

PROPOSED AGENDA

Meeting of the Design Review Board
To be held Thursday, August 29, 2019 at 5:30 p.m.

- I. Chairman Johnson will call the meeting to order.
- II. Approval of Minutes from July 18, 2019.
- III. Design Review Board Presentations
 - 1. 4 Ridgefield Place – Replace siding and roof, and create new entranceway front porch with decorative railing.
 - 2. 54 Forest Road – Replace 12 foot section at south porch with open trellis framing. Enclose electrical service panel and storage area for yard/pool equipment with wood shingle roof and wooden gate.
 - 3. 12 Holly Hill Road – Construction of new, attached garage to existing home.
 - 4. 82 Chauncey Circle – Construction of a new single family residence
- IV. Adjourn

MINUTES OF THE TOWN OF BILTMORE FOREST
DESIGN REVIEW BOARD MEETING OF JULY 18, 2019

Those in attendance:

Mr. Art Garst

Mr. Bruce Johnson, Chairman

Mrs. Gay Coleman

The June 20, 2019 minutes were approved by Chairman Johnson.

The project at 61 Forest Road was called forward. Mr. Rob Carlton, architect, and Mr. Steven Lee Johnson, landscape architect represented the Bidwells.

Mr. Carlton reviewed the plans for the new home. Heated square footage is approximately 4,000-4,500 square feet. Neutral stones, wood siding, gray stone will be used, dark windows, and a gray tone roof. A connecting breezeway will go to the detached garage. There is a rear entrance to the mudroom.

The discussion of mud mats centered around the driveway entrance and they need to install railroad ballast as a mud mat instead of crush and gravel.

The project was approved.

Tad Dotson, representing TAD architects, was present to review plans for 28 Hilltop Road. Mr. Dotson noted that the screened in porch on the front would be modified to add three equal lights instead of a door and open off the back to be more of a larger room. The front entry will be modified with a transitional door that has equal panes around the solid wood door. New shutters will be added along with a column to the roof. The roof will be copper. The columns will match the columns on the rear of the home. The project was approved.

Scott Law and Andrew Gladding, 1 Forest Road, were called forward to present their plans for the renovation at 1 Forest Road. Mr. Law indicated that their final plans included an outdoor fire place and ripping out the whole patio. Neither of these projects had to be done.

Mr. Law referenced what was going to be done in the front of the home below the large turret. This would be a three-foot tall retaining wall. The drainage from the gutter is much better now. The two French drains have made a huge improvement as well. There is a brick wall with arches in between. They will be repositioned. There will be extra plantings on the property facing 3 Forest which pleased the neighbor. The patio will also have to get some type of drainage put in. Mr. Johnson suggested putting a trench in which would act as an interceptor for the water. Mr. Garst recommended putting a French drain behind the wall. The project was approved.

The next meeting was scheduled for Thursday, August 29, 2019 at 5:30 p.m.

Bruce Johnson, Chairman

Jonathan Kanipe, Town Manager

Zoning Compliance Application

Town of Biltmore Forest

Name

Stewart Harley

Property Address

4 Ridgefield Place

Phone

(828) 273-9640

Email

sjhdhh@mac.com

Parcel ID/PIN Number

964695874600000

ZONING INFORMATION

Current Zoning

R-2

Lot Size

.32 acres

Maximum Roof Coverage

2,874 square feet (Up to .5 acres)

Proposed Roof Coverage Total

X

Maximum Impervious Surface Coverage

Up to 1 acre (27.5 percent of lot area)

Proposed Impervious Surface Coverage

X

Front Yard Setback

50 feet (R-2, R-3, R-4, and R-5 Districts)

Side Yard Setback

15 feet (R-2, R-3, R-4, and R-5 Districts)

Rear Yard Setback

20 feet (R-2, R-3, R-4, and R-5 Districts)

Building Height

17'

Description of the Proposed Project

New siding, New roof, and new entranceway front porch with decorative railing.

Estimated Start Date

8/30/2019

Estimated Completion Date

11/1/2019

Estimated Cost of Project

\$20,000.00

Supporting Documentation (Site Plan, Drawings, Other Information)

BA8C3D65-95B1-4E9C-BCA1-3232E27BCEE9.jpeg

C4FD7EE7-4FDB-4625-9F59-5FBD588E7321.jpeg

Applicant Signature

Date
8/2/2019

Stu Harley





Zoning Compliance Application

Town of Biltmore Forest

Name

Rob Moody

Property Address

54 Forest Road

Phone

(828) 337-0623

Email

rob@seanperryinc.com

Parcel ID/PIN Number

964669512900000

ZONING INFORMATION

Current Zoning

R-1

Lot Size

1 acre

Maximum Roof Coverage

4,682 square feet (Up to 1 acres)

Proposed Roof Coverage Total

3182

Maximum Impervious Surface Coverage

1-3 acres (25 percent of lot area)

Proposed Impervious Surface Coverage

9830

Front Yard Setback

60 feet (R-1 District)

Side Yard Setback

20 feet (R-1 District)

Rear Yard Setback

25 feet (R-1 District)

Building Height

28 feet

Description of the Proposed Project

Replace 12 foot roof section at South porch with open trellis framing. Build storage area with wood shingle roof and wooden gate. Area will enclose the electrical service panel and storage area for yard and pool equipment.

Estimated Start Date

9/2/2019

Estimated Completion Date

10/31/2019

Estimated Cost of Project

\$33,950.00

Supporting Documentation (Site Plan, Drawings, Other Information)

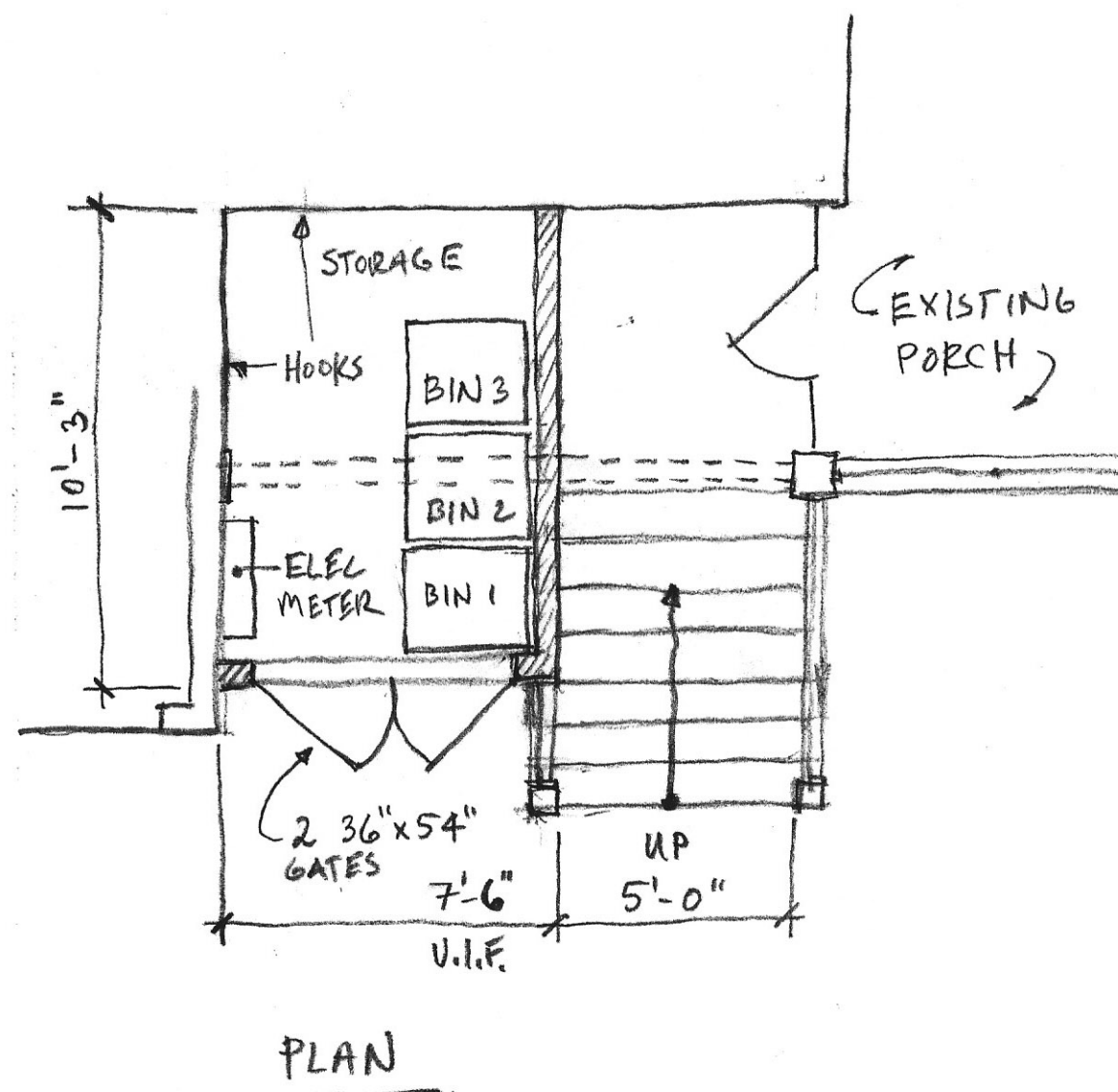
ADNC.PorchStorageandTrellisEnclosure.2019.07.08.pdf

Applicant Signature

Date
8/22/2019



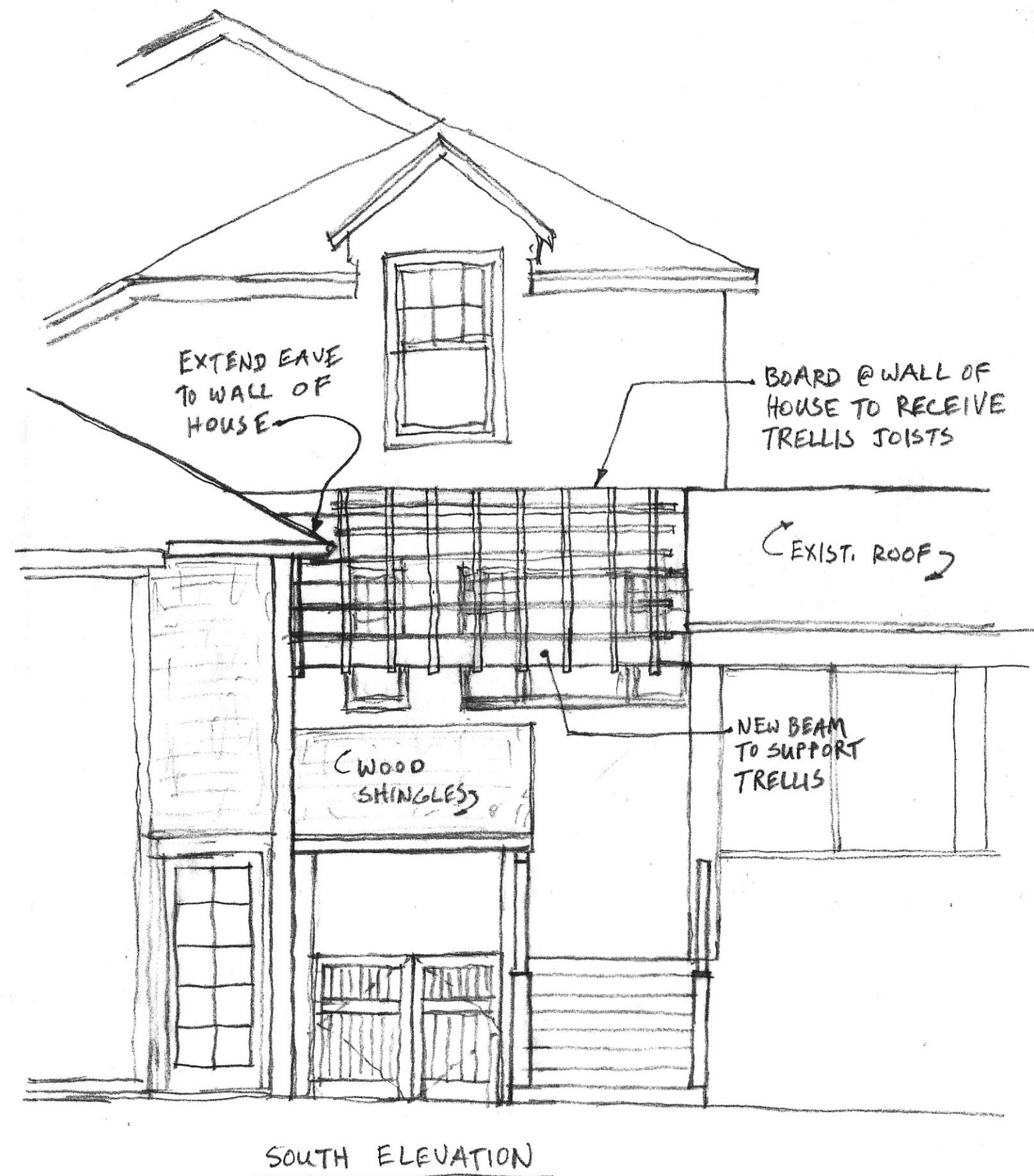
A handwritten signature in black ink, featuring a large, stylized initial 'D' followed by a series of loops and a trailing flourish. The signature is written on a horizontal line.

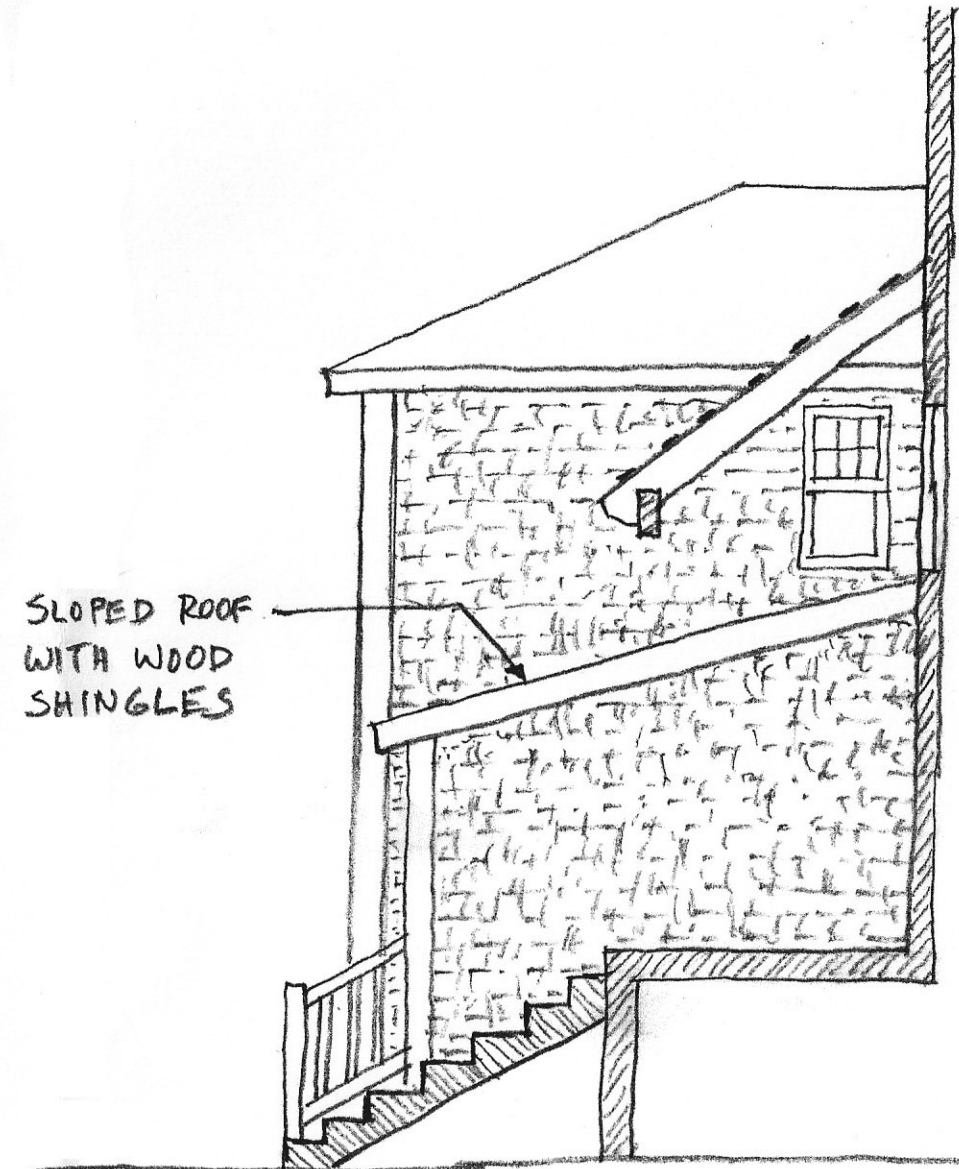


ASHWORTH-DETERS RESIDENCE
PROPOSED PORCH ENTRY

$\frac{1}{4}" = 1'-0"$

JULY 3, 2019





SIDE ELEVATION 'B'

ASHWORTH-DETERS RESIDENCE
PROPOSED PORCH ENTRY - SIDE ELEVATIONS
 $\frac{1}{4}" = 1'-0"$ JULY 3, 2019

Zoning Compliance Application

Town of Biltmore Forest

Name

Richard & Marcia Grant

Property Address

12 Holly Hill Road

Phone

(828) 274-7084

Email

rgrant@beverly-grant.com

Parcel ID/PIN Number

9649-72-5692

ZONING INFORMATION

Current Zoning

R-1

Lot Size

1.61

Maximum Roof Coverage

6,100 square feet (Up to 2 acres)

Proposed Roof Coverage Total

4,551

Maximum Impervious Surface Coverage

1-3 acres (25 percent of lot area)

Proposed Impervious Surface Coverage

13,062

Front Yard Setback

60 feet (R-1 District)

Side Yard Setback

20 feet (R-1 District)

Rear Yard Setback

25 feet (R-1 District)

Building Height

19 Feet

Description of the Proposed Project

Construction of a 1,128 SF garage addition to the existing house.

Estimated Start Date

10/15/2019

Estimated Completion Date

4/15/2020

Estimated Cost of Project

\$175,000.00

Supporting Documentation (Site Plan, Drawings, Other Information)

2019-08-22 Grant Residence-L0 site plan.pdf

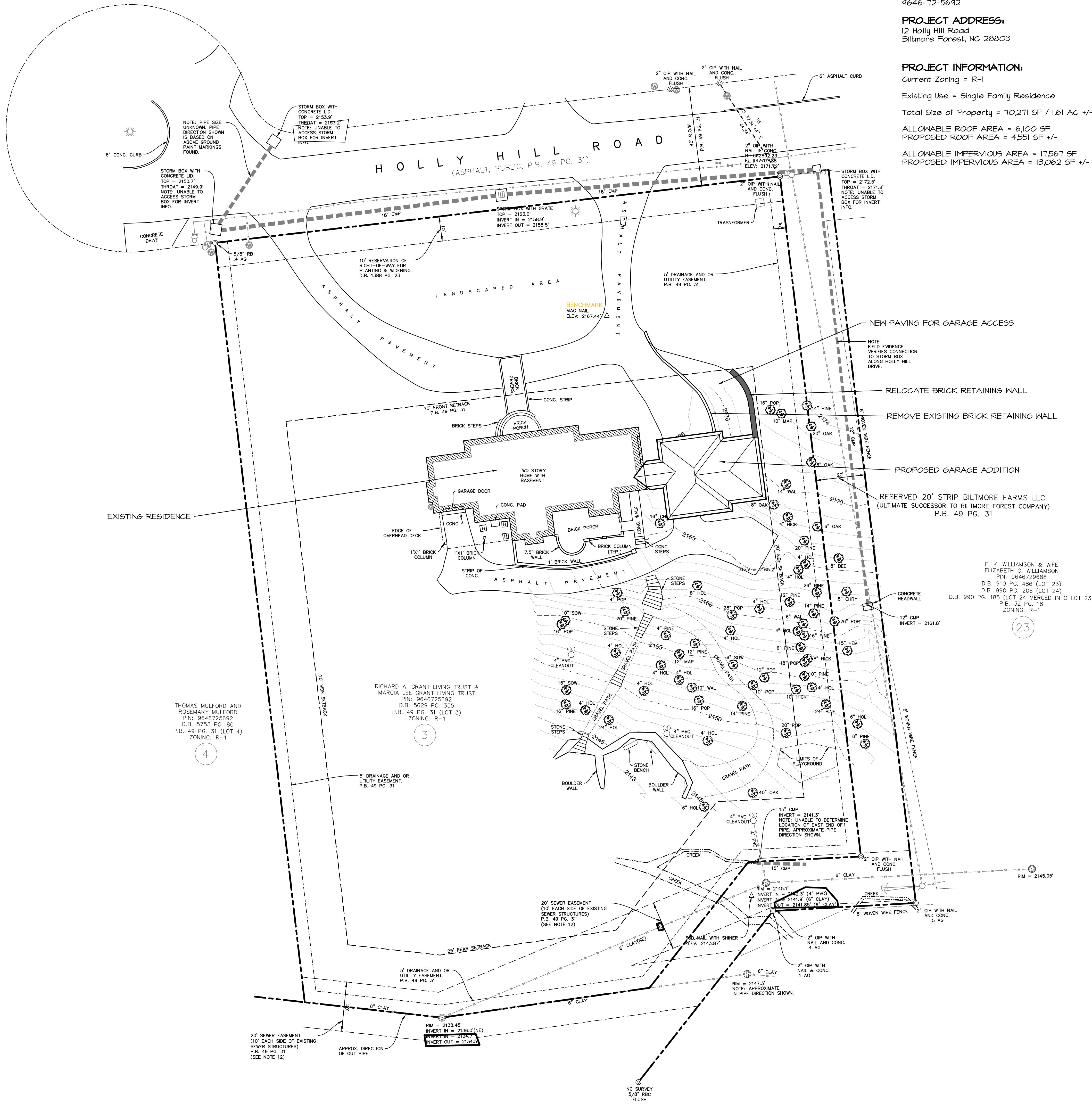
2019-08-26 Grant Garage Addition.pdf

Applicant Signature

Clay Mooney for
Rick Grant

Date

8/26/2019



PIN NUMBER:
9646-12-5692

PROJECT ADDRESS:
12 Holly Hill Road
Biltmore Forest, NC 28803

PROJECT INFORMATION:
Current Zoning = R-1

Existing Use = Single Family Residence

Total Size of Property = 70,271 SF / 1.61 AC +/-

ALLOWABLE ROOF AREA = 6,100 SF
PROPOSED ROOF AREA = 4,551 SF +/-

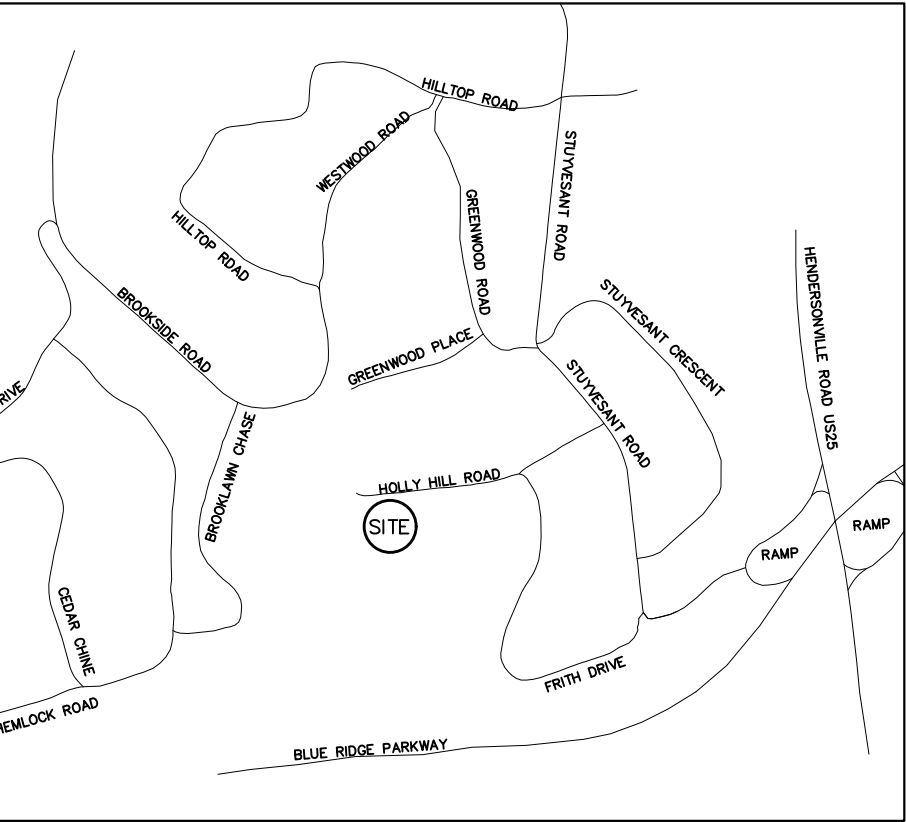
ALLOWABLE IMPERVIOUS AREA = 17,567 SF
PROPOSED IMPERVIOUS AREA = 13,062 SF +/-

PROJECT SUMMARY

OWNER / CONTACT:
RICHARD A GRANT LIVING TRUST
MARCIA LEE GRANT LIVING TRUST
12 Holly Hill Road
Biltmore Forest, NC 28803

LANDSCAPE ARCHITECT:
Mr. Clay Mooney
Design Associates
1293 Hendersonville Rd.
Asheville, NC 28803
(828) 271-1410 / 271-1413 fax

VICINITY MAP

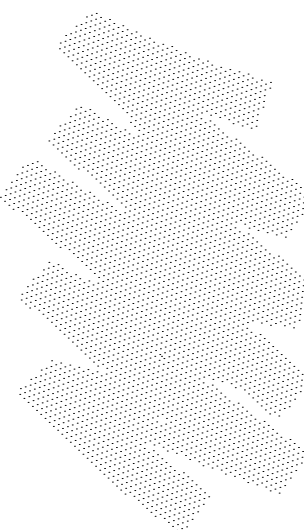


1293 Hendersonville Road
Suite 21
Asheville, NC 28803
828-277-7410
Fax: 828-277-7413

DESIGN ASSOCIATES
LANDSCAPE ARCHITECTS
& LAND PLANNERS



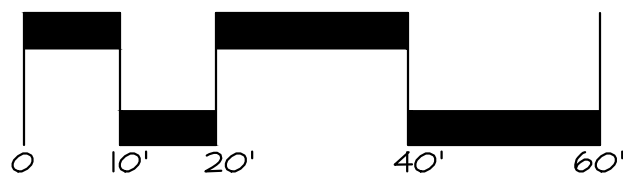
Grant Residence
12 Holly Hill Road
Biltmore Forest, NC 28803



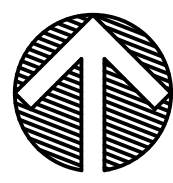
Site Plan

REVISIONS:

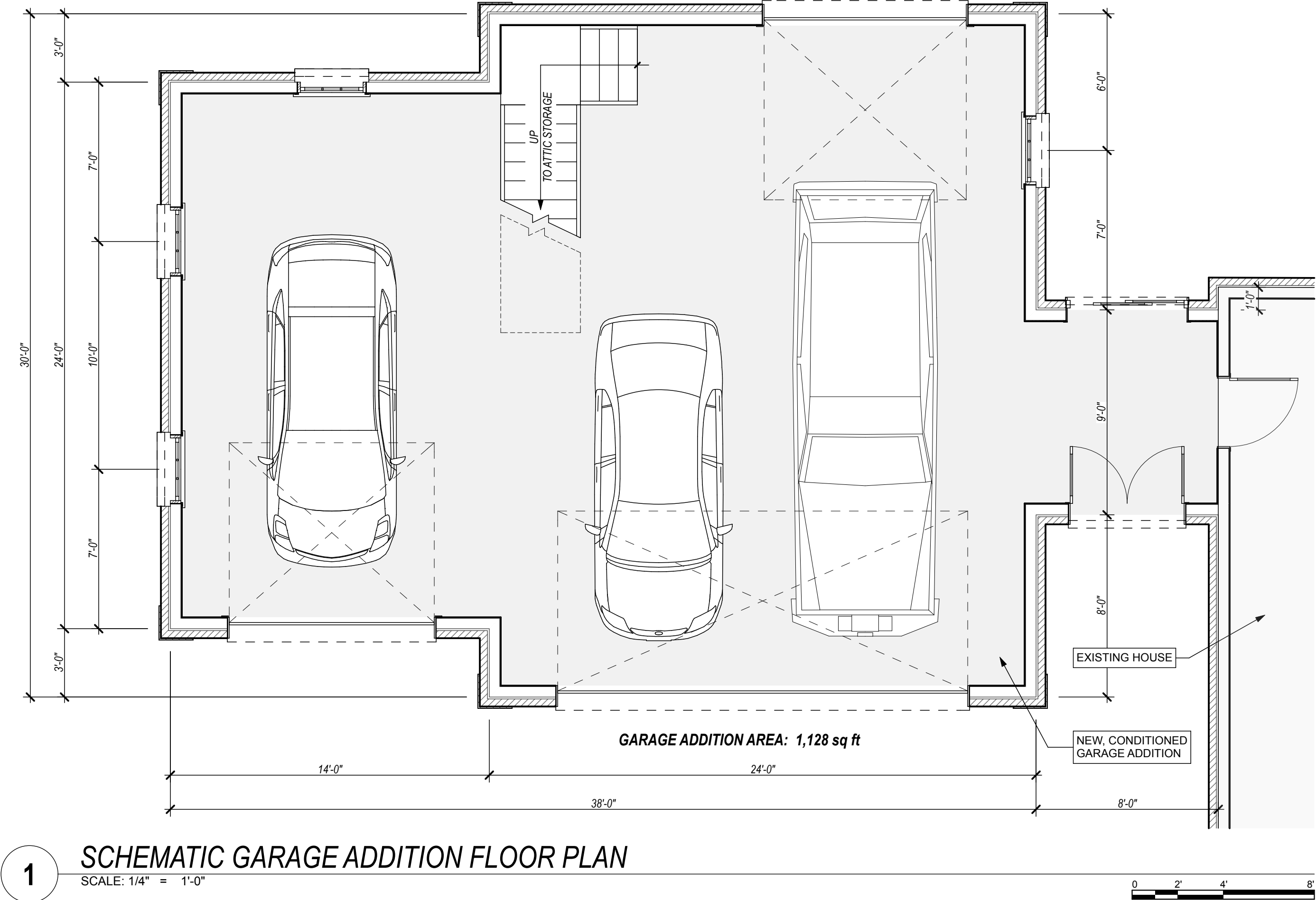
L0
8/26/19



SCALE: 1" = 20'



NORTH

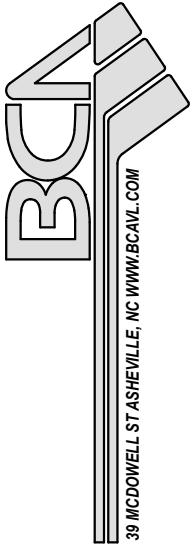


1

SCHEMATIC GARAGE ADDITION FLOOR PLAN

SCALE: 1/4" = 1'-0"

REVIEW ONLY - NOT FOR CONSTRUCTION



GRANT RESIDENCE

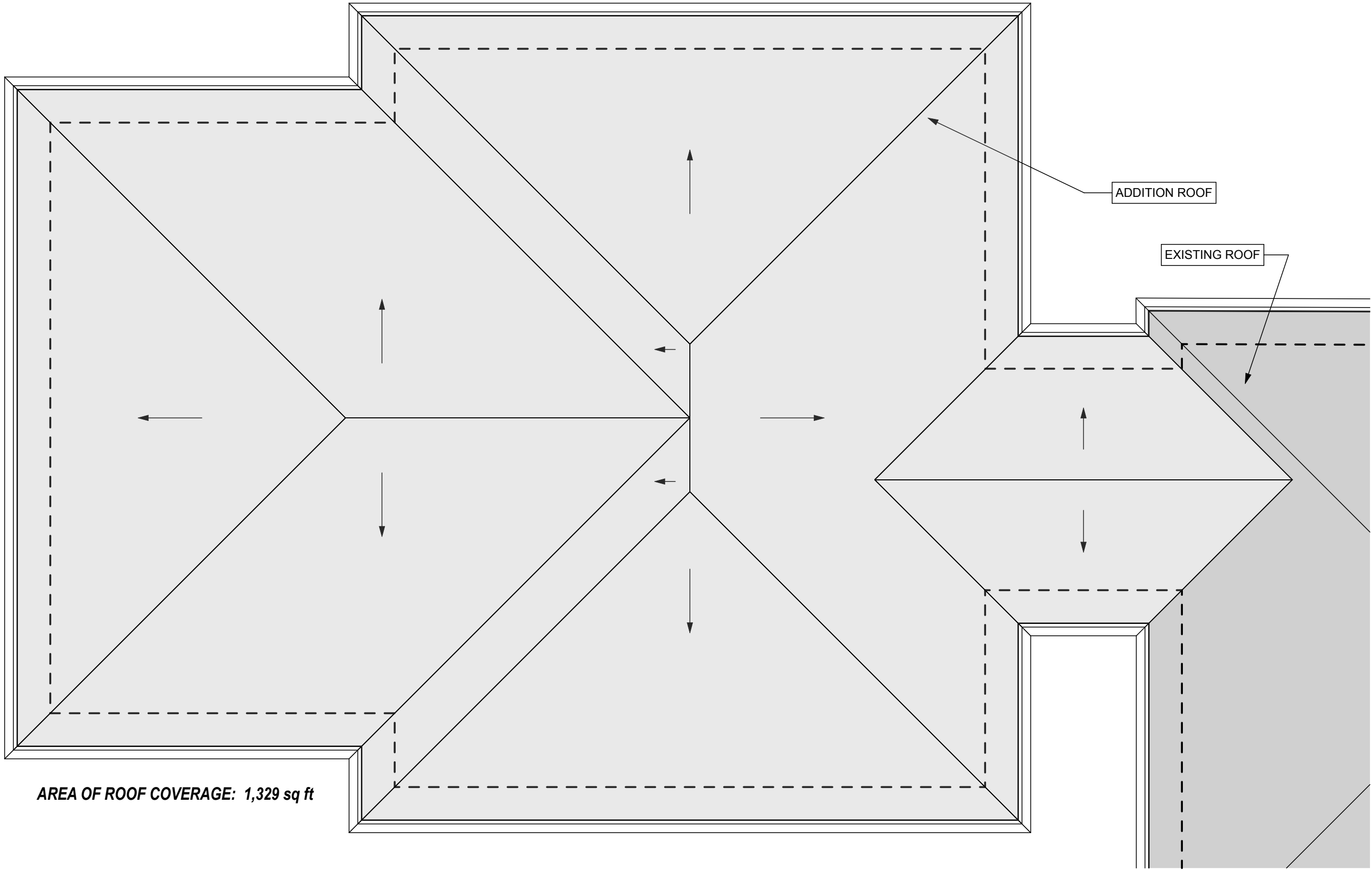
12 HOLLY HILL ROAD
BILTMORE FOREST, NC 28803

SCHEMATIC GARAGE
ADDITION FLOOR PLAN

SK-1

DATE:

8/26/19

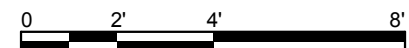


AREA OF ROOF COVERAGE: 1,329 sq ft

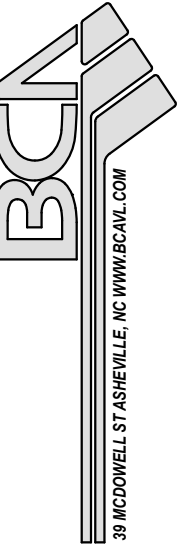
1

SCHEMATIC GARAGE ADDITION ROOF PLAN

SCALE: 1/4" = 1'-0"



REVIEW ONLY - NOT FOR CONSTRUCTION



GRANT RESIDENCE

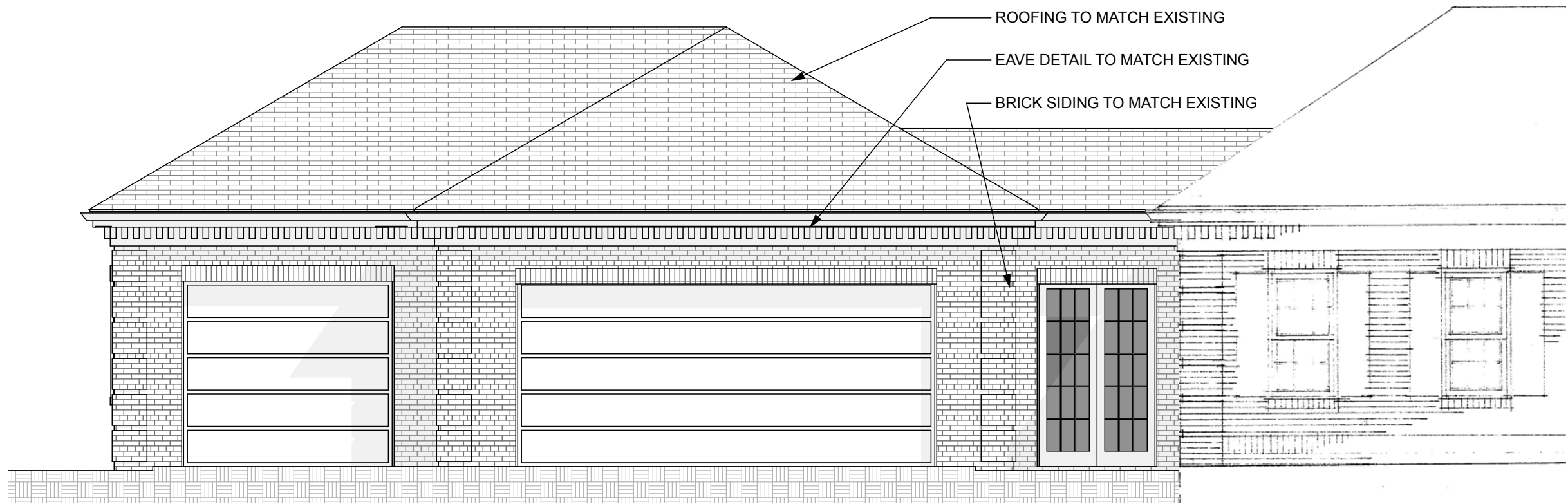
12 HOLLY HILL ROAD
BILTMORE FOREST, NC 28803

**SCHEMATIC GARAGE
ADDITION ROOF PLAN**

SK-2

DATE:

8/26/19



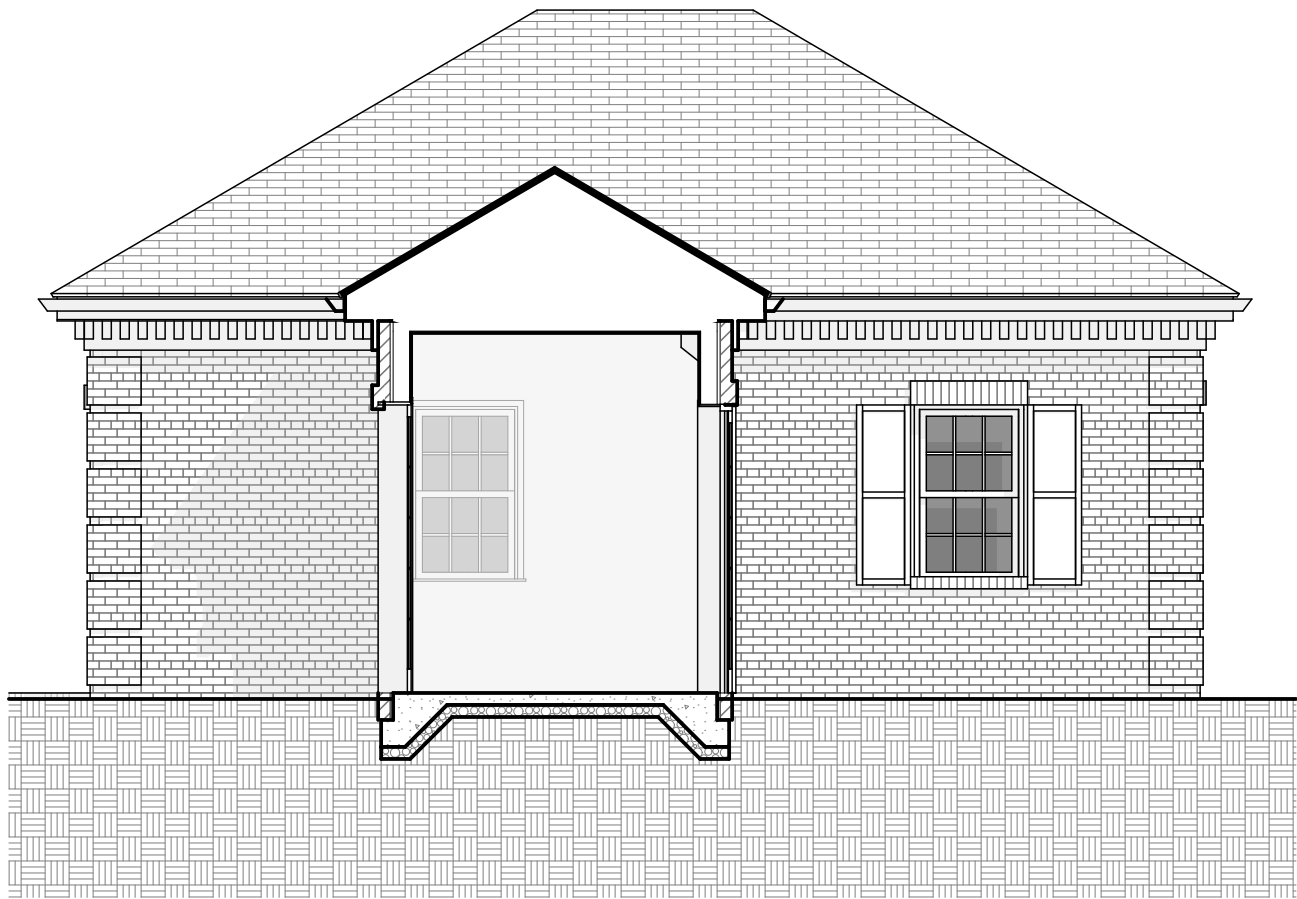
1 FRONT ELEVATION
SCALE: 3/16" = 1'-0"



2 REAR ELEVATION
SCALE: 3/16" = 1'-0"

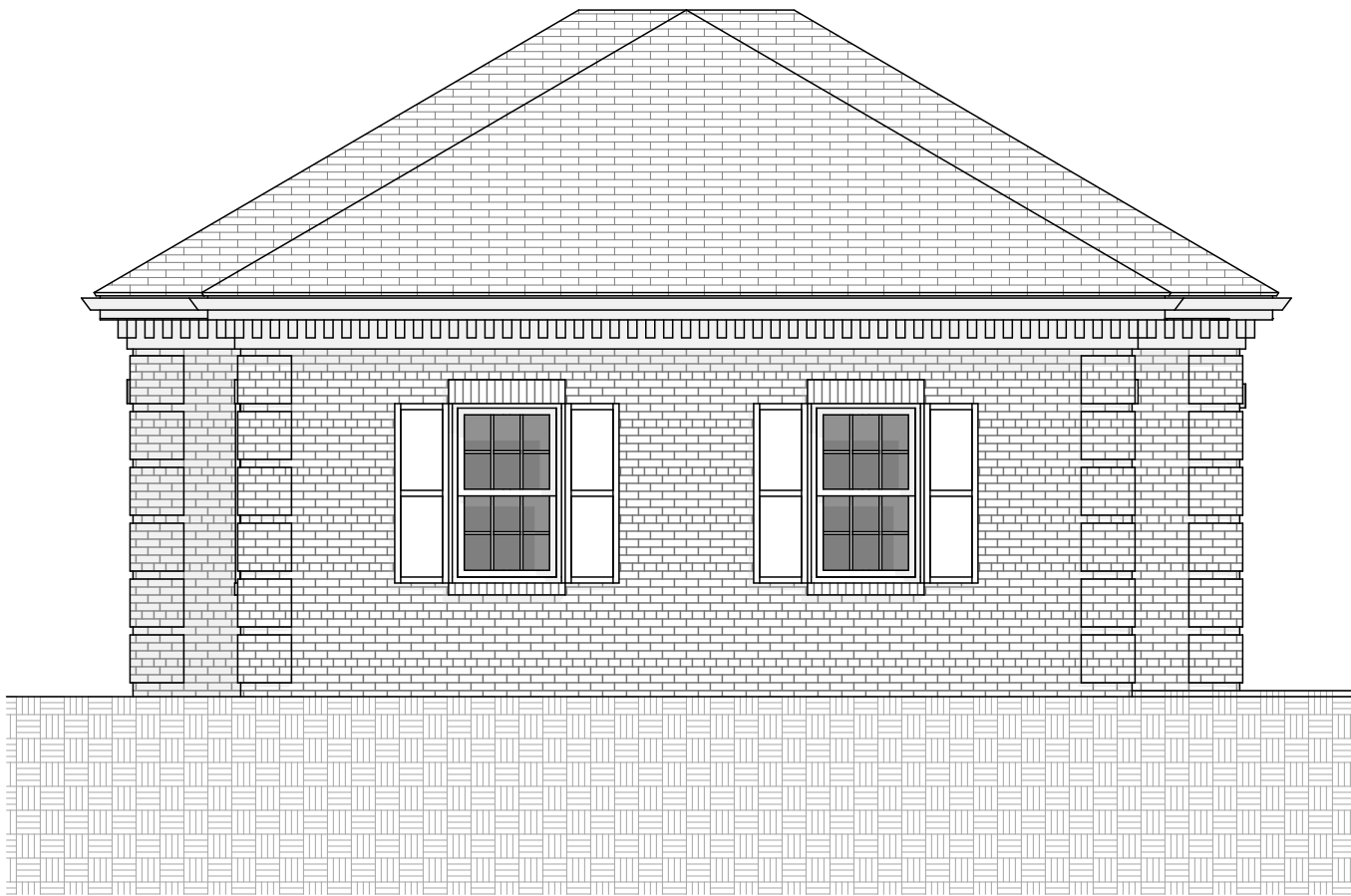


REVIEW ONLY - NOT FOR CONSTRUCTION



1 RIGHT ELEVATION

SCALE: 3/16" = 1'-0"

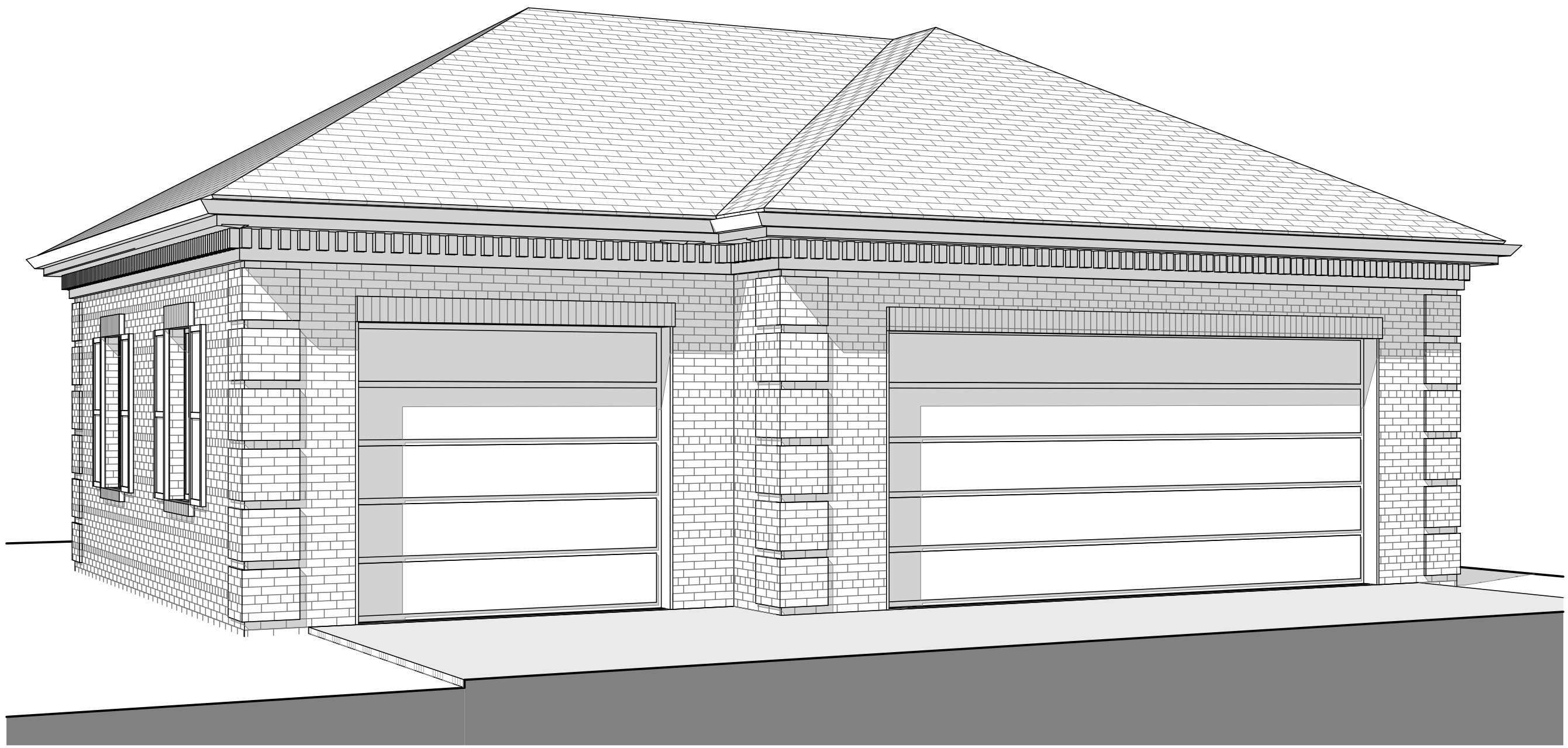


2 LEFT ELEVATION

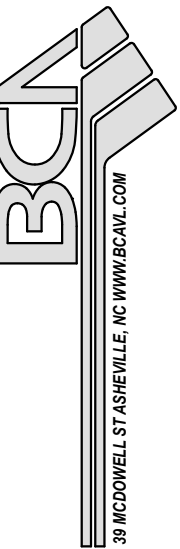
SCALE: 3/16" = 1'-0"



REVIEW ONLY - NOT FOR CONSTRUCTION



REVIEW ONLY - NOT FOR CONSTRUCTION



GRANT RESIDENCE
12 HOLLY HILL ROAD
BILTMORE FOREST, NC 28803

GARAGE PERSPECTIVE

SK-5

DATE:
8/26/19

Zoning Compliance Application

Town of Biltmore Forest

Name

Michael Matthews

Property Address

#82 Chauncey Circle, Asheville, NC 28803

Phone

(828) 696-5498

Email

mmcsi3@morrisbb.net

Parcel ID/PIN Number

9646-70-6380-00000

ZONING INFORMATION

Current Zoning

R-3

Lot Size

1.2 Acre

Maximum Roof Coverage

4,682 square feet (Up to 1 acres)

Proposed Roof Coverage Total

3650 SF

Maximum Impervious Surface Coverage

1-3 acres (25 percent of lot area)

Proposed Impervious Surface Coverage

10.23 (percent of lot area)

Front Yard Setback

50 feet (R-2, R-3, R-4, and R-5 Districts)

Side Yard Setback

15 feet (R-2, R-3, R-4, and R-5 Districts)

Rear Yard Setback

20 feet (R-2, R-3, R-4, and R-5 Districts)

Building Height

24 feet

Description of the Proposed Project

Framed, single family residence

Estimated Start Date

8/31/2019

Estimated Completion Date

9/30/2020

Estimated Cost of Project

\$750,000.00

Supporting Documentation (Site Plan, Drawings, Other Information)

1810 Owen Residence Permit 6.5.19 - House Plan.pdf

Owen - Lot 9 - Preliminary LP 5-15-19.pdf

Owen - Lot 9 - Site Plan 5-15-19.pdf

Applicant Signature


MC Matthews

Date

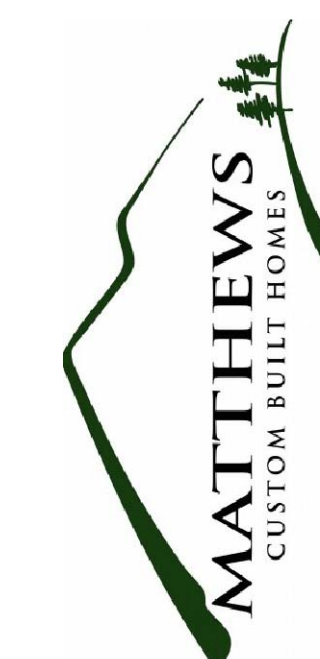
6/25/2019



Survey Info Provided By
David C. Huntley & Assoc.
(828) 693-8077



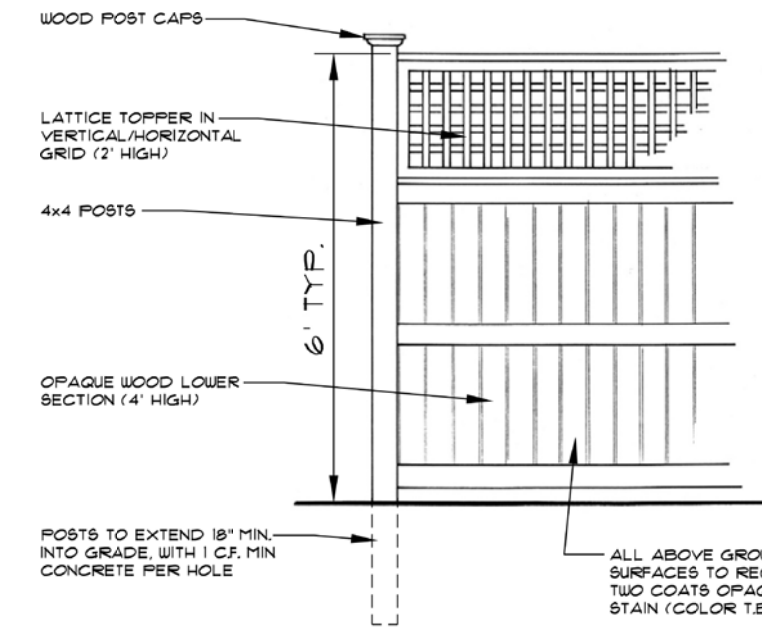
Cloos Landscape Architecture, P.A.
 47 YELLOWWOOD LANE - HORSE SHOE, NC 28742
 PHONE: 828-243-1070 - EMAIL: cloos@msn.com



David & Jennifer Owen Residence
82 Chauncey Circle, Lot 9
The Ramble at Biltmore Forest

SP-1





6' HIGH WOOD PRIVACY FENCE WITH LATTICE TOPPER (COLOR TO BE VERY DARK BROWN)

TEMPORARY WOOD TREE PROTECTION FENCE WITH TWO RAILS (ALL WOOD MAY BE UNTREATED, 2x4 SIZE OR LARGER)

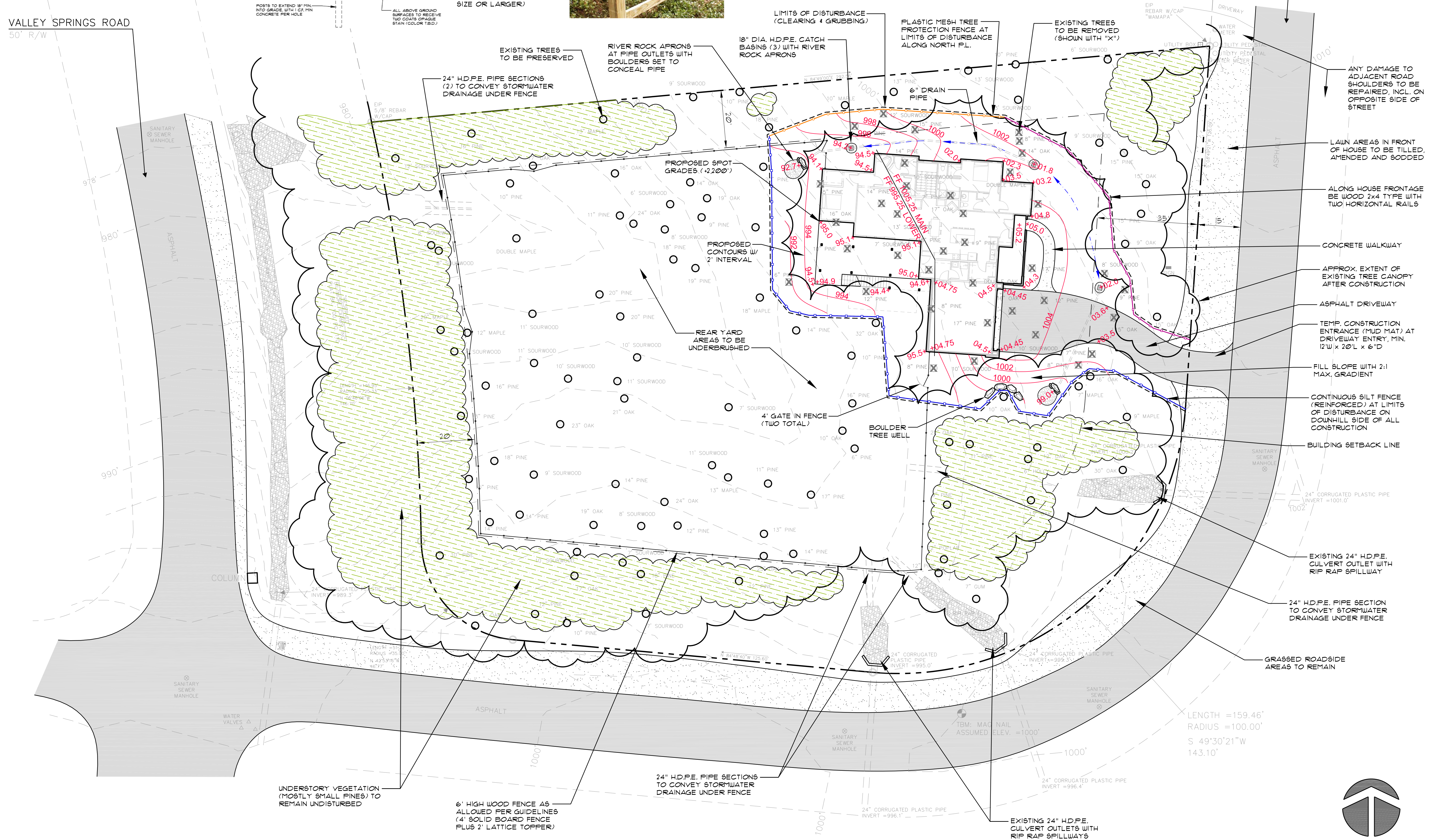


LOT 10
NELSON
D.B. 5139, PG. 1935
PIN #9646-70-6478-00000

Survey Info Provided By
David C. Huntley & Assoc.
(828) 693-8077

VALLEY SPRINGS ROAD
50' R/W

CHAUNCEY CIRCLE
50' R/W



David & Jennifer Owen Residence
82 Chauncey Circle, Lot 9
The Ramble at Biltmore Forest

Site Plan

Date: May 15, 2019

SP-1



Cloos Landscape Architecture, P.A.
47 YELLOWWOOD LANE - HORSE SHOE, NC 28742
PHONE: 828-243-1070 - EMAIL: gclous@msn.com

DESIGN CRITERIA AND DETAILS ARE BASED ON IRC VALUES.
LOCAL BUILDING OFFICIALS MAY PERMIT LESS RESTRICTIVE METHODS AND/OR
PROCEDURES BASED ON LOCAL CONDITIONS AND EXPERIENCE.

1. CONCRETE SHALL BE AIR ENTRAINED WITH A MINIMUM COMPRESSIVE STRENGTH AT 28 DAYS OF:

- BASEMENT AND INTERIOR FLOOR SLABS - 2,500 PSI
- BASEMENT AND FOUNDATION WALLS - 3,000 PSI
- PORCHES, CARPORT AND GARAGE FLOOR SLABS - 3,000 PSI
- SUSPENDED SLABOS AND CANTILIVER SLABS - 4,000 PSI
- GROUT - 1,500 PSI

2. MINIMUM ASSUMED SOIL BEARING CAPACITY IS 2,000 PSF. CONTRACTOR SHALL BE RESPONSIBLE FOR EVALUATION SOIL CONDITIONS AND SUITABILITY AFTER EXCAVATION.

3. PROVIDE (2) COATS OF ASPHALT EMULSION DAMP-PROOFING W/
HYDROSTATIC MAT CONTINUOUS OVER TOP OF FOOTING AND EXTERIOR
OF FOUNDATION WALLS TO FINISHED GRADE. PLASTER (PARDGE)
EXPOSED FOUNDATION WALLS ABOVE FINISHED GRADE.

4. PROVIDE A MINIMUM 4 INCH PERFORATED DRAIN AROUND USABLE SPACE BELOW GRADE OR OTHER EQUIVALENT MATERIALS PER IRC SECTION 405.1. THE PIPE SHALL BE COVERED WITH NOT LESS THAN 6 INCHES OF WASHED GRAVEL OR CRUSHED ROCK. THE DRAIN SHALL DAYLIGHT TO THE EXTERIOR BELOW THE FLOOR LEVEL OR TERMINATE IN A MINIMUM 20 GALLON SUMP PIT.

5. FOOTINGS SHALL EXTEND BELOW THE FROST LINE; MINIMUM DEPTH 18 INCHES BELOW GRADE OR PER LOCAL CODE FOR FROST DEPTH.

6. REINFORCEMENT, IF SPECIFIED, SHALL LAP A MINIMUM OF 18 INCHES AT ENDS AND AROUND CORNERS.

7. INTERIOR NON-BEARING WALLS, OTHER THAN THOSE RESTING DIRECTLY ON THE FOOTING, SHALL BE ISOLATED FROM THE FLOOR FRAMING ABOVE.

8. CONCRETE FLOOR SLABS SHALL BE A MINIMUM OF 4 INCHES THICK ON 6 MIL. VAPOR BARRIER OVER A MINIMUM 4 INCH BASE OF SAND, GRAVEL OR CRUSHED STONE.

9. ANCHOR BOLTS: MINIMUM 5/8 INCH DIAMETER W/ 3"X3"X1/4" FLAT WAHRSERS, ANCHOR BOLTS WITH 7 INCH EMBEDMENT AT A MAXIMUM OF 32" O.C. (2) MIN. PER WALL AND WITHIN 6 INCHES OF THE END OF EACH SILL PLATE. (U.N.O.) PROVIDE PRESSURE TREATED PLATE @ ALL SILL PLATES (U.N.O. PER SHEAR WALL REQUIREMENTS.)

10. WHERE FLOOR JOISTS ARE PARALLEL TO THE FOUNDATION WALL, THE WALL SHALL BE SUPPORTED Laterally AT THE TOP BY SOLID BLOCKING FOR A MINIMUM OF TWO JOIST SPACES, SPACED NOT MORE THAN 4 FEET O.C.

11. PROVIDE A SECONDARY MEANS OF EGRESS TO THE EXTERIOR FROM BASEMENT (EGRESS WINDOW OR DOOR) FOUNDATION WINDOW WELLS FOR SECONDARY MEANS OF EGRESS SHALL PROVIDE A MINIMUM 3' X 3' HORIZONTAL AREA.

12. PROVIDE ISOLATION JOINTS AROUND ALL COLUMNS AT ALL EXPOSED SLAB ON GRADE AREAS.

13. CONCRETE MASONRY UNITS TO BE ASTM C90 MEDIUM WEIGHT, GRADE N-1.

14. MORTAR TO BE TYPE "S" CONFROMING TO IRC 2009.

15. ALL HOLDDOWNS ARE PER SIMPSON STRONGTIE OR APPROVED IBCO 2009 EQUAL.

16.FOOTING STEP LOCATIONS AND ELEVATIONS ARE ASSUMED. ADJUST AS
ERQUIRED ON SITE TO BRING FOOTING TO BEAR ON NATURAL
UNDISTURBED SOIL.

17. BEFORE CONCRETE IS POURED VERIFY WITH ALL TRADES TO INSURE PROPER PLACEMENT OF ALL OPENINGS, SLEEVES, CURBS, CONDUITS, BOLTS, INSERTS, HOD DOWNS, ETC...RELATIVE TO WORK.

18. CONTRACTOR IS RESPONSIBLE FOR ALL SHORING AND FORM WORK.

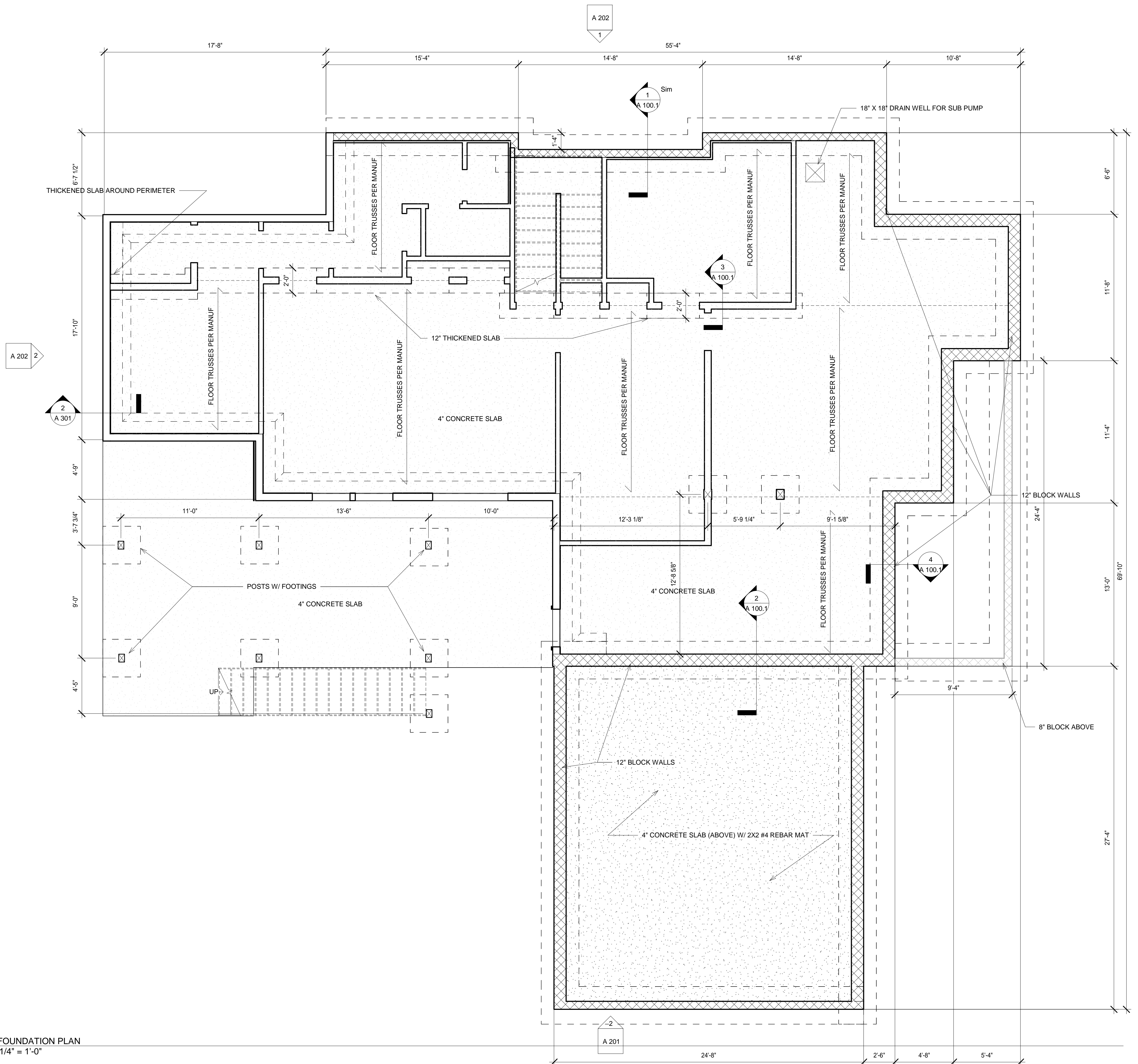
19. ALL EXTERIOR FOOTINGS SHALL BE CONTINUOUS AND POURED MONOLITHICALLY.

20. ALL CHANGES IN VERTICAL FOOTING ELEVATION SHALL BE STEPPED. THE MINIMUM DISTANCE OF THE VERTICAL STEP SHALL BE NO LESS THAN 6 INCHES.

21. BACK FILL FOUNDATIONS IN 8" LIFTS TO 98% MAX. DENSITY. CONTRACTOR SHALL BE RESPONSIBLE FOR VERIFICATION OF CONCRETE SLAB PLACEMENT FOR GARAGE AND DRIVEWAYS OVER ADEQUATE COMPACTED BACK FILL MATERIAL(4" FREE DRAINING GRAVEL OVER EXISTING GRADE OR APPROVED FILL).

22. FOUNDATION WALLS SHALL HAVE A MINIMUM EXPOSURE OF 8" ABOVE FINISHED GRADE.

23. THE LOCAL BUILDING OFFICIAL IS TO ASSURE COMPLIANCE WITH CODE AND CONSTRUCTION REQUIREMENTS.



① FOUNDATION PLAN
1/4" = 1'-0"

NOT BE USED EXCEPT FOR THE SPECIFIC
PURPOSE OF THE TAHARA PEACOCK.

--	--	--	--	--

104 1st Ave E., Hendersonville, NC 28792
Phone: 828.696.4000 Fax: 954.728.9225

**Lot 9 Rambles
Asheville, NC**

PLAN

DATE:
6/5/2019
2:37:23
PM

100

REVISION	REVISION DATE	ISSUED FOR

THE TAMARA PEACOCK COMPANY
Architects

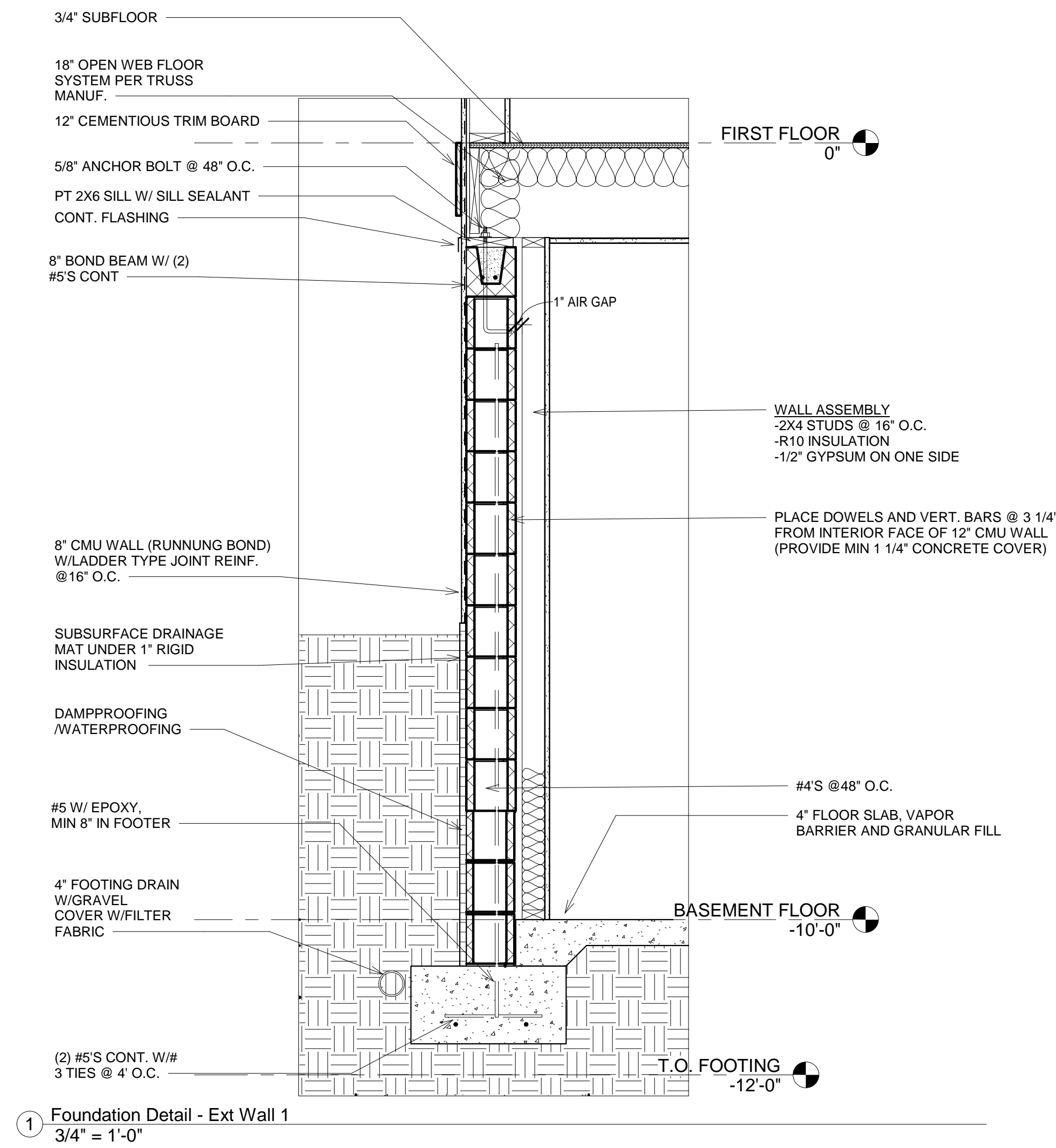
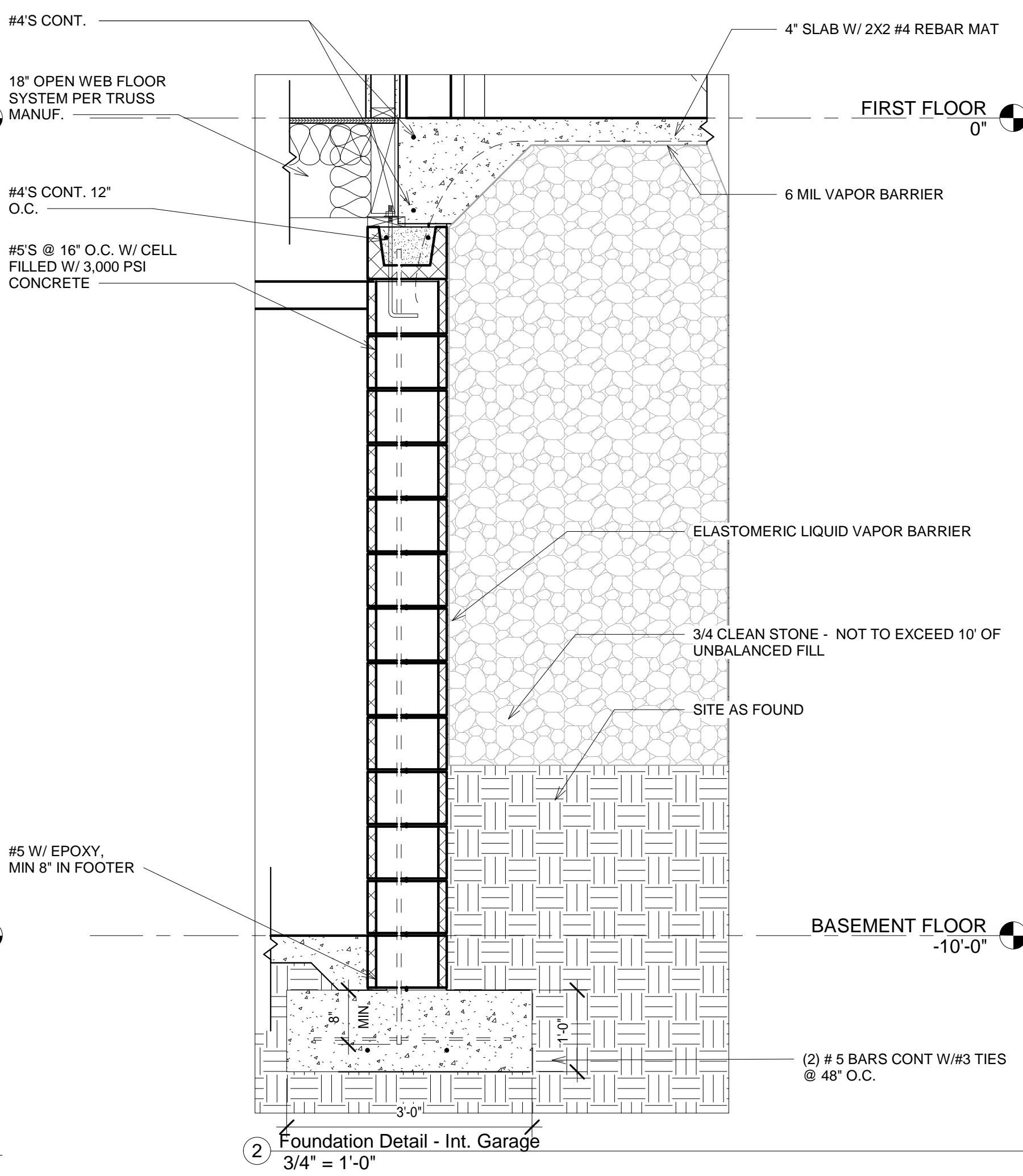
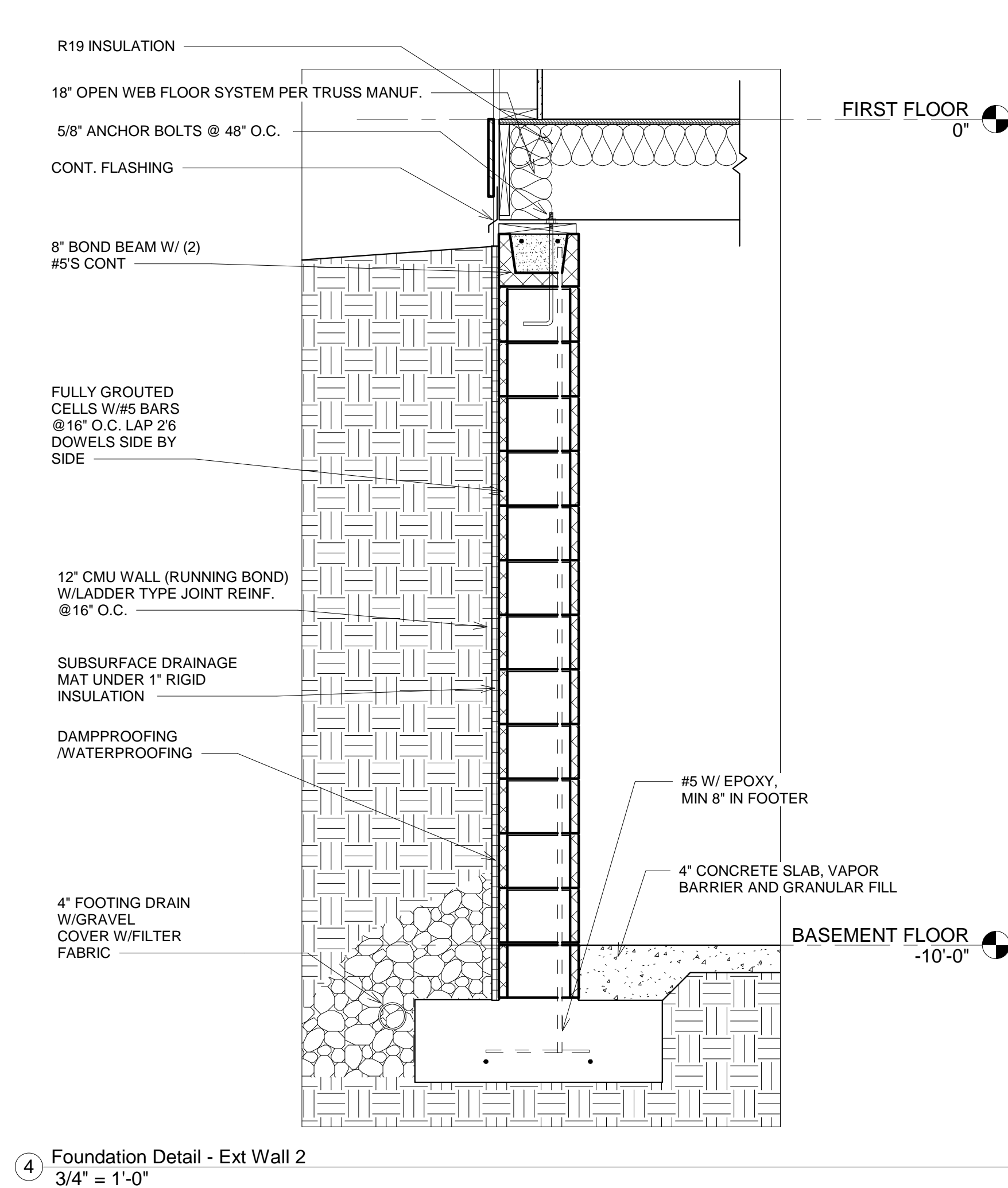
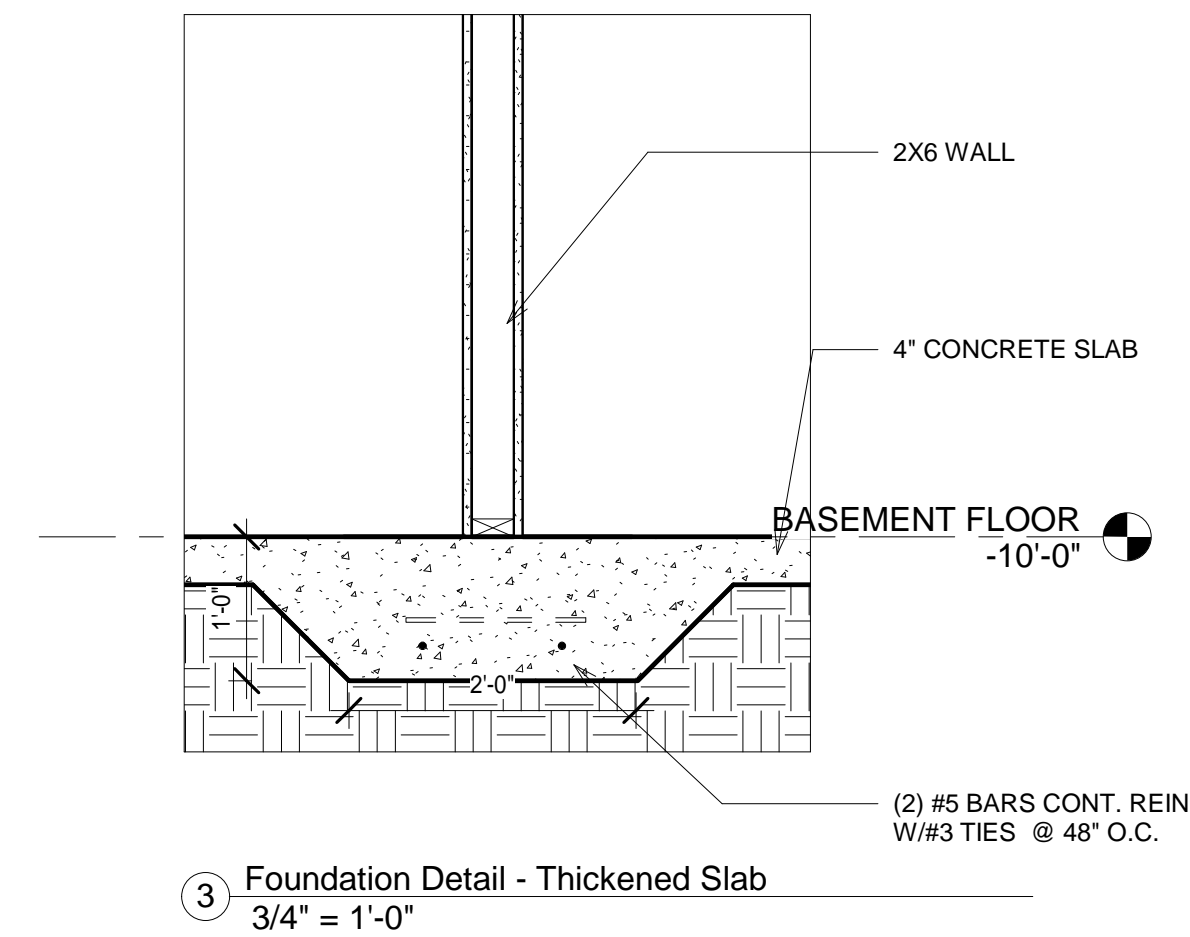
104 1st Ave E, Hendersonville, NC 28792
Phone: 602.536.4000 Fax: 604.799.0725

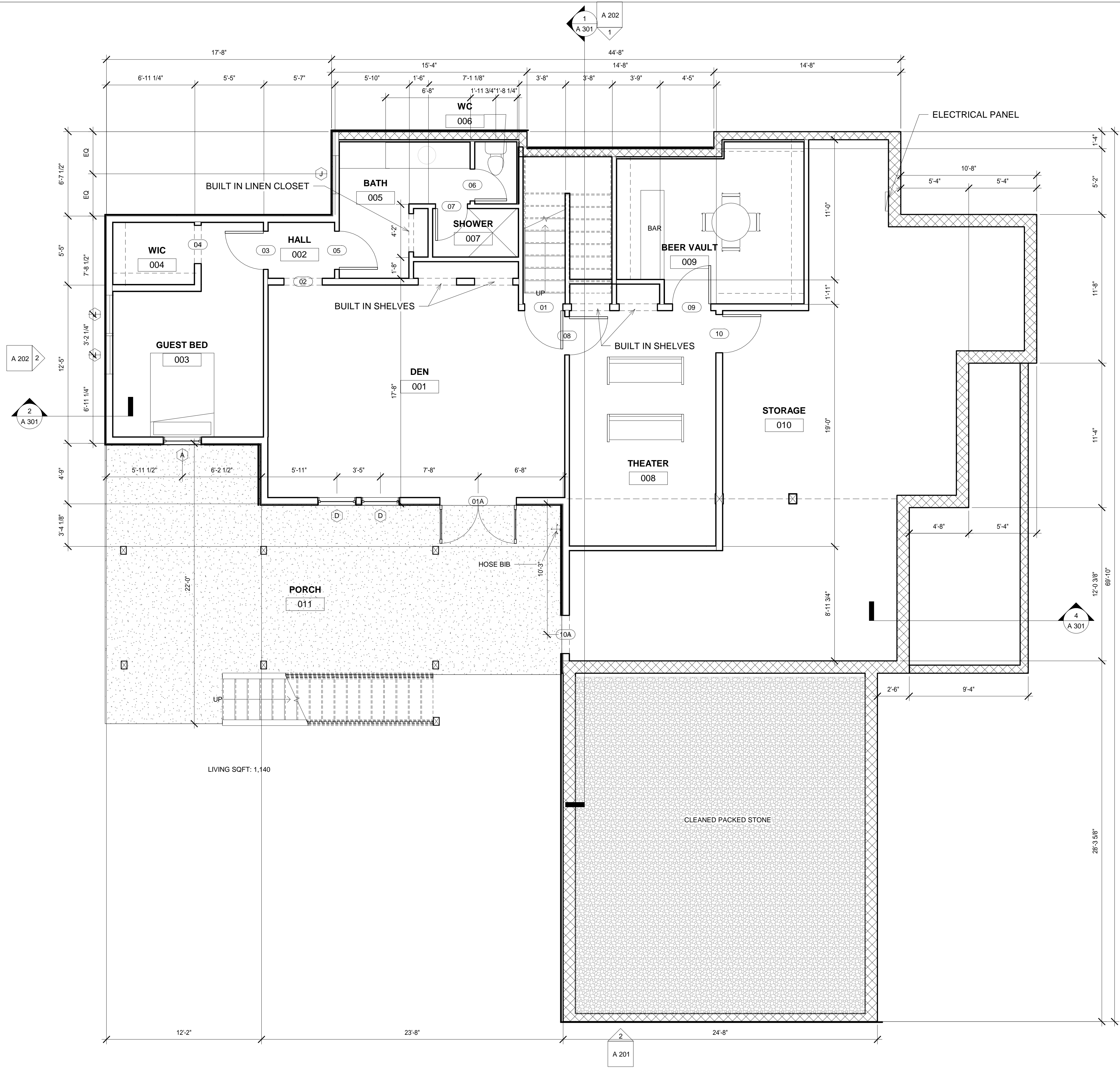
PROJECT NAME: **Owen Residence**

Lot 9 Rambles
Asheville, NC

SHEET NAME: **FOUNDATION
DETAILS**

NO.:
A
100.1





1 BASEMENT FLOOR PLAN
1/4" = 1'-0"

TAMARA PEACOCK, R.A.
LICENSE NO. 12126

THIS DOCUMENT IS THE PROPERTY OF TAMARA PEACOCK COMPANY. IT IS TO BE USED ONLY FOR THE PROJECT AND SITE SPECIFICALLY IDENTIFIED HEREON. IT IS NOT TO BE REPRODUCED, COPIED, OR TRANSMITTED IN ANY FORM OR BY ANY MEANS, ELECTRONIC OR MECHANICAL, INCLUDING PHOTOCOPYING, RECORDING, OR BY ANY INFORMATION STORAGE AND RETRIEVAL SYSTEM, WITHOUT THE WRITTEN PERMISSION OF TAMARA PEACOCK COMPANY. ANY VIOLATION OF THIS NOTICE SHALL BE AT THE USER'S SOLE RISK AND WITHOUT LIABILITY TO TAMARA PEACOCK COMPANY.

PROJ.	DESIGNER	AUTHOR
CAPT.	APPROVER	REVISOR BY
		CHECKER

ISSUED FOR

REVISION DATE

REVISION

THE TAMARA PEACOCK COMPANY
Architects

104 1st Ave E, Hendersonville, NC 28792
Phone: 828.696.4000 Fax 954.728.9225

PROJECT NAME:
Owen Residence

Lot 9 Rambles
Asheville, NC

SHEET NAME:
BASEMENT FLOOR PLAN

PROJ. NO. 1810	DATE: 6/5/2019
SHEET NO. 1	2:57:24 PM

A 101

GENERAL NOTES

WHERE DISCREPANCIES EXIST BETWEEN THE STANDARD COMMENTS, NOTES FROM THE DESIGN PROFESSIONAL OR THE CODE, THE MOST RESTRICTIVE SHALL APPLY. ALL CONSTRUCTION SHALL COMPLY WITH THE 2012 NORTH CAROLINA RESIDENTIAL CODE.

1. ALL INTERIOR DIMENSIONS ARE TO FACE OF STUD UNLESS OTHERWISE NOTED. ALL EXTERIOR WALLS ARE 2X6 @ 24" O.C.

2. WOOD BLOCKING FOR ANCHORAGE SHALL BE PROVIDED FOR ALL WINDOW CURTAIN RODS, SHOWER RODS, HANDRAIL BRACKETS, TOILET PAPER HOLDER AND MEDICINE CABINETS.

3. LAY OUT ROOF AND FLOOR JOISTS TO ELIMINATE CONFLICTS WITH PLUMBING STACKS, TOILET PLUMBING AND FURNACE PLENUMS. MAXIMUM SPACING SHALL BE TO CODE.

4. ALL 2X4 BEARING WALL STUDS SHALL BE SPACED A MAXIMUM OF 16" O.C. W/ DOUBLE TOP PLATE, ALL 2X6 BEARING WALL STUDS SHALL BE SPACED A MAXIMUM OF 16" O.C. W/ DOUBLE TOP PLATE. PROVIDE MIN. 3 STUDS @ EACH BEARING POINT. TYPICAL NON-BEARING WALL CONSTRUCTION SHALL BE 2X4 WALLS @ 16" O.C. W/ HEADER MIN. 2-2X4. PROVIDE BLOCKING @ CEILING LINE FOR PROPER DRYWALL ATTACHMENT.

5. PROVIDE METAL CARPET STRIP EDGING WHERE CARPET ADJOINS DIFFERENT FLOORING MATERIAL.

6. CEILING AND WALL HEIGHTS VARY AS NOTED IN SECTION.

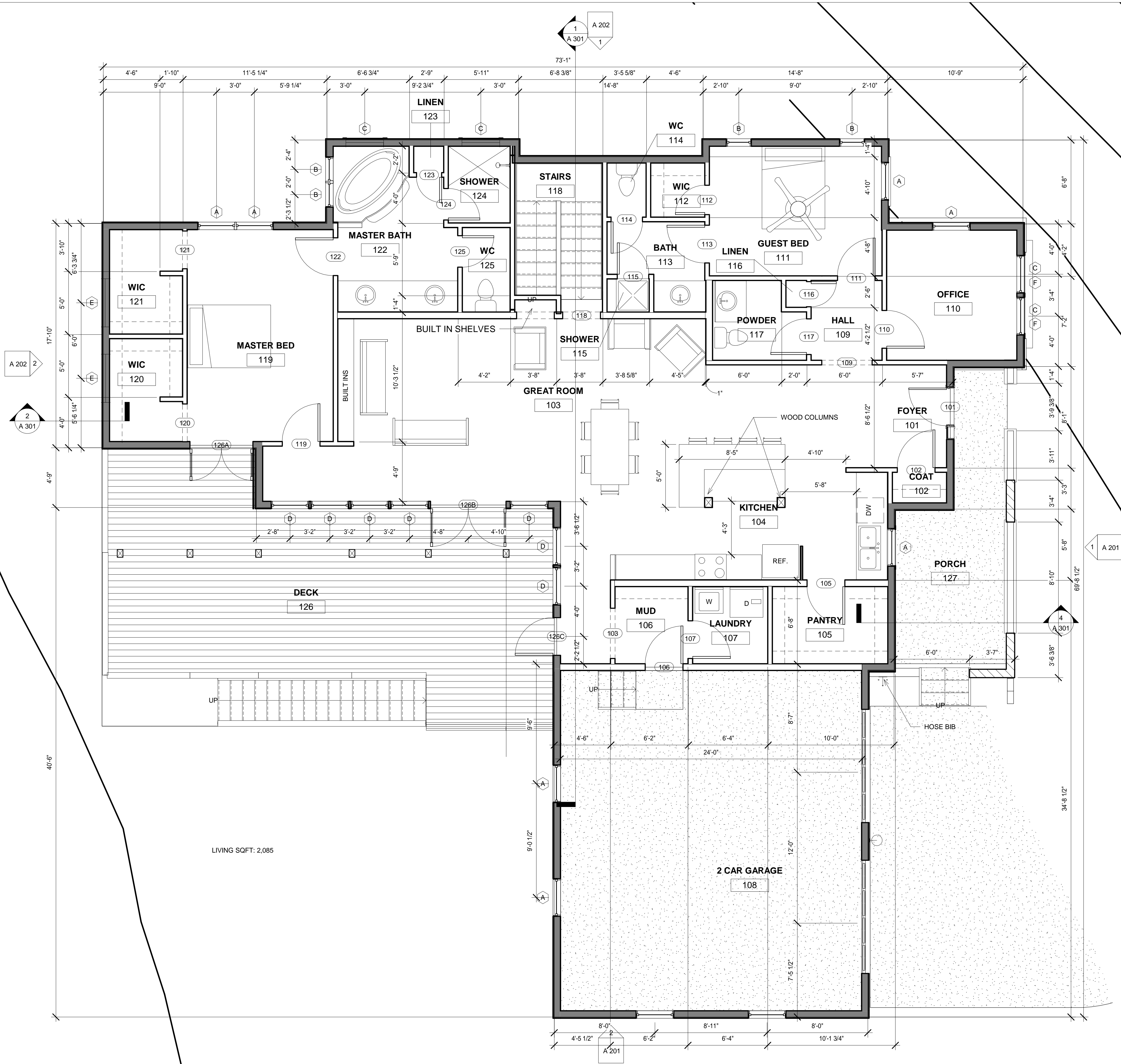
7. PROVIDE NOMINAL 2X FIRE BLOCKING AT EVERY FLOOR INTERVAL, BULKHEADS, CHASES AND MIN. HEIGHT FOR WALLS OVER 9' TALL. FIRE CAULK OPENING AROUND WIRE, PIPE AND VENTS.

8. SEAL ALL PENETRATIONS AND OPENINGS IN FLOORS AND WALLS TO MINIMIZE THE TRANSFER OF DRAFTS AND MOISTURE. SHEATHING PENETRATION SHALL PATCHED AND REPAIRED TO MANUF. SPECS.

9. SLOPE ALL CONC. STOOPS, PORCHES, WALKS AND GARAGE SLAB 1/8" IN 12" TO DRAIN OR AS NOTED ON PLANS.

10. ALL DESIGNS FOR MANUFACTURED FLOOR JOISTS, RAFTERS AND TRUSSES SHALL BE CERTIFIED BY THE MANUFACTURER. INSTALLATION OF SUCH ITEMS SHALL BE IN STRICT ACCORDANCE WITH MANUFACTURER'S SHOP DRAWINGS AND RECOMMENDATIONS.

11. CONSTRUCTION SHALL COMPLY WITH THE LATEST EDITION OF CODES NOTED ON COVER SHEET, ALL LOCAL CODES AND AMENDMENTS, AND FEDERAL, STATE AND LOCAL SAFETY REQUIREMENTS.



1 FIRST FLOOR PLAN
1/4" = 1'-0"

TAMARA PEACOCK, R.A.
LICENSE NO. 12126

DESIGNER
AUTHOR
APPROVER
CHECKER

PROJECT
DATE
SHEET NO.

ISSUED FOR

REVISION

REVISION DATE

REVISION

REVISION DATE

REVISION

REVISION DATE

REVISION

REVISION DATE

REVISION

REVISION DATE

REVISION

REVISION DATE

REVISION

REVISION DATE

REVISION

REVISION DATE

REVISION

REVISION DATE

REVISION

REVISION DATE

REVISION

REVISION DATE

REVISION

REVISION DATE

REVISION

REVISION DATE

REVISION

REVISION DATE

REVISION

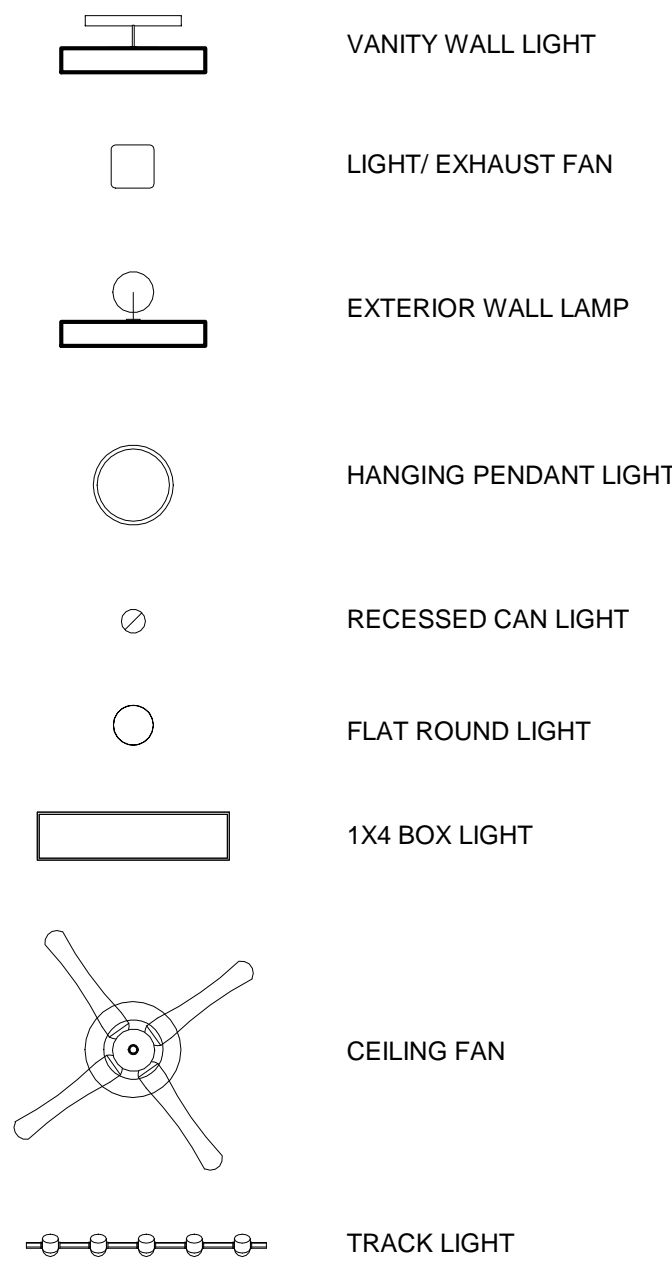
REVISION DATE

REVISION

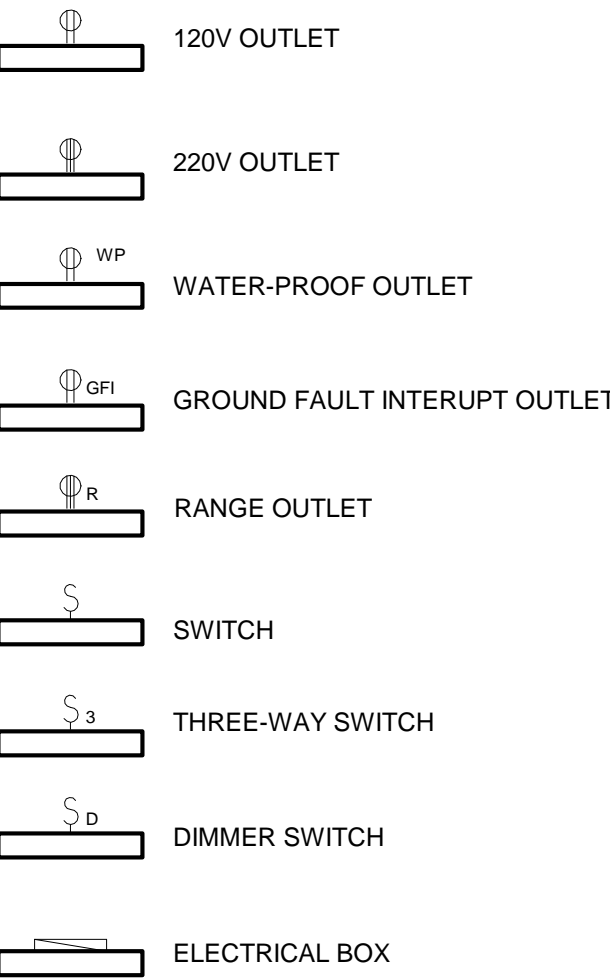
REVISION DATE

REVISION

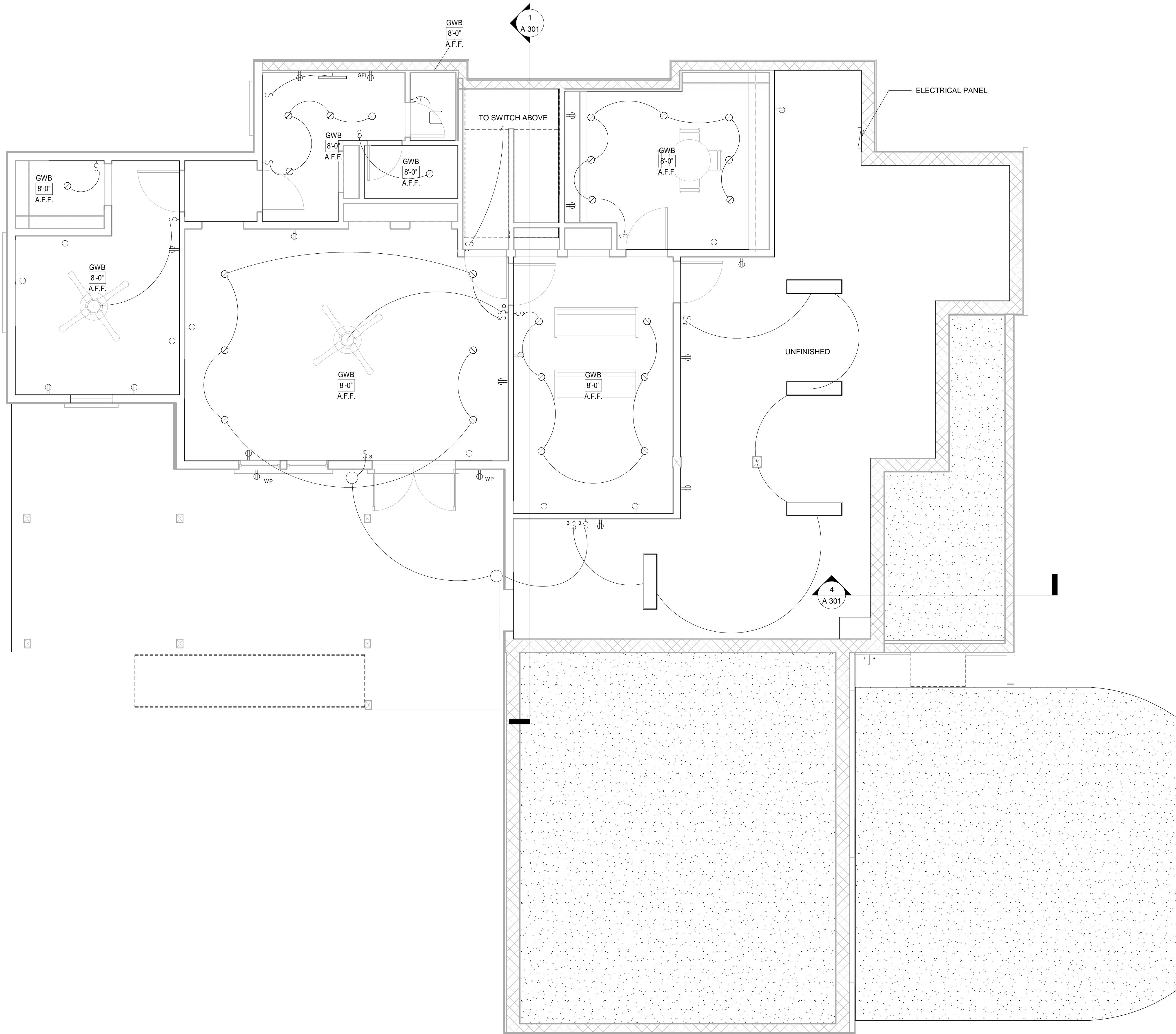
LIGHTING LEGEND



ELECTRIC LEGEND



○ Lighting Legend
1/4" = 1'-0"



① BASEMENT REFLECTED CEILING
1/4" = 1'-0"

TAMARA PEACOCK, R.A.
LICENSE NO. 12126

THE ARCHITECT'S RESPONSIBILITY: The Architect is responsible for the design and construction of the project. The Architect shall be responsible for the design and construction of the project. The Architect shall be responsible for the design and construction of the project.

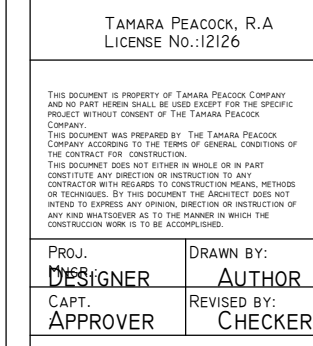
PROJ.	DESIGNER	AUTHOR
CAPT.	APPROVER	CHECKER

ISSUED FOR	REVISION DATE	REVISION

THE TAMARA PEACOCK COMPANY
Architects
104 1st Ave E, Hendersonville, NC 28792
Phone: 828.696.4000 Fax 954.728.9225

PROJECT NAME:
Owen Residence
Lot 9 Rambles
Asheville, NC

SHEET NAME:
BASEMENT REFLECTED CEILING PLAN
PROJ. NO.: **810**
DATE: 6/5/2019
2:57:25 PM
SHEET NO.: **A 105**



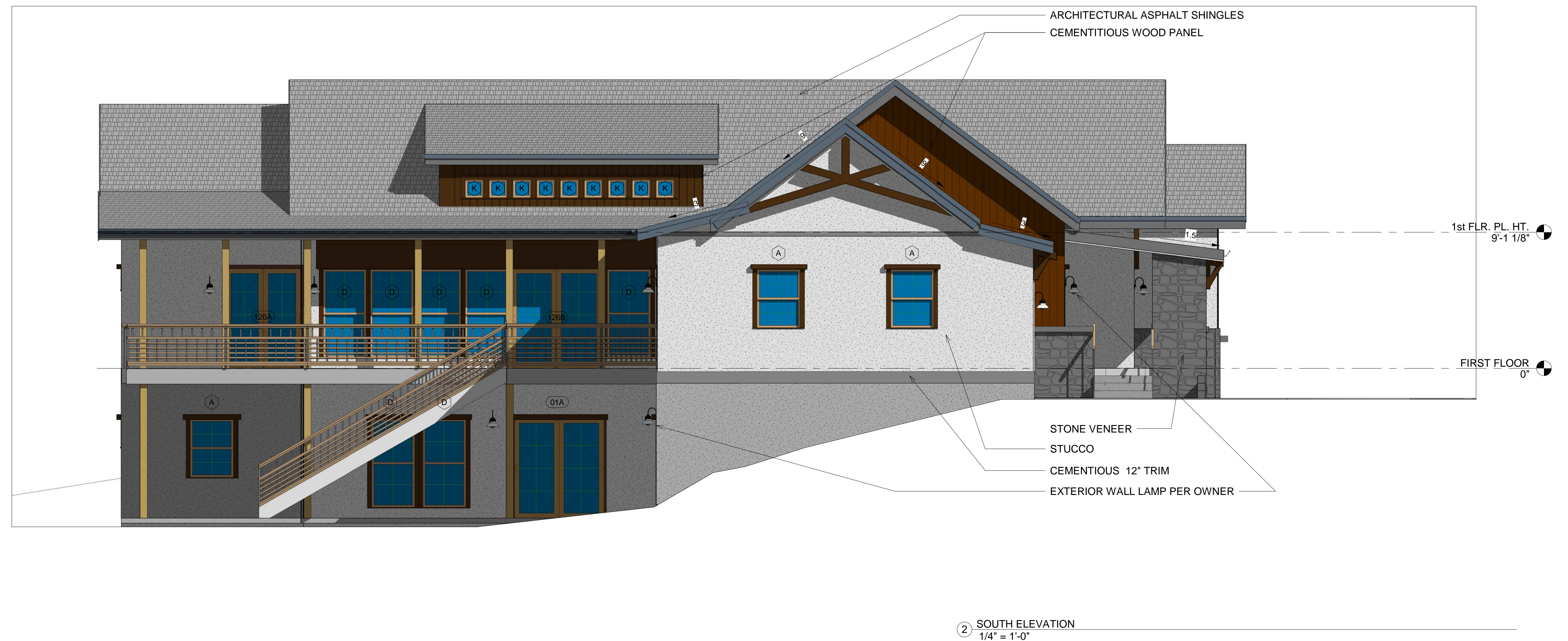
REVISION	REVISION DATE	ISSUED FOR

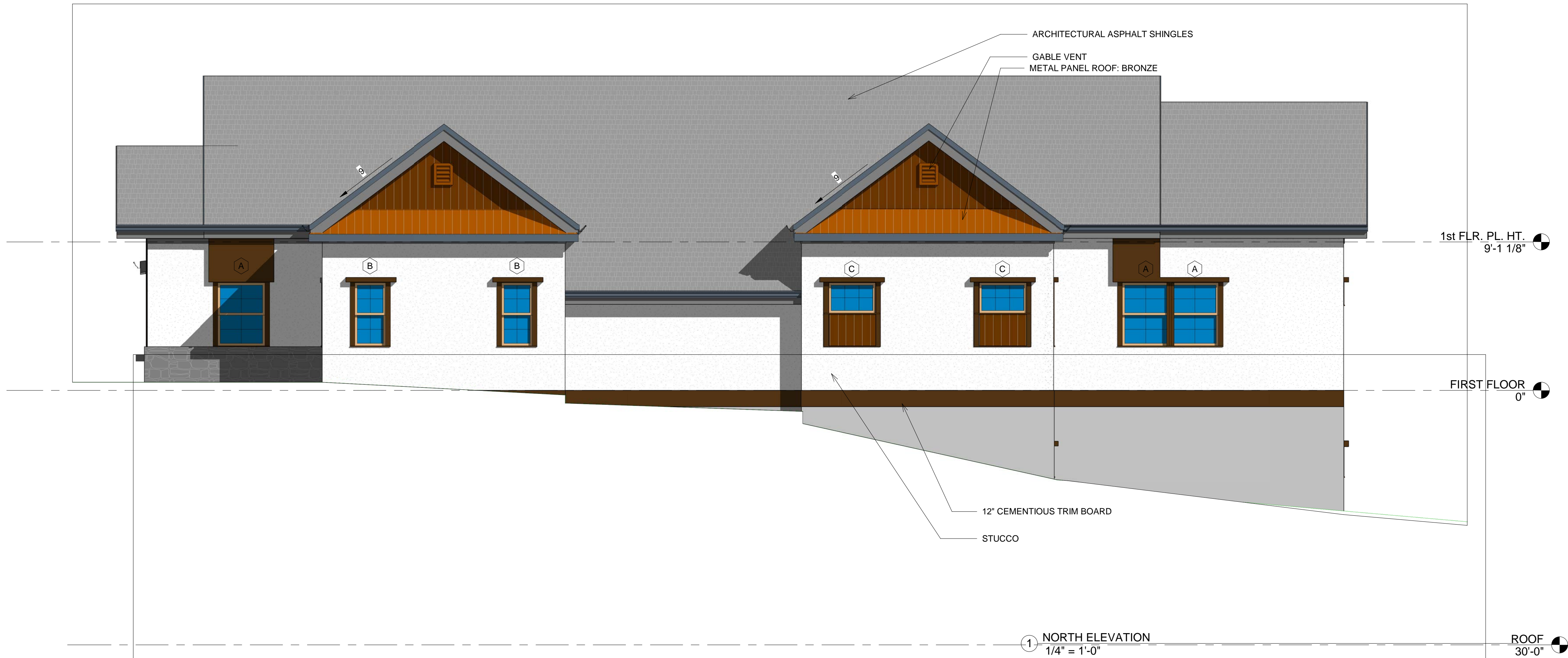
THE TAMARA PEACOCK COMPANY
Architects

104 1st Ave E, Hendersonville, NC 28792
Phone: 828.696.4000 Fax: 954.728.9225

PROJECT NAME:
Owen Residence

SHEET NAME:	
EXTERIOR ELEVATIONS	
PROJ.	DATE:
Y810	6/5/2019
SHEET NO.:	2:37:37 PM
A 201	





TAMARA PEACOCK, R.A.
LICENSE NO. 12126

THE ARCHITECT'S RESPONSIBILITY IS TO PROVIDE A DESIGN THAT MEETS THE CLIENT'S NEEDS AND TO OBTAIN ALL NECESSARY PERMITS. THE ARCHITECT DOES NOT GUARANTEE THE ACCURACY OF THE INFORMATION PROVIDED BY THE CLIENT OR THE RESULTS OF THE DESIGN. THE ARCHITECT IS NOT RESPONSIBLE FOR ANY CONSTRUCTION DEFECTS OR FOR ANY CHANGES TO THE DESIGN AFTER THE PERMIT IS OBTAINED.

PROJ.	DESIGNER	DRAWN BY
CAPT.	APPROVER	AUTHOR
		REVISOR
		CHECKER

ISSUED FOR

REVISION DATE

REVISION

THE TAMARA PEACOCK COMPANY
Architects

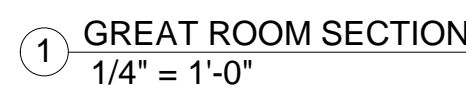
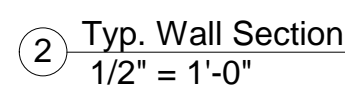
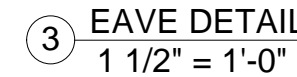
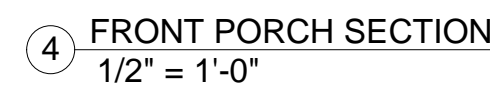
104 1st Ave E, Hendersonville, NC 28792
Phone: 828.696.4000 Fax 954.728.9225

PROJECT NAME:
Owen Residence

**Lot 9 Rambles
Asheville, NC**

SHEET NAME:
**EXTERIOR
ELEVATIONS**

PROJ. NO.: **1810**
DATE: 6/5/2019
SHEET NO.: **2**
PM
A 202



ASHEVILLE, NC

CODE INFORMATION

2018 NORTH CAROLINA RESIDENTIAL CODE

TABLE R301.2(1) CLIMATE AND GEOGRAPHICAL DESIGN CRITERIA:

DESIGN WIND SPEED: 90 MPH
SEISMIC ZONE: C

TABLE R301.5 MINIMUM UNIFORMLY DISTRIBUTED LIVE LOADS BASED ON USE:

ATTICS (NON-ACCESSIBLE):
ATTICE (ACCESSIBLE):
BALCONIES (EXTERIOR):
DECKS:
ROOMS (OTHER THAN SLEEPING):
GUARDS AND HANDRAILS
SLEEPING ROOMS
STAIRS:

R310 EMERGENCY ESCAPE AND RESCUE OPENINGS:

EVERY SLEEPING ROOM SHALL HAVE AT LEAST ONE OPENABLE EMERGENCY EXCAPE AND RESCURE OPENING.

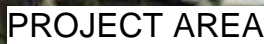
R313 SMOKE ALARMS:
REQUIRED SMOKE ALARM LOCATIONS:

LIVING AREA
ALL BEDROOM OR SLEEPING AREAS
ON THE CEILING OF UPPER LEVEL NEAR THE TOP OR ABOVE EACH
STAIRWAY
ON THE BASEMENT CEILING NEAR THE STAIRWAY

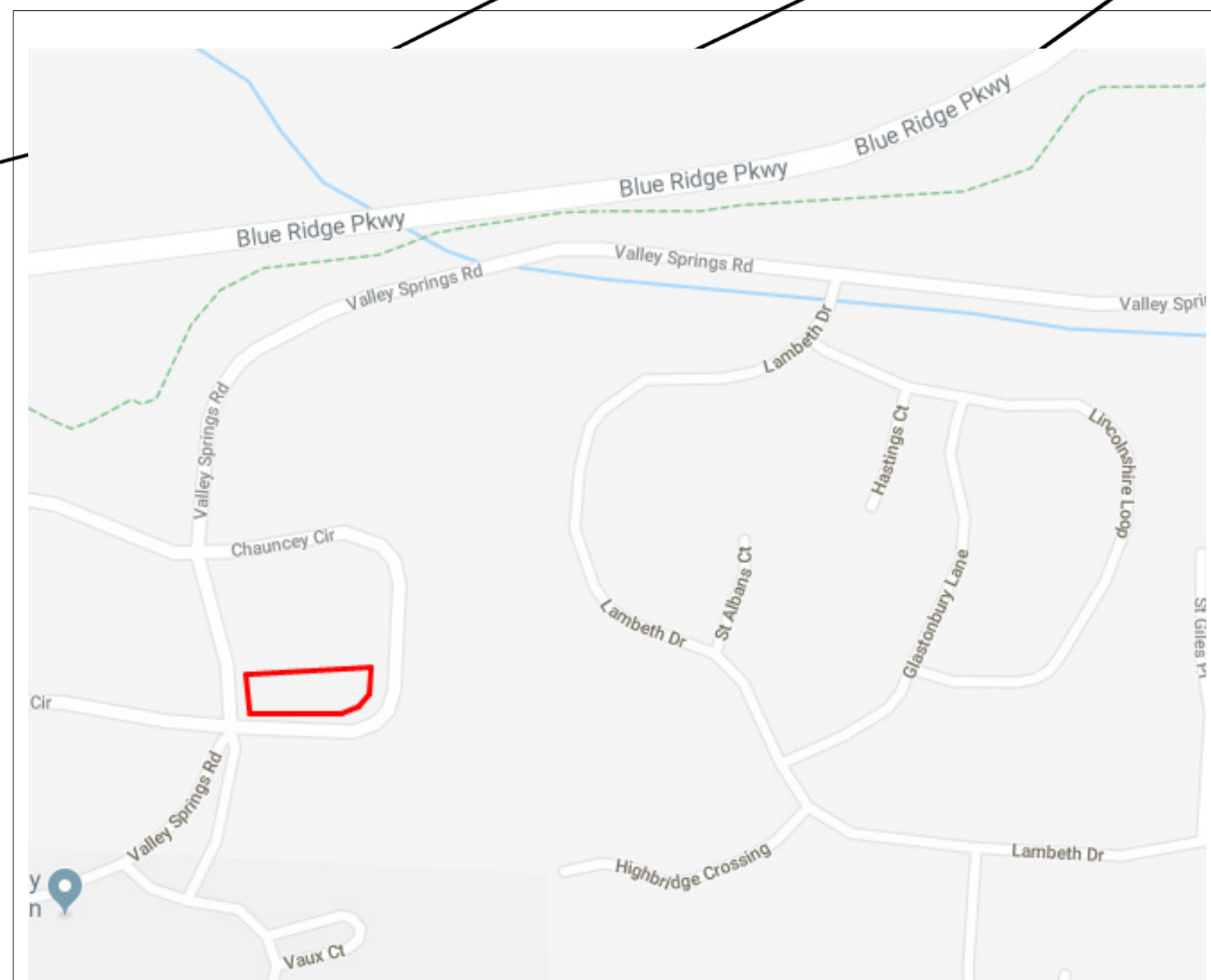
ENERGY EFFICIENCY

BUILDING ENERGY EFFICIENCY SHALL COMPLY WITH CHAPTER 11 OF THE 2018 EDITION OF THE NORTH CAROLINA RESIDENTIAL CODE.

CLIMATE ZONE: 4



LOCATION PLAN



GENERAL NOTES:

- CONSTRUCTION SHALL BE IN ACCORDANCE WITH ALL APPLICABLE CODES AND STANDARDS.
- ALL NEW CONSTRUCTION SHALL BE PLUMB, SQUARE AND LEVEL.
- WHERE DISCREPANCIES EXIST BETWEEN THE STANDARD COMMENTS, NOTES FROM THE DESIGN PROFESSIONAL OR THE CODE, THE MOST RESTRICTIVE SHALL APPLY.
- CONSTRUCTION SHALL BE IN ACCORDANCE WITH THE 2012 NORTH CAROLINA BUILDING CODE.
- SUB-CONTRACTORS ARE RESPONSIBLE FOR VERIFYING ALL CONDITIONS IN THE FIELD PRIOR TO ORDERING OR FABRICATING EQUIPMENT, ASSEMBLIES, ETC. FOR USE WITH THIS JOB.
- PROVIDE METAL CARPET STRIP EDGING WHERE CARPET ADJOINS DIFFERENT FLOORING MATERIAL.
- SEAL ALL PENETRATIONS AND OPENINGS IN FLOORS AND WALLS TO MINIMIZE THE TRANSFER OF DRAFTS AND MOISTURE. SHEATHING PENETRATION SHALL PATCHED AND REPAIRED TO MATCH SURFACES.
- PROVIDE 2" WIDE METAL STOPS, PORCHES, WALKS AND GARAGE SLAB 1/8" IN 12" TO DRAIN OR AS NOTED ON PLANS.

FRAMING NOTES:

- ALL DIMENSIONS ARE TO FACE OF FRAMING UNO.
- SNAP CHALK LINES ON FLOOR FOR ALL PARTITIONS AND CONFIRM LAYOUT WITH OWNER PRIOR TO CONSTRUCTION.
- CONFIRM PLUMBING LAYOUT (LOCATION OF WASTE & VENTS) WITH PLUMBING CONTRACTOR AND ADJUST FRAMING TO AVOID CONFLICTS.
- ALL DESIGNS FOR MANUFACTURED FLOOR JOISTS, RIFTERS AND TRUSSES SHALL BE CERTIFIED BY THE MANUFACTURER. INSTALLATION OF SUCH ITEMS SHALL BE IN STRICT ACCORDANCE WITH MANUFACTURER'S SHOP DRAWINGS AND RECOMMENDATIONS.
- CONTRACTOR TO VERIFY ALL APPLICABLE FRAMING DETAILS AS SPECIFIED BY ENGINEERED LUMBER MANUFACTURER.
- ALL PARTITIONS 2x4 FRAMING UNO.
- PROVIDE NOMINAL 2X6 BRACING AT EVERY FLOOR INTERVAL, BULKHEADS, CHASES AND MIN. HEIGHT FOR WALLS OVER 9' TALL. FIRE CAULK OPENING AROUND WIRE, PIPE AND VENTS.

DOORS & WINDOWS:

- ALL WINDOWS SHALL HAVE FULL HEIGHT SCREENS.
- ALL EXTERIOR TRIM & CASINGS AND EXTENSION JAMBS BY GENERAL CONTRACTOR.
- PROVIDE CONTINUOUS WALL BUILDING FELT/HOUSE WRAP INTO WINDOW & DOOR ROUGH OPENINGS AND ADD EXTRA 12" LAYER TO WRAP ALL ROUGH OPENINGS.
- VERIFY R.O. WITH WINDOW MANUFACTURER.
- ALL WINDOWS SHALL BE LOW-E INSULATED GLASS.
- PROVIDE SIMULATED DIVIDE LINES. REFER TO ELEVATIONS FOR STANDARD CONFIGURATION.
- ALL WINDOWS TO HAVE DRIP CAP ABOVE HEAD TRIM.
- PROVIDE FINISHED ALUMINUM FLASHING OVER WOOD DRIP CAPS AT LOCATIONS NOT SHELTERED BY ROOF OVERHANGS.
- ALL DOORS & WINDOWS TO BE SET 5/8" BEYOND EXTERIOR SHEATHING. TRIM PACKED-OUT WITH 5/8" PLYWOOD TO ALLOW FOR THICKNESS OF FINISHED SHINGLES AND STUCCO. USE 3/4" P.T. SPS. AS ACRED/PACKOUT AT STUCCO.
- PROVIDE METAL-CLAD SUB-SILL AT ALL EXTERIOR DOOR THRESHOLDS. BED SUB-FLASHING IN CONTINUOUS GULF BEADS AND SET DOOR THRESHOLD IN 2 CONTINUOUS **TYPICAL DOOR THICKNESS UNO.**

EXTERIOR DOORS AND STEEL DOORS - 1 3/4"
INTERIOR DOORS - 1 3/8"
SCREEN DORRS - 1 7/8"

<p align="center">TAMARA PEACOCK, R.A LICENSE NO.:12126</p>	
<p>THIS DOCUMENT IS PROPERTY OF TAMARA PEACOCK COMPANY and no part should be loaned, copied, reproduced, or otherwise used without the written consent of TAMARA PEACOCK COMPANY.</p>	
<p>THIS DOCUMENT WAS PREPARED BY THE TAMARA PEACOCK COMPANY ACCORDING TO THE TERMS OF GENERAL CONDITIONS OF THE CONTRACT FOR CONSTRUCTION.</p>	
<p>THIS DOCUMENT DOES NOT EXTEND IN WHOLE OR IN PART TO ANY OTHER PROJECT OR INSTRUCTION TO ANY CONTRACTOR OR SUBCONTRACTOR.</p>	
<p>THIS DOCUMENT IS NOT TO BE USED FOR ANY OTHER PROJECT OR INSTRUCTION TO ANY CONTRACTOR OR SUBCONTRACTOR WITHOUT THE WRITTEN INSTRUCTION OF ANY ONE AND ANY WORKER AS TO THE WORKMAN IN WHICH THE CONSTRUCTION WORK IS TO BE ACCOMPLISHED.</p>	
<p>PROJ. NO. _____</p> <p>DESIGNER</p> <p>CAPT. _____</p> <p>APPROVER</p>	<p>DRAWN BY: _____</p> <p>AUTHOR</p> <p>REVISED BY: _____</p> <p>CHECKER</p>

REVISION	REVISION DATE	ISSUED FOR

THE TAMARA PEACOCK COMPANY
Architects

104 1st Ave E, Hendersonville, NC 28792
Phone: 828.696.4000 Fax: 954.728.9225

PROJECT NAME: **Owen Residence**

**Lot 9 Rambles
Asheville, NC**

SHEET NAME: **COVER SHEET**

PROJ. No. 1810	DATE: 6/5/2019 2:37:55
SHEET	PM

C 001