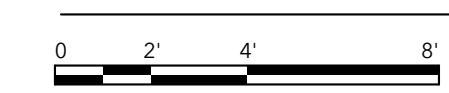
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Corso White
-  **HORIZONTAL WOOD RAINSCREEN**
Thermory 1x6 Ash
-  **WOOD TIMBERS & TRIM**
TBD
-  **PAPER COMPOSITE PANEL**
Richlite Black Diamond

GENERAL NOTES

- 1)  INDICATES WINDOW, SEE WINDOW SCHEDULE ON A701
- 2)  INDICATES DOOR, SEE DOOR SCHEDULE ON A703



Partial West Elevation @ Entry



SCALE: 1/4" = 1'-0"

1

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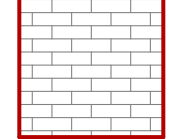

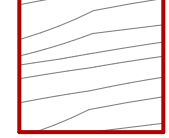

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SHEET TITLE
ELEVATION

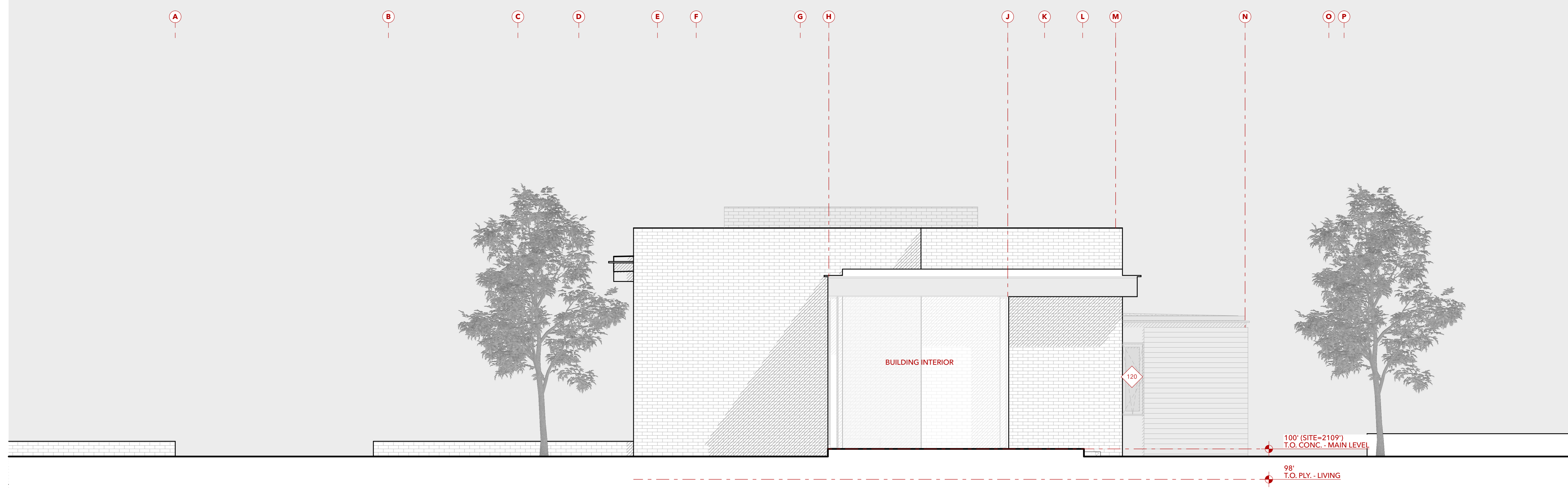
A307

ELEVATIONS MATERIAL LEGEND

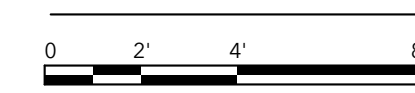
-  **BRICK VENEER**
Corso White
-  **HORIZONTAL WOOD RAINSCREEN**
Thermory 1x6 Ash
-  **WOOD TIMBERS & TRIM**
TBD
-  **PAPER COMPOSITE PANEL**
Richlite Black Diamond

GENERAL NOTES

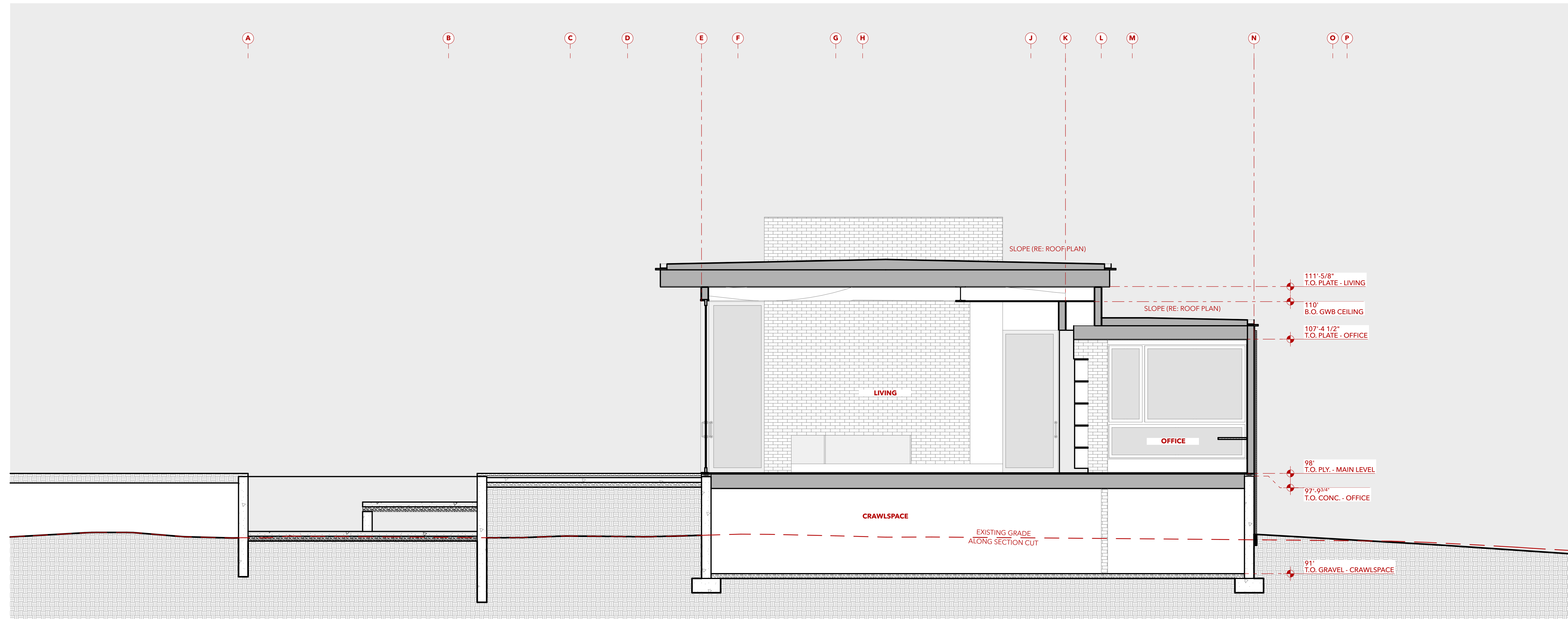
- 1)  INDICATES WINDOW, SEE WINDOW SCHEDULE ON A701
- 2)  INDICATES DOOR, SEE DOOR SCHEDULE ON A703



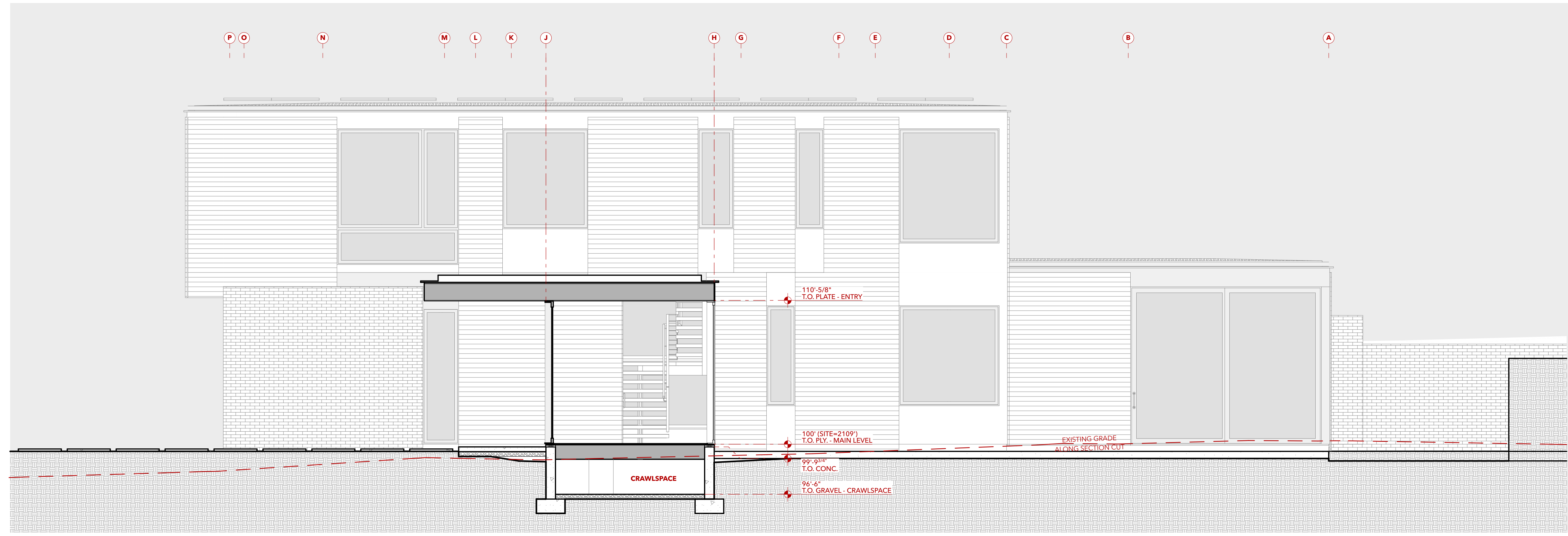
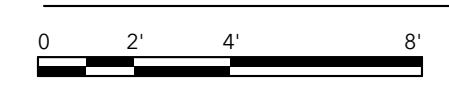
Partial East Elevation @ Entry



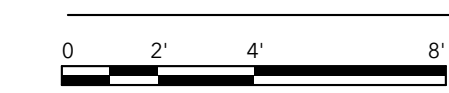
SCALE: 1/4" = 1'-0"



N-S Section @ Living **2**
SCALE: 1/4" = 1'-0"



N-S Section @ Entry **1**
SCALE: 1/4" = 1'-0"



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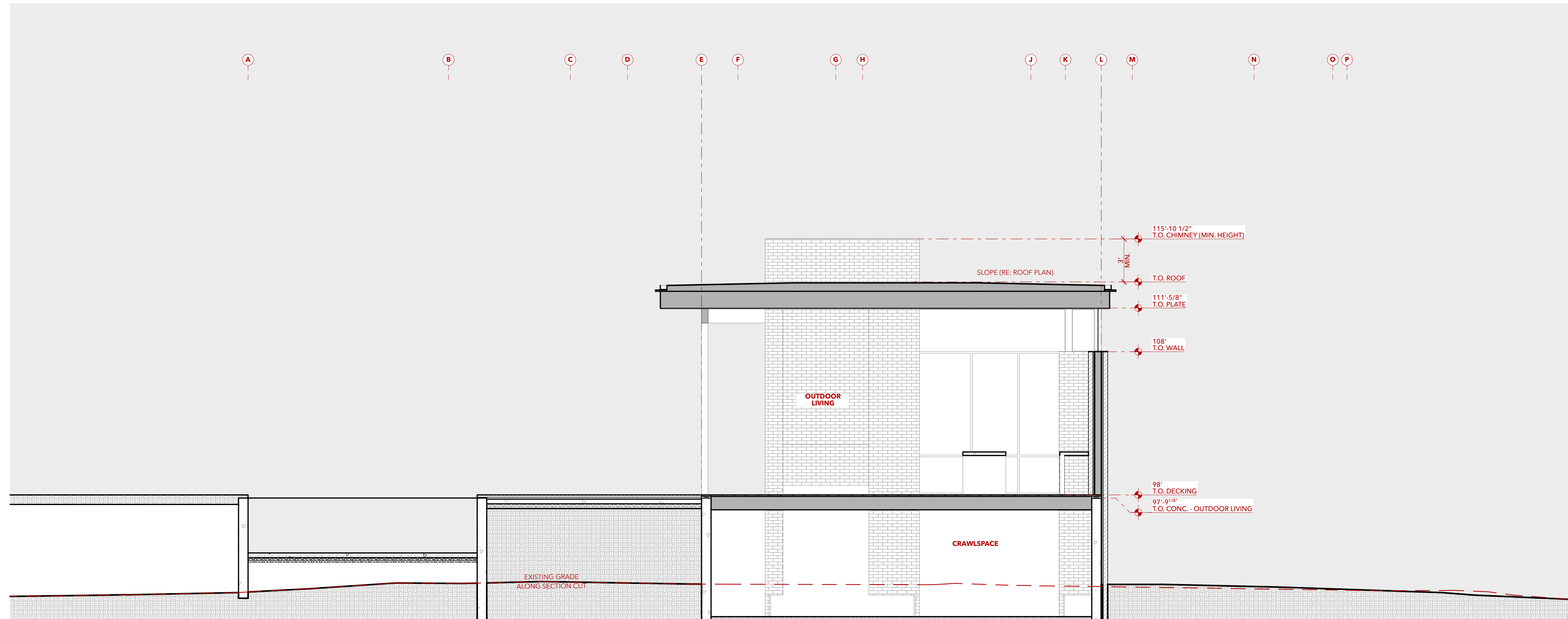
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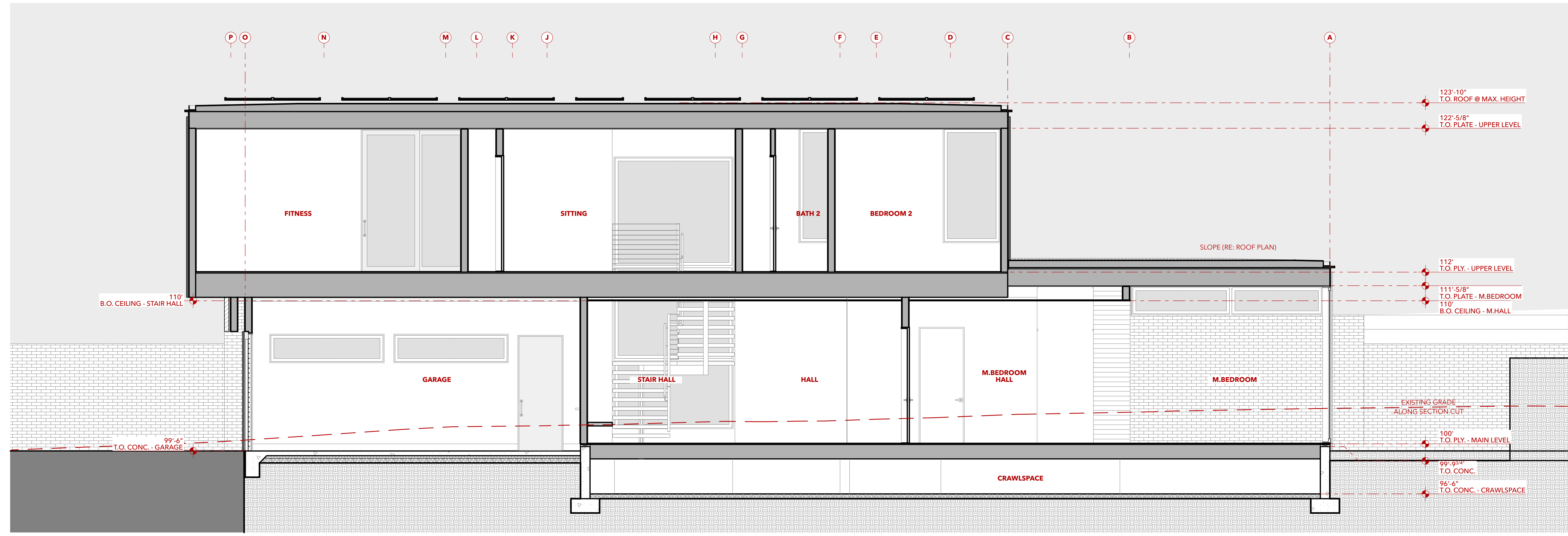
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SHEET TITLE
SECTION

A401



N-S Section @ Outdoor Living **2**
SCALE: 1/4" = 1'-0"



N-S Section @ Garage **1**
SCALE: 1/4" = 1'-0"

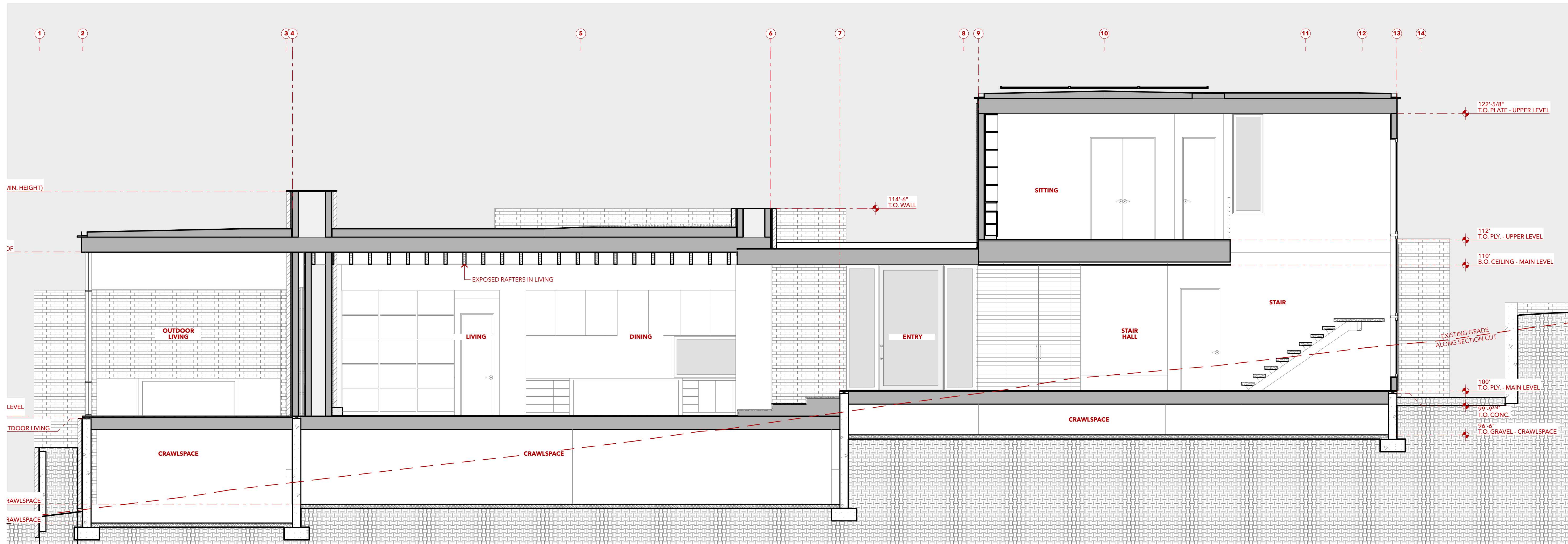
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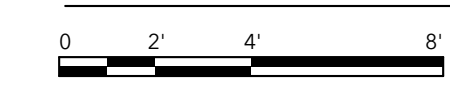
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SHEET TITLE
SECTION

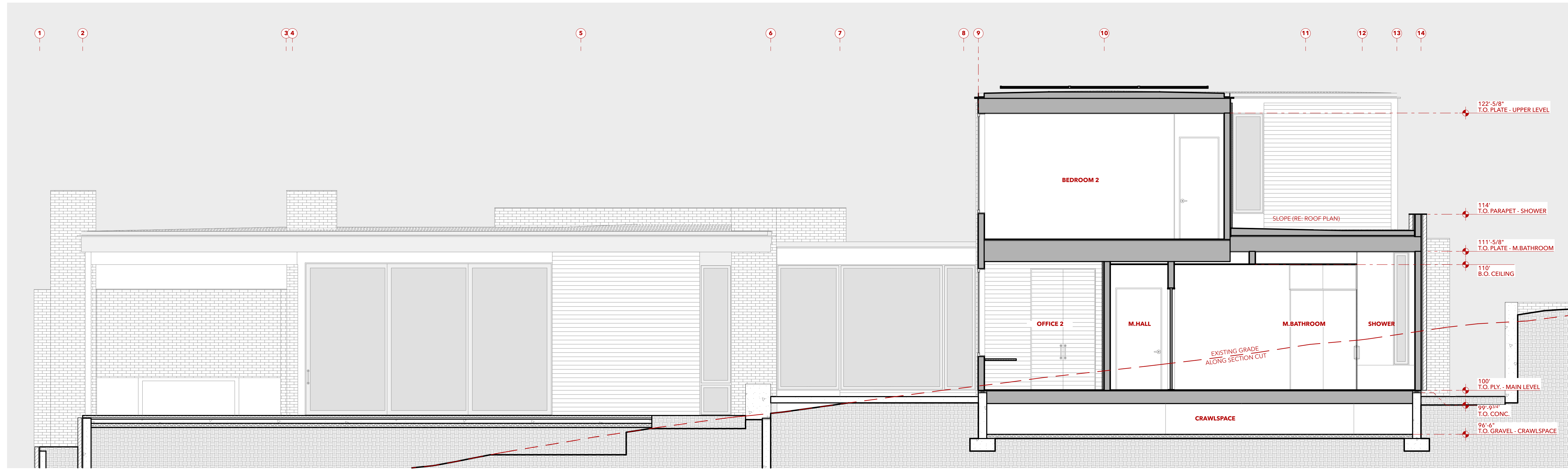
A402



W-E Section @ Stair **2**



SCALE: 1/4" = 1'-0"



W-E Section @ M.Bathroom **1**



SCALE: 1/4" = 1'-0"

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SHEET TITLE
SECTION

A403

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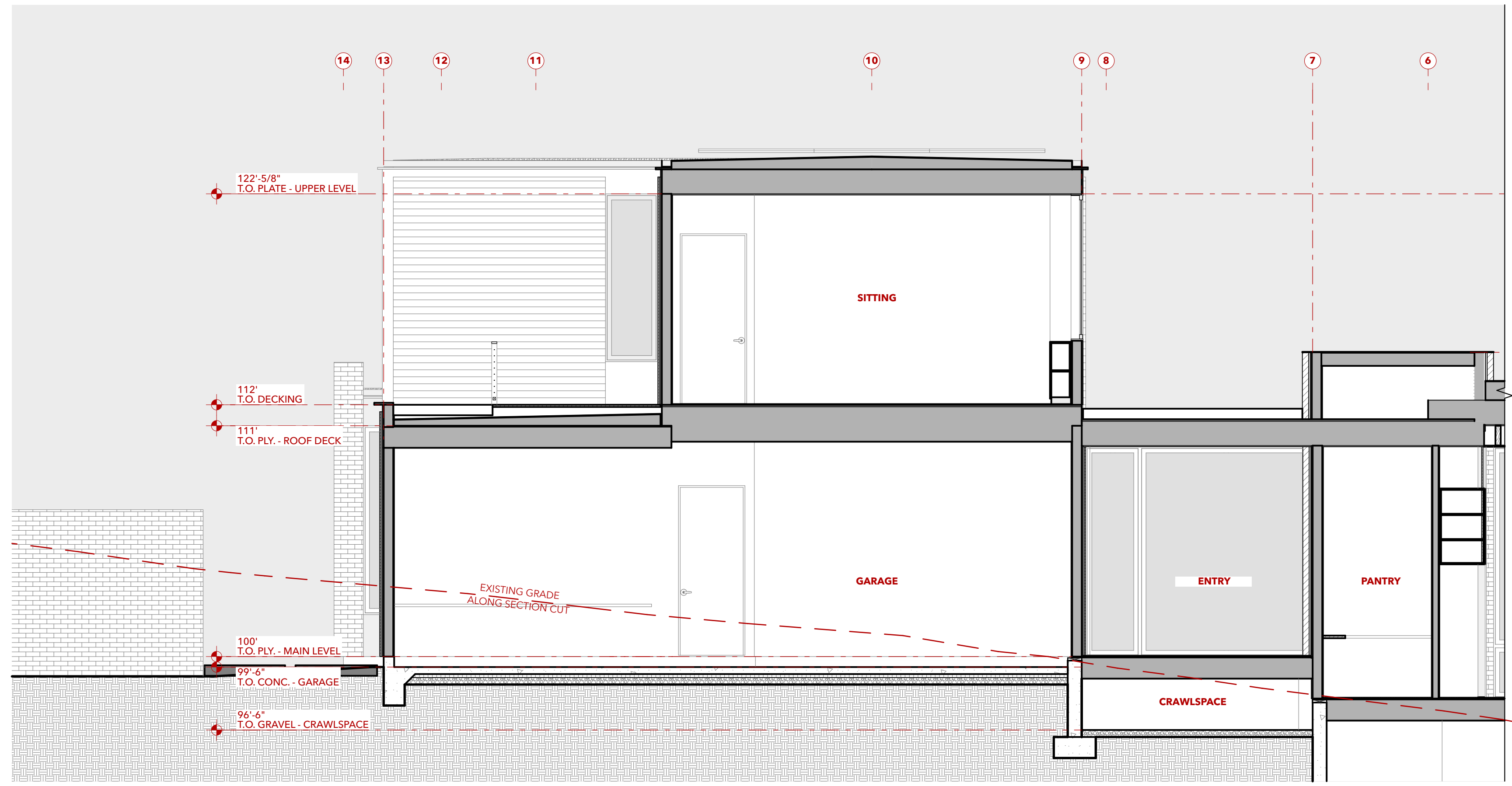
ISSUE	DATE
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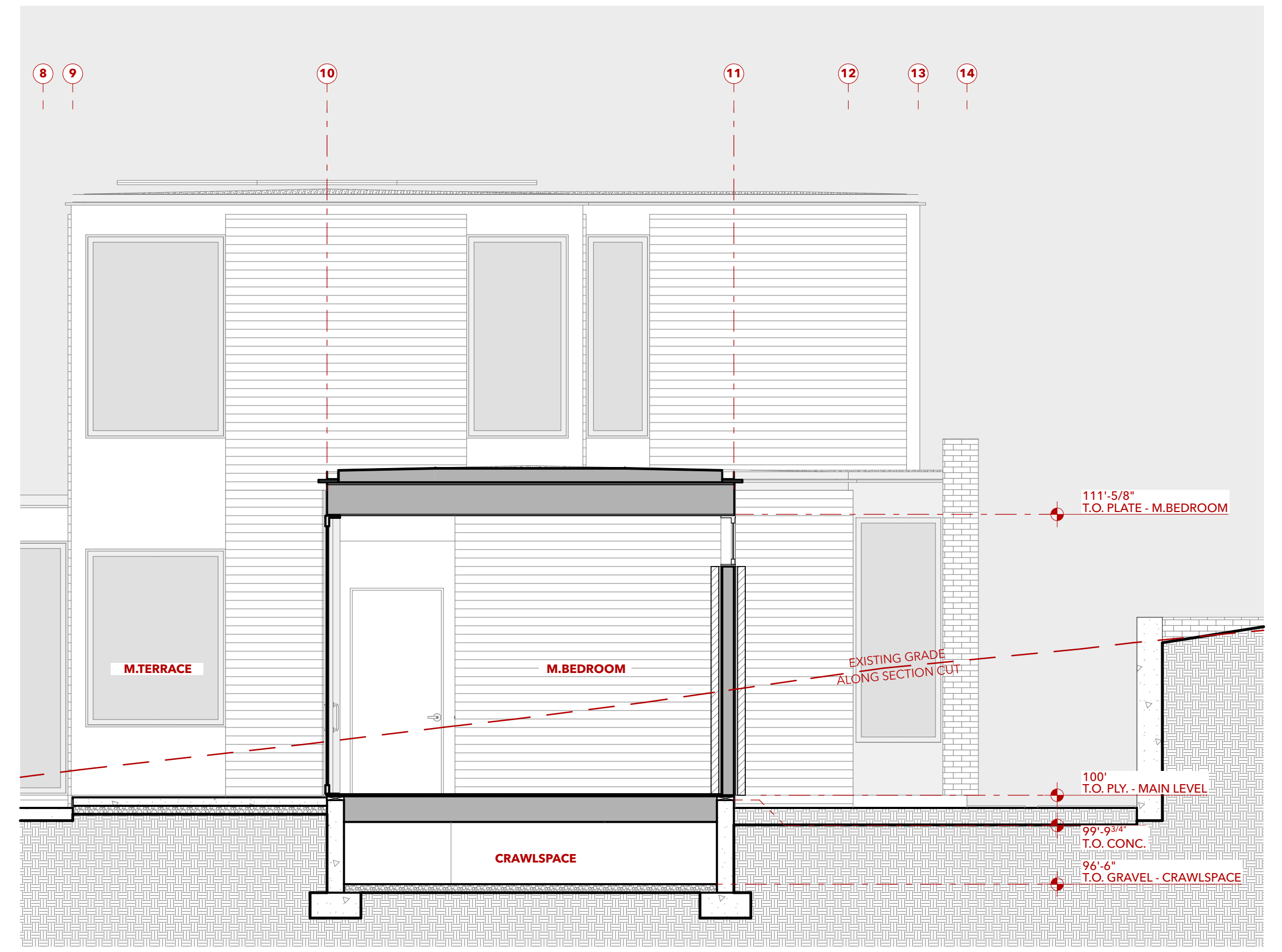
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SHEET TITLE
SECTION

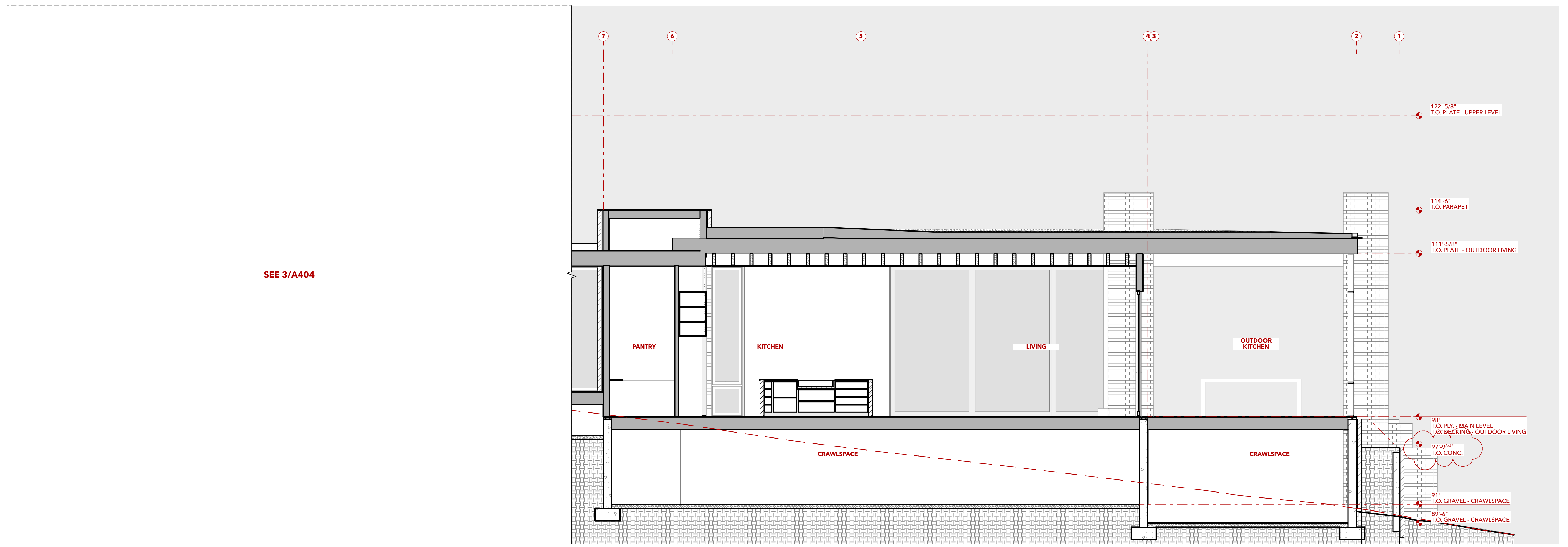
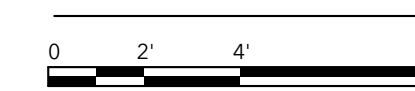
A404



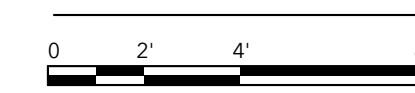
W-E Section @ Garage **3**



W-E Section @ M.Bedroom **2**



W-E Section @ Garage **1**



SEE 3/A404

Barlas Residence

TBD Chauncey Circle
Asheville, NC 28803

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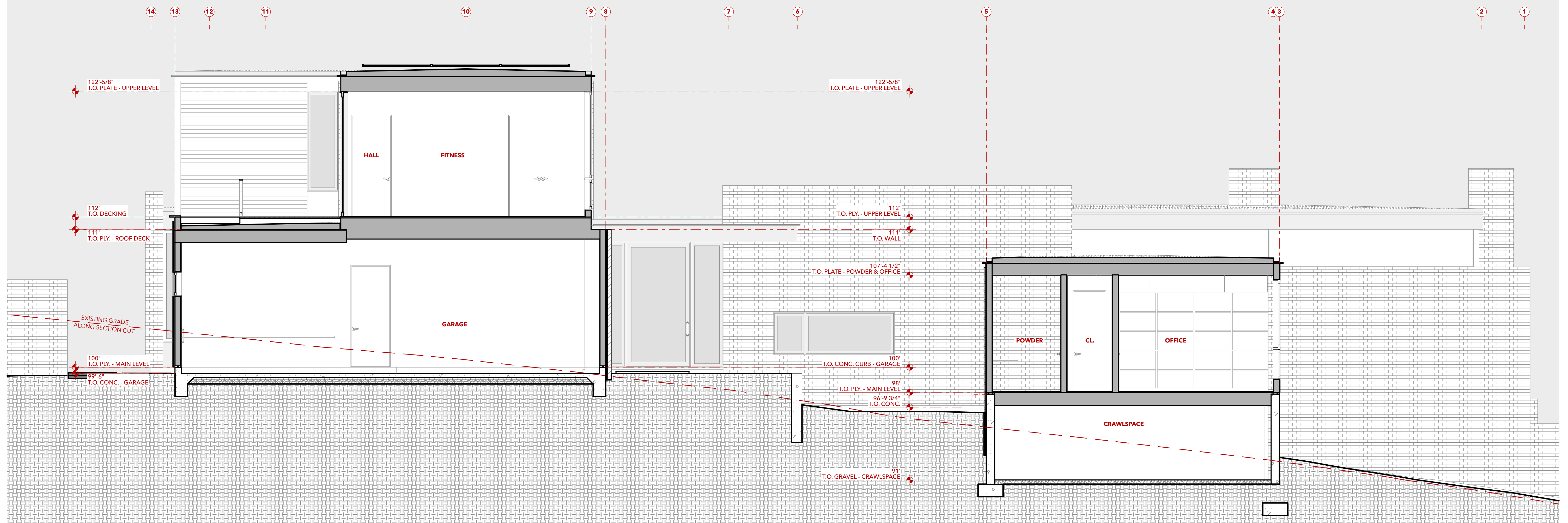
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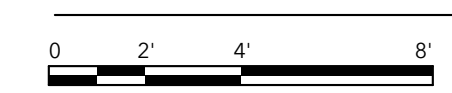
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SHEET TITLE
SECTION

A405



W-E Section @ Office



SCALE: 1/4" = 1'-0"

1

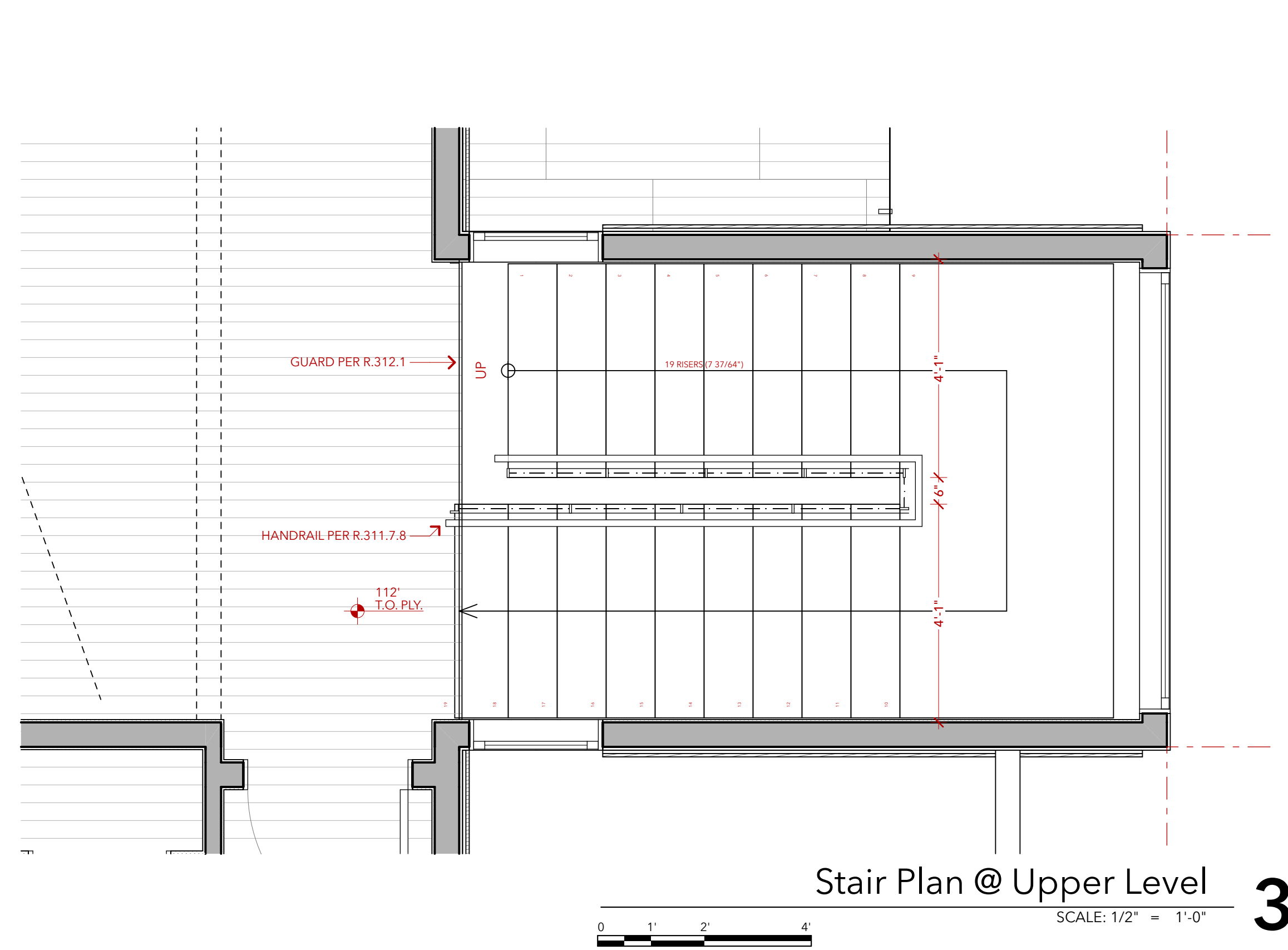
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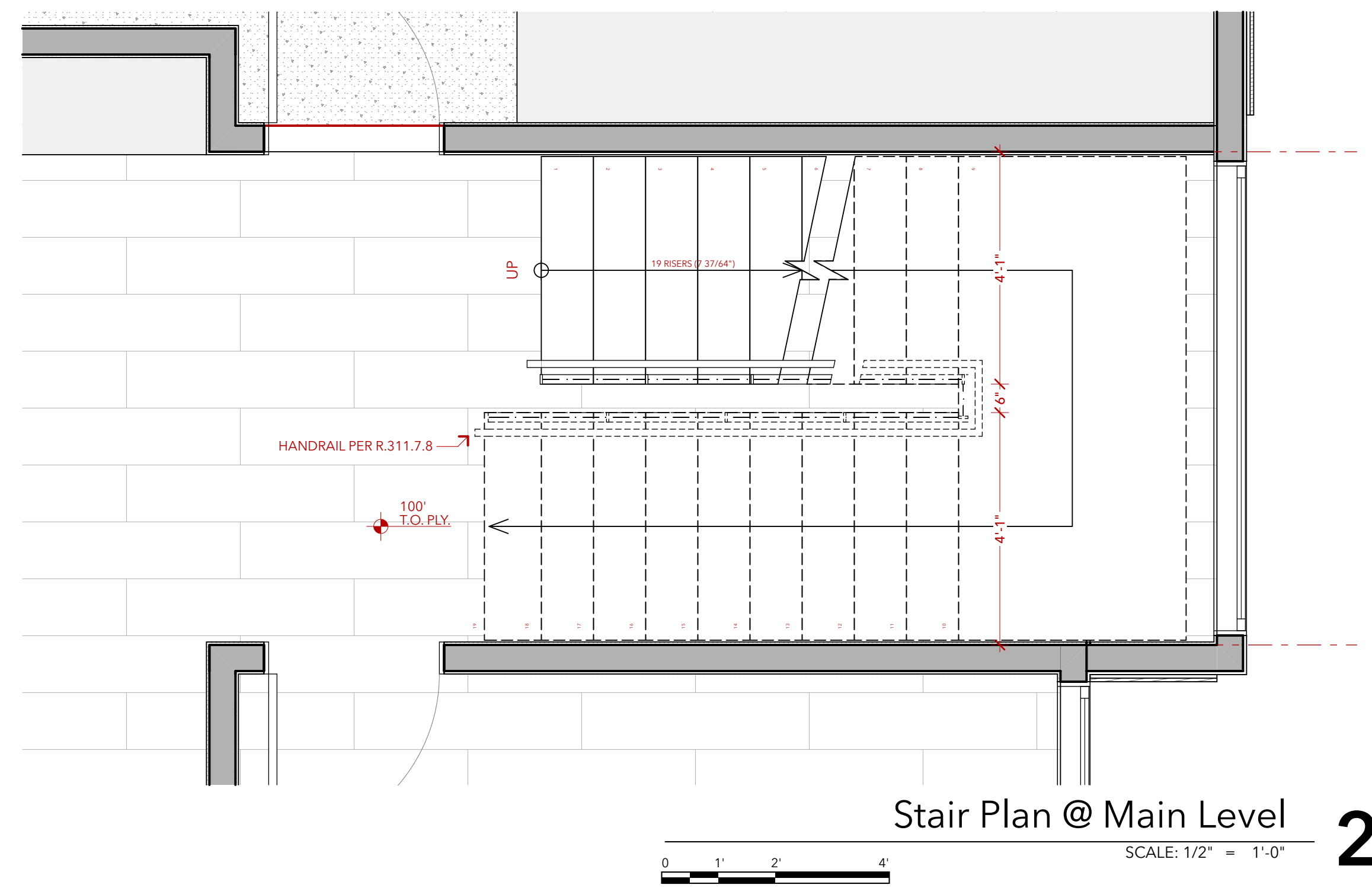
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SHEET TITLE
STAIR DETAILS

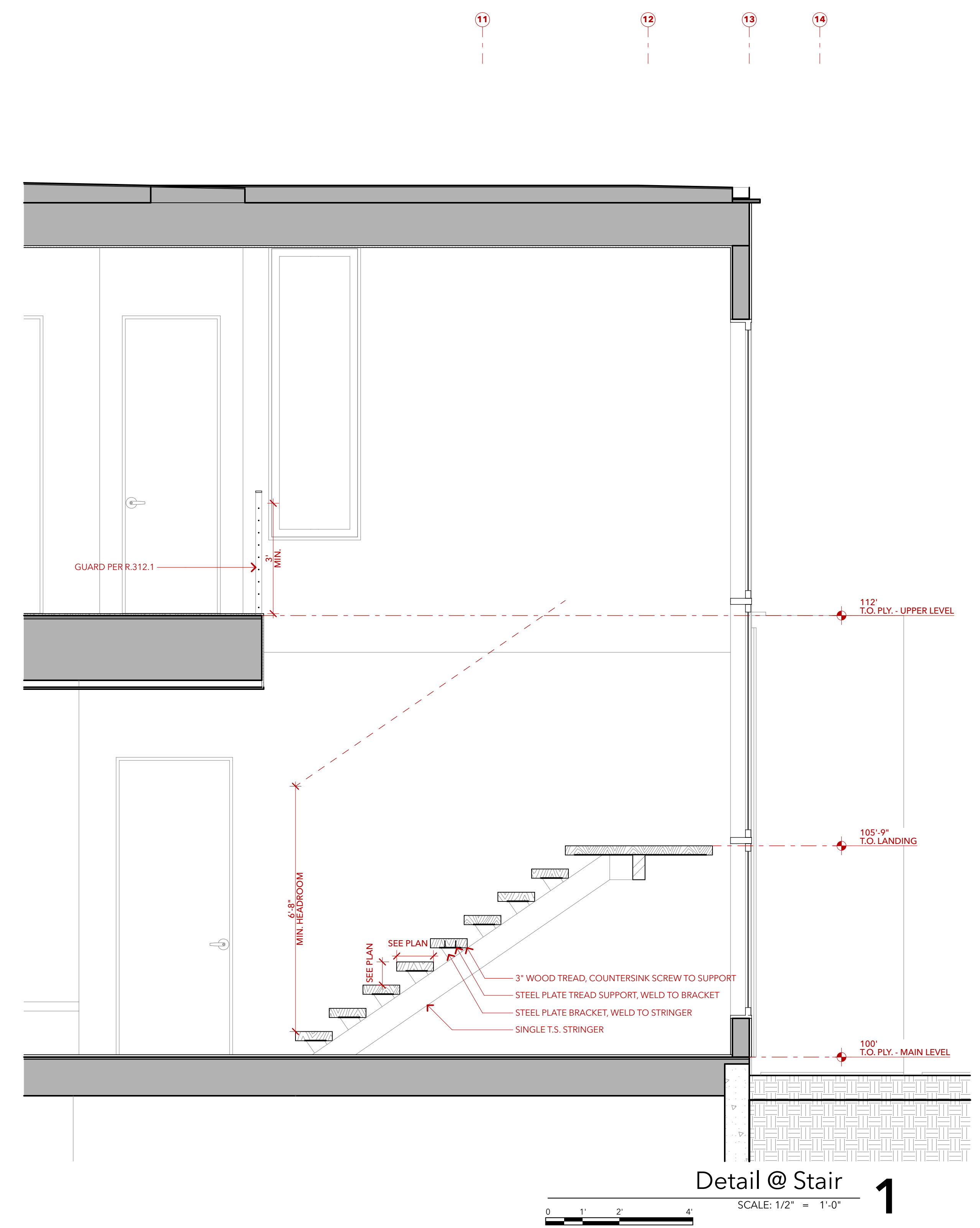
A610



Stair Plan @ Upper Level **3**
 SCALE: 1/2" = 1'-0"



Stair Plan @ Main Level **2**
 SCALE: 1/2" = 1'-0"



Detail @ Stair **1**
 SCALE: 1/2" = 1'-0"

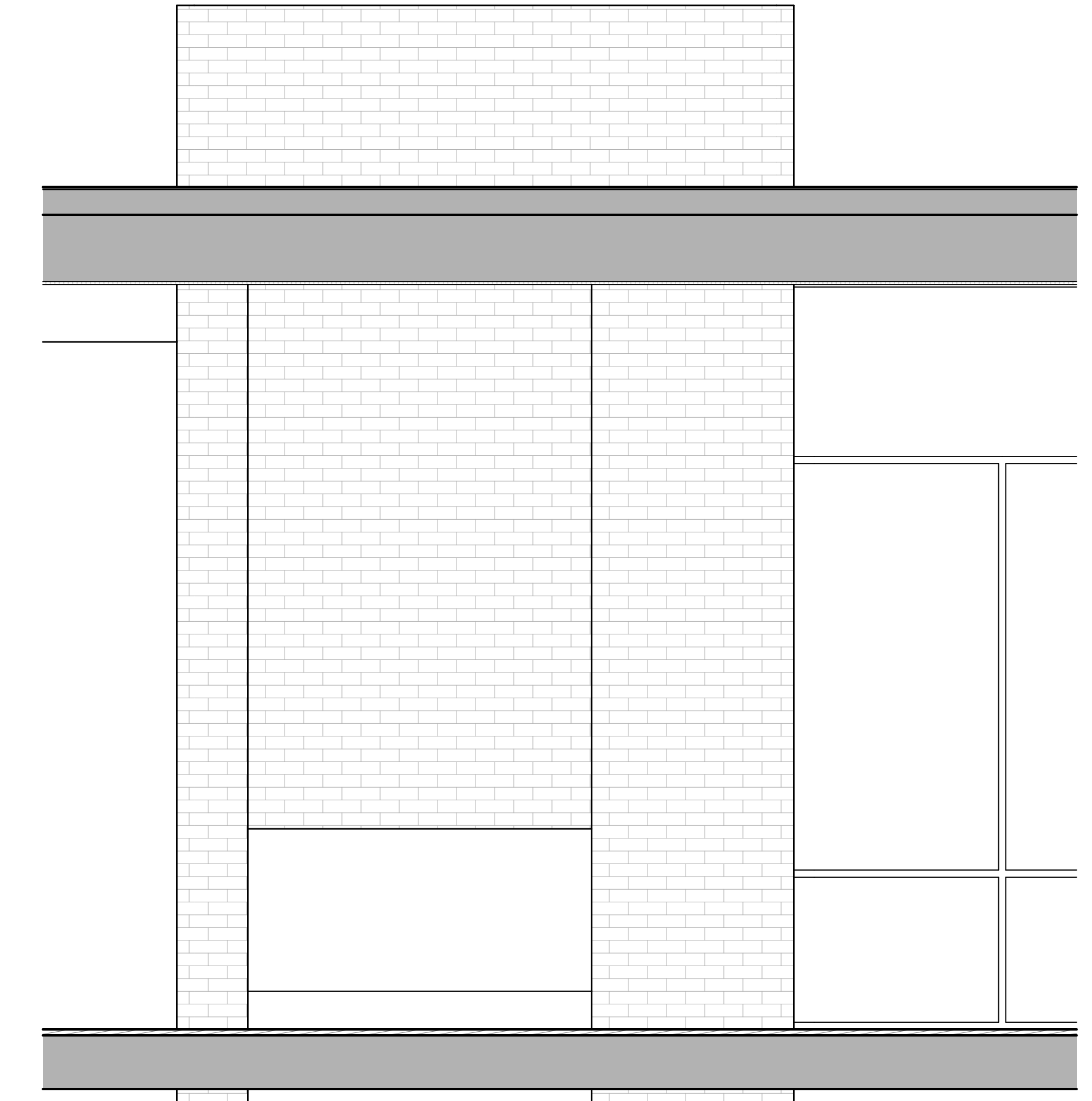
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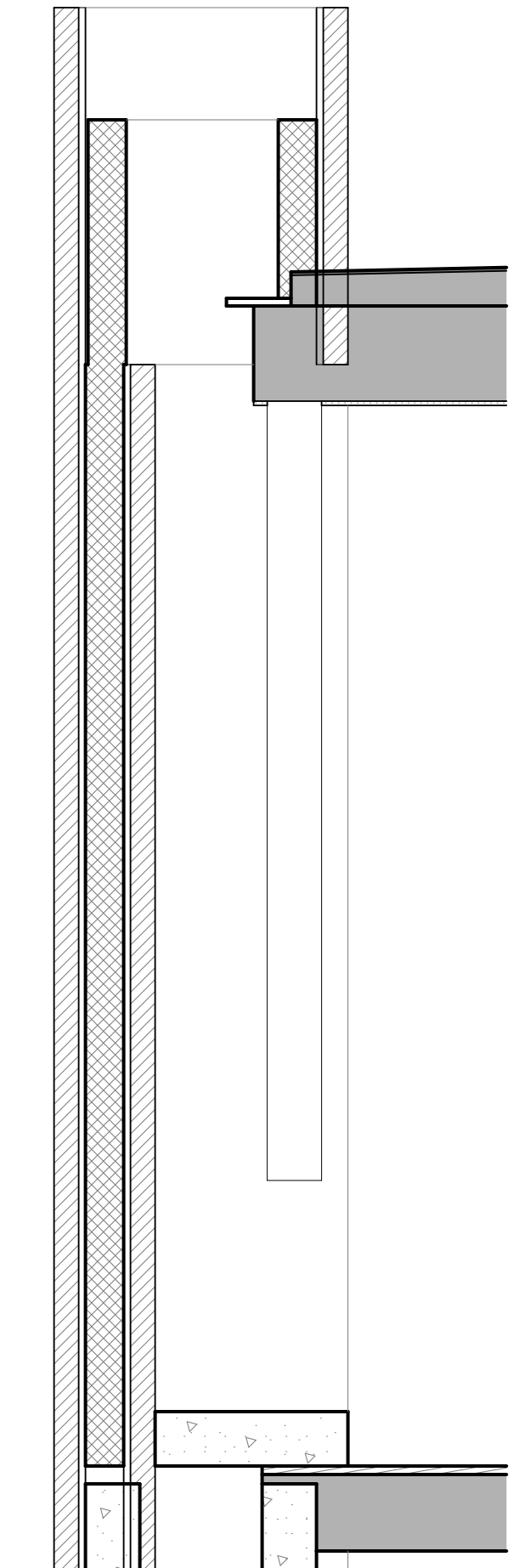
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SHEET TITLE
FIREPLACE DETAILS

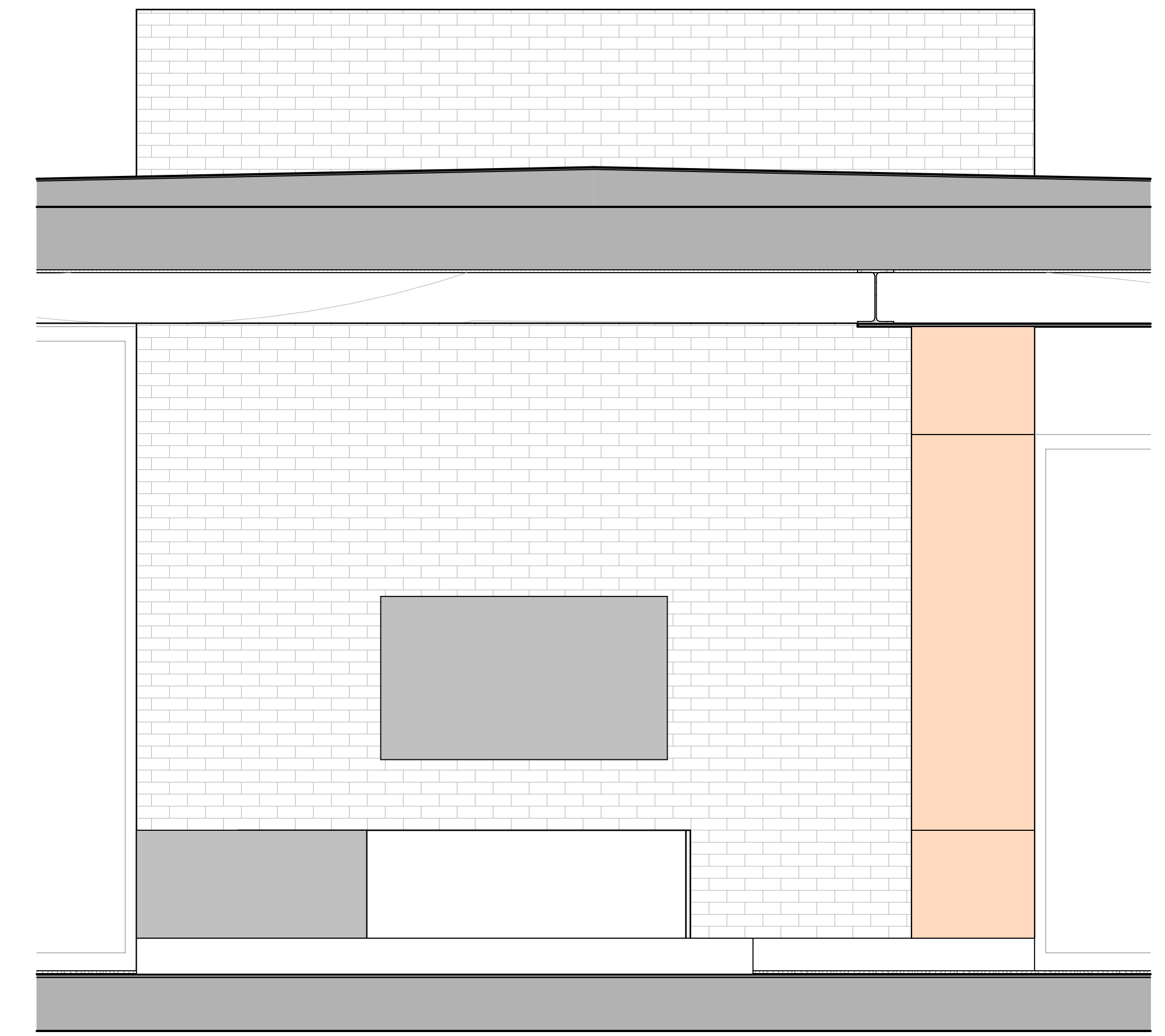
A611



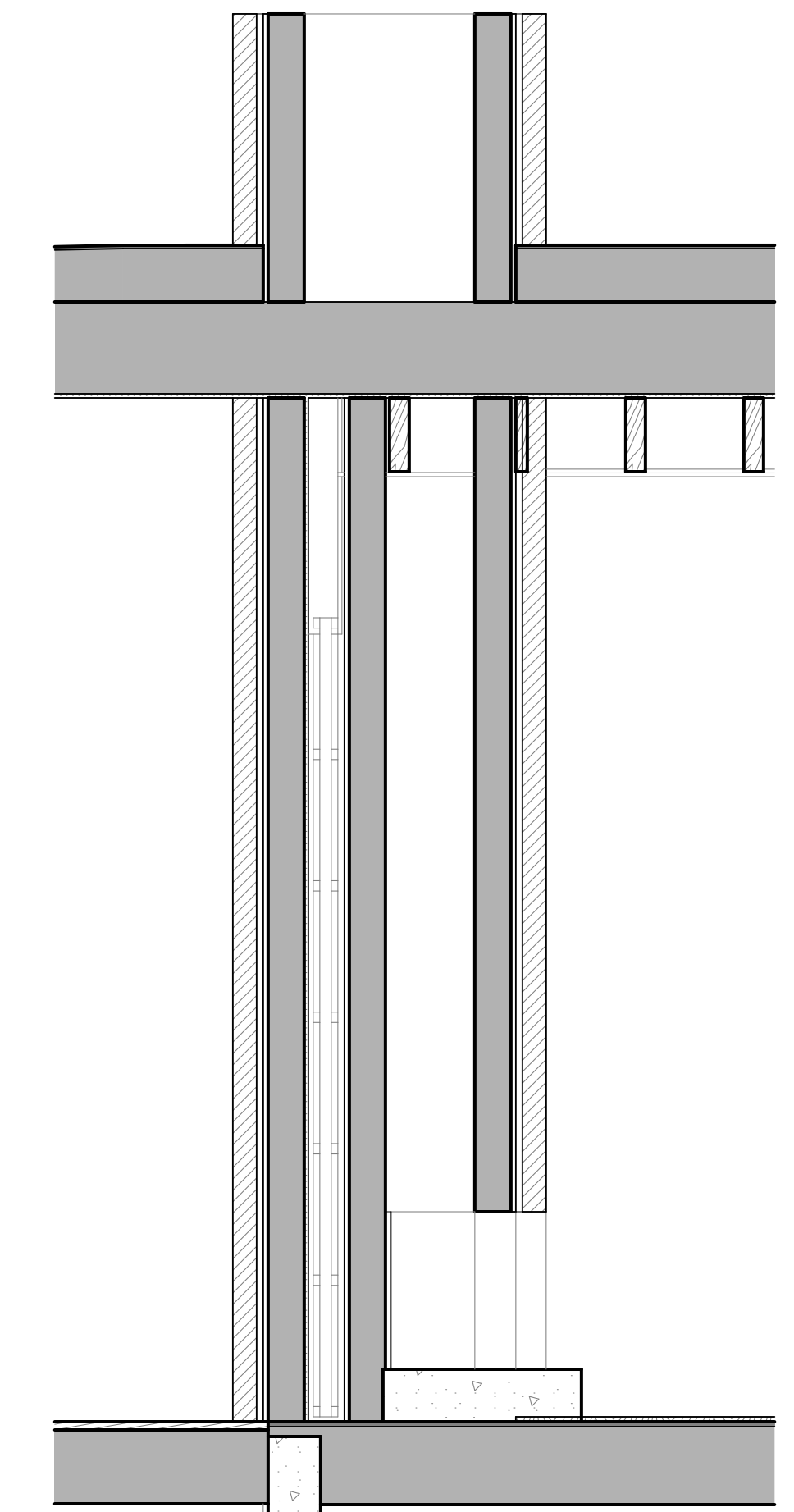
Elevation @ Outdoor Fireplace **4**
SCALE: 1/2" = 1'-0"



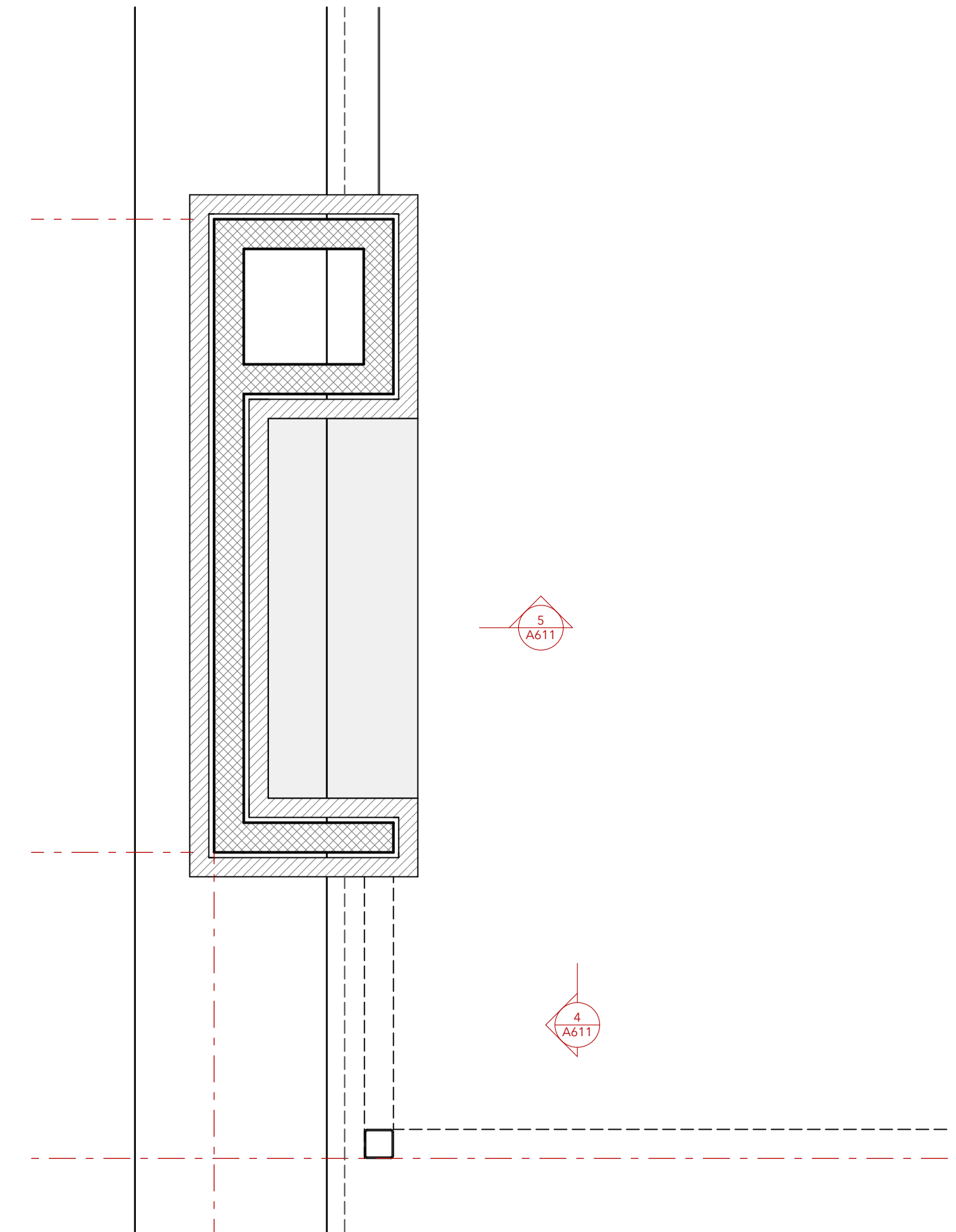
Section @ Outdoor Fireplace **5**
SCALE: 1/2" = 1'-0"



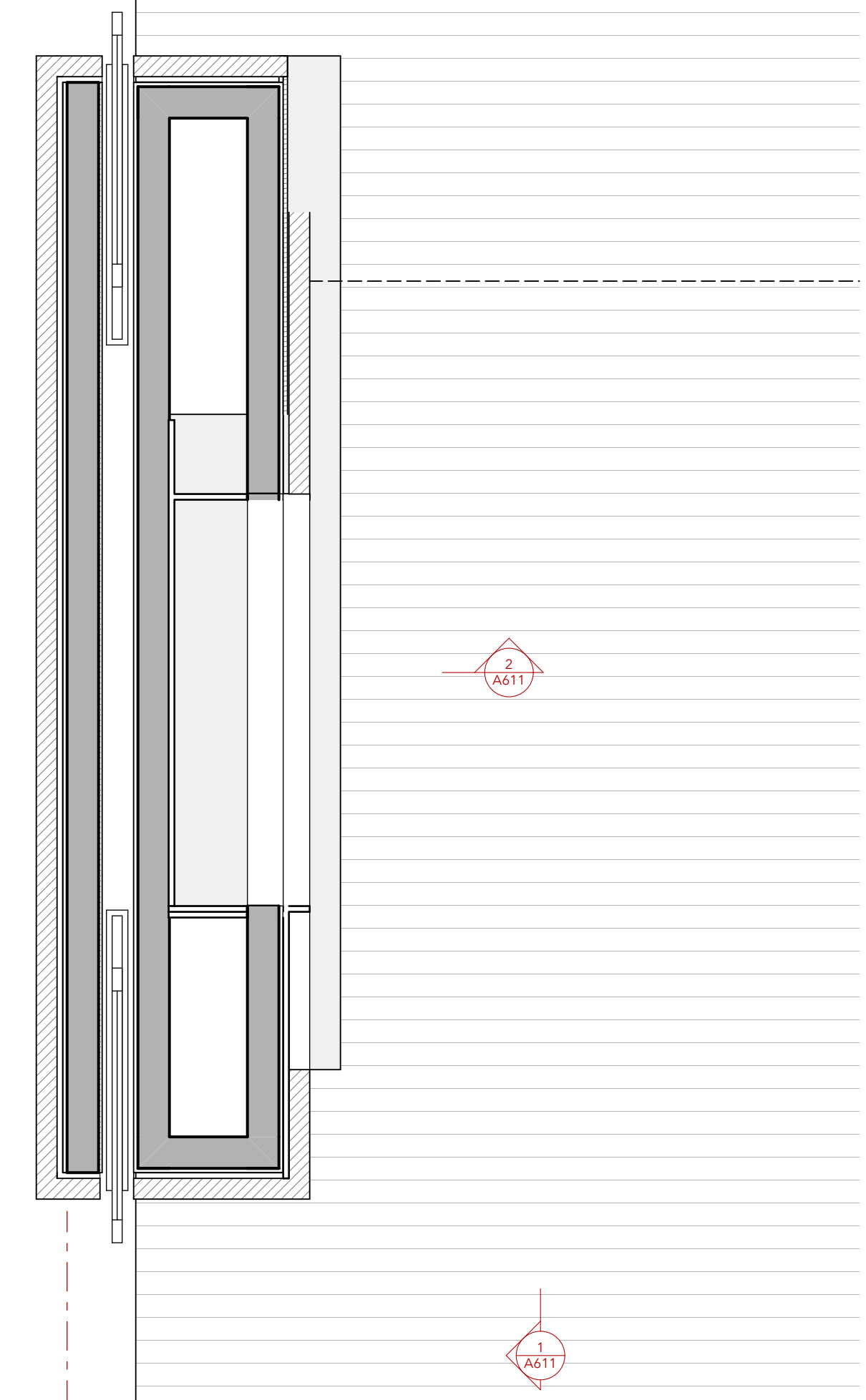
Elevation @ Living Fireplace **1**
SCALE: 1/2" = 1'-0"



Section @ Living Fireplace **2**
SCALE: 1/2" = 1'-0"



Fireplace Plan @ Outdoor **6**
SCALE: 1/2" = 1'-0"



Fireplace Plan @ Living **3**
SCALE: 1/2" = 1'-0"

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SHEET TITLE
WINDOW SCHEDULE

A701

ID	101	102	103	104	120	121	122
ELEV							
W x H	4'x8'	9'-8" x 3'-4 3/4"	2'-7" x 10'	2'-7" x 10'	1'-6" x 4'-9 1/2"	8' x 2'	8' x 2'
TYPE	Awning; Tilt-Turn	Fixed; Awning	Fixed	Fixed	Tilt-Turn	Awning	Awning
NOTES							
ID	123	124	125	140	140	141	142
ELEV							
W x H	8'-4" x 11'-4"	2'-6" x 9'	13'-4" x 2'	1'-3" x 9'	3'-6" x 9'	2'-6" x 11'	4' x 10'-11 1/4"
TYPE	Fixed	Casement	Fixed	Casement	Casement	Casement	Fixed
NOTES							
ID	143	144	145	146	148	161	162
ELEV							
W x H	5'-6" x 7'	2'-7" x 10'	8'-2 3/4" x 10'	5' x 10'	2'-6" x 12'	7' x 7'	2' x 7'
TYPE	Fixed	Casement	Fixed	Fixed	Casement; Awning	Fixed	Tilt-Turn
NOTES							

DOOR & WINDOW NOTES

1) SEE PLAN & ELEVATIONS FOR DOOR/ WINDOW UNIT OPERATION & SWINGS

2) ALL NEW GLAZING TO BE LOW E- GLASS. MINIMUM INSULATION VALUE OF $U=0.32$ PER 20XX IECC REQUIREMENTS FOR CLIMATE ZONE 4A. (OR AS SPECIFIED IN HERS ENERGY REPORT) ↑ VERIFY

3) SAFETY GLAZING TO BE INSTALLED PER IRC R308.4. SEE ELEVATIONS FOR SAFETY GLAZING (SG) LOCATIONS.

4) WINDOW MANUFACTURER TO PROVIDE SCREENS FOR ALL OPERABLE WINDOWS. DOOR MANUFACTURER TO PROVIDED SCREENS FOR ALL PROVIDED EXTERIOR DOORS.

5) WINDOW/ DOOR MULLIONS PER ELEVATIONS/ SCHEDULE.

6) ALUMINUM CLAD DOOR & WINDOW UNITS FINISH COLOR TO BE DARK BRONZE ← VERIFY

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ID	163	164	200	220	223	224	224
ELEV							
W x H	2'-6" x 9'-6"	9'-8" x 8'	5'-2" x 10'	2'-6" x 8'	8'-4" x 7'-8"	2'-6" x 8'	2'-6" x 8'
TYPE	Fixed	Fixed; Tilt-Turn	Fixed	Tilt-Turn	Fixed	Tilt-Turn	Tilt-Turn
NOTES							
ID	225	241	242	242	260	261	262
ELEV							
W x H	4' x 8'	4' x 8'	2'-6" x 8'	5'-6" x 8'	7' x 8'	2' x 7'	2'-6" x 7'
TYPE	Fixed	Fixed	Tilt-Turn	Fixed	Fixed	Tilt-Turn	Tilt-Turn
NOTES							
ID	263	264					
ELEV							
W x H	6' x 7'	8'-6" x 9'-6"					
TYPE	Fixed	Fixed; Casement; Tilt-Turn					
NOTES							

DOOR & WINDOW NOTES

- 1) SEE PLAN & ELEVATIONS FOR DOOR/ WINDOW UNIT OPERATION & SWINGS
- 2) ALL NEW GLAZING TO BE LOW E- GLASS. MINIMUM INSULATION VALUE OF $U=0.32$ PER 20XX IECC REQUIREMENTS FOR CLIMATE ZONE 4A. (OR AS SPECIFIED IN HERS ENERGY REPORT) ↑ VERIFY
- 3) SAFETY GLAZING TO BE INSTALLED PER IRC R308.4. SEE ELEVATIONS FOR SAFETY GLAZING (SG) LOCATIONS.
- 4) WINDOW MANUFACTURER TO PROVIDE SCREENS FOR ALL OPERABLE WINDOWS. DOOR MANUFACTURER TO PROVIDED SCREENS FOR ALL PROVIDED EXTERIOR DOORS.
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- 6) ALUMINUM CLAD DOOR & WINDOW UNITS FINISH COLOR TO BE DARK BRONZE ← VERIFY

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SHEET TITLE
WINDOW SCHEDULE

A702

ID	D101	D102	D103A	D103B	D123A
ELEV					
W x H	5'-9\"-10' ^{1/4}	19'-5 ^{3/4} \"x12'	4'x10'	4'x12'	20'x8'-2"
MATERIAL					
TYPE					
NOTES					Cladding to match siding
ID	D123B	D123C	D135	D204	
ELEV					
W x H	9'x8'-2"	3'x8'	13'-2\"x10'-10' ^{1/4}	7'-10\"x9'-10' ^{1/4}	
MATERIAL					
TYPE					
NOTES	Cladding to match siding				

Barlas Residence

TBD Chauncey Circle
Asheville, NC 28803

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SHEET TITLE
**DOOR SCHEDULE -
EXTERIOR**

A703

DOOR & WINDOW NOTES

- 1) SEE PLAN & ELEVATIONS FOR DOOR/ WINDOW UNIT OPERATION & SWINGS
- 2) ALL NEW GLAZING TO BE LOW E- GLASS. MINIMUM INSULATION VALUE OF U_w= .32 PER 20XX IECC REQUIREMENTS FOR CLIMATE ZONE 4A. (OR AS SPECIFIED IN HERS ENERGY REPORT) ↑ VERIFY
- 3) SAFETY GLAZING TO BE INSTALLED PER IRC R308.4. SEE ELEVATIONS FOR SAFETY GLAZING (SG) LOCATIONS.
- 4) WINDOW MANUFACTURER TO PROVIDE SCREENS FOR ALL OPERABLE WINDOWS. DOOR MANUFACTURER TO PROVIDED SCREENS FOR ALL PROVIDED EXTERIOR DOORS.
- 5) WINDOW/ DOOR MULLIONS PER ELEVATIONS/ SCHEDULE.
- 6) ALUMINUM CLAD DOOR & WINDOW UNITS FINISH COLOR TO BE DARK BRONZE ← VERIFY

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ID	108	108	110	110	121	121	123	126
ELEV								
W x H	2'-6" x 8'	2'-6" x 8'	2'-8" x 8'	4' x 8'	5' x 9'-6 1/2"	5' x 9'-6 1/2"	3' x 8'	3' x 8'
MATERIAL								
TYPE								
NOTES								
ID	129	130	133	135	201	202	202	203
ELEV								
W x H	3' x 8'	4'-4" x 8'	3' x 8'	3'-6" x 8'	3' x 8'	2'-6" x 8'	2'-6" x 8'	5' x 8'
MATERIAL								
TYPE								
NOTES								
ID	204B	205						
ELEV								
W x H	5' x 8'	2'-6" x 8'						
MATERIAL								
TYPE								
NOTES								

DOOR & WINDOW NOTES

- 1) SEE PLAN & ELEVATIONS FOR DOOR/ WINDOW UNIT OPERATION & SWINGS
- 2) ALL NEW GLAZING TO BE LOW E- GLASS. MINIMUM INSULATION VALUE OF $U=0.32$ PER 20XX IECC REQUIREMENTS FOR CLIMATE ZONE 4A. (OR AS SPECIFIED IN HERS ENERGY REPORT) ↑ VERIFY
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- 5) WINDOW/ DOOR MULLIONS PER ELEVATIONS/ SCHEDULE.
- 6) ALUMINUM CLAD DOOR & WINDOW UNITS FINISH COLOR TO BE DARK BRONZE ← VERIFY

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SHEET TITLE
**DOOR SCHEDULE -
INTERIOR**

A704

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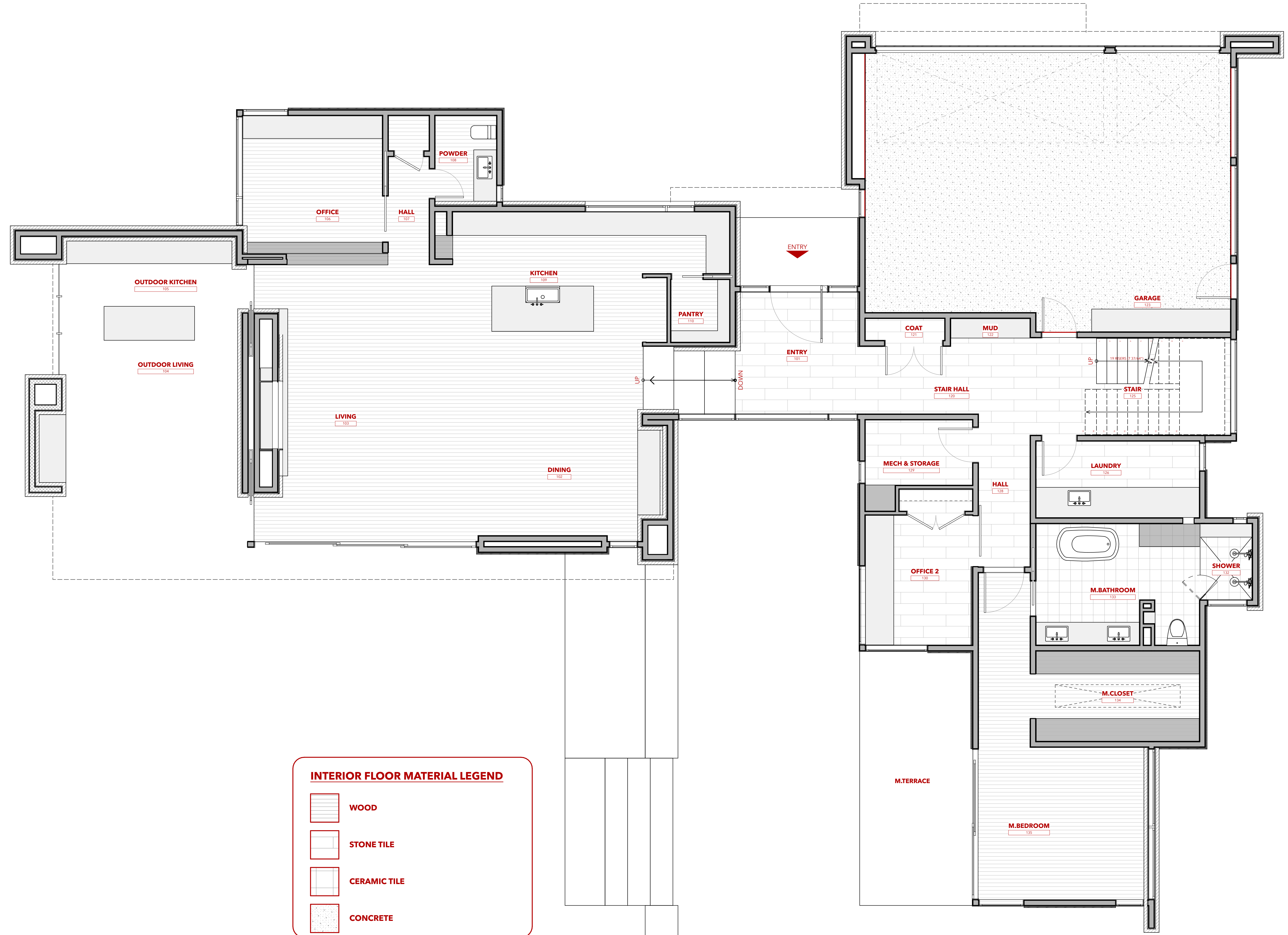
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SHEET TITLE
**FLOOR FINISH PLAN
- MAIN LEVEL**

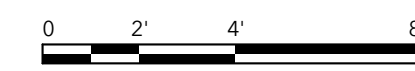
1201



INTERIOR FLOOR MATERIAL LEGEND

-  WOOD
-  STONE TILE
-  CERAMIC TILE
-  CONCRETE

Main Level Floor Finish Plan **1**
SCALE: 1/4" = 1'-0"



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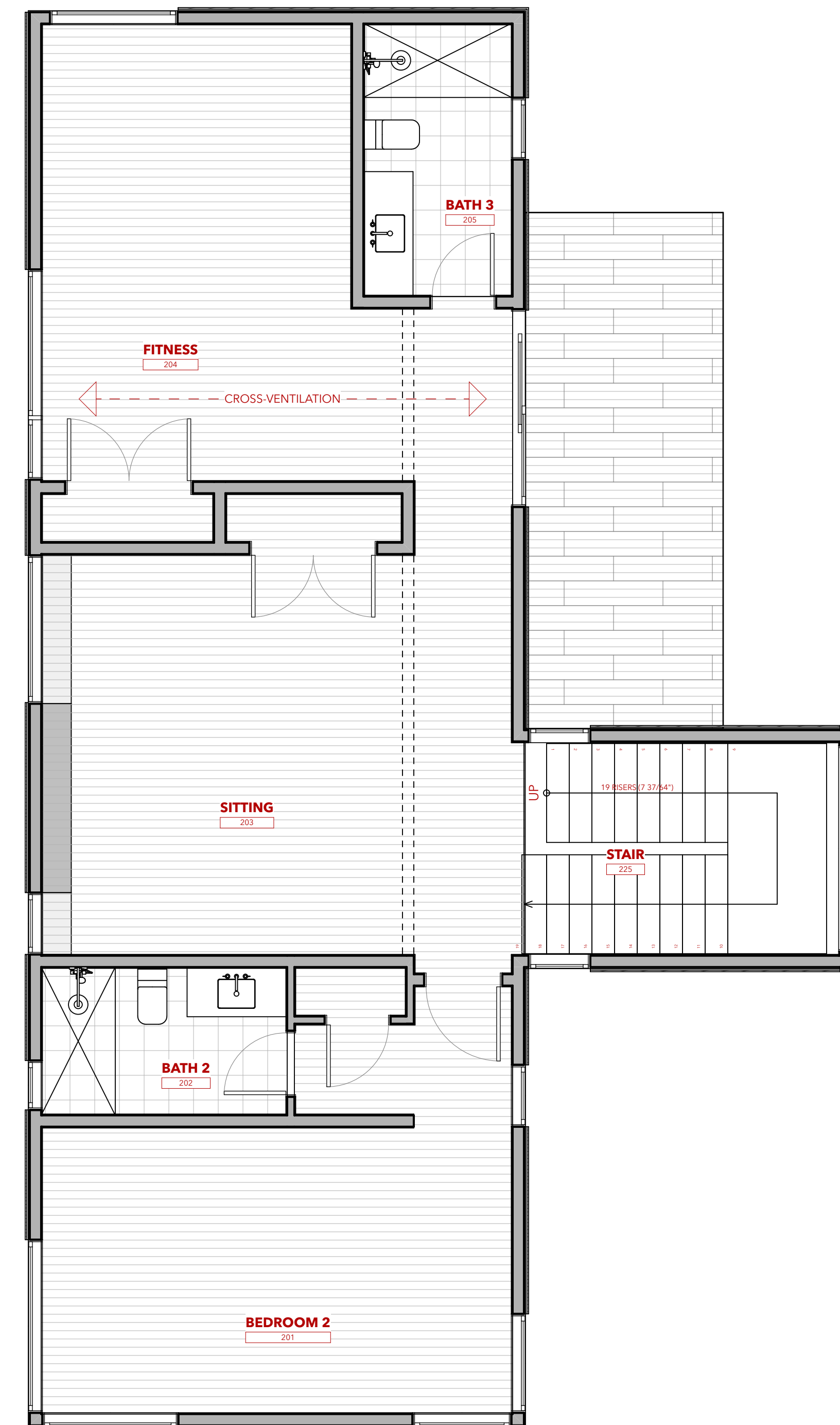
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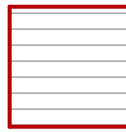
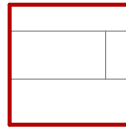
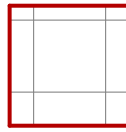
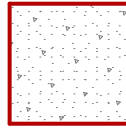
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SHEET TITLE
**FLOOR FINISH PLAN
- UPPER LEVEL**

1202



INTERIOR FLOOR MATERIAL LEGEND

-  **WOOD**
-  **STONE TILE**
-  **CERAMIC TILE**
-  **CONCRETE**

Upper Level Floor Finish Plan

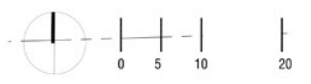
SCALE: 1/4" = 1'-0"

1

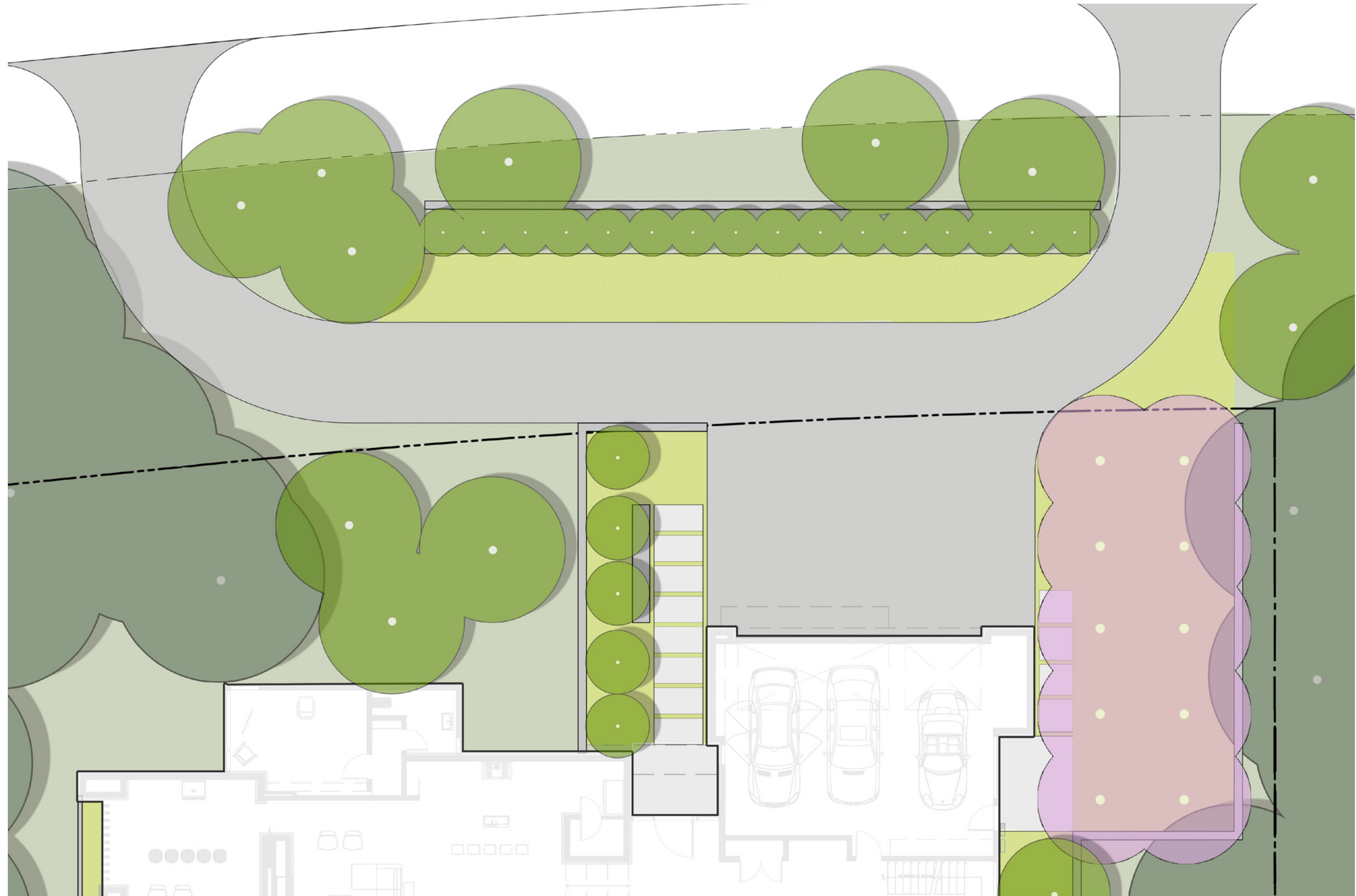


BARLAS RESIDENCE

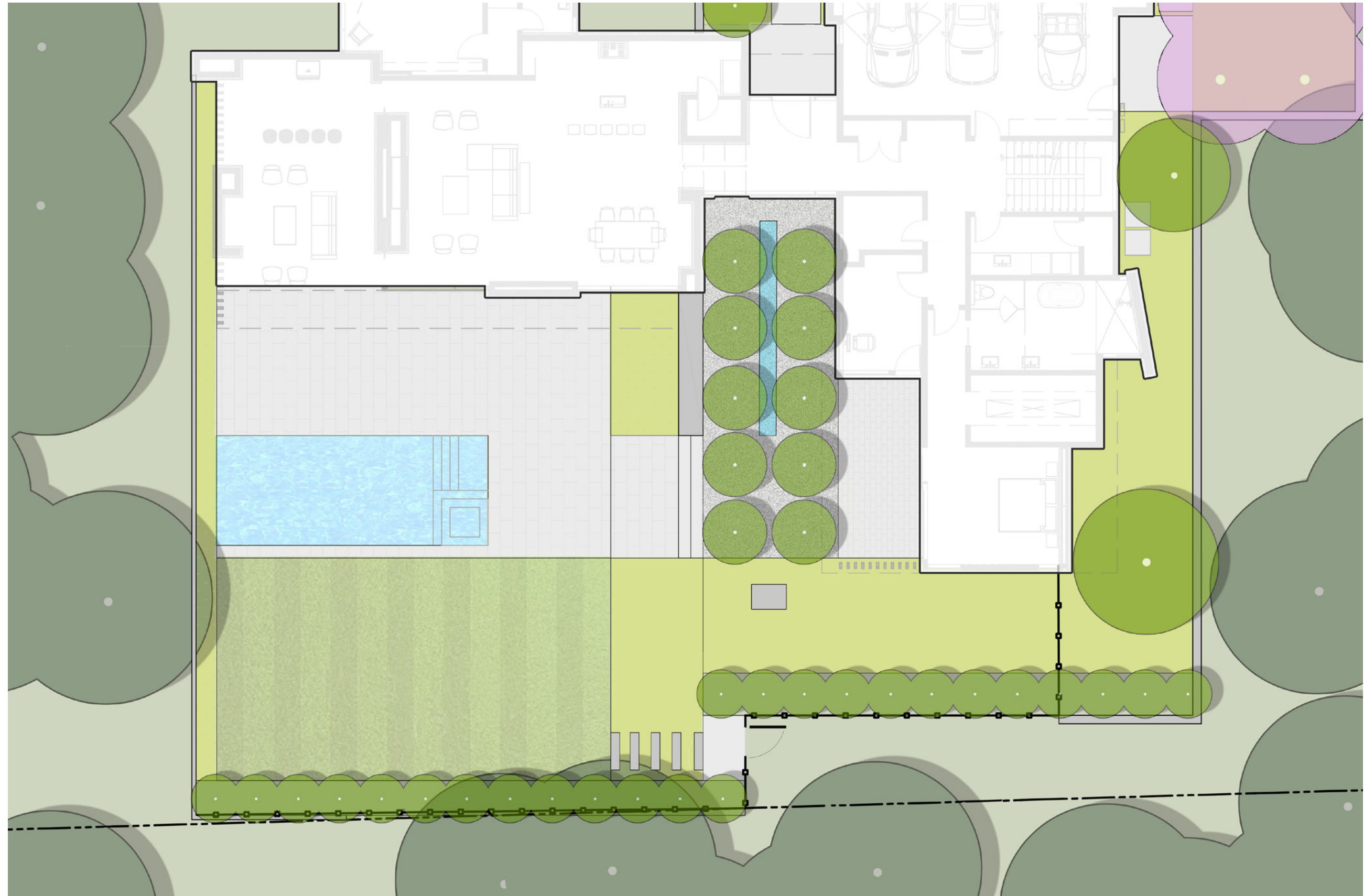
SCHEMATIC DESIGN PRESENTATION
12.10.2019



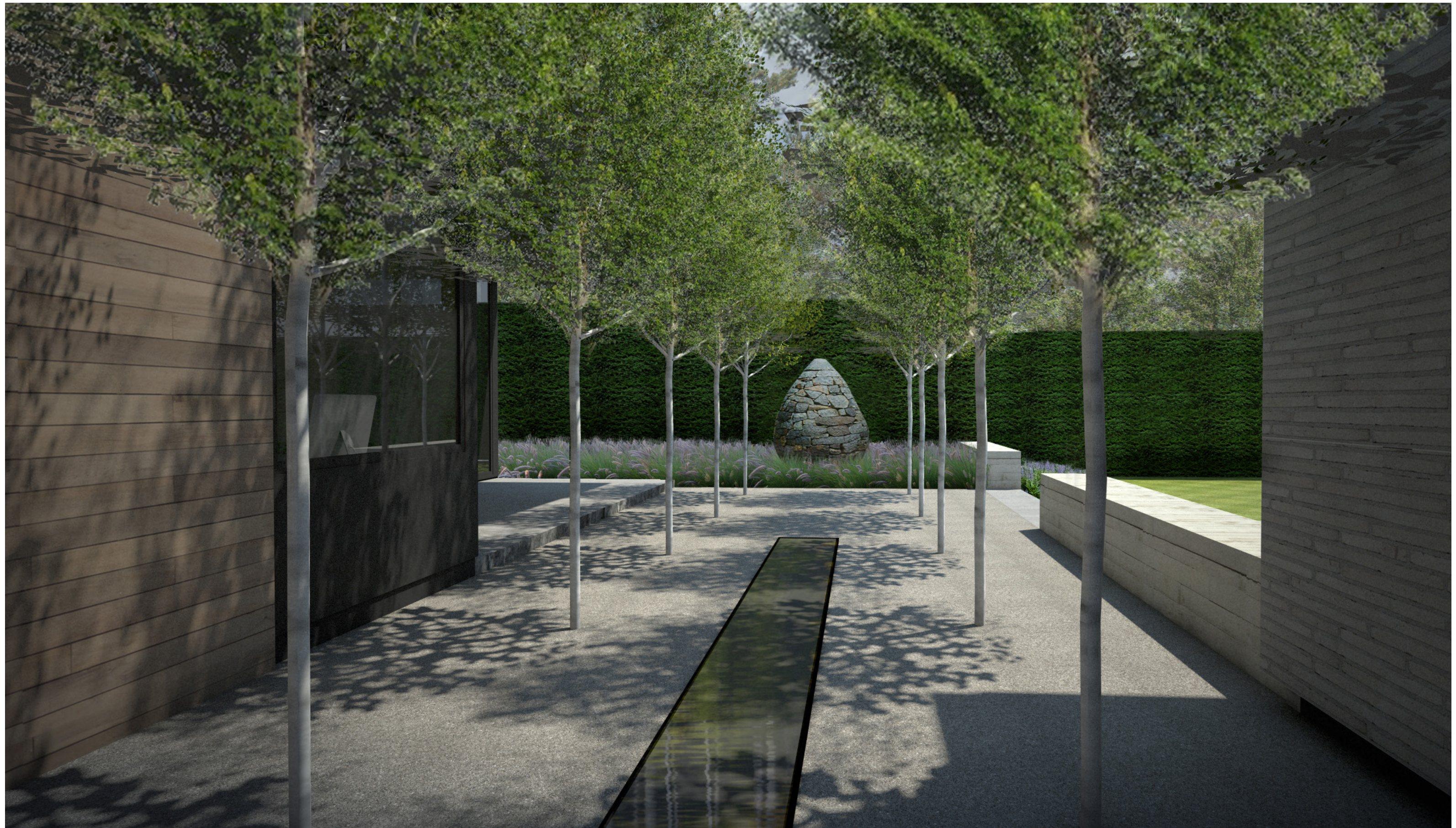
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BARLAS RESIDENCE | SOUTH BIRDS EYE VIEW

