PROPOSED AGENDA

Meeting of the Design Review Board To be held Thursday, March 24, 2016 at 5:30 p.m.

- I. Chairman Johnson will call the meeting to order.
- II. Approval of Minutes for January 21, 2016.
- III. Design Review Board Presentations
 - a. Mrs. Lauren Meyer-Banks, 12 Ridgefield Place, is presenting plans for a new four (4) foot high steel replacement fence and gate.
 - b. Dr. James and Mrs. Stephanie Brien, 29 Hilltop Road, are presenting plans for a 12'x16' detached storage building.
 - c. Dr. Steven and Mrs. Melissa Mendelsohn, 25 Busbee Road, are presenting plans for a two-bay garage addition to an existing accessory structure, covered walkway, and pierced brick screening wall.
 - d. Mr. Hubert and Mrs. Pat Wood, 12 Hemlock Road, are presenting plans for a media room addition to the rear of the residence, as well as ninety (90) foot long masonry retaining wall with a steel fence on a portion of it in the rear yard.
 - e. Mr. Nathan and Mrs. Erin Renfro, 57 Forest Road, are presenting plans for a new residence.
 - f. Mr. John Miles Smith, 8 Chauncey Circle, is presenting plans for a new residence.

IV. Adjourn

MINUTES OF THE TOWN OF BILTMORE FOREST DESIGN REVIEW BOARD MEETING OF JANUARY 21, 2016

Those in attendance: Mr. Bruce Johnson, Chairman

Mr. Fred Groce Mrs. Lynn Kieffer Mrs. Andrea Eglinton

Mr. Jonathan Kanipe, Town Administrator

Chairman Johnson called the meeting to order at 5:30 p.m. There was consensus to approve

the minutes of the November 19, 2015 meeting.

Mr. Barkley of 124 Stuyvesant Road presented plans for a detached garage at his residence. Mr.

Barkley provided a sample and documentation of the plans for the garage. The garage would be 44'

wide and 33' deep. Mr. Fred Groce asked whether the garage would accommodate two cars. Mr.

Barkley said yes. Mr. Barkley indicated he would have a hip roof which is similar to the one on his

home. Mrs. Kieffer asked if the garage door would match the home. Mr. Johnson suggested picking the

one that matched his home. The project was approved.

Dr. Steven and Mrs. Melissa Mendelsohn of 25 Busbee Road presented their plans. George

Stowe, architect, was also present to review the plans. Mr. Stowe went over the proposed fence in the

backyard of the existing home. The portion of the rear yard which is enclosed would be in an area off

the side of the terrace and the stairs will ease the transition to the garden area. Mrs. Kieffer verified with

Mr. Stowe and Mrs. Mendelsohn about the railings that would be put in place. The railing would match

the 90-year-old railing on the second floor.

Mr. Stowe indicated the fence which is proposed to be 6 feet tall would be on a grade. Mr. Stowe

also noted they proposed to install additional buffering. Mr. Johnson noted the area was buffered. The

project was approved.

Mr. Adam Berry of 20 Ridgefield Place was not present for the meeting. The Board

recommended an opaque stain, similar to white wash which would blend in significantly better than the

existing deck. The project was approved with a recommendation to stain close to the white of the house.

1

The project for John Delaney of 13 Hilltop Road was approved. He is designing a covered area on the front of the porch. They are also wanting to put a new deck on the back. He has a structural engineer he is working with here. All the work will be attached to the house. He has more information in our packets about the stain color which is a medium gray. They are planning to make it so it is handicap accessible. Mr. Delaney lives in Hawaii and was unable to attend.

The meeting was adjourned at 5:56 p.m.

The next meeting of the Design Review Board was scheduled for Thursday, February 18th, 2016 at 5:30 pm. There being no further business, Chairman Johnson, adjourned the meeting at 6:00 pm.

Bruce Johnson, Chairman

Jonathan Kanipe, Zoning

Administrator



MEMORANDUM MARCH 21, 2016

To: Board of Adjustment

From: Jonathan Kanipe, Town Administrator Re: Case Number 1 – 12 Ridgefield Place

Date: March 15, 2016

Case 1

Property Owner: Lauren Meyer-Banks Living Trust

Property Address: 12 Ridgefield Place

Zoning District: R-2

Lot Size: 0.57 +/- acres

Application Request: Conditional Use Permit to Allow Replacement of an Existing Fence and

Variance to Allow Replacement of Fence and Gate in the Side Setback

Mrs. Banks presented her request last month to allow the replacement of a vinyl fence in her rear yard. The initial proposal also included a plan to construct a new fence in the rear of the yard. The Board asked Mrs. Banks to reconsider her proposal and see whether another fence material might work and whether there was a need to fence in the rear portion of the yard when a tall privacy fence already existed on the rear property line.

Mrs. Banks has revised her plan and removed the request to construct a new portion of the fence. She has removed the bamboo that obscured the privacy fence from the rear line and now requests permission from the Board to simply replace the existing vinyl fence that is currently on the site. Mrs. Banks has altered her fence request and now asks the Board for permission to install a 4 foot high black steel fence. This fence would be located in the exact location of the existing white vinyl fence. A variance is required to replace the fence within the northern side setback.

- Conditional use permit request to replace an existing fence
- Variance request to allow construction of the replacement fence within the northern side yard setback

Feb-29, 2016 Lauren Meyer Banks 12 Ridgefield Place Fressed Spear - 3 rail.

with 3 rails > ###### Color-black Ridgefied tence Versai house Pressed Spear 3 rail (see illustration 4ft. height driveway new here HHHHHHHHH back way of This fence is replacing which)

unite plastic fencing which)

is falling apart here > Wooden Privacy (already present)



TOUGH

DURABLE

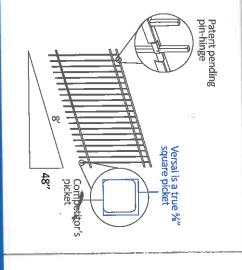
ELEGANT

Smooth rails without sag or rivets
 Matching walk and drive gates
 Variety of styles and custom options

- Rigid welded steel construction
 Adjusts to the most aggressive landscape
 Stronger mil strength & true 3/2" square picket

Virtually maintenance free

 UV inhibitors reduce falling over time E-Coat and Architectural Grade Powder Coat







WWW.FORTRESSFENCE.COM





TOWN OF BILTMORE FOREST BOARD OF ADJUSTMENT APPLICATION FOR A CONDITIONAL USE PERMIT

To: The Biltmore Forest Board of Adjustment	
1, Lauren	Meyer-Banks, hereby petition the Board of Adjustment to issue a
Conditional Use Permit for: replacement of old fence install backyard fence	
for the property located at 12 Ridge Field Place and described in the attached	
site plan in a manner set forth in that plan, or if not adequately explained there, as more fully described as follows:	
Description of the project.	Courter of our to office to replace of our yell
	tencing presently on two sides.
Authority to grant the requested Conditional Use is contained in the Town of Biltmore Forest Zoning Ordinance Section 1005.03 and Article VIII - Conditional Uses.	
2. Explain why the granting of the Conditional Use will not adversely affect the public interest of those living in the neighborhood.	there is the only femces the requirements of sections 801 and 1003 Con neighbor
3. Additional comments or Statements	The purpose of the fence is for a safe enclosure well within my property boundaries for my two inside dogs to spend some time outside with my supervission.
Lauven Meyer Banks certify that the information presented by the undersigned in this application is accurate to the best of my knowledge, information and belief.	
Date 1/3/2016 Signature Lauren Meger Banks	

Original Application Documents for 3/21/16 BOA Meeting Greetings Board of adjustment, I am requesting permission to replace a poorly installed and incomplete fence around a portion of my back yard. It is important that I get this done as soon as possible, because I cannot let my dog outside off leash. I am a Alnior Citizen, and walking him On leash is dangerous for me on plepping purfaces. as colder weather arrives, I need a safe area for him to be outside periodically. The fence I need to install is at least 20' inside my property borders. I enclosed a diagram with new fence outlined in yellow Thank you; Lauren Meiser Bank



MEMORANDUM MARCH 21, 2016

To: Board of Adjustment

From: Jonathan Kanipe, Town Administrator Re: Case Number 6 – 29 Hilltop Road

Date: March 15, 2016

Case 6

Property Owner: Dr. James and Mrs. Stephanie Brien

Property Address: 29 Hilltop Road

Zoning District: R-1

Lot Size: 1.39 +/- acres

Application Request: Conditional Use Permit and Variance Request for Accessory Structure

The applicants request permission from the Board to construct a 12'x16' accessory structure on an existing concrete slab in their rear yard. The purpose of this structure is to serve as a storage shed so that outdoor maintenance equipment (lawnmowers, leaf blowers, etc.) can be kept out of the open and in a safe environment.

The proposed location of the accessory structure is on an existing concrete slab where a previous accessory structure was located. It is screened from all properties by existing vegetation and will be designed in conformity with the main residence. The applicants have provided a drawing of the proposed location, as well as a depiction of the storage building itself. The proposed structure would not be constructed within any setbacks. The applicants did receive from the permission from the Board approximately two years ago to install a play structure.

- Conditional use permit to allow construction of accessory building on existing 12'x16' concrete slab
- Variance to allow construction of more than one accessory structure

Zoning Application

Property Identification

Name

James Brien

Address

29 Hilltop Road, Asheville, North Carolina 28803

(828) 505-1362

jamesbrien@hotmail.com

Zoning

Lot Size (Acres) R-1

1.3

Scope of Project-Roof Coverage

Does the project include increasing roof coverage?

Yes

What is the proposed roof coverage?

192

Is the proposed roof coverage greater than the permitted maximum roof coverage?

No

Scope of Project-Impervious Surface

Does the project include increasing the impervious surface coverage? Nο

Scope of Project-Setbacks

Does any part of the project fall within the front yard? No

Does any part of the project fall within the side/rear yard setback(s)s?

No

Scope of Project-Accessory Structures

Does the project include a detached structure or An application for a conditional use permit will bre building?

required in addition to this zoning application.

Yes

Will there be more than the approved number of accessory structures/buildings?

No

Project Description

Brief Description of Project

Storage shed built to match period and character of the house. 12 ft X 16 ft. The structure will be built on an EXISTING cement foundation that is 12 ft X 16 ft. (therefore no change to impervious surface). Structure 20 ft from closest side neighbor property line and 45 ft from closest back neighbor property line.

Estimated Cost of Project 7,500

Estimated Completion Date 6/1/2016

Please attach any drawings, renderings, photographs or other supporting documentation.

Conditional Use Permit Application

I hereby petition the Board of Adjustment to issue a Conditional Use Permit for:

Name

James Brien

Property Address

29 Hilltop Road

Email

jamesbrien@hotmail.com

Phone

(828) 505-1362

Type of Conditional Use

802.07 Accessory Buildings

Description of Project

Storage shed, 12 ft by 16 ft built on EXISTING cement slab foundation 20 ft from closest side neighbor, 45 ft from closest back neighbor property line. Built to match house.

Explain why the project would not adversely affect the public interest of those living in the neighborhood:

Structure is in the back yard, not visible from front yard. It is 20 ft from closest side neighbor property line, 45 ft from back property line and is hidden from the back neighbors by existing landscaping, trees and brush. This is built on a foundation which already exists and likely had a similar structure in the past.

I certify that the information presented by the undersigned in this application is accurate to the best of my knowledge, information and belief.

Signature

emos tour

Date

3/3/2016

Variance Application

I hereby petition the Board of Adjustment for a variance(s) from the provisions of the Zoning Ordinance for the real property stated below.

Name

James Brien

Property Address

29 Hilltop Road

Email

brien.james@gmail.com

Phone

(215) 801-4925

Variance to Zoning Ordinance Section(s) (Select all that apply)

1104 Accessory Structures & Accessory Buildings

Reason Variance(s) is(are) being requested:

I request a variance for a 12 ft by 16 ft accessory structure. The structure would be designed and built to be period specific and consistent with the main house. The structure would resemble a small garage and would be completely enclosed. The structure would be built on an *existing* 12 ft by 16 ft cement foundation which supported a similar structure in the past and is greater than 20ft from the nearest property line. The purpose of the structure is to accommodate storage of outdoor lawn equipment, a backup generator, power washer and other gas driven equipment which can not be stored indoors for obvious health reasons.

Our home has no garage or accessory structure appropriate for this purpose. In addition to addition to adding value to the property it would allow for more significant improvements and upkeep to the landscaping of the property as well as housing lawn equipment out of view.

Additional information available upon request by email, phone or in person.

Thank you.

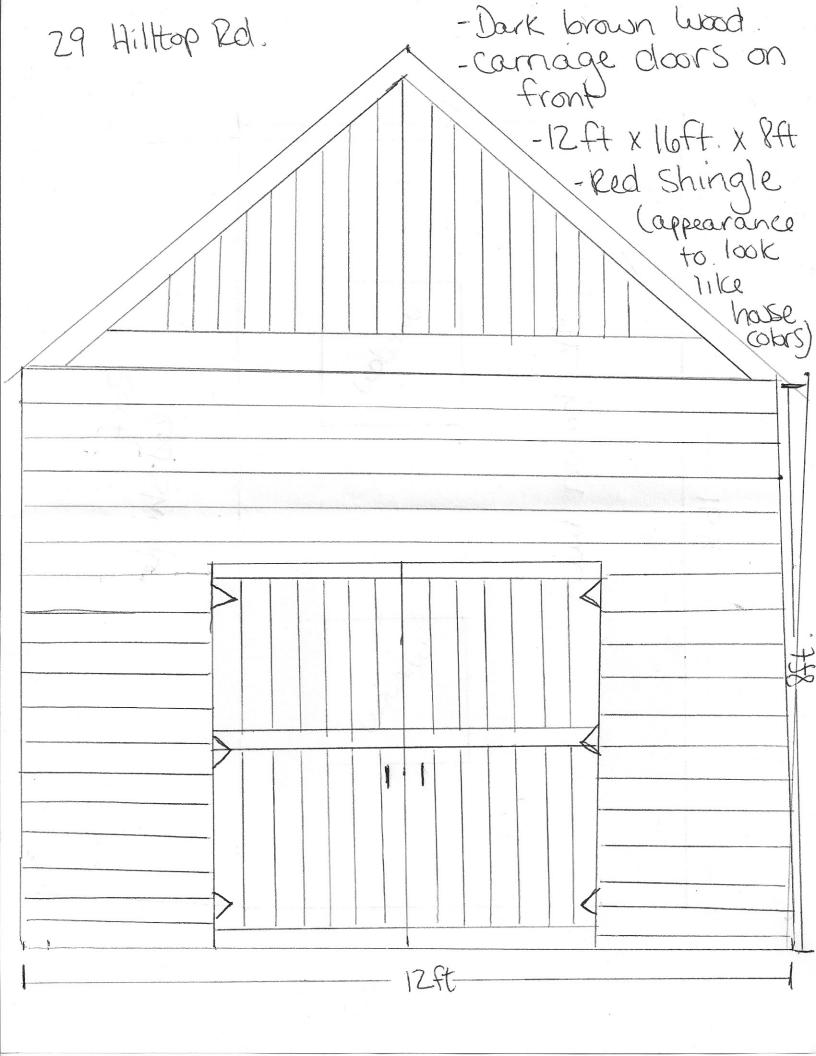
In granting any variance, the Board of Adjustment may prescribe appropriate conditions and safeguards in conformity with the Zoning Ordinance. Violations of the provisions of the variance granted including any conditions or safeguards which are part of the granting of the variance, shall be deemed a violation of the Zoning Ordinance. I hereby certify that the information set forth above is true and accurate to the best of my knowledge.

 Signature
 Date

 2/4/2016

E free / Sue

Brien 29 Hillop Ry ~150/4. BACK 45 ft Block "GCS" Lot 17 150.3 x 407.25 x 150.0 x 399.25 "Shed" is to be Svilt on pre-existing
(ement
forddetion - ta ap-James Brien 215-801-4925 FRONT ~ 150.3 + Hilltp Rd.



332 GINDE dk. brown wood Roof Red Shingle H011 Carbon Carbon



MEMORANDUM MARCH 21, 2016

To: Board of Adjustment

From: Jonathan Kanipe, Town Administrator Re: Case Number 4 – 25 Busbee Road

Date: March 15, 2016

Case 4

Property Owner: Dr. and Mrs. Steven Mendelsohn

Property Address: 25 Busbee Road

Zoning District: R-1

Lot Size: 2.866 +/- acres

Application Request: Variance Requests to Construct an Addition onto an Existing Accessory

Structure and Request to construct within the Side Setback

Dr. and Mrs. Mendelsohn request permission from the Board to construct an addition to an existing accessory structure. The existing structure is an outdated garage which would be transformed into a modern, usable garage. The new double bay garage would then have a covered walkway extending from it to the main home. The existing accessory structure is built within the setback and was constructed prior to the creation of the zoning ordinance any setback provisions. In order to construct the new addition and the walkway to the main residence, construction would have to occur within the side setback.

Since the addition is to an existing accessory structure, a variance is required. Additionally, the construction within the side yard setback requires variance approval from the Board. George Stowe, architect for the project, has provided calculations detailing that maximum roof coverage and impervious surface requirements are maintained even with the new addition. The new roof coverage totals 6,303 square feet and the impervious surface on the lot is 12,979 square feet. Each is within the allowable limit.

- Conditional use permit request to allow construction of an addition to an existing accessory structure and construction of an attached covered walkway.
- Variance request to allow construction of the addition to an accessory structure and construction within a side yard setback.

Conditional Use Permit Application

I hereby petition the Board of Adjustment to issue a Conditional Use Permit for:

Name

Dr. and Mrs. Steven Mendelsohn

Property Address

25 Busbee Road Biltmore Forest NC 28803

Email

gstowearchitect@bellsouth.net

Email-Submission Verification

Phone

(828) 251-2357

Type of Conditional Use

802.07 Accessory Buildings

gstowearchitect@bellsouth.net

Description of Project

Add a two bay automobile parking area to the existing accessory building. The existing accessory building is two levels with an apartment on the upper and a garage on the lower level. The new two car garage is at an intermediate level approximately 3'6" below the main floor level of the garage. A new paved parking area shall be constructed in the area of an existing playground. The new paved parking shall be accessed from the existing Forest Ross driveway. A covered walkway will connect the new two car garage to the rear porch of the existing main residence. A small area of new roof shall be added to the main house to match the line of the existing upper level parch floor. The walkway and roof addition affords uninterrupted roof coverage for accessing the garage addition during inclement weather.

This project adds a two car garage and a storage area to one of the existing accessory structures. The total additional roof coverage is 1,016 sq ft plus a 405 sq ft covered walkway connecting the garage to the main house. The original accessory structure encroaches into the side yard set back, and the addition, including the covered walkway, will also encroach into the side yard line, however it will continue along the line of the original structure.

The original garage is remote, inconvenient, and provides no protection to the residents from adverse weather conditions. The proposed improvements address and improve the existing conditions. All of the proposed improvements are behind and lower than the main structure, and every effort is made to minimize the visibility of the new structure as well as blend and harmonize with the general landscape plan of the property.

Explain why the project would not adversely affect the public interest of those living in the neighborhood:

All of the proposed improvements are behind and lower than the main structure, and every effort shall be made to minimize the visibility of the new structure as well as blend and harmonize with the general landscape plan of the property.

I certify that the information presented by the undersigned in this application is accurate to the best of my knowledge, information and belief.

Signature

Date 3/7/2016

I Stome

Variance Application

I hereby petition the Board of Adjustment for a variance(s) from the provisions of the Zoning Ordinance for the real property stated below.

Name

Dr. and Mrs. Steven Mendlesohn

Property Address

25 Busbee Road

Email

gstowearchitect@bellsouth.net

Phone

(828) 251-2357

Email-Submission Verification

gstowearchitect@bellsouth.net

Variance to Zoning Ordinance Section(s) (Select all that apply)

1103 Required Yards & Other Spaces1104 Accessory Structures & Accessory Buildings

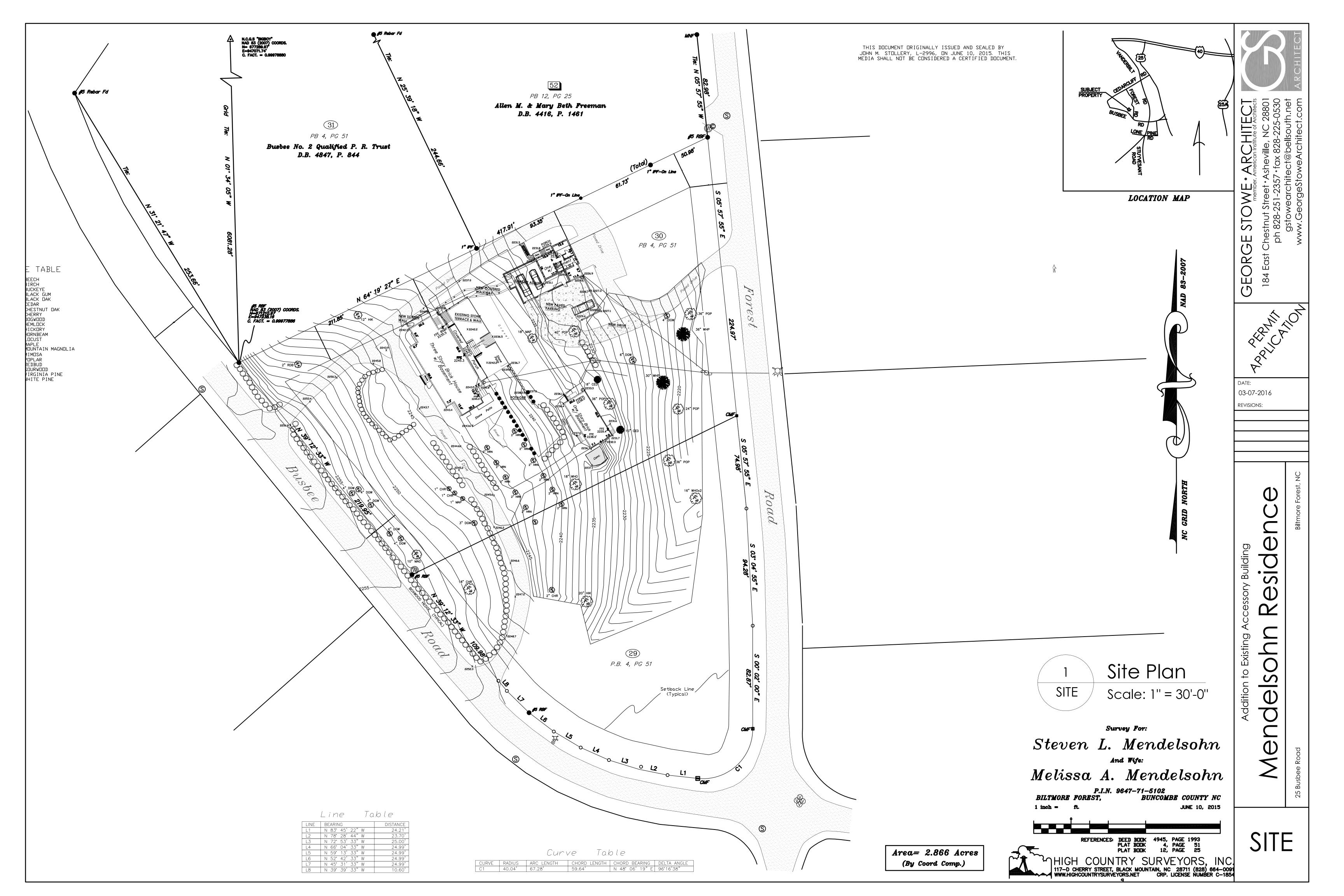
Reason Variance(s) is(are) being requested:

This project adds a two car garage and a storage area to one of the existing accessory structures. The total additional roof coverage is 1,016 sq ft plus a 405 sq ft covered walkway connecting the garage to the main house. The original accessory structure encroaches into the side yard set back, and the addition, including the covered walkway, will also encroach into the side yard line, however it will continue along the line of the original structure.

The original garage is remote, inconvenient, and provides no protection to the residents from adverse weather conditions. The proposed improvements address and improve the existing conditions. All of the proposed improvements are behind and lower than the main structure, and every effort is made to minimize the visibility of the new structure as well as blend and harmonize with the general landscape plan of the property.

In granting any variance, the Board of Adjustment may prescribe appropriate conditions and safeguards in conformity with the Zoning Ordinance. Violations of the provisions of the variance granted including any conditions or safeguards which are part of the granting of the variance, shall be deemed a violation of the Zoning Ordinance. I hereby certify that the information set forth above is true and accurate to the best of my knowledge.

Signature Date 3/7/2016





03-07-2016

side



MEMORANDUM MARCH 21, 2016

To: Board of Adjustment

From: Jonathan Kanipe, Town Administrator Re: Case Number 7 – 12 Hemlock Road

Date: March 15, 2016

Case 7

Property Owner: Mr. Hubert and Mrs. Pat Wood

Property Address: 12 Hemlock Road

Zoning District: R-1

Lot Size: 1.591 +/- acres

Application Request: Conditional Use Permit to Construct a Masonry Wall and Fence in the

Rear Yard

The applicants request permission from the Board to construct a four (4) foot high masonry wall in their rear yard. The wall will be 90 feet long, and the applicants propose to construct a six (6) foot tall painted steel fence on a segment of the wall. The fence would be constructed on sixty feet of the total ninety feet length of the fence.

This request is in conjunction with another project to the home that includes turning an existing screened in porch into a new media room. This will result in an increase of 567 square feet, and modifications will also be made to the existing breezeway that leads to the garage. These items are attached to the home and will be presented to review for the Design Review Board at their March 24th meeting. The wall and fence are the only matters that require approval by the Board of Adjustments.

Mr. and Mrs. Wood intend to relocate approximately twelve (12) existing boxwoods from the front of the home to plant and buffer the new fence. The wall and fence are both below grade from the main portion of the rear yard, and the wall will act as a retaining wall for the slope upward to the rest of the back of the property.

 Conditional use permit to allow construction of a masonry wall and fence in the rear yard.

Zoning Application

Property Identification

Name

Pat and Hubert Wood

Address

12 Hemlock Road, Biltmore Forest, North Carolina 28803

(828) 274-1364

pat.wood@budofasheville.com

Zoning

Lot Size (Acres)

R-1

1.591

Scope of Project-Roof Coverage

Does the project include increasing roof coverage?

Yes

What is the proposed roof coverage?

3.650

Is the proposed roof coverage greater than the permitted maximum roof coverage?

No

Scope of Project-Impervious Surface

Does the project include increasing the impervious surface coverage?

Yes

What is the proposed impervious surface coverage?

4,630

Is the proposed impervious surface coverage greater than the permitted maximum impervious surface coverage?

No

Scope of Project-Setbacks

Does any part of the project fall within the front yard?

No

Does any part of the project fall within the side/rear yard setback(s)s? No

Scope of Project-Accessory Structures

building?

Does the project include a detached structure or An application for a conditional use permit will bre required in addition to this zoning application.

Yes

Will there be more than the approved number of accessory structures/buildings?
No

Project Description

Brief Description of Project

Replace an existing attached screen porch with a new media room addition that will include 567 sq. ft. of new conditioned floor area. Modify the existing covered breezeway leading to the garage. The modifications will improve surface drainage and appearance.

New site work shall include a 4' high masonry retaining wall approximately 90' long. Along approximately 60' of this wall a 6' high painted steel fence is planned to exclude deer from a garden area on the rear, northwest side of the main house. Additional brick paving shall be added to the garden area. Interior work includes remodeled kitchen and master bath areas.

Estimated Cost of Project

175,000

Estimated Completion Date 9/30/2016

Please attach any drawings, renderings, photographs or other supporting documentation.

WOOD RESIDENCE A-1.pdf

WOOD RESIDENCE SITE.pdf

Conditional Use Permit Application

I hereby petition the Board of Adjustment to issue a Conditional Use Permit for:

Name

Pat and Hubert Wood

Property Address 12 Hemlock Road

Email pat.wood@budofasheville.com

Phone (828) 274-1364

Type of Conditional Use 802.07 Accessory Buildings

Description of Project

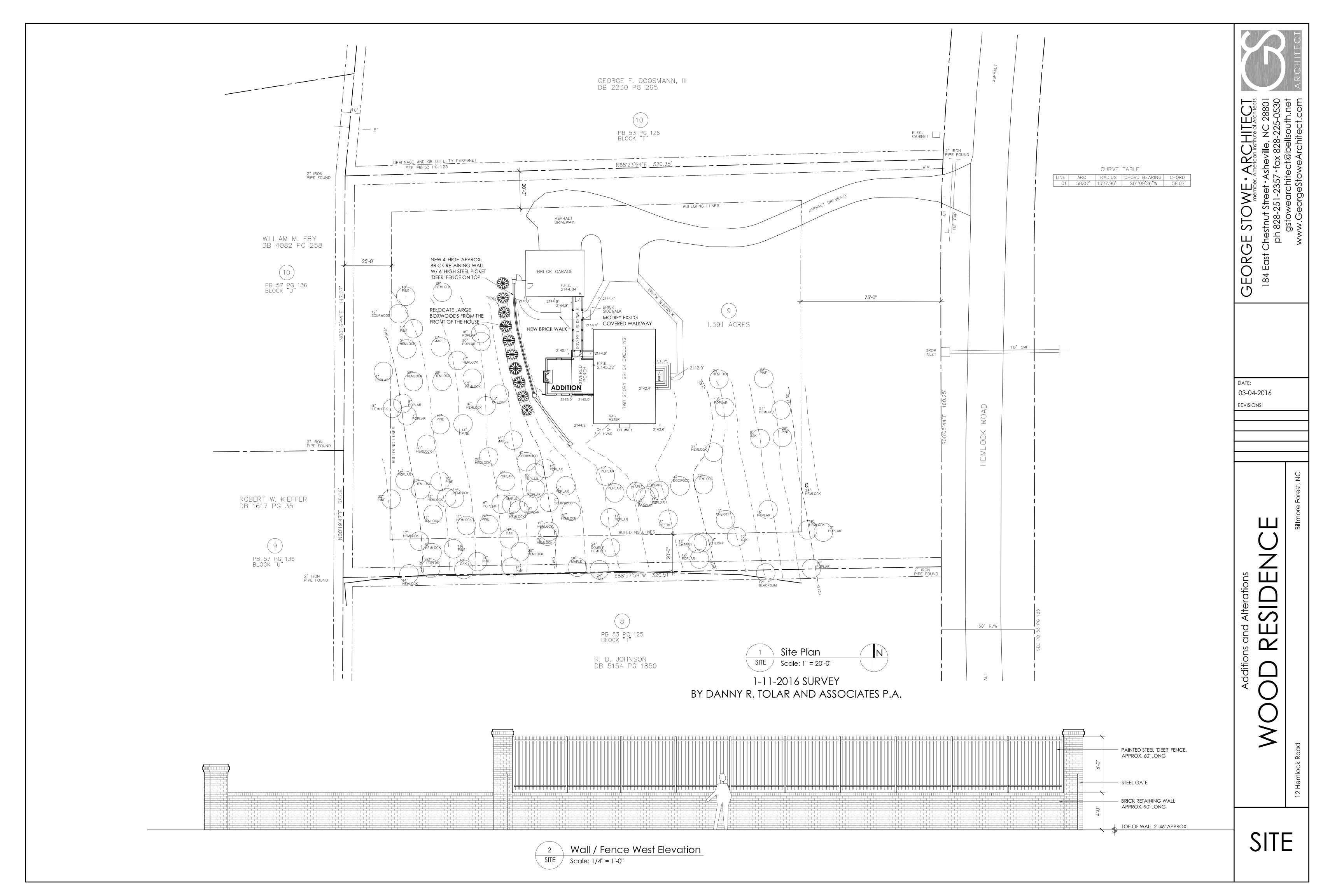
New site work shall include a 4' high retaining wall approximately 90' long. On top of approximately 60' of this wall a 6' high painted steel fence is planned to exclude deer from a garden area on the rear, northwest side of the main house.

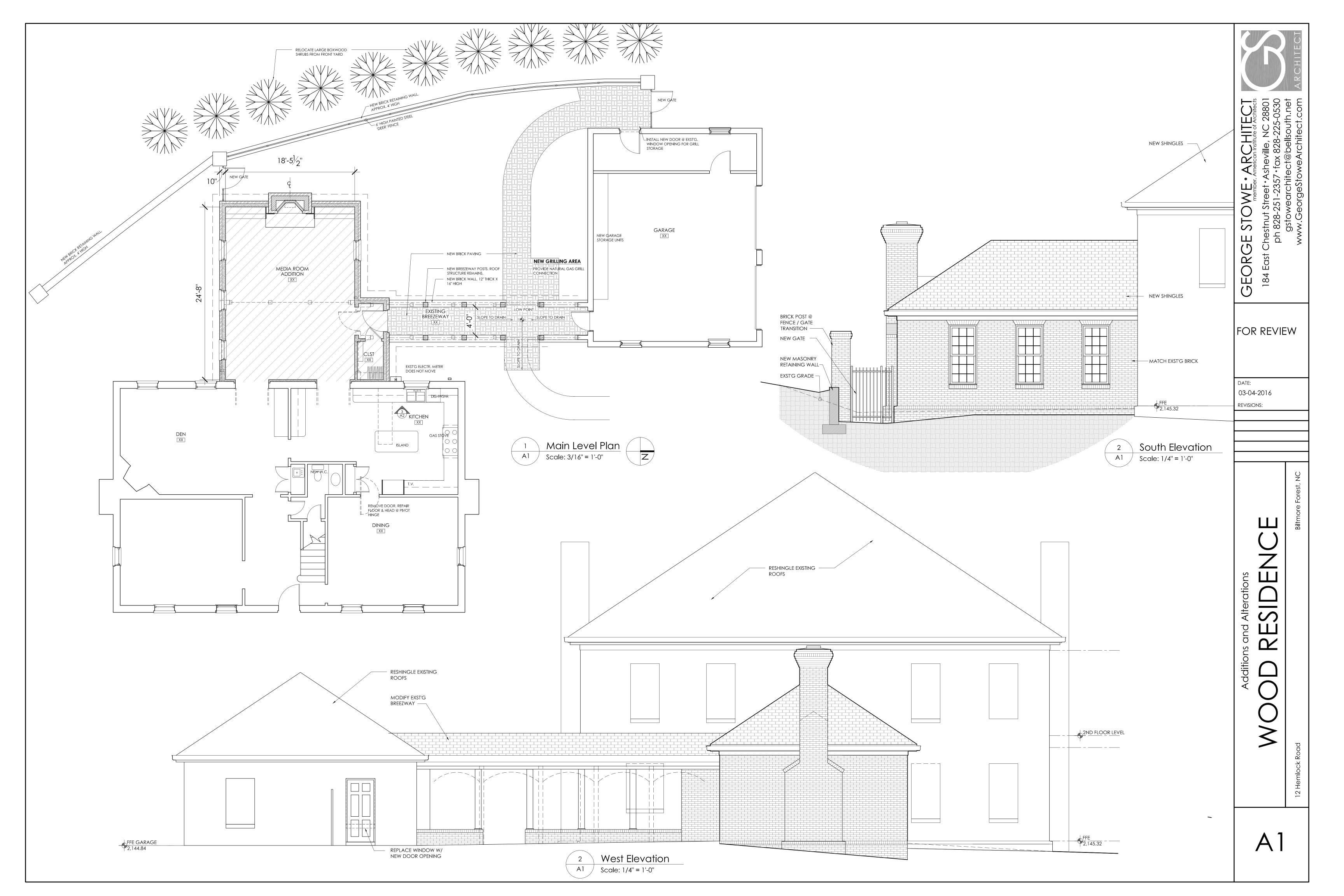
Explain why the project would not adversely affect the public interest of those living in the neighborhood:

The project is in the rear yard and will be screened by re-located large, mature boxwood's. Visibility of the addition will be very limited from adjoining properties. The addition will provide protection from destructive deer herds and will allow the owner to grow vegetables and flowers in a pest protected area.

I certify that the information presented by the undersigned in this application is accurate to the best of my knowledge, information and belief.

Signature Date 3/4/2016







MEMORANDUM MARCH 21, 2016

To: Board of Adjustment

From: Jonathan Kanipe, Town Administrator Re: Case Number 9 – 57 Forest Road

Date: March 15, 2016

Case 9

Property Owner: Mr. Nathan and Mrs. Erin Renfro

Property Address: 57 Forest Road

Zoning District: R-1

Lot Size: 1.79 +/- acres

Application Request: Construction of a New Residence and presentation of

Landscape and Site Plan, including conditional use permit for stone wall

to be located in the Rear Yard

The Renfros present plans to the Board for a new residence, including a landscape plan and site plan. The home will be located at 57 Forest Road, and includes 4,535 square feet and 10,038 square feet of impervious surface. Each of these is within the allowance provided by the zoning ordinance. The plans for the home include two car garage that is side loading and located in the rear of the home. There is a natural gas burning fire pit that is included off the rear of the home but is connected via flagstone paving.

A conditional use permit is required for the construction of an 18" stone wall in the rear yard. The wall includes concrete stairs that lead to the remainder of the rear yard.

- · Zoning Permit for construction of a new residence
- Conditional use permit to construct an 18" stone wall in the rear yard as an accessory use.

Zoning Application

Property Identification

Name

Nathan & Erin Renfro

Address

57 Forest Road, 319 Vanderbilt (current), Biltmore forest, North Carolina 28803

(828) 545-5704

ndrenfro@gmail.com

Zoning

Lot Size (Acres) R-1

1.79

hchammond@charter.net

Email -Submission Verification

Scope of Project-Roof Coverage

Does the project include increasing roof coverage?

Yes

What is the proposed roof coverage? 4.535

Is the proposed roof coverage greater than the permitted maximum roof coverage? No

Scope of Project-Impervious Surface

Does the project include increasing the impervious surface coverage?

Yes

What is the proposed impervious surface coverage? 10,038

Is the proposed impervious surface coverage greater than the permitted maximum impervious surface coverage? Nο

Scope of Project-Setbacks

Does any part of the project fall within the front vard? No

Does any part of the project fall within the side/rear yard setback(s)s? Nο

Scope of Project-Accessory Structures

Does the project include a detached structure or building?

No

Will there be more than the approved number of accessory structures/buildings?

No

Project Description

Brief Description of Project

Single Family residence. Drawing attached include floor plans, elevations and site plan. Designer contacts: Houston Hammond (828)505-7565, hchammond@charter.net

Estimated Cost of Project

Estimated Completion Date 5/24/2017

1,000,000

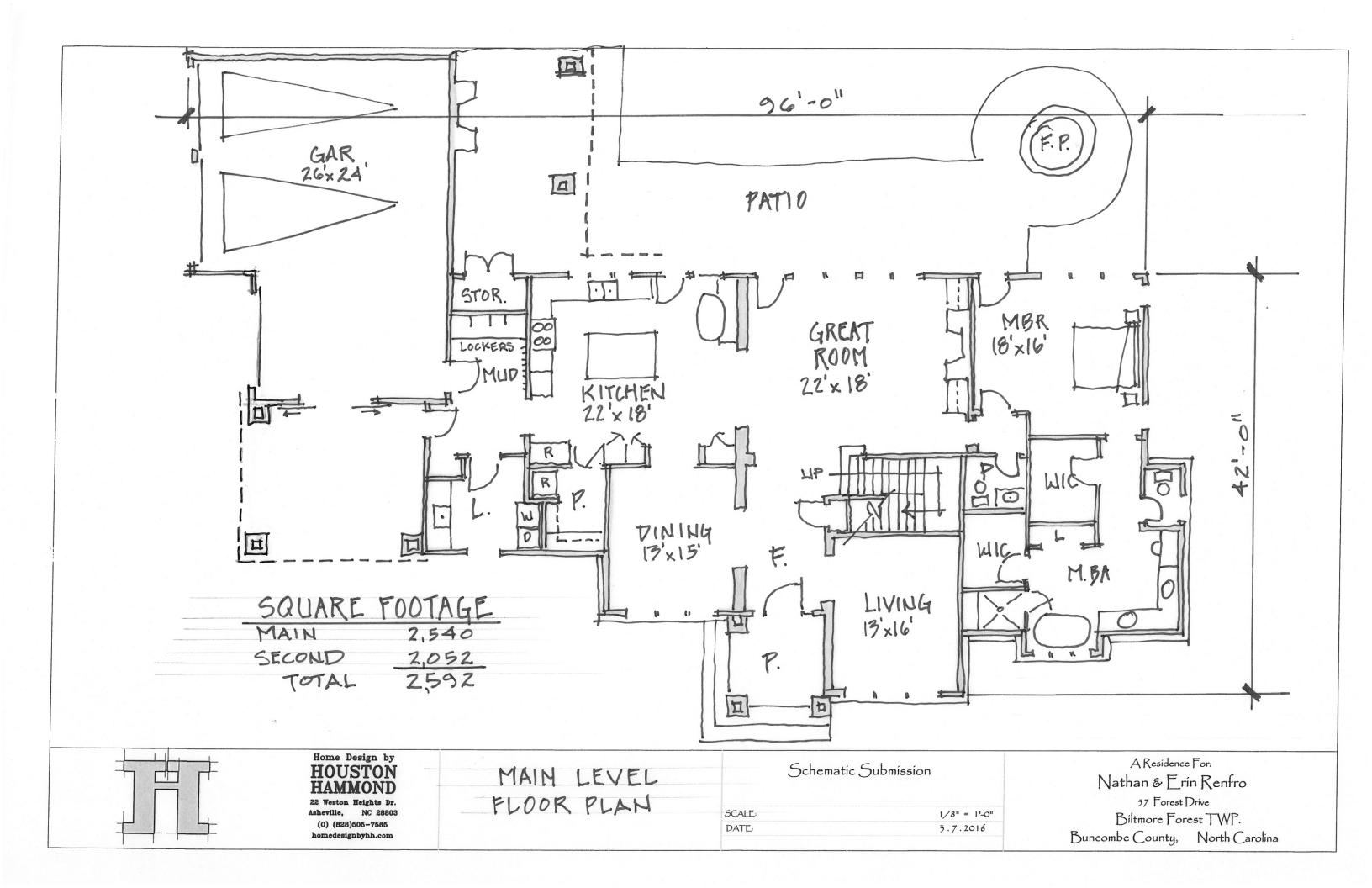
Please attach any drawings, renderings, photographs or other supporting documentation. 3.7.2016 BF Schematic Sumbission.pdf

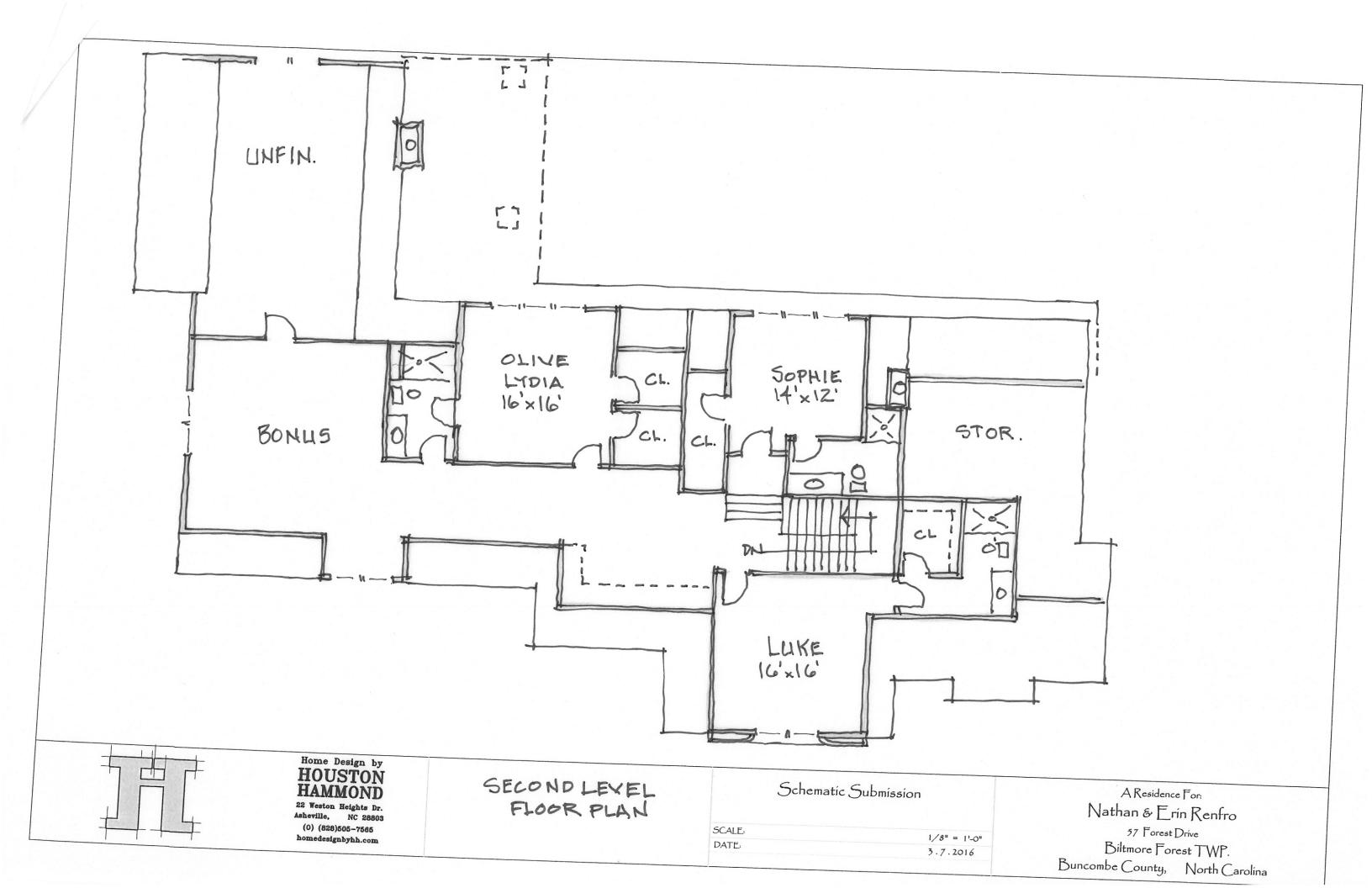


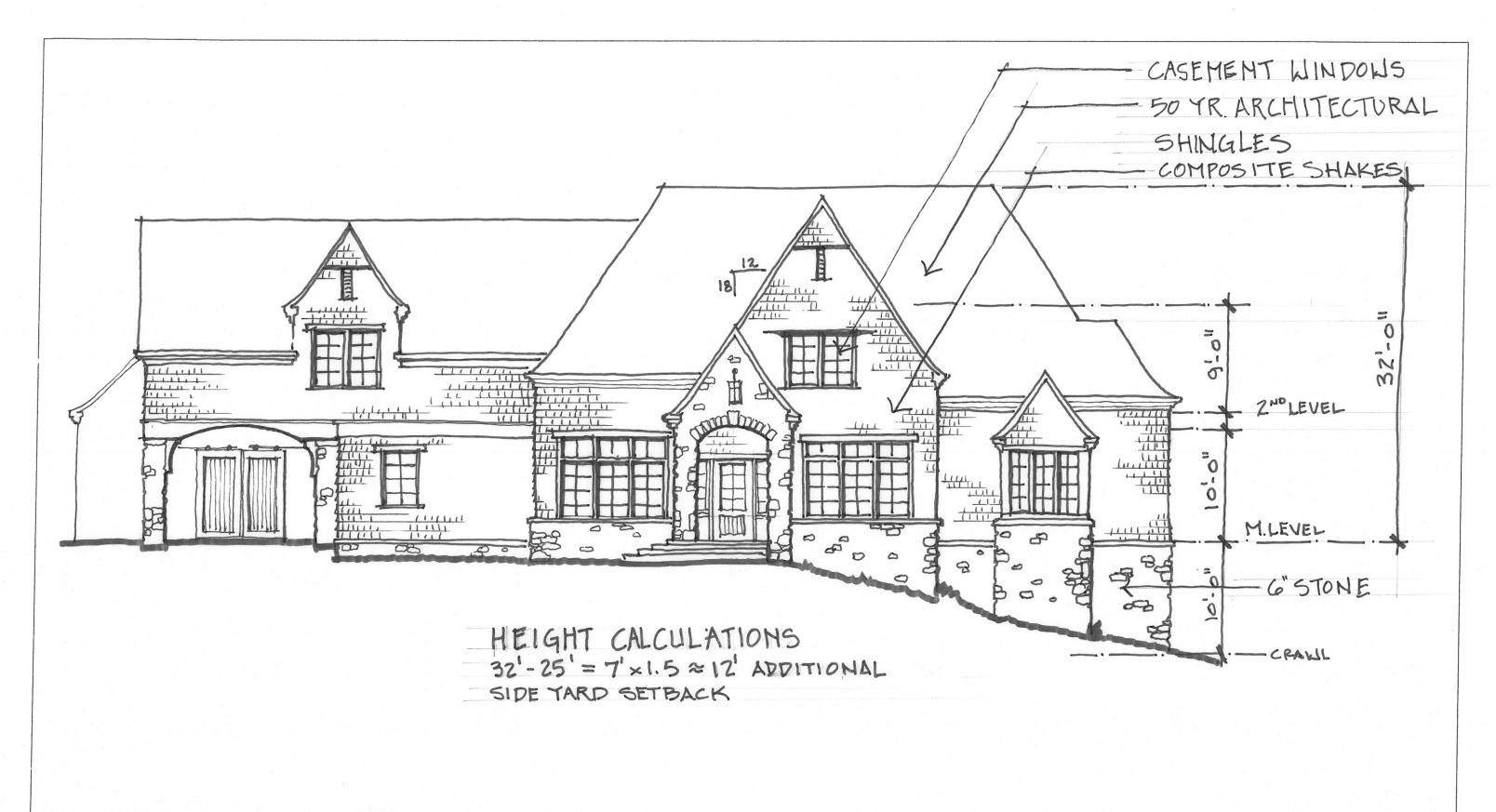
Residence North Carolina Forest Road Renfro I Block N, Biltmore Forest, Erin ∞ర Nathan Lot 36, |

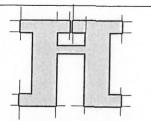
Plan Site Preliminary

SP-1









HOUSTON HAMMOND 22 Weston Heights Dr.

22 Weston Heights Dr. Asheville, NC 28803 (0) (828)505-7565 homedesignbyhh.com EAST

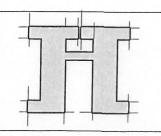
Schematic Submission

SCALE: 1/8" = 1'-0"
DATE: 3.7.2016

A Residence For:

Nathan & Erin Renfro 57 Forest Drive Biltmore Forest TWP.



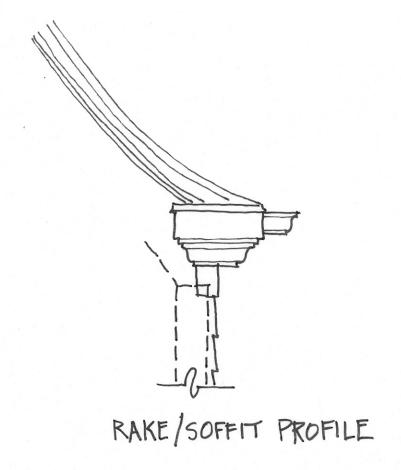


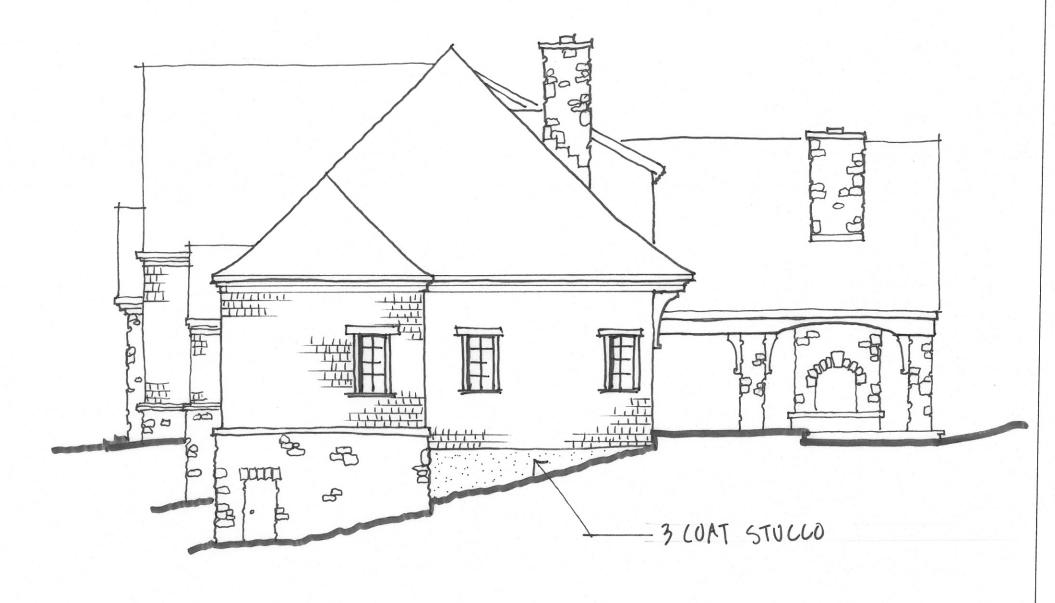
Home Design by
HOUSTON
HAMMOND

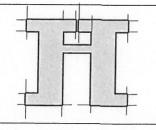
22 Weston Heights Dr. Asheville, NC 28803 (0) (828)505-7565 homedesignbyhh.com SOUTH

Schematic Submission

SCALE: 1/8" = 1'-0" DATE: 3.7.2016 A Residence For:
Nathan & Erin Renfro
57 Forest Drive
Biltmore Forest TWP.







Home Design by
HOUSTON
HAMMOND
22 Weston Heights Dr.

22 Weston Heights Dr.
Asheville, NC 28803
(0) (828)505-7565
homedesignbyhh.com

HORTH

Schematic Submission

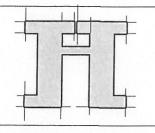
SCALE: DATE: 1/8" = 1'-0" 3.7.2016 A Residence For:

Nathan & Erin Renfro

57 Forest Drive

Biltmore Forest TWP.





Home Design by
HOUSTON
HAMMOND

22 Weston Heights Dr. Asheville, NC 28803 (0) (828)505-7585 homedesignbyhh.com WEST ELEVATION Schematic Submission

SCALE: DATE: 1/8" = 1'-0" 3.7.2016 A Residence For:
Nathan & Erin Renfro
57 Forest Drive
Biltmore Forest TWP.



MEMORANDUM MARCH 21, 2016

To: Board of Adjustment

From: Jonathan Kanipe, Town Administrator Re: Case Number 8 – 8 Chauncey Circle

Date: March 15, 2016

Case 8

Property Owner: Mr. John Miles Smith Property Address: 8 Chauncey Circle

Zoning District: R-3

Lot Size: 1.39 +/- acres

Application Request: Construction of a New Residence and presentation of

Landscape and Site Plan, including conditional use permits for construction of a rock wall and columns on the side of the home

Mr. Smith has presented plans for a new residence at 8 Chauncey Circle. The plans include is for a story and a half English cottage with a 3-car garage. The garage is side-loading and does not face the road. The landscape plan that is attached for review indicates the proposed trees for removal, the grading plan, and the proposed trees and plants which will be replanted in conjunction with the project.

The home does have a stone wall with lighted columns that are attached to the home but extend outside of the residence and create a dog run on the eastern side of the home. This should be reviewed by the Board as a conditional use. The wall and lighted columns are in the side yard.

Additionally, there are several stone headwalls located on the property to serve assist with drainage improvements and to ensure that storm drains on the property remain accessible and open.

- Zoning Permit for new residence, including landscape plan approval.
- Conditional use permit to allow for construction of stone wall and lighted columns on wall.

Zoning Application

Property Identification

Name

Tom Dillard

Address

8 Chauncey Circle, Biltmore Forest, North Carolina 28803

Phone Email

(864) 527-0463 richie@dillardjones.com

Zoning Lot Size (Acres)

R-1 1.39

Scope of Project-Roof Coverage

Does the project include increasing roof coverage?

No

Is the proposed roof coverage greater than the permitted maximum roof coverage?

Scope of Project-Impervious Surface

Does the project include increasing the impervious surface coverage?

Scope of Project-Setbacks

Does any part of the project fall within the front yard?
No

Does any part of the project fall within the side/rear yard setback(s)s?
No

Scope of Project-Accessory Structures

Does the project include a detached structure or building?

No

Will there be more than the approved number of accessory structures/buildings?

No

Project Description

Brief Description of Project

Story and a half English Cottage with 3 car garage.

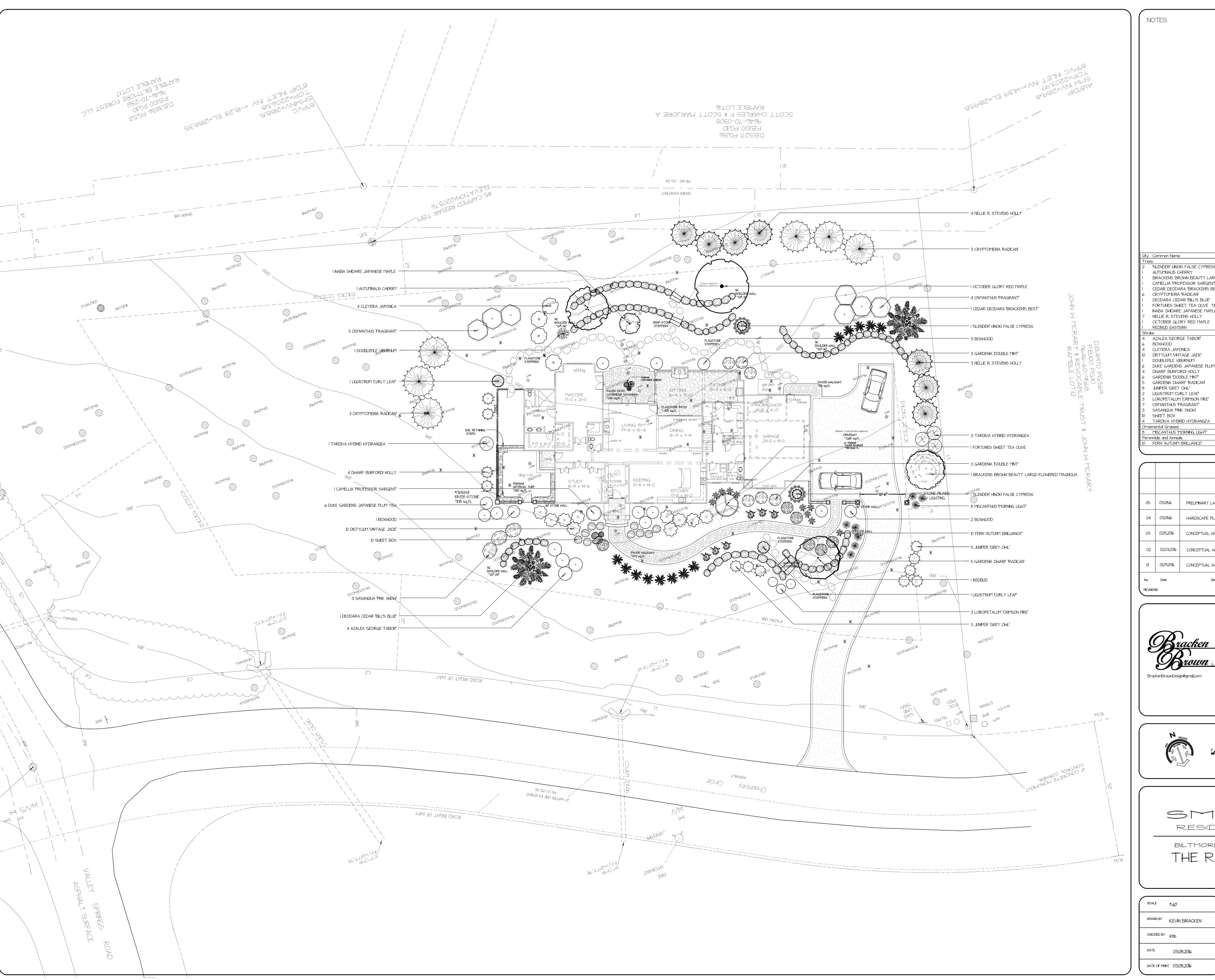
Estimated Cost of Project

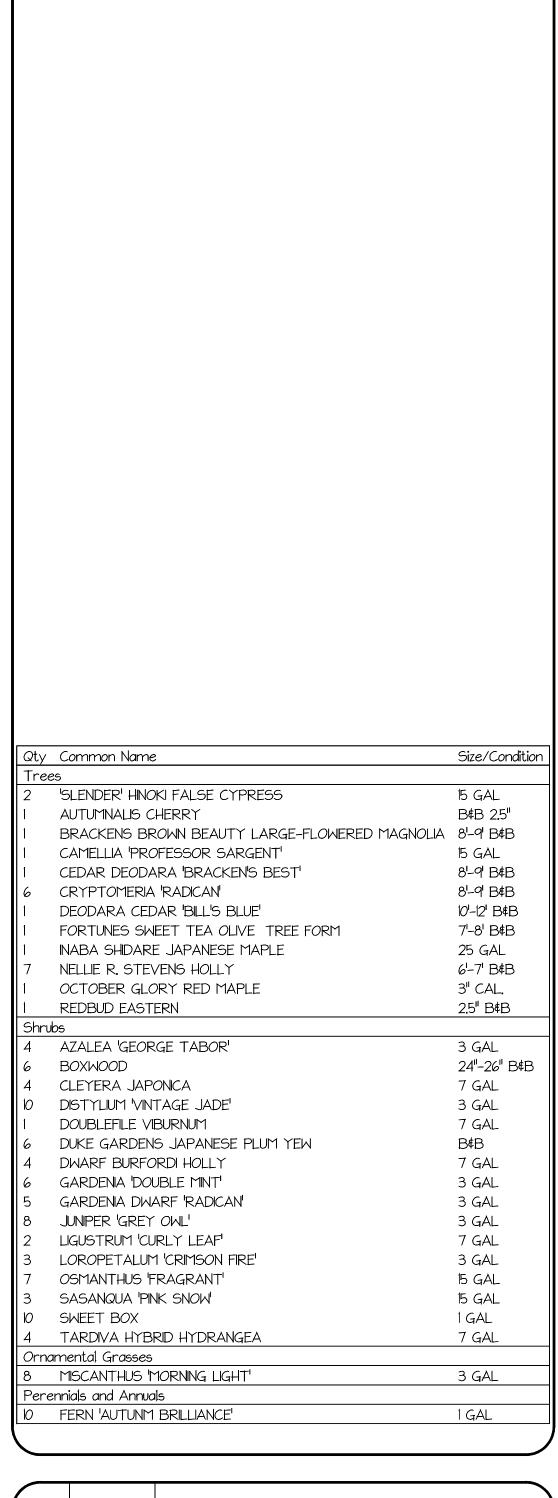
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Estimated Completion Date

4/1/2017

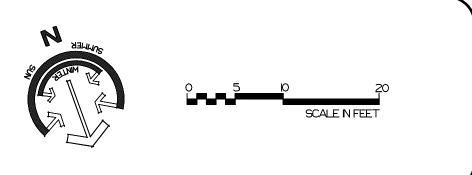
Please attach any drawings, renderings, photographs or other supporting documentation. 2016-2-1 Preliminary design review.pdf





<i>0</i> 5	03.08,16	PRELIMINARY LANDSCAPE PLAN
04	03,08,16	HARDSCAPE PLAN
<i>0</i> 3	02.15.2016	CONCEPTUAL HARDSCAPE PLAN (REVISED)
02	02,03,2016	CONCEPTUAL HARDSCAPE PLAN (REVISED)
Ol	01.29.2016	CONCEPTUAL HARDSCAPE PLAN
No.	Date	Description







BILTMORE FOREST THE RAMBLE

PROJECT NO. SHEET NO.



BUILDER CLIENT

BUILDER CLIENT

ATTENTION
SUB-CONTRACTORS:
DRAWINGS ARE NOT FOR
CONSTRUCTION UNLESS
INITIALS ARE PRESENT

B U I L D E R S

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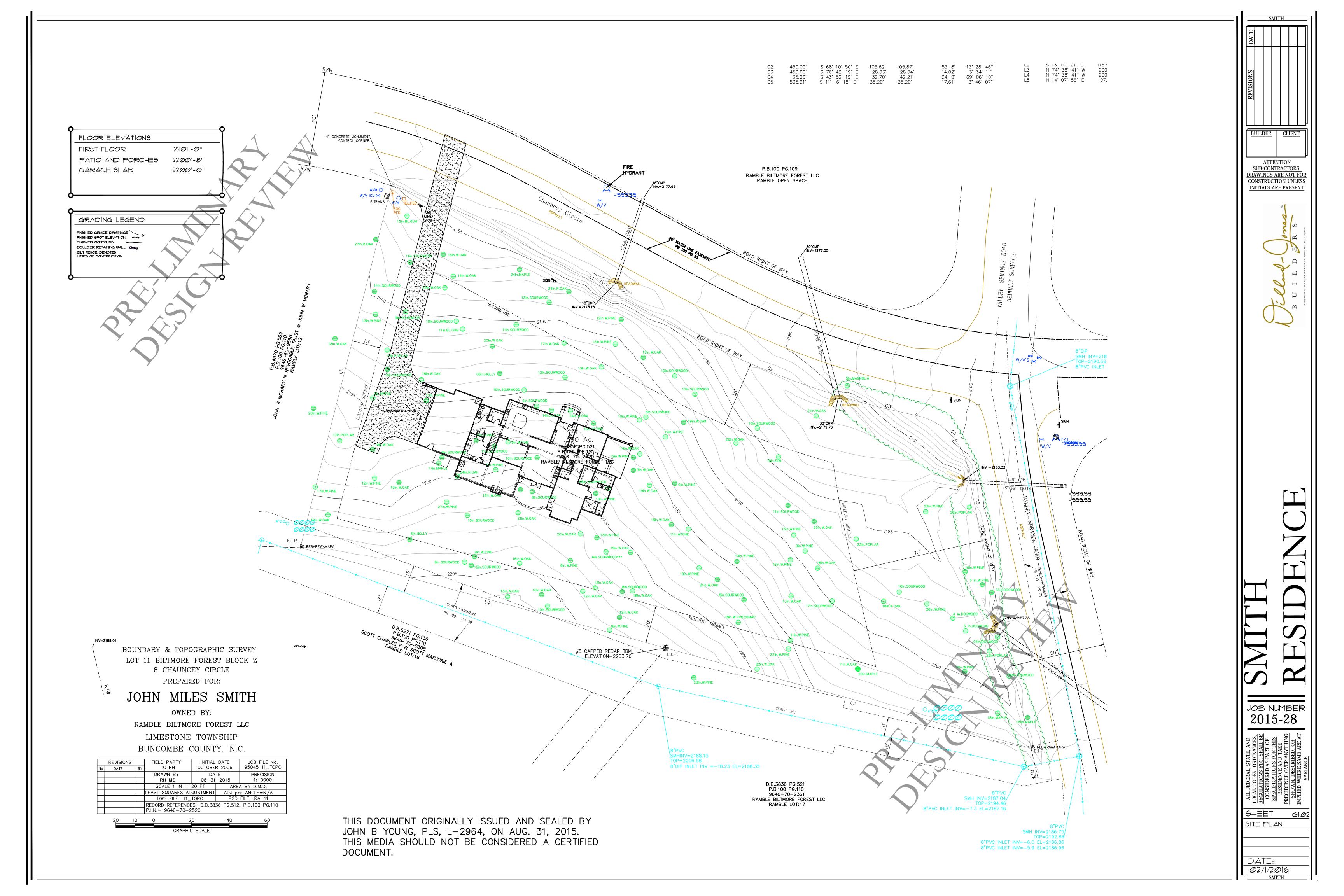
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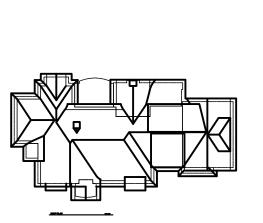
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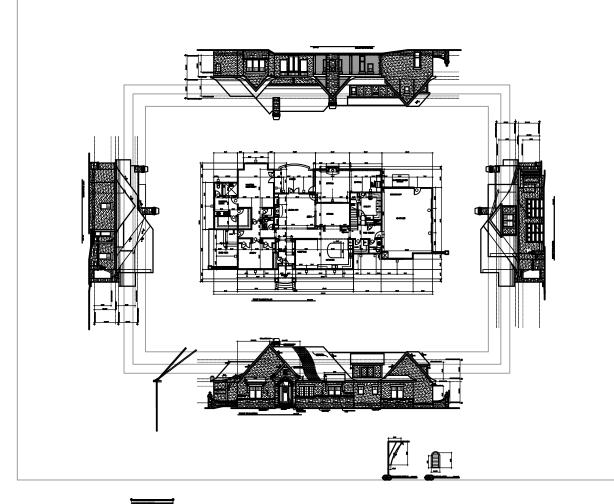
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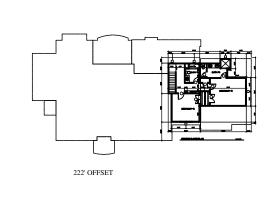
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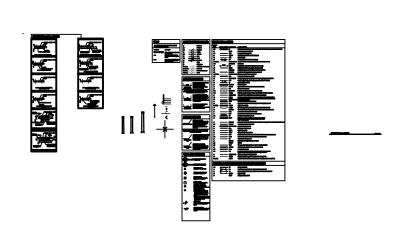
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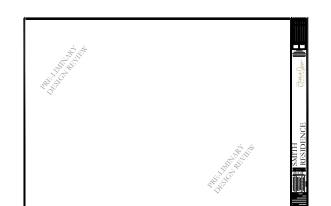








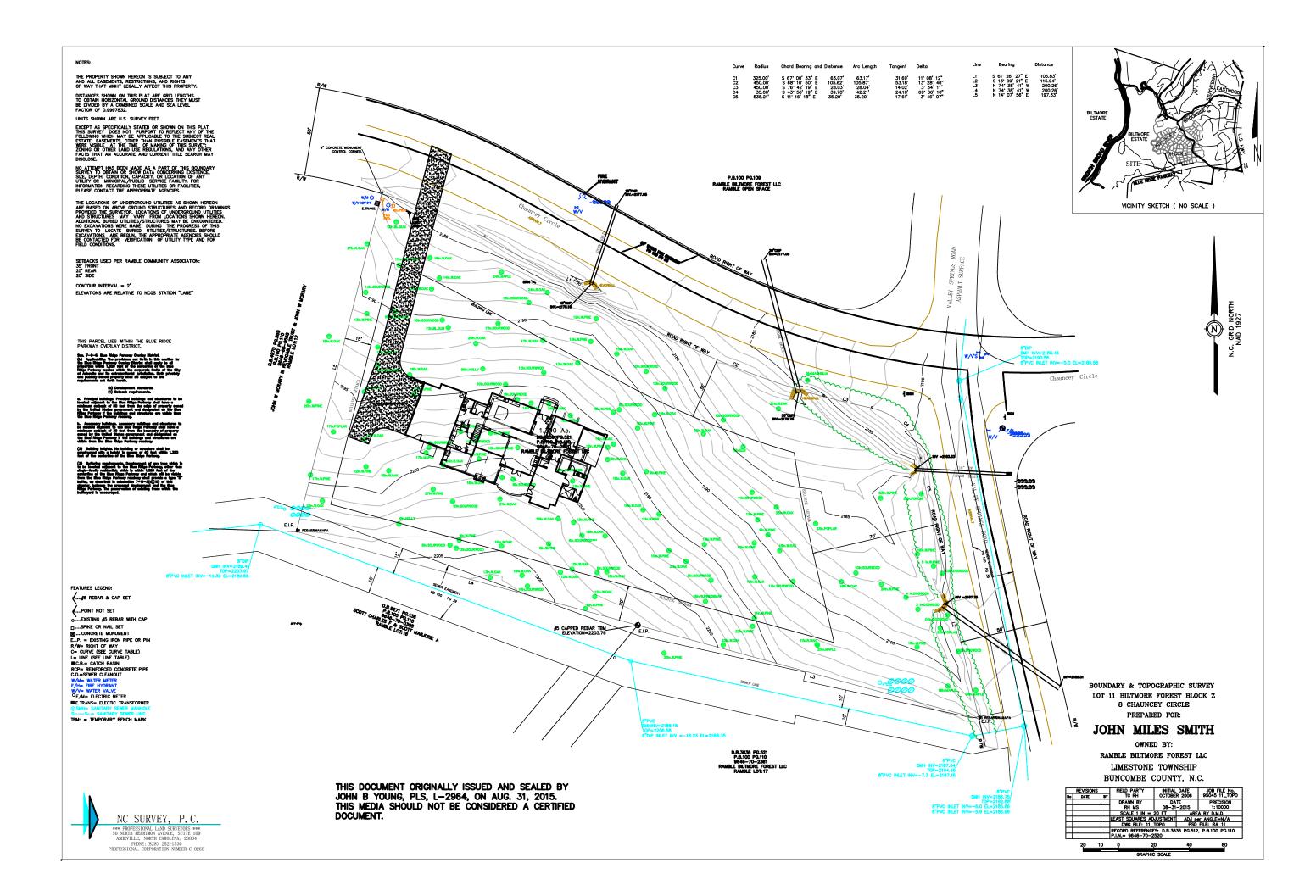




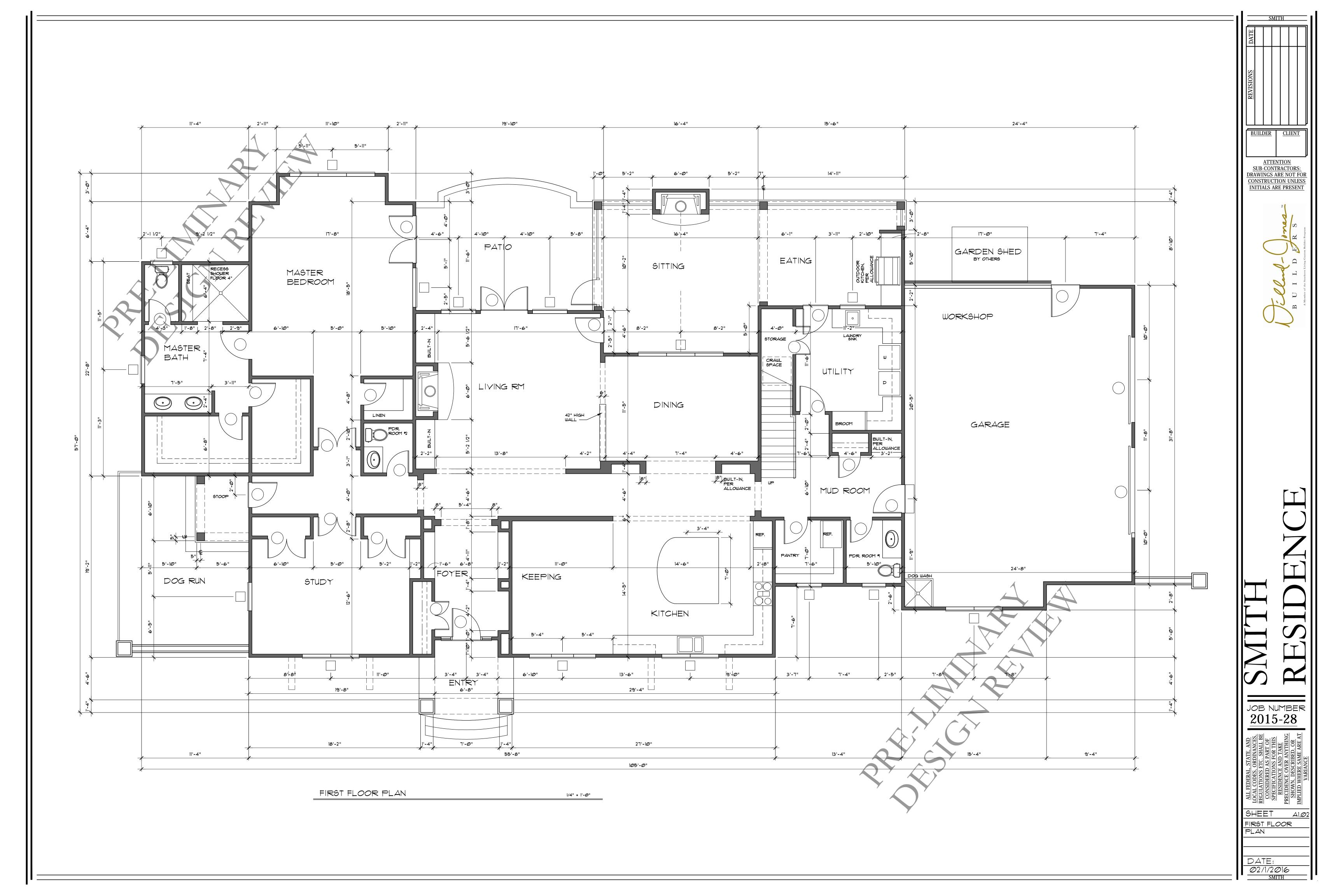


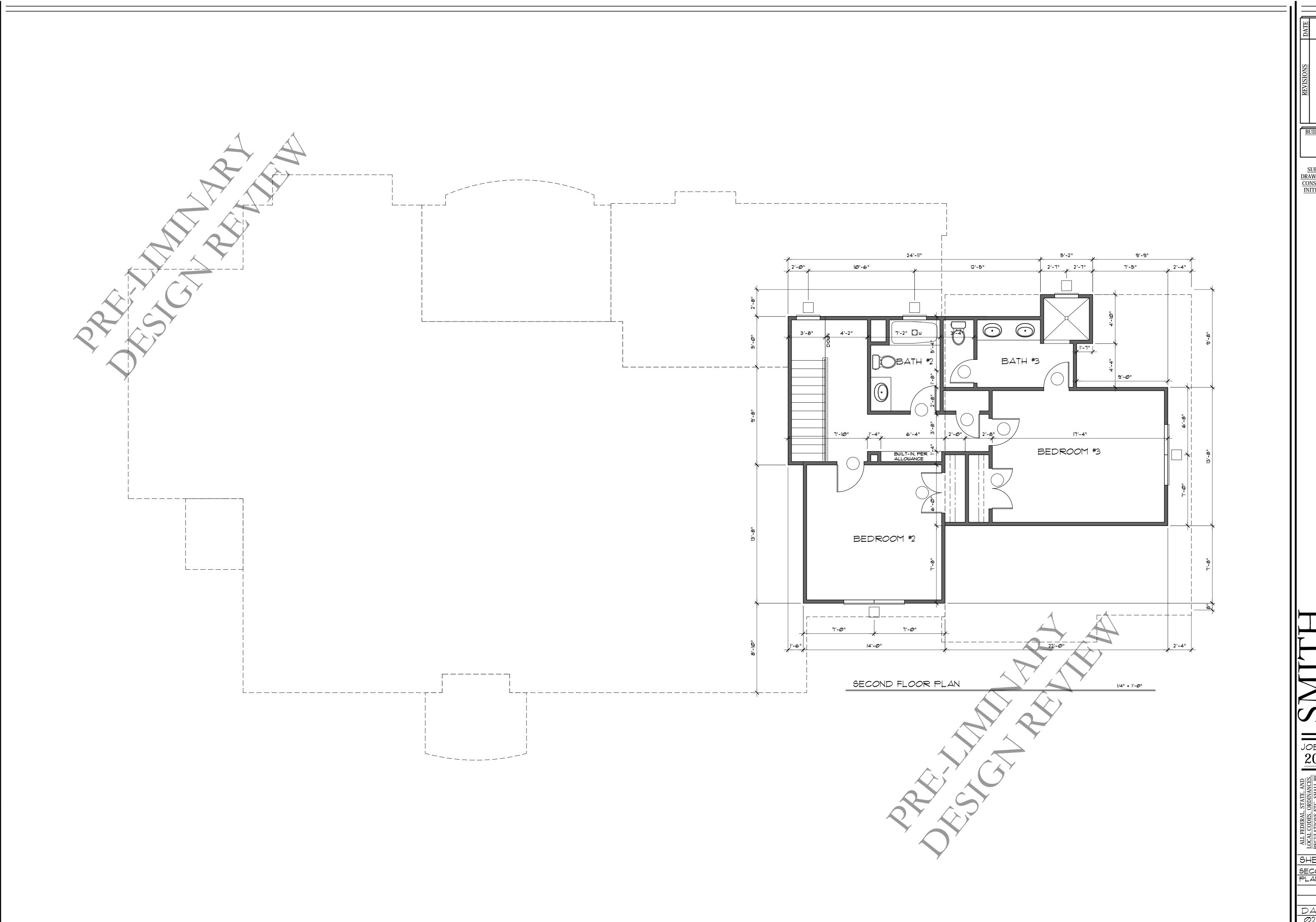












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B U I L D ETR S

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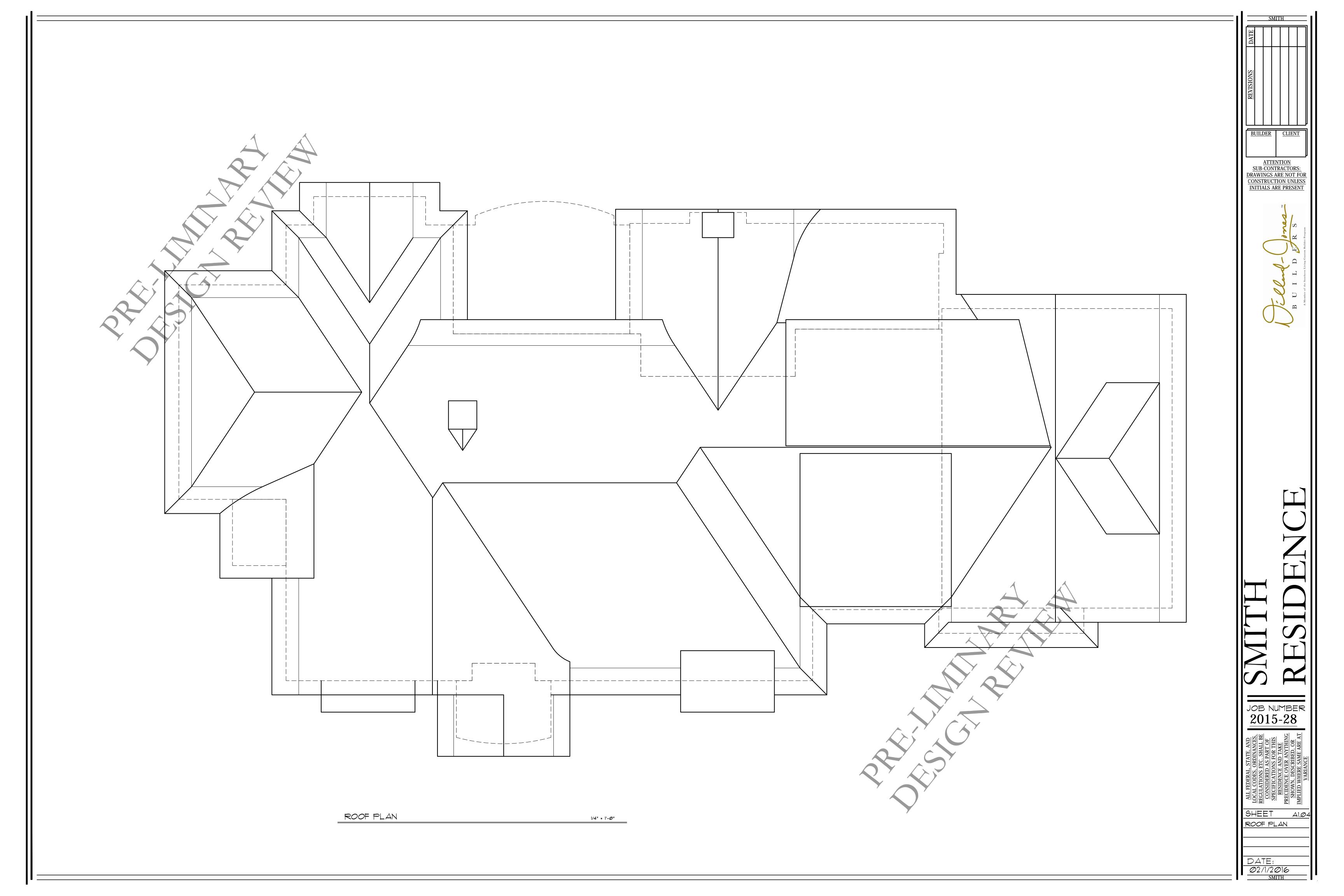
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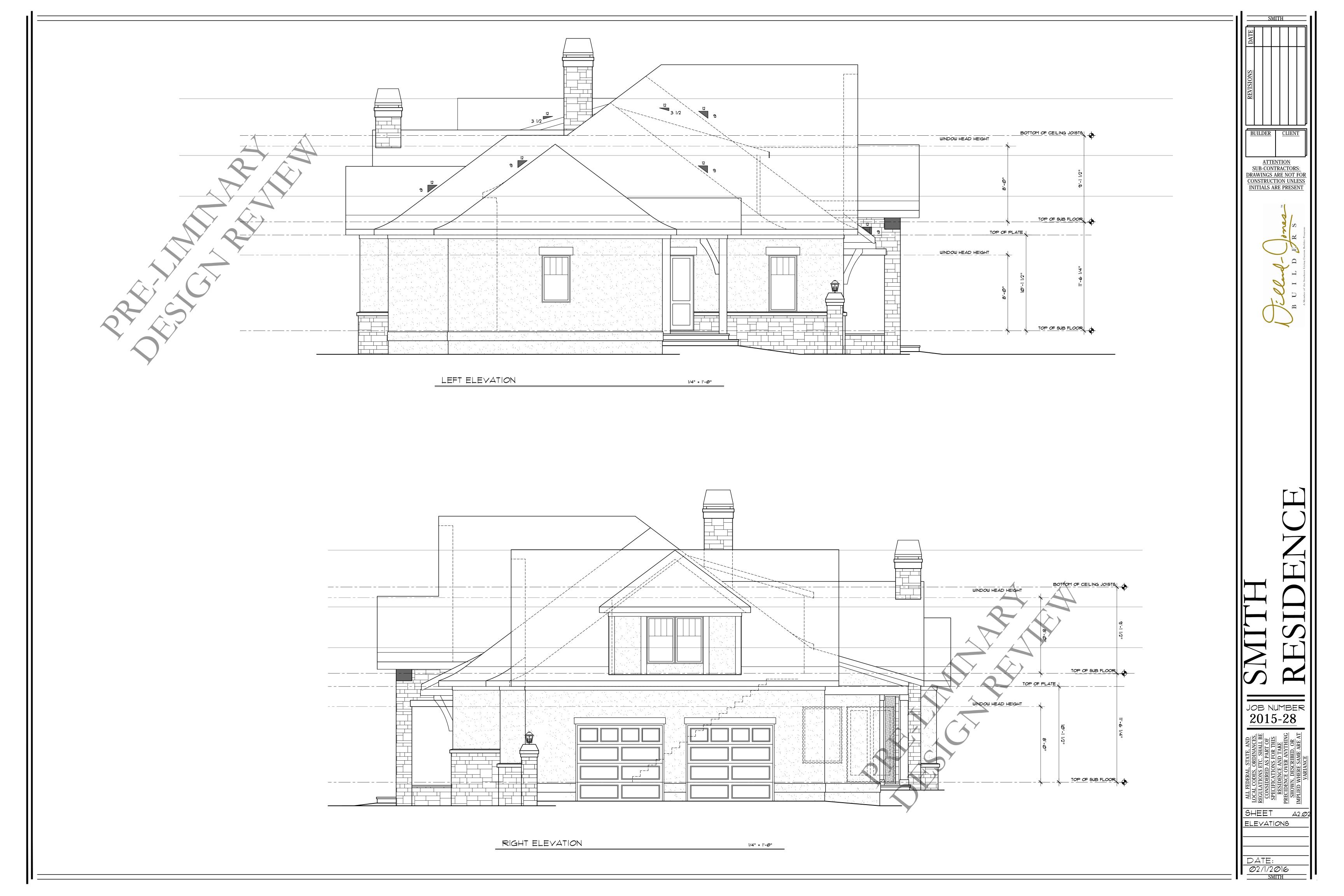
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SHEET A1.03 SECOND FLOOR

DATE: Ø2/1/2016 SMITH









A NEW CUSTOM HOME FOR THE SMITH'S

DESIGNED AND BUILT BY



— a design-build firm —

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SHEE	ΓINDEX	
SHEET	SHEET DESCRIPTION	
G-1.01	COVER SHEET	
G-2.01	SITE AND GRADING PLAN	
G-3.01	SCHEDULES	
G-2.01	SPECIFICATIONS	
G-2.02	SPECIFICATIONS	
G-2.03	SPECIFICATIONS	
G-2.04	SPECIFICATIONS	
A-1.01	FOUNDATION PLAN	
A-1.02	FIRST FLOOR PLAN	
A-1.03	SECOND FLOOR PLAN	
A-1.04	ROOF PLAN	
A-2.01	ELEVATIONS	
A-2.02	ELEVATIONS	
A-3.01	SECTIONS	_
A-3.02	SECTIONS	
A-3.03	SECTIONS	
A-4.01	INTERIOR ELEVATIONS	_
A-5.01	SECOND FLOOR FRAMING PLAN	_
A-5.02	ROOF AND CEILING FRAMING PLAN	
E-1.01	FIRST FLOOR RCP	_
E-1.02	SECOND FLOOR RCP	
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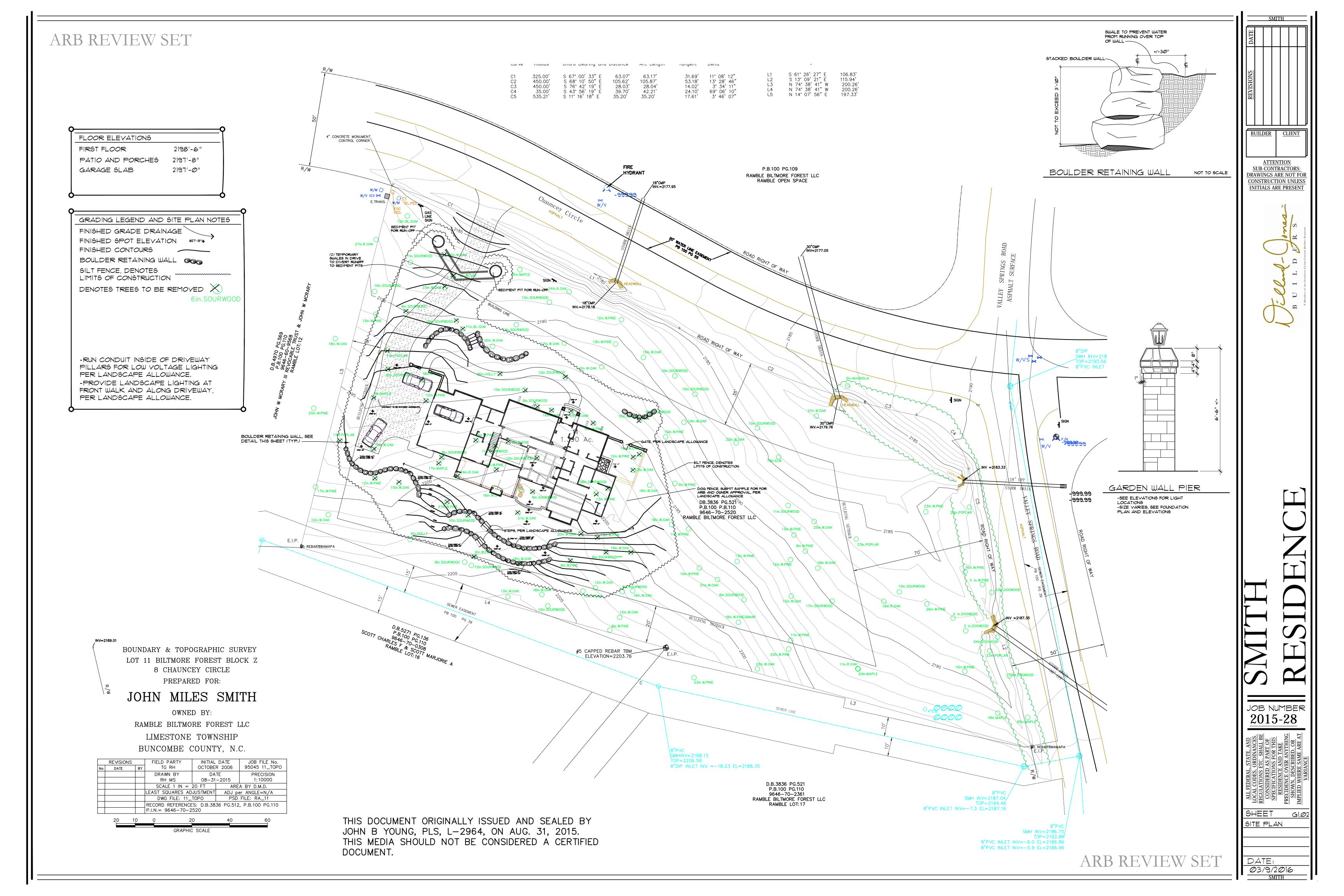
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	BUILDER CLIENT			

SUB-CONTRACTORS DRAWINGS ARE NOT FO CONSTRUCTION UNLESS INITIALS ARE PRESENT

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 $\frac{1000\,\mathrm{NUMBER}}{2015-28}$



WINDOW NOTES:
-SEE SPECS FOR WINDOW TYPE AND BRAND
-PROVIDE TEMPERED GLASS WHERE REQUIRED BY CODE
-PROVIDE MUNTIN PATTERN AS SHOWN ON ELEVATIONS
-MULTIPLE UNITS TO COME FACTORY MULLED
-O---OPERABLE
-F---FIXED
-MUNTINS TO BE SDL WITH SPACER BAR
-VERIFY HARDWARE AND FRAME COLOR PRIOR TO ORDERING
-SEE FLOOR PLAN FOR QUANTITIES
-PROVIDE FGRESS WINDOWS WHERE REQUIRED BY CODE WINDOWS

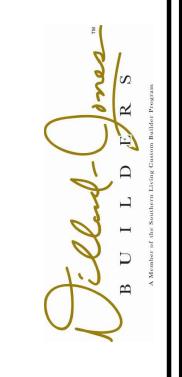
-YERIT HARDWARE AND FRAME COLOR PRIOR TO ORDERING
-SEE FLOOR PLAN FOR QUANTITIES
-PROVIDE EGRESS WINDOWS WHERE REQUIRED BY CODE, WINDOW SUPPLIER
TO YERIFY WITH FINAL BRAND SELECTED PRIOR TO ORDERING
-IF TO BE INSTALLED IN N.C., PROVIDE OPENING LIMITERS WHERE REQUIRED.

MARK	SIZE	DESCRIPTION
1	3-Ø × 8-Ø	PER ALLOWANCE, W/ 12" SIDELITES AND 1/2 CIRCLE ARCHED TRANSOM. DOG SPECIES TO BE SELECTED BY OWNER SPECIALTY TRIM SHALL BE PART O DOOR ALLOWANCE.
2	3-0 × 8-0	EXTERIOR 2-PANEL FIBERGLASS, NO GLASS
3	2-8 × 8-Ø	CLAD EXT., 2/3 GLASS
4	2-8 × 8-Ø	CLAD EXT., FULL GLASS W/ 24" TRANSOM
5	(2) 2-6 × 8-0	CLAD EXT., FULL GLASS W/ 24" TRANSOM
6		CLAD EXT., FULL GLASS
٦	9-0 × 8-0	GARAGE DOOR, PER DRAWING
8	9-0 × 8-0	GARAGE DOOR, PER DRAWING
9	2-8 × 8-Ø	CLAD EXT., 2/3 GLASS
10	2-4 × 8-Ø	INT 4-HINGE
11	3-0 x 8-0	INT 4-HINGE
12	2-6 × 8-0	INT 4-HINGE
13	2-6 × 8-0	INT 4-HINGE
14	(2) 2-Ø x 8-Ø	INT 4-HINGE
15	(2) 2-Ø x 8-Ø	INT 4-HINGE
16	(2) 2-Ø x 8-Ø	INT 4-HINGE
17	(2) 2-Ø x 8-Ø	INT 4-HINGE
18	2-4 × 8-Ø	INT 4-HINGE
19	2-4 × 8-Ø	INT 4-HINGE
2Ø	(2) 1-6 x 8-0	INT 4-HINGE
21	(2) 1-6 x 8-0	INT 4-HINGE
22	2-8 × 8-Ø	INT 4-HINGE
23	2-6 × 8-0	INT 4-HINGE
24	2-4 × 8-Ø	INT 4-HINGE
25	2-4 × 8-0	INT 4-HINGE
26	3-0 × 8-0	INT 4-HINGE, FIRE-RATED AND WEATHER-STRIPPED, BRONZE THRESHOLD
27	2-6 x 7-0	INT 4-HINGE
28	(2) 2-Ø x 7-Ø	INT 4-HINGE
29	(2) 2-Ø x 7-Ø	INT 4-HINGE
3Ø	2-4 x 7-Ø	INT 4-HINGE
31	2-8 x 7-Ø	INT 4-HINGE
32	(2) 2-Ø x 7-Ø	INT 4-HINGE
33	2-6 x 7-0	INT 4-HINGE
34	2-8 x 7-Ø	INT 4-HINGE

ALL INTERIOR DOORS SHALL BE SOLID CORE. ALL INTERIOR DOORS SHALL BE BORED FOR SINGLE LOCK, UNLESS NOTED OTHERWISE. BUILDER CLIENT

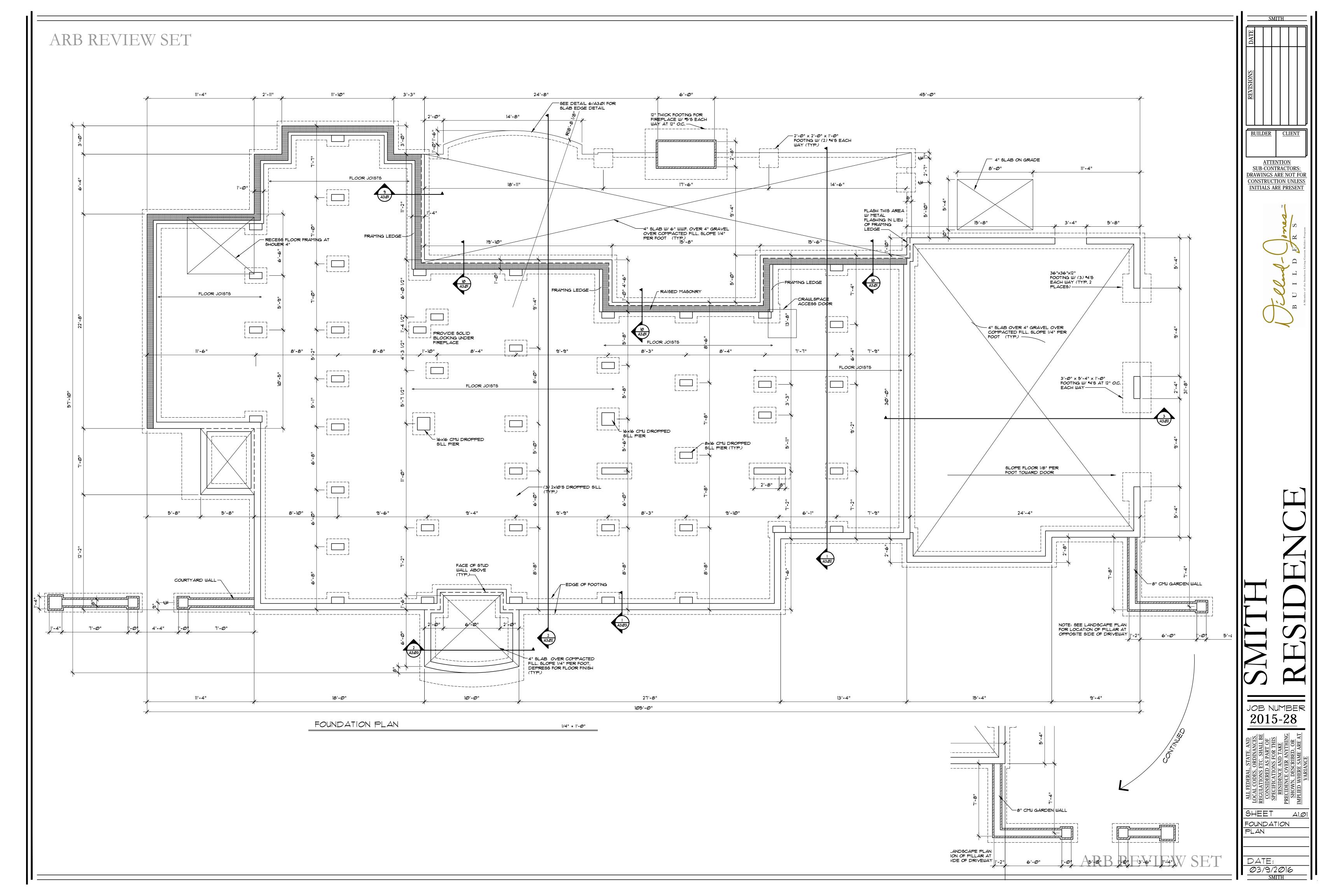
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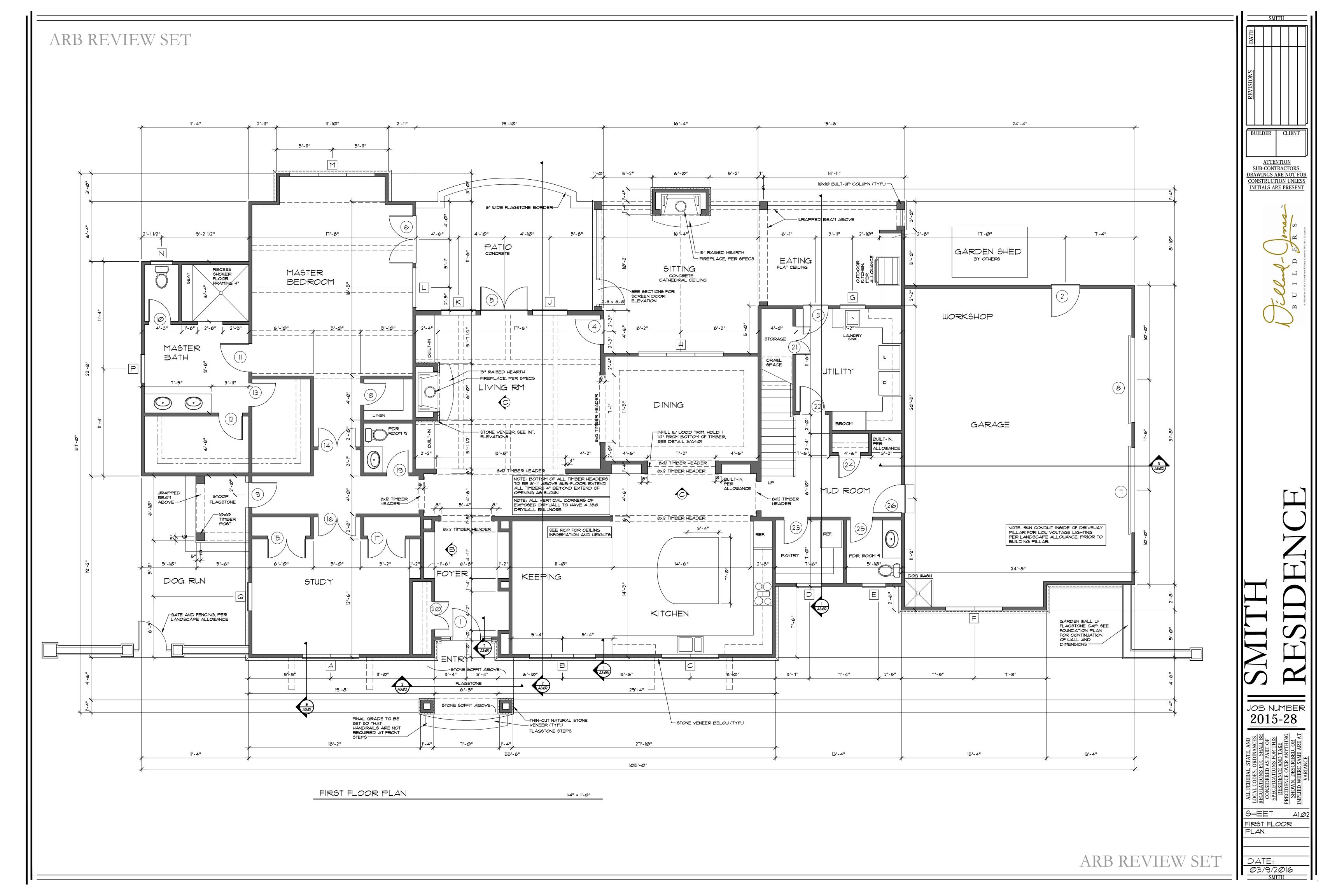
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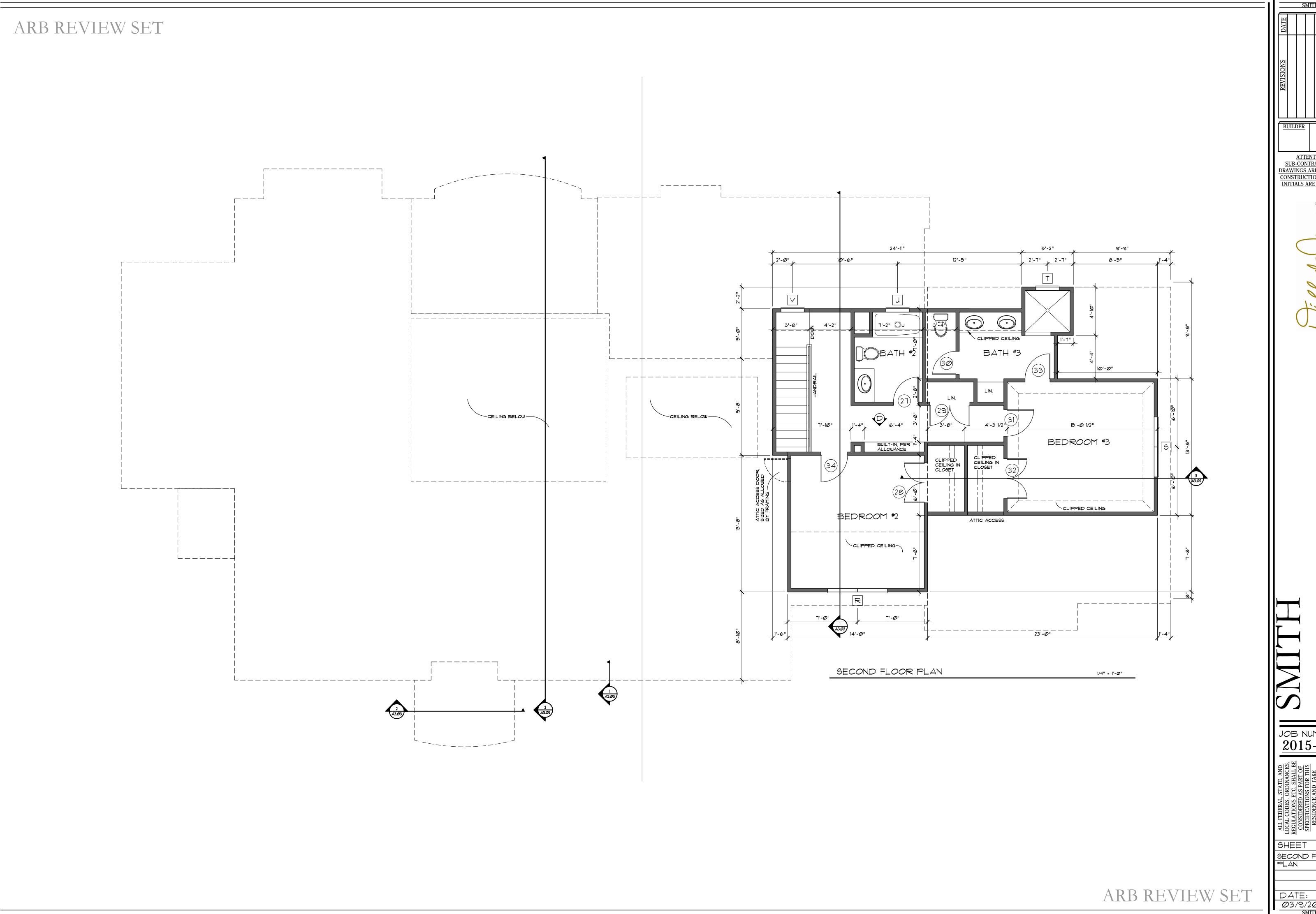


ARB REVIEW SET

DATE: 03/9/2016 SMITH

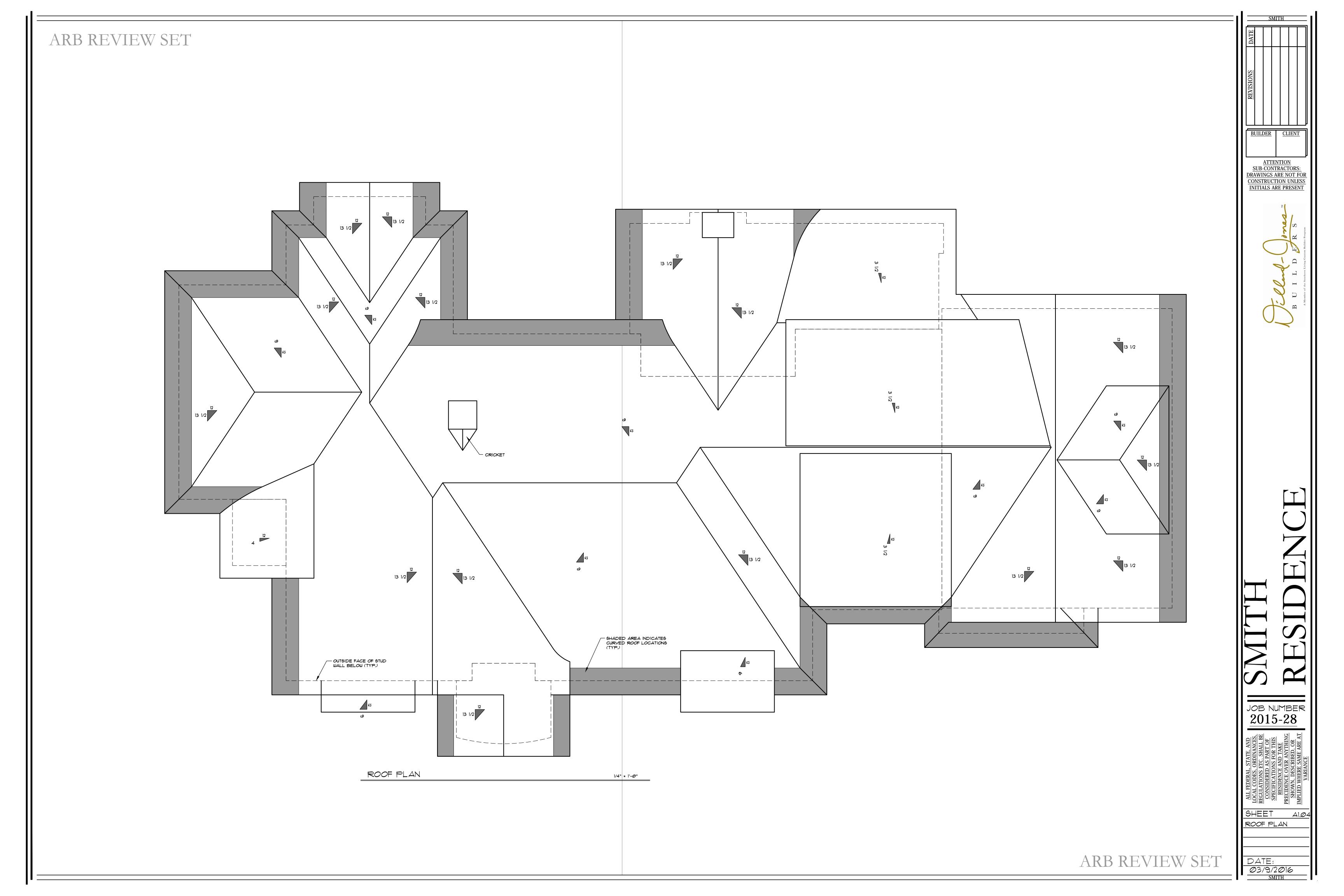


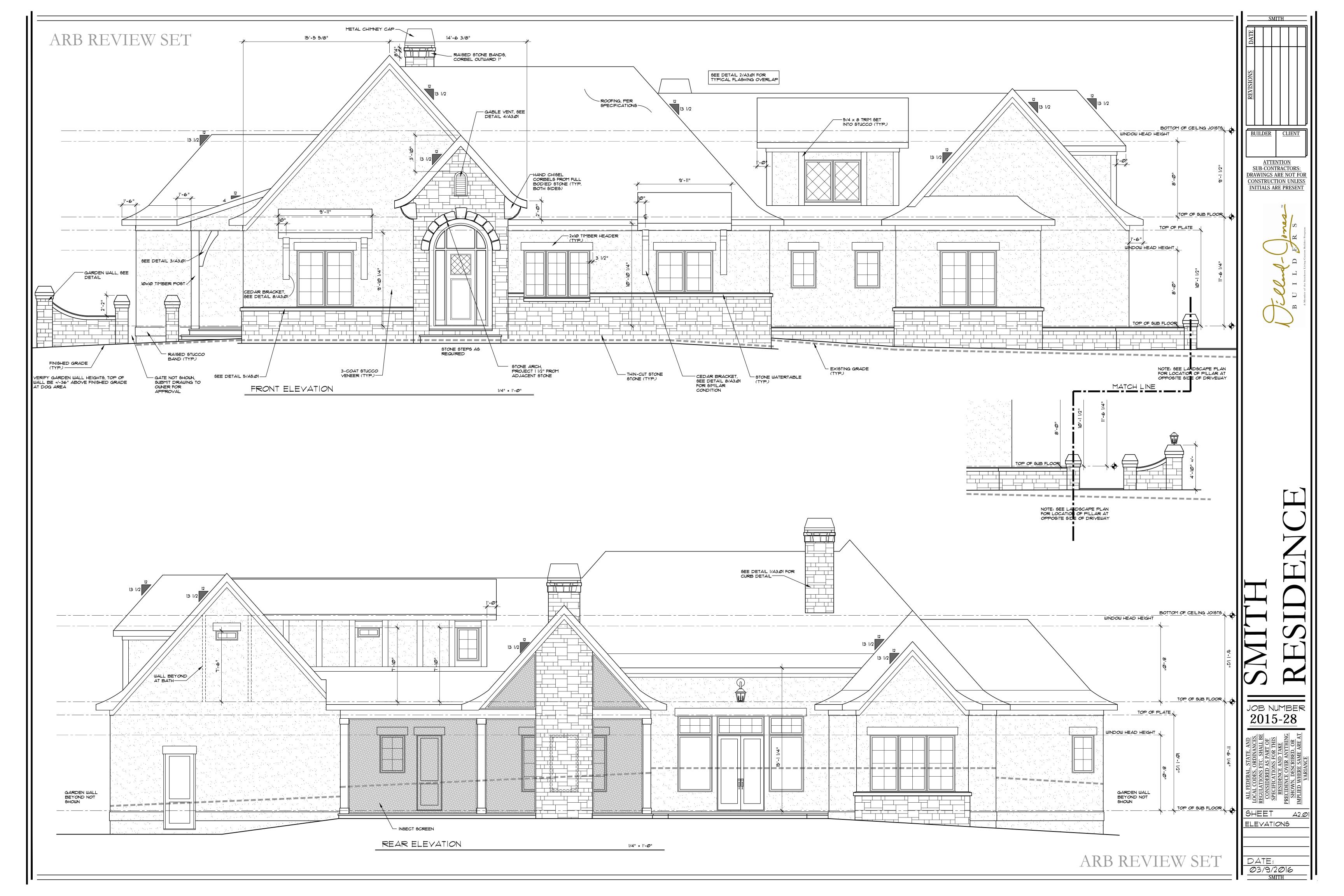


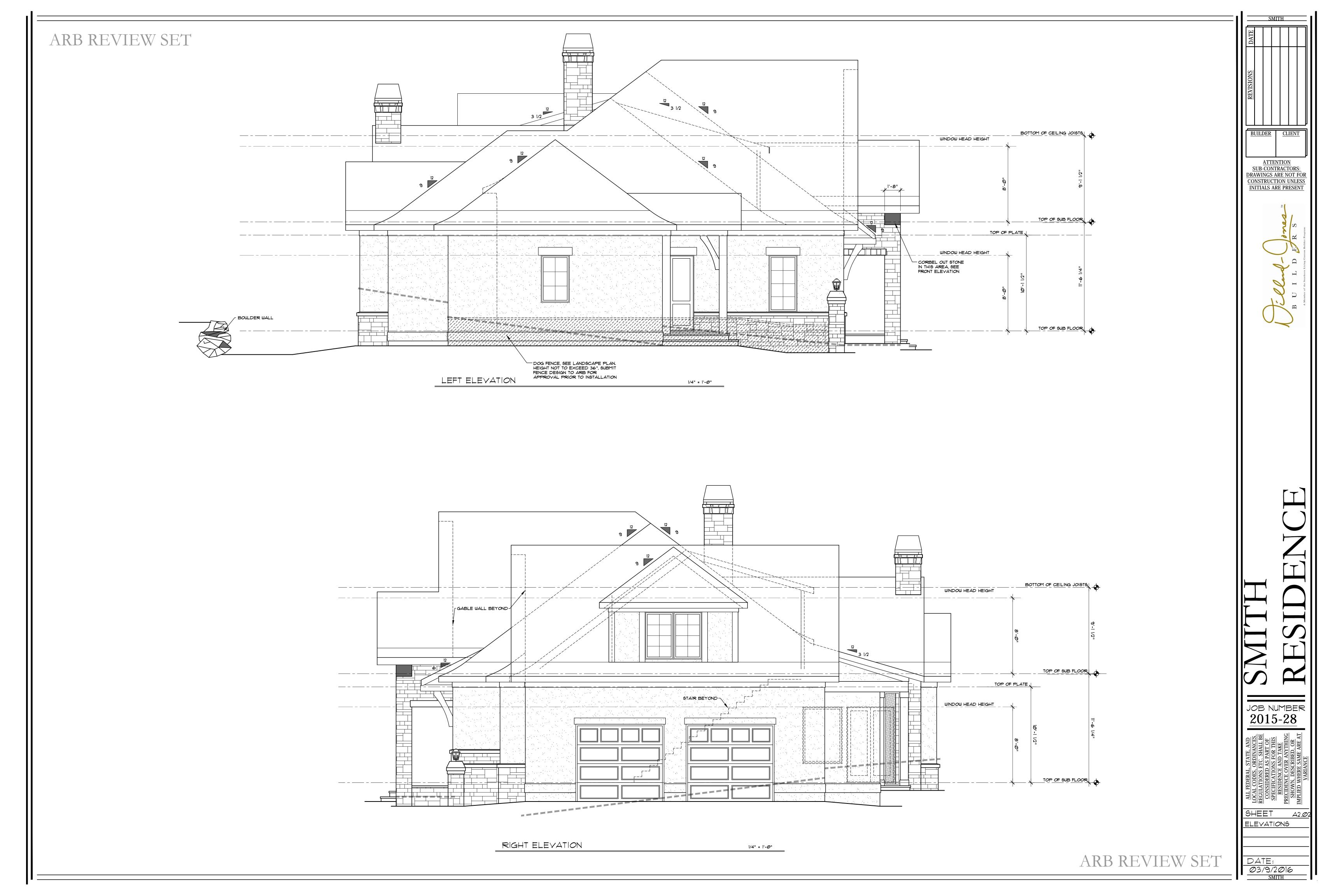


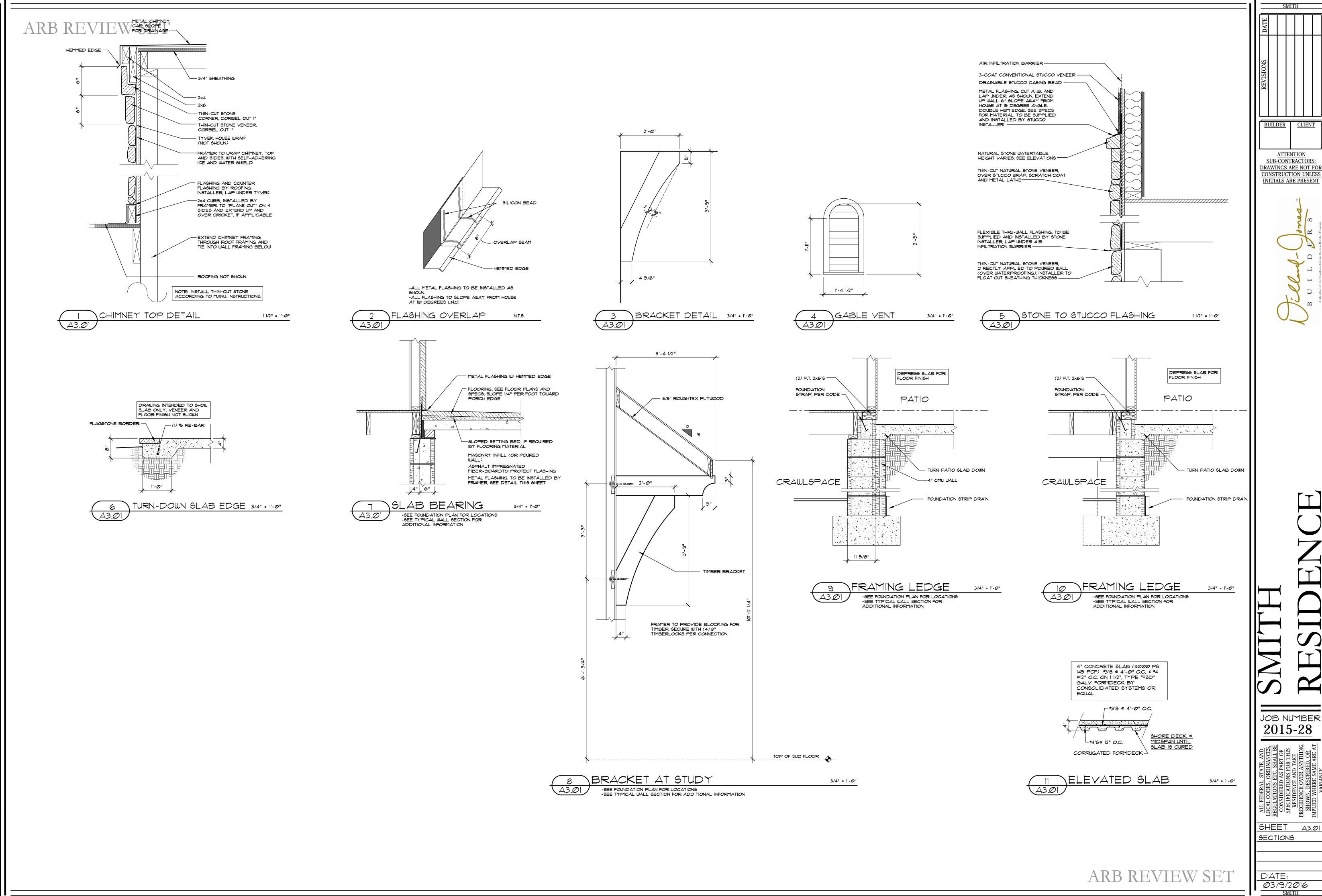
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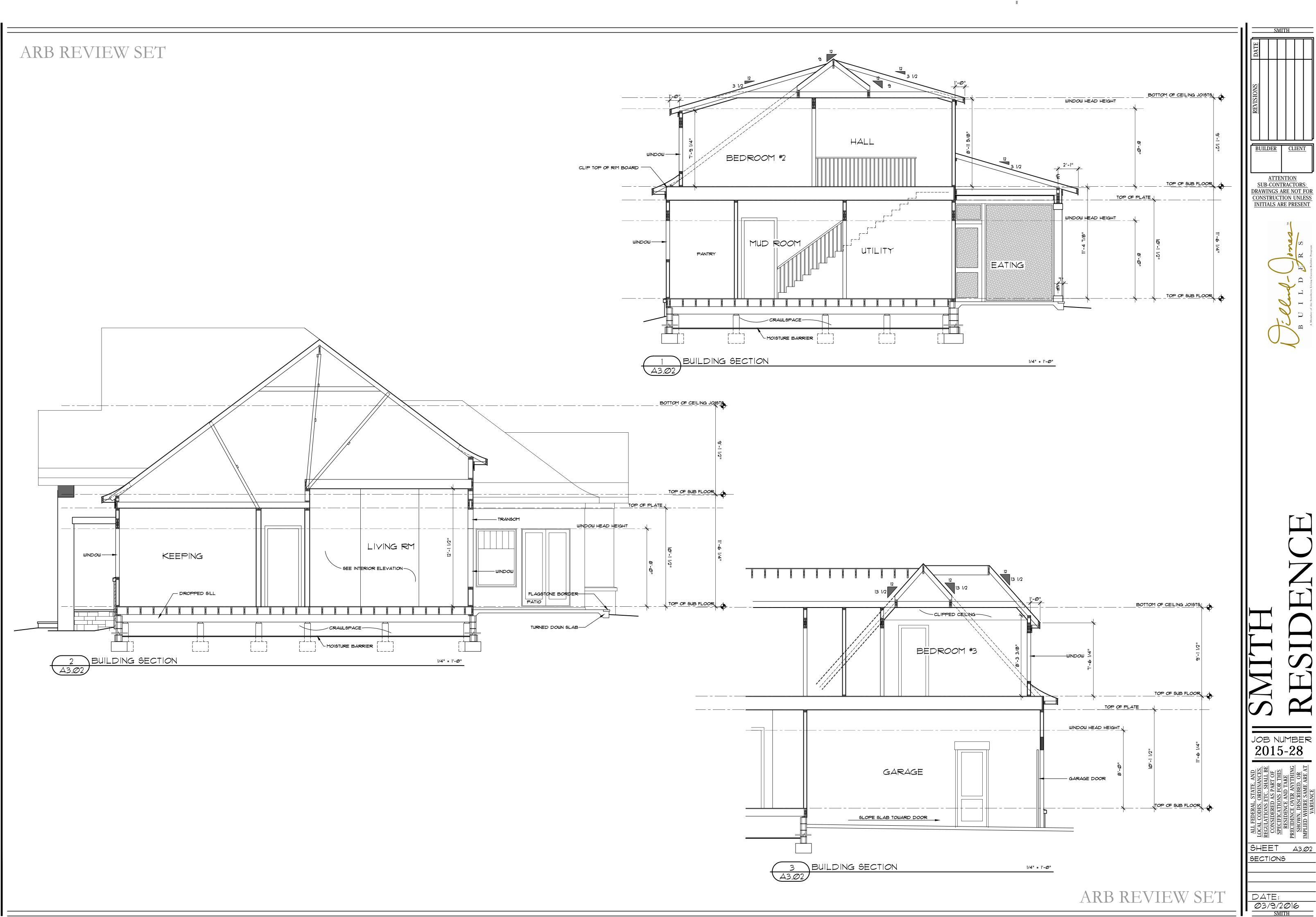




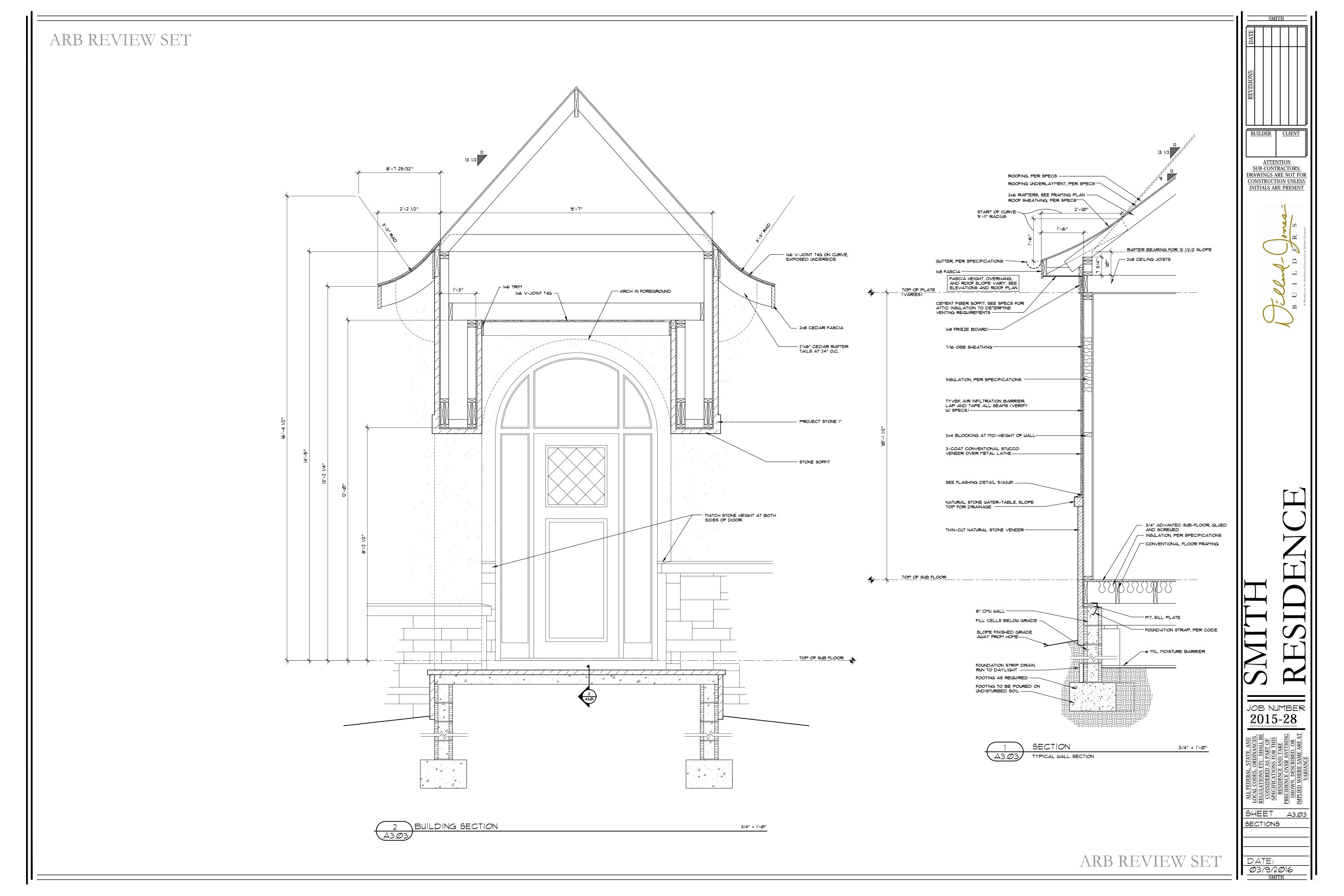


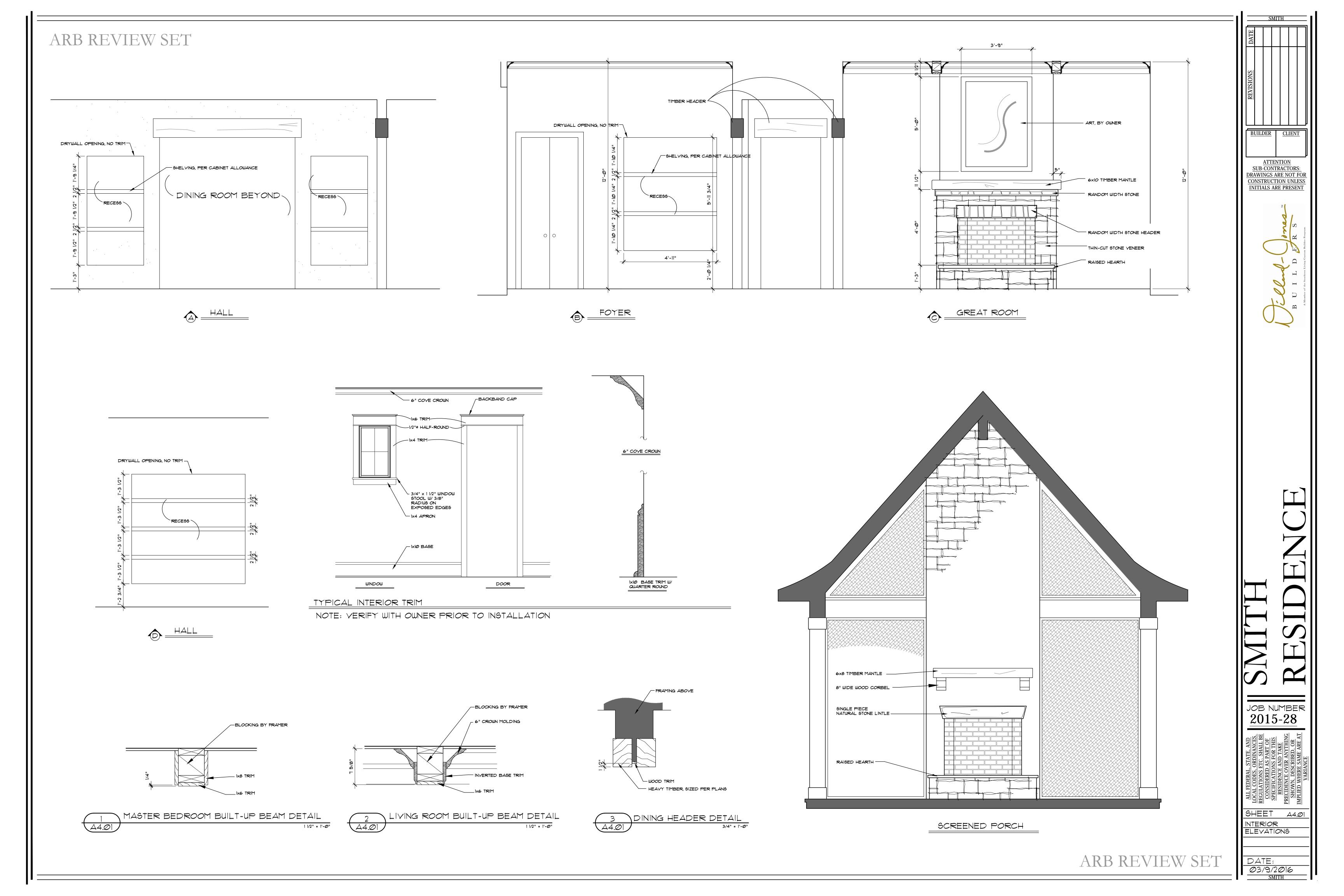
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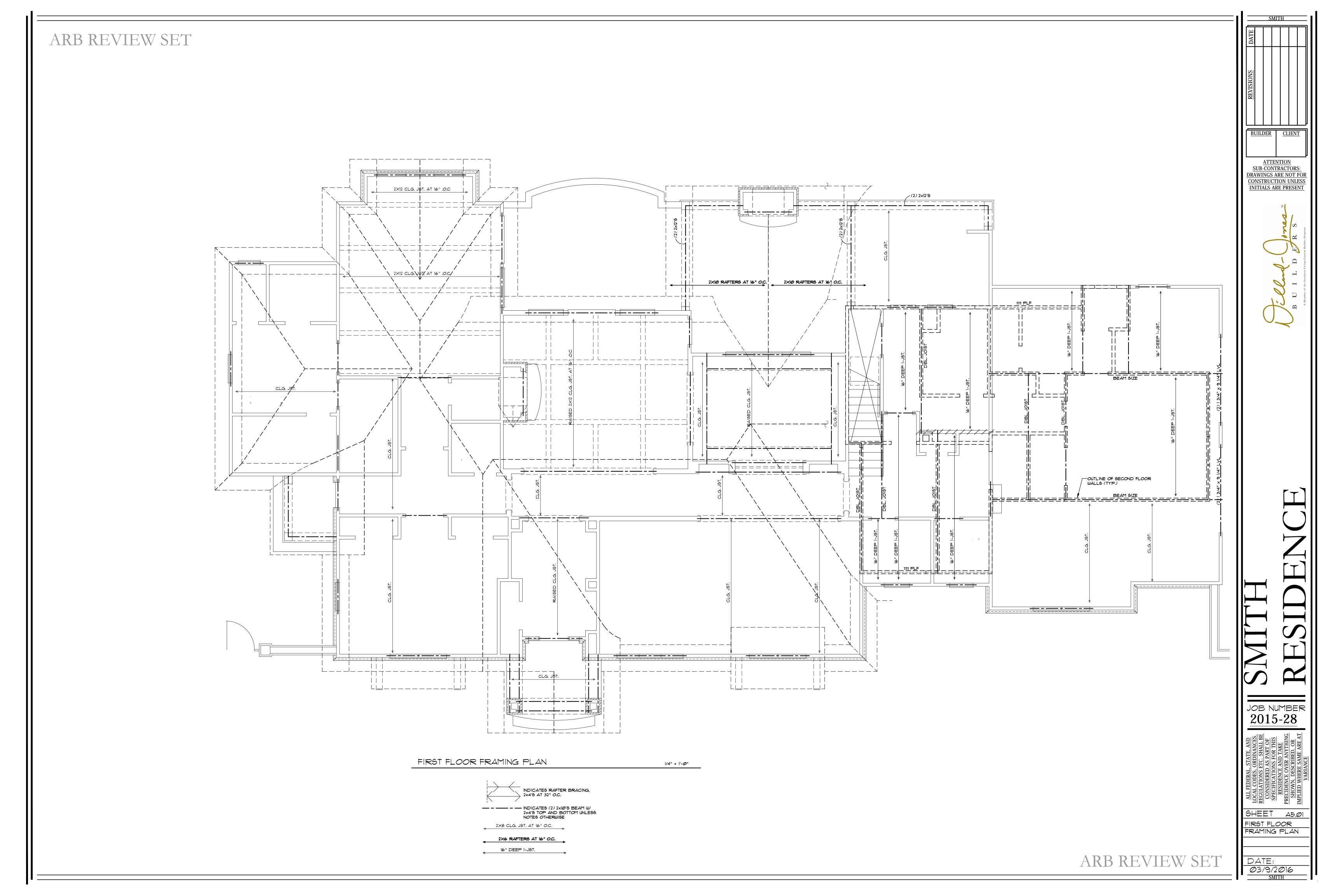
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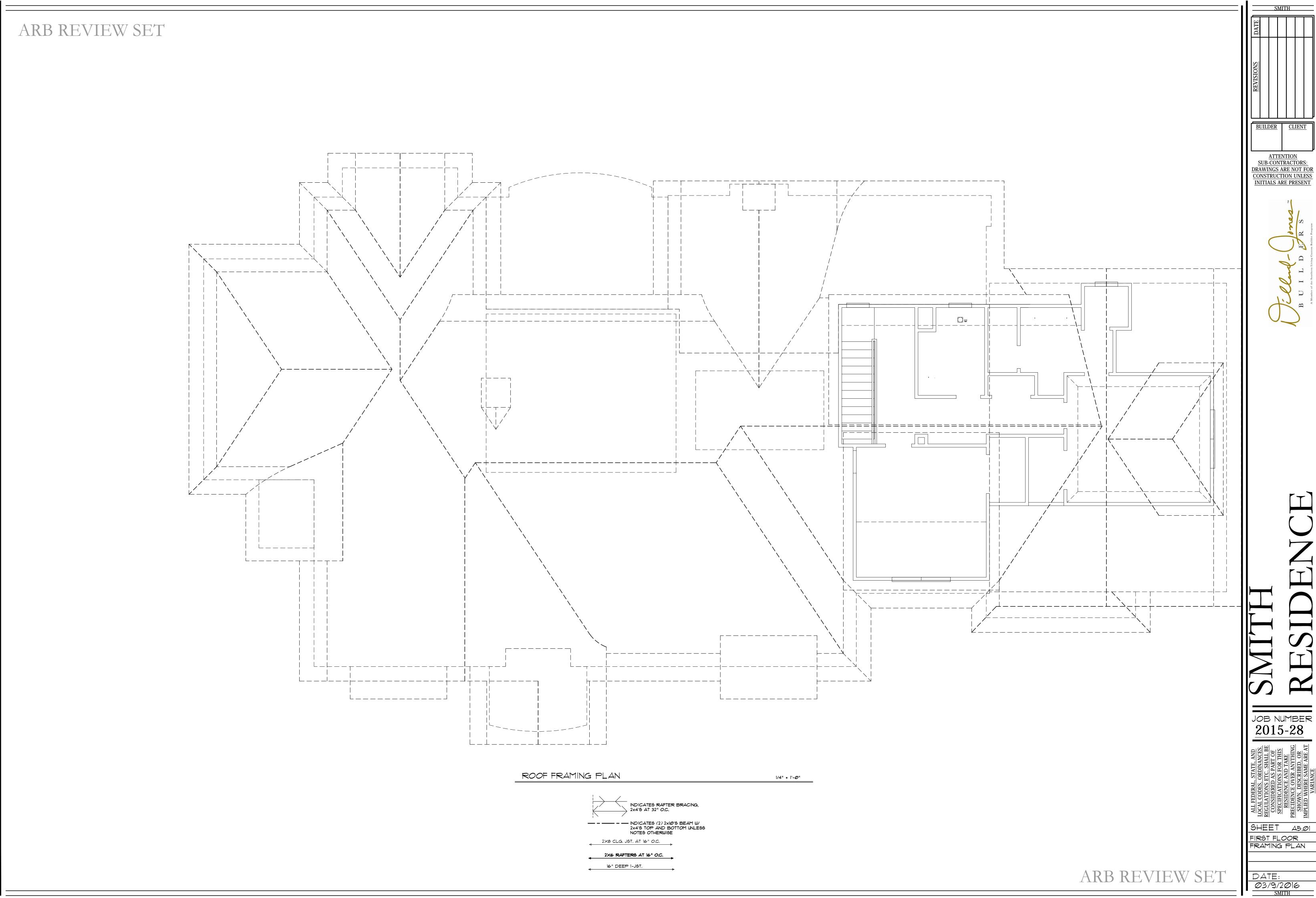


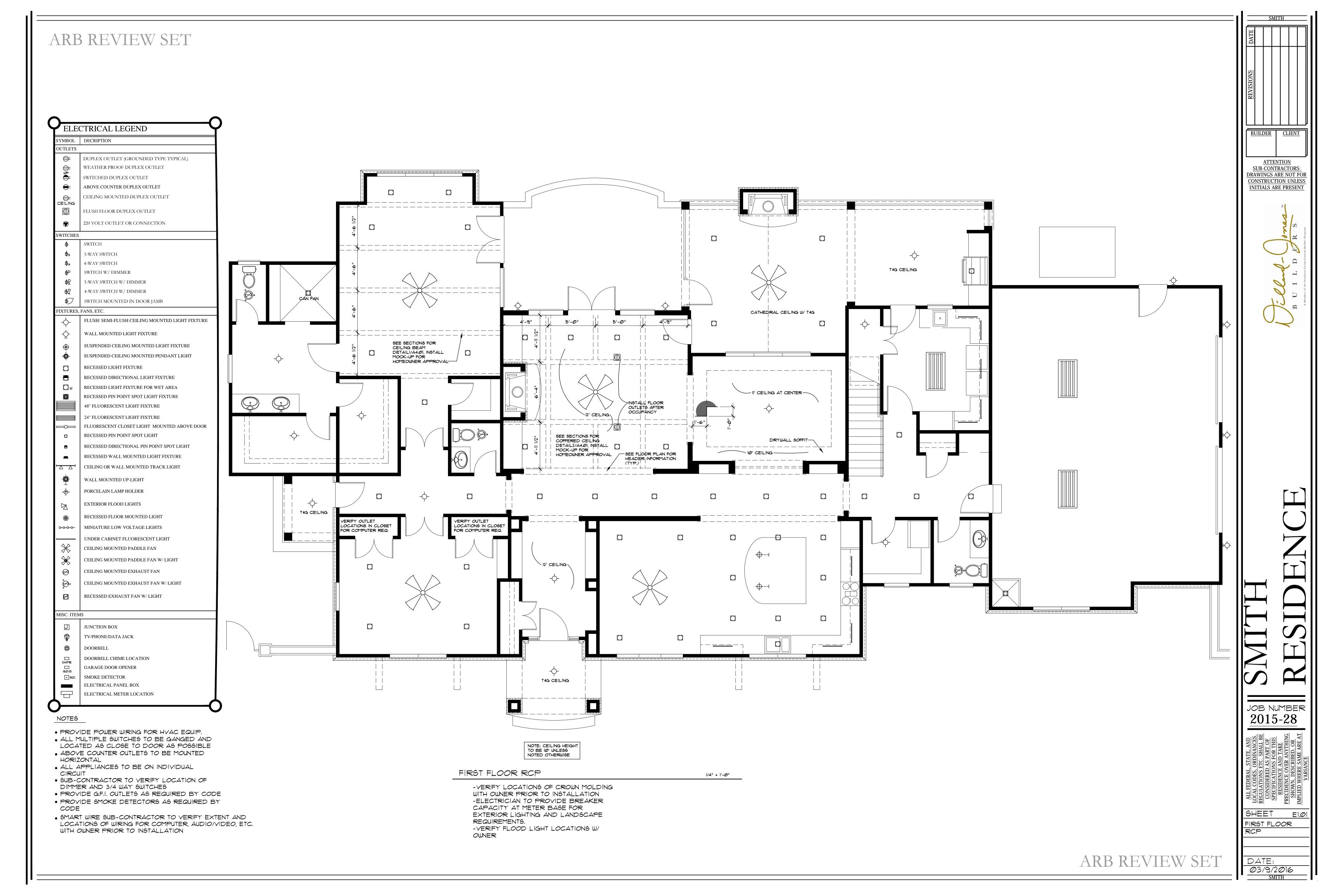
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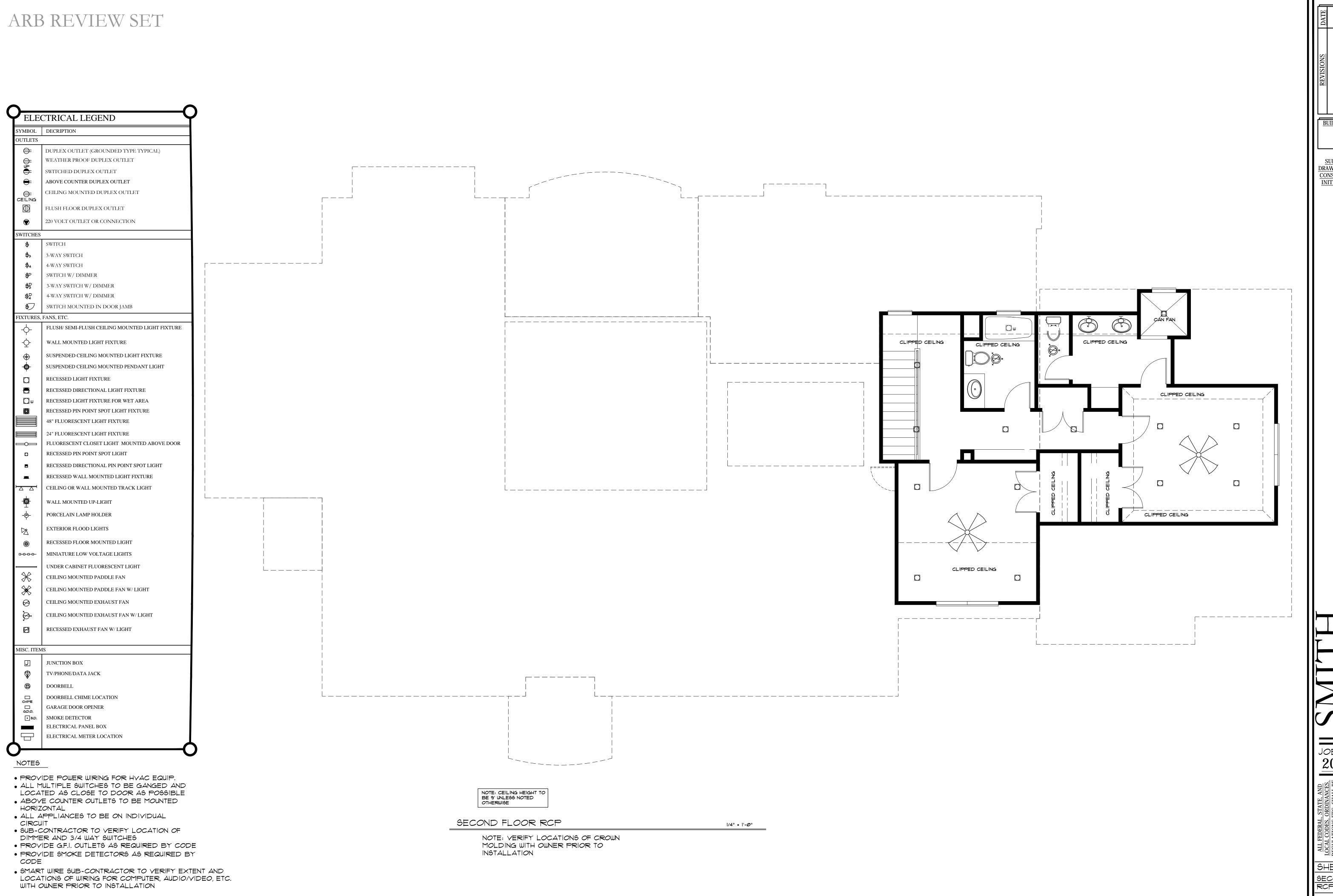












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BUILDERS

SMITH REIDENCE

JOB NUMBER 2015-28

ALL FEDERAL, STATE, AND OCAL CODES, ORDINANCES, EGULATIONS ETC. SHALL BE CONSIDERED AS PART OF SPECIFICATIONS FOR THIS RESIDENCE AND TAKE RECIDENCE OVER ANYTHING SHOWN, DESCRIBED, OR

SHEET E1.02
SECOND FLOOR
RCP

DATE: Ø3/9/2Ø16

ARB REVIEW SET