

PROPOSED AGENDA

Meeting of the Design Review Board
To be held Thursday, April 28, 2016 at 5:30 p.m.

- I. Chairman Johnson will call the meeting to order.
- II. Design Review Board Presentations
 - a. George Morosani, 9 Fir Tree Lane, is presenting plans for a deer fence.
 - b. Michael Freeman, 19 Brookside Road, is presenting plans for a deer fence.
 - c. David and Marcia Schroeder, 320 Vanderbilt Road, are presenting plans for an addition to an existing accessory structure.
 - d. William and Sherri Morrison, 388 Vanderbilt Road, are presenting plans for a new residence.
 - e. Jim and Megan Dugan, 327 Vanderbilt Road, are presenting plans for an addition to their residence.
- III. Discussion of Construction Guidelines
- IV. Adjourn



MEMORANDUM

APRIL 25, 2016

To: Board of Adjustment
From: Jonathan Kanipe, Town Administrator
Re: Case Number 1 – 9 Fir Tree Lane
Date: April 20, 2016

Case 1

Property Owner: Mr. George and Mrs. Judith Morosani
Property Address: 9 Fir Tree Lane
Zoning District: R-1
Lot Size: 3.87 +/- acres
Application Request: Conditional Use Permit and Variance to allow Installation of a Deer Fence on the Side and Rear of the Property

Mr. Morosani requests permission from the Board to erect a deer fence on the side and rear lot lines of his property. The previous owners of the home received approval from the Board of Adjustments in 2003 to erect an electric fence for the purposes of keeping deer off the property. Mr. Morosani has experienced continued problems with deer even with this electrical fence, and has now requested permission to erect a deer fence that would run along the same line as the electrical fence.

The fence will be co-located with existing fence posts in many places, and new fence posts will be placed where existing posts are unavailable. The fence will run from the northeastern edge of the property, near the driveway, and continue along southwesterly then along the western boundary of the property, before making a 90 degree turn and finishing on the southeastern side of the property. The fence will not be readily visible from the road and will blend in with existing vegetation. There are areas where the fence, and existing fence, are located within the setback, resulting in the need for a variance from the Board. A photo of the proposed material is included for the Board's review.

- Conditional use permit to allow installation of a deer fence.
- Variance approval to allow installation of deer fence within the rear and side yard setback.

Zoning Application

Property Identification

Name

George Morosani

Address

9 Fir Tree Lane, Biltmore Forest, North Carolina 28803

Phone

(828) 450-1100

Email

gwmjm@aol.com

Zoning

R-1

Lot Size (Acres)

3.87

Email -Submission Verification

gwmjm@aol.com

Scope of Project-Roof Coverage

Does the project include increasing roof coverage?

No

Is the proposed roof coverage greater than the permitted maximum roof coverage?

No

Scope of Project-Impervious Surface

Does the project include increasing the impervious surface coverage?

No

Scope of Project-Setbacks

Does any part of the project fall within the front yard?

No

Does any part of the project fall within the side/rear yard setback(s)s?

No

Scope of Project-Accessory Structures

Does the project include a detached structure or building?

No

Will there be more than the approved number of

accessory structures/buildings?

No

Project Description

Brief Description of Project

Replacing temporary deer fence

Estimated Cost of Project

2,000

Estimated Completion Date

5/30/2016

Please attach any drawings, renderings, photographs or other supporting documentation.

Conditional Use Permit Application

I hereby petition the Board of Adjustment to issue a Conditional Use Permit for:

Name

George Morosani

Property Address

9 Fir Tree Lane

Phone

(828) 450-1100

Email

gwmjm@aol.com

Type of Conditional Use

802.07 Accessory Buildings

Email-Submission Verification

gwmjm@aol.com

Description of Project

Replacing deer fence

Explain why the project would not adversely affect the public interest of those living in the neighborhood:

The fence is located entirely on petitioners property and is not visible from neighboring properties.

I certify that the information presented by the undersigned in this application is accurate to the best of my knowledge, information and belief.

Signature**Date**

4/12/2016



Variance Application

I hereby petition the Board of Adjustment for a variance(s) from the provisions of the Zoning Ordinance for the real property stated below.

Name

George Morosani

Property Address

9 Fir Tree Lane

Email

gwmjm@aol.com

Phone

(828) 450-1100

Email-Submission Verification

gwmjm@aol.com

Variance to Zoning Ordinance Section(s) (Select all that apply)

1103 Required Yards & Other Spaces

Reason Variance(s) is(are) being requested:

A portion of the fence to be constructed is located within the setback.

In granting any variance, the Board of Adjustment may prescribe appropriate conditions and safeguards in conformity with the Zoning Ordinance. Violations of the provisions of the variance granted including any conditions or safeguards which are part of the granting of the variance, shall be deemed a violation of the Zoning Ordinance. I hereby certify that the information set forth above is true and accurate to the best of my knowledge.

Signature**Date**

4/12/2016



9 Fir Tree Lane



April 5, 2016

1:2,257



0308
100 100



MEMORANDUM

APRIL 25, 2016

To: Board of Adjustment
From: Jonathan Kanipe, Town Administrator
Re: Case Number 2 – 19 Brookside Road
Date: April 20, 2016

Case 2

Property Owner: Mr. Michael Freeman
Property Address: 19 Brookside Road
Zoning District: R-1
Lot Size: 1.4 +/- acres
Application Request: Conditional Use Permit and Variance to allow Installation of a Deer Fence on the Side and Rear of the Property

Mr. Freeman requests permission from the Board to install a 6 foot deer fence on the side and rear portion of his property. The fence will be black mesh with 6' ½" posts painted flat black. The total footage requested for the fence is approximately 485 feet, and will run northeasterly for 180 feet from an existing rock wall on the northern side of the property to the rear of the property. The fence will then continue for 120 feet in the back, before continuing southwesterly for 140 feet and connecting back in to an existing wooden gate in the side yard.

A portion of the fence will fall within the side and rear yard setbacks near the driveway and along the rear property line requiring variance approval from the Board. A highlighted survey of the property is included in your packet which shows the approximate location of the fence. The original, larger format version, of this plat will be available for inspection at the meeting.

- Conditional use request to allow installation of deer fence
 - Variance request to allow installation with the side yard setback



ZONING APPLICATION

Required for Board of Adjustment & Design Review Board

DATE

PROPERTY IDENTIFICATION

Owner Name	Property Address	PIN	Zoning	Lot Size (Acres)
Mike Freeman	19 Brookside			

CONTACT INFORMATION

Applicant (if not owner)	Julian Moore	Email	
Mailing Address	PO Box 608, Black Mtn 28711		
Phone (Primary)	329-7705	Phone (Alt)	329-7705

PROPERTY REQUIREMENTS

Maximum Permitted Roof Coverage	Rear Yard Setback
Maximum Permitted Impervious Surface Coverage	Side Yard Setback

SCOPE OF PROJECT

Does the project include increasing roof coverage?	Yes <input type="checkbox"/>	No <input checked="" type="checkbox"/>
If yes, what is the proposed roof coverage? _____		
Is the proposed roof coverage greater than the permitted maximum roof coverage?	Yes <input type="checkbox"/>	No <input checked="" type="checkbox"/>
Does the project include increasing the impervious surface coverage?	Yes <input type="checkbox"/>	No <input checked="" type="checkbox"/>
If yes, what is the proposed impervious surface coverage? _____		
Is the proposed impervious surface greater than the permitted maximum impervious surface coverage?	Yes <input type="checkbox"/>	No <input checked="" type="checkbox"/>
Will any part of the project fall within the front yard?	Yes <input type="checkbox"/>	No <input checked="" type="checkbox"/>
Will any part of the project fall within the side yard or rear yard setback?	Yes <input checked="" type="checkbox"/>	No <input type="checkbox"/>

DESCRIPTION OF PROJECT

Brief Description of Project

Install 6' Deer Fence around Sides and Back of Property. Niba-Fiber Black Mesh with 6'-1 1/2" Poles Painted Flat Black.

Estimated Cost of Project

4,000⁰⁰

Estimated Completion Date

5/16/16



VARIANCE APPLICATION

I, M. Freeman hereby petition the Board of Adjustment for a variance(s) from the provisions of the Zoning Ordinance for the real property located at 19 Brookside.

Variance to Zoning Ordinance Section(s):

- (a) *Select Ordinance Requirement*
- (b) *Select Ordinance Requirement*
- (c) *Select Ordinance Requirement*

Reason Variance is Requested:

*Fence will be within the Set-Back
on Driveway side of property*

In granting any variance, the Board of Adjustment may prescribe appropriate conditions and safeguards in conformity with the Zoning Ordinance. Violations of the provisions of the variance granted including any conditions or safeguards which are part of the granting of the variance, shall be deemed a violation of the Zoning Ordinance. I, Jelison Moore, hereby certify that all the information set forth above is true and accurate to the best of my knowledge.

Jelison Moore
Signature

4/11/16
Date



CONDITIONAL USE PERMIT APPLICATION

I, M. Freeman hereby petition the Board of Adjustment to issue a
Conditional Use Permit for Specific Conditional Use

for the property located at 19 Brookside and described as follows:

Description of the Project: Install 6' Deer Fence to
Sides and Back of Property

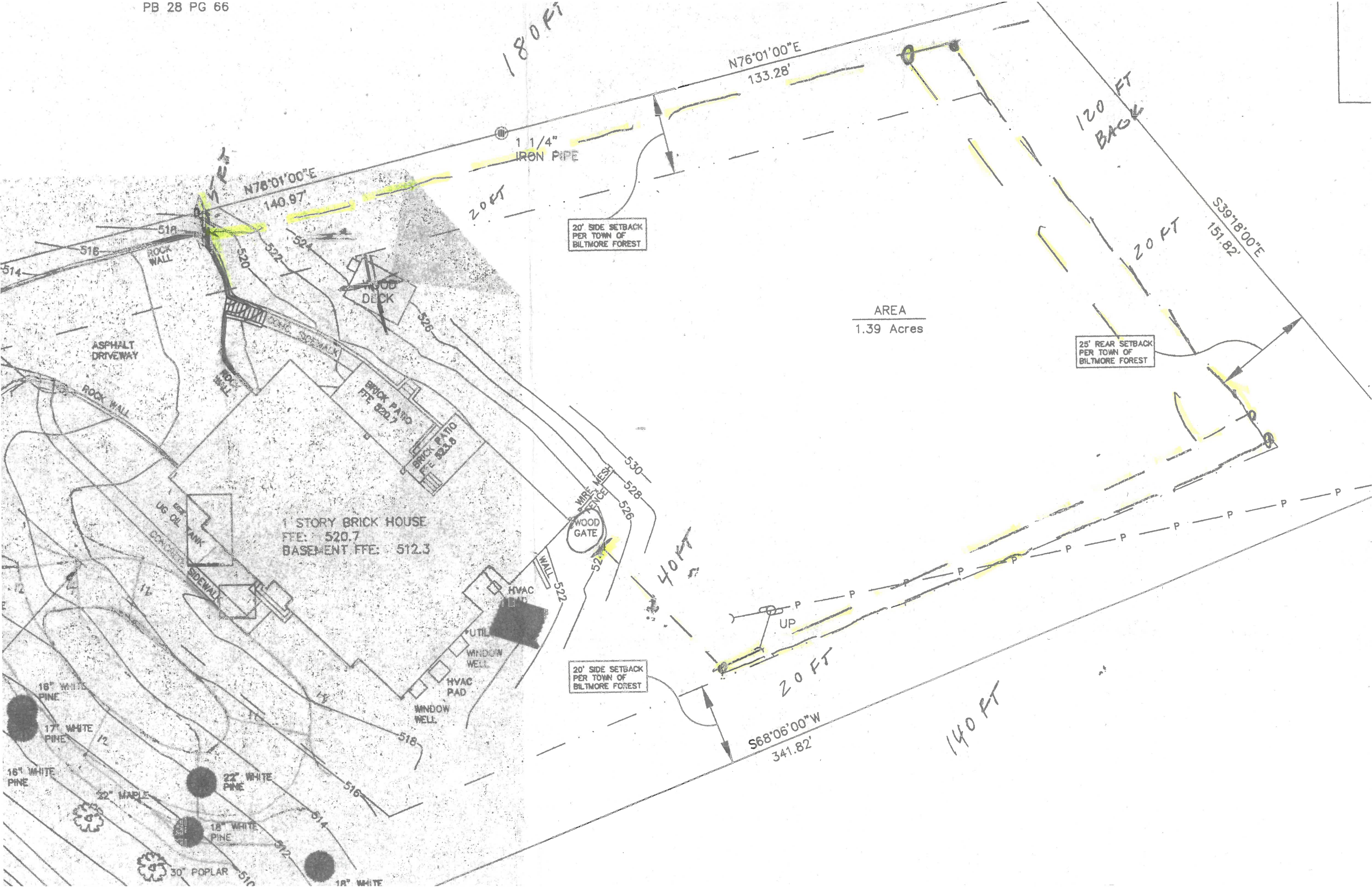
Explain why the project would not adversely affect the public interest of those living in the neighborhood:

You Can't see it.

I certify that the information presented by the undersigned in this application is accurate to the best of my knowledge, information and belief.

M. Freeman
Signature

4/11/16
Date





MEMORANDUM

APRIL 25, 2016

To: Board of Adjustment
From: Jonathan Kanipe, Town Administrator
Re: Case Number 4 – 320 Vanderbilt Road
Date: April 20, 2016

Case 4

Property Owner: Dr. David and Mrs. Marcia Schroeder
Property Address: 320 Vanderbilt Road
Zoning District: R-1
Lot Size: 1.6 +/- acres
Application Request: Conditional Use Permit and Variance to allow an Addition to an Existing Accessory Structure

The applicants request permission from the Board to construct an addition to an existing accessory structure in the rear yard. The existing structure is a log cabin that is approximately 322 square feet. Dr. and Mrs. Schroeder request permission from the Board to add a bathroom and kitchenette that would increase the square footage by 155 square feet, bringing the total to 477 square feet. This is under the maximum square footage allowed for an accessory building.

The structure is located outside of both the rear and side yard setbacks and the addition would not be visible from adjoining properties or from Vanderbilt Road. Drawings are attached related to the proposed addition.

- Conditional use request to construct an addition to an existing accessory structure.
- Variance request to allow construction of an addition to an existing accessory structure.

Zoning Application

Property Identification

Name

Marcia Schroeder

Address

320 Vanderbilt Rd., Asheville, North Carolina 28803

Phone

(828) 277-1009

Email

marciaschroeder@gmail.com

Zoning

R-1

Lot Size (Acres)

1.597

Email -Submission Verification

marciaschroeder@gmail.com

Scope of Project-Roof Coverage

Does the project include increasing roof coverage?

Yes

What is the proposed roof coverage?

155

Is the proposed roof coverage greater than the permitted maximum roof coverage?

No

Scope of Project-Impervious Surface

Does the project include increasing the impervious surface coverage?

No

Scope of Project-Setbacks

Does any part of the project fall within the front yard?

No

Does any part of the project fall within the side/rear yard setback(s)s?

No

Scope of Project-Accessory Structures

Does the project include a detached structure or building?

Yes

An application for a conditional use permit will be required in addition to this zoning application.

Will there be more than the approved number of

An application for a variance to exceed the permitted

accessory structures/buildings?

Yes

number of accessory structures and a conditional use permit for an accessory structure will be required in addition to this zoning application.

Project Description

Brief Description of Project

Addition of bathroom and kitchenette to existing log cabin. This is not a new accessory structure but we are adding to 155 square feet to existing cabin of 322 square feet for a total of 477 square feet.

Estimated Cost of Project

50,000

Estimated Completion Date

7/15/2016

Please attach any drawings, renderings, photographs or other supporting documentation.

Conditional Use Permit Application

I hereby petition the Board of Adjustment to issue a Conditional Use Permit for:

Name

Marcia Schroeder

Property Address

320 Vanderbilt Rd.

Phone

(828) 277-1009

Email

marciaschroeder@gmail.com

Type of Conditional Use

802.07 Accessory Buildings

Email-Submission Verification

marciaschroeder@gmail.com

Description of Project

Addition of bathroom and kitchenette to existing log cabin.

Explain why the project would not adversely affect the public interest of those living in the neighborhood:

This cabin is in the back yard and is not visible from the road or by the neighbors. It is heavily buffered and we will be planting additional landscaping as needed.

I certify that the information presented by the undersigned in this application is accurate to the best of my knowledge, information and belief.

Signature**Date**

4/4/2016

A handwritten signature in black ink, appearing to read 'Marcia Schroeder', written over a horizontal line.

Variance Application

I hereby petition the Board of Adjustment for a variance(s) from the provisions of the Zoning Ordinance for the real property stated below.

Name

Marcia Schroeder

Property Address

320 Vanderbilt Rd.

Email

marciaschroeder@gmail.com

Phone

(828) 277-1009

Email-Submission Verification

marciaschroeder@gmail.com

Variance to Zoning Ordinance Section(s) (Select all that apply)

1104 Accessory Structures & Accessory Buildings

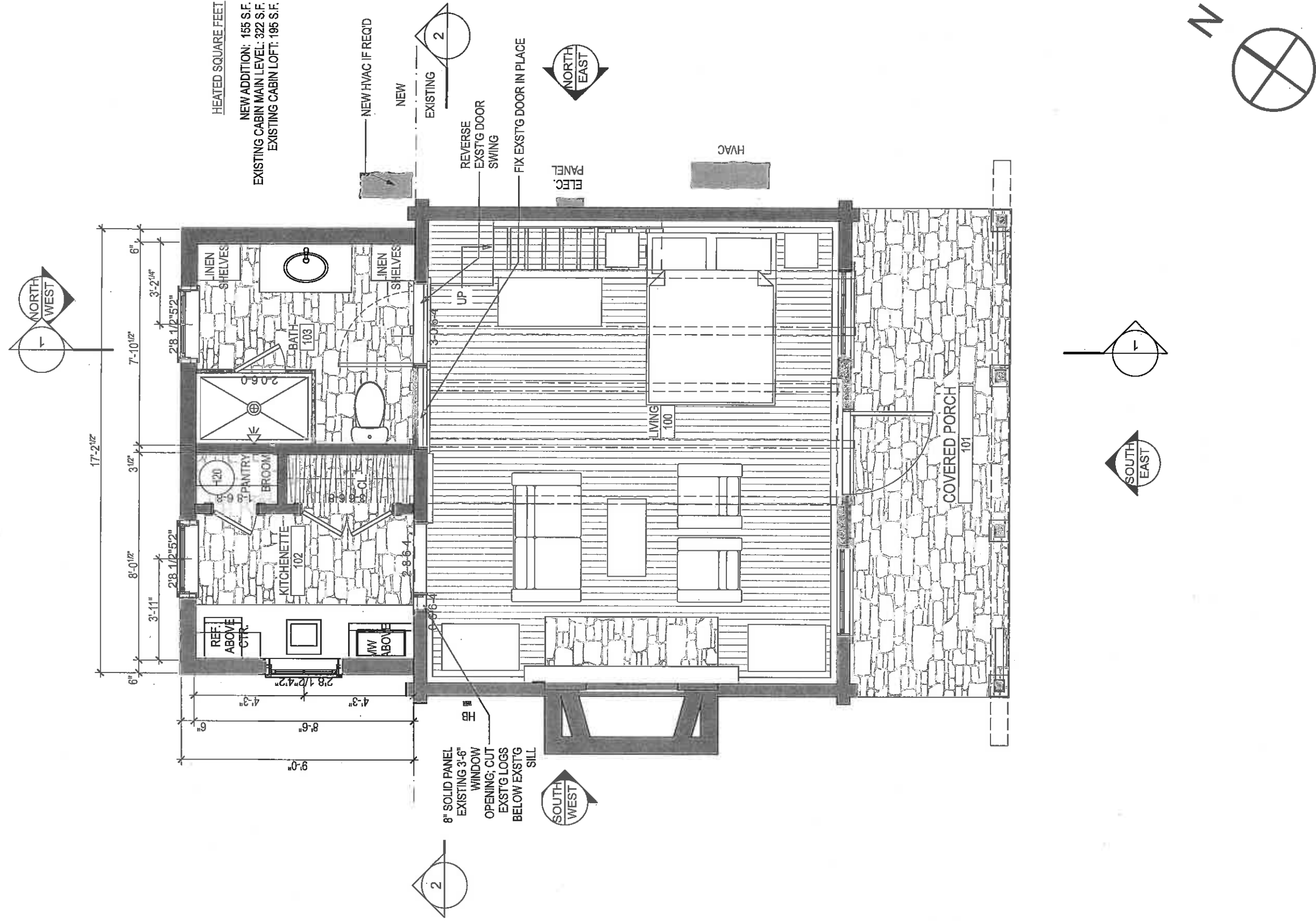
Reason Variance(s) is(are) being requested:

We are requesting a variance due to our number of accessory structures. We would like to add a bathroom so that we could use the log cabin. The addition meets the required setbacks for the back and side of our property. The new structure will be 477 square feet.

In granting any variance, the Board of Adjustment may prescribe appropriate conditions and safeguards in conformity with the Zoning Ordinance. Violations of the provisions of the variance granted including any conditions or safeguards which are part of the granting of the variance, shall be deemed a violation of the Zoning Ordinance. I hereby certify that the information set forth above is true and accurate to the best of my knowledge.

SignatureA handwritten signature in black ink, appearing to read 'Marcia Schroeder', written over a light blue horizontal line.**Date**

3/28/2016



PROPOSED MAIN LEVEL FLOOR PLAN

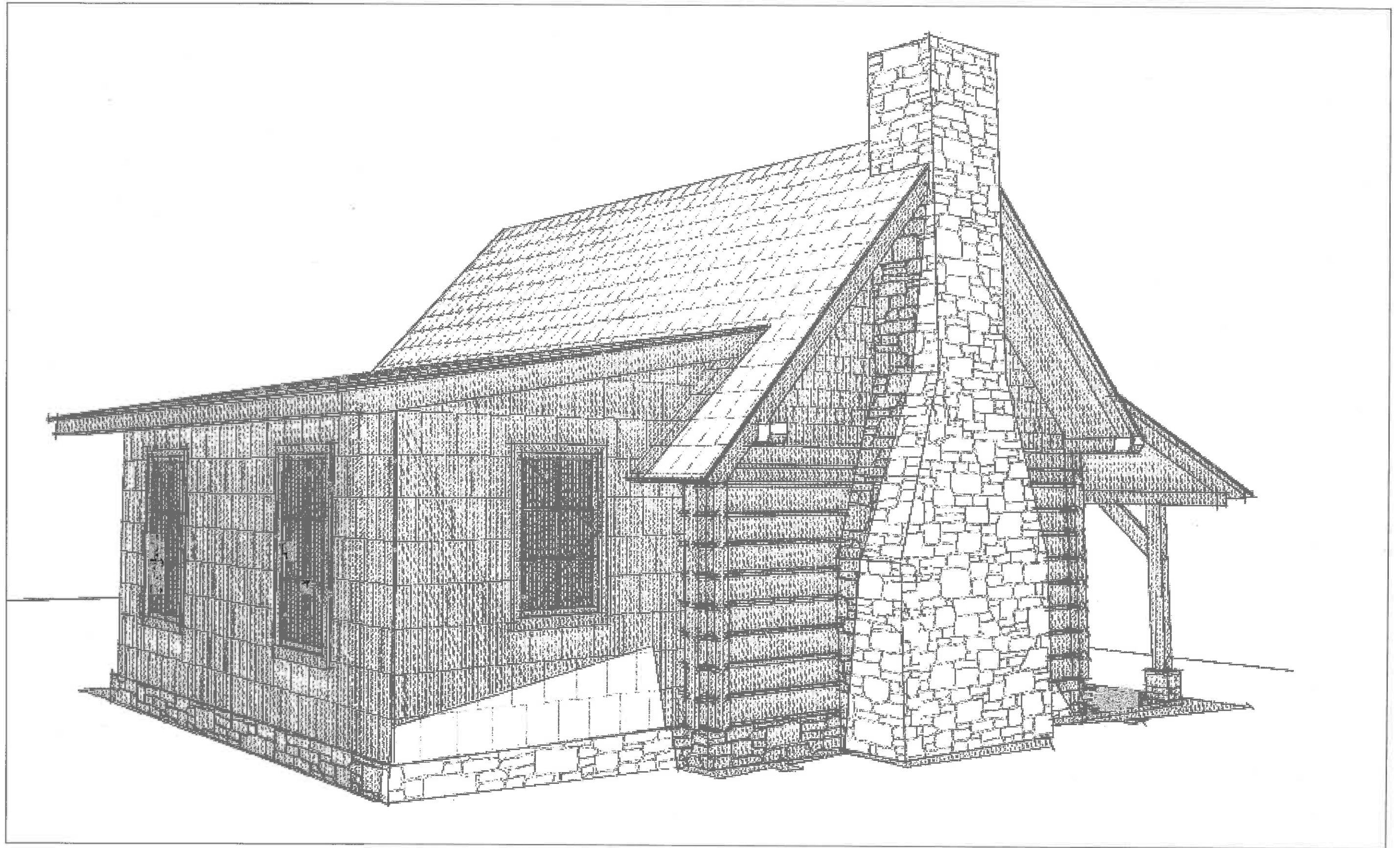
FINAL SCHEMATIC DESIGN

16.14.0 Schroeder Cabin Addition

3/24/16

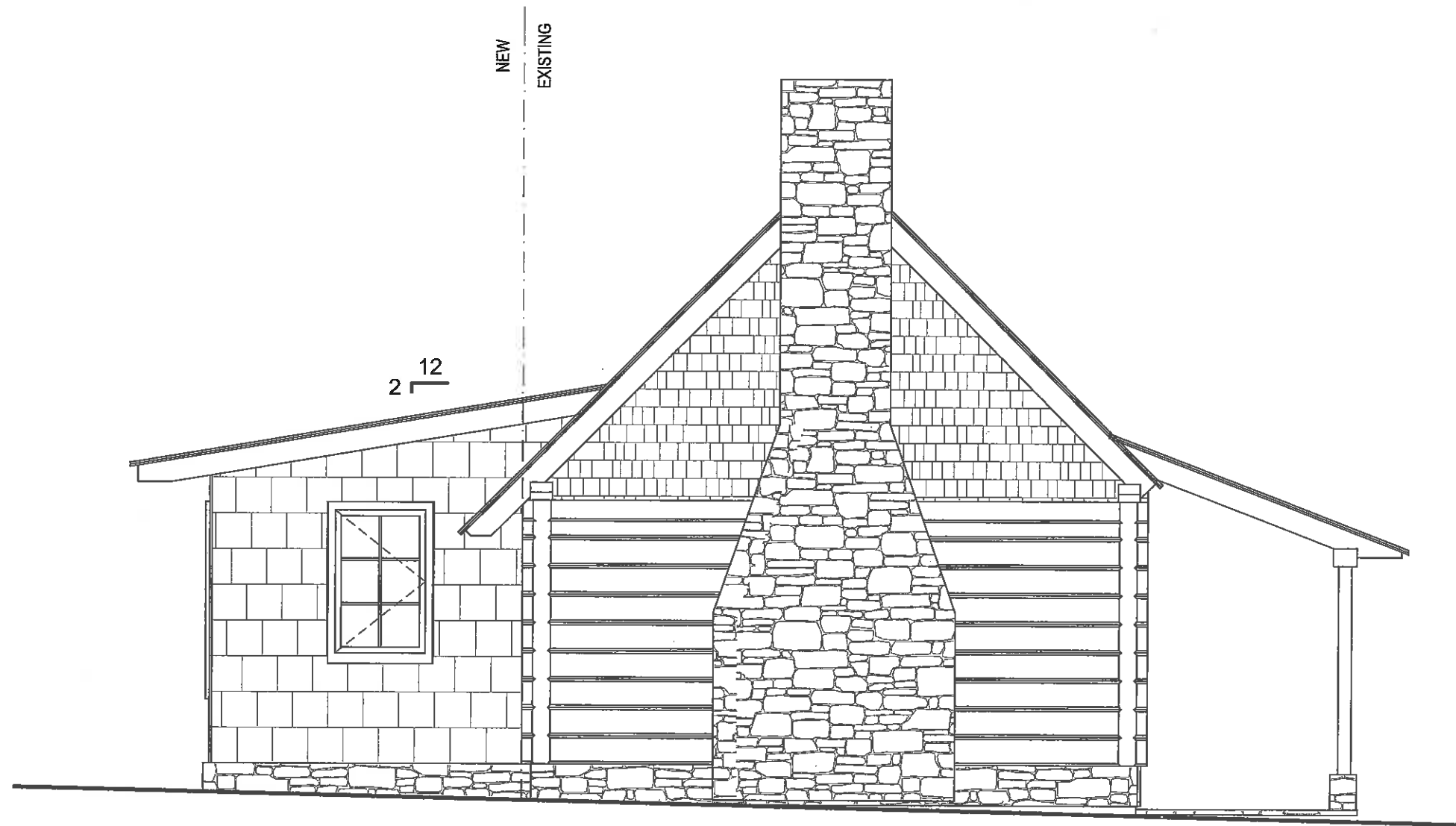
SAMSEL ARCHITECTS

1/4" = 1'-0"



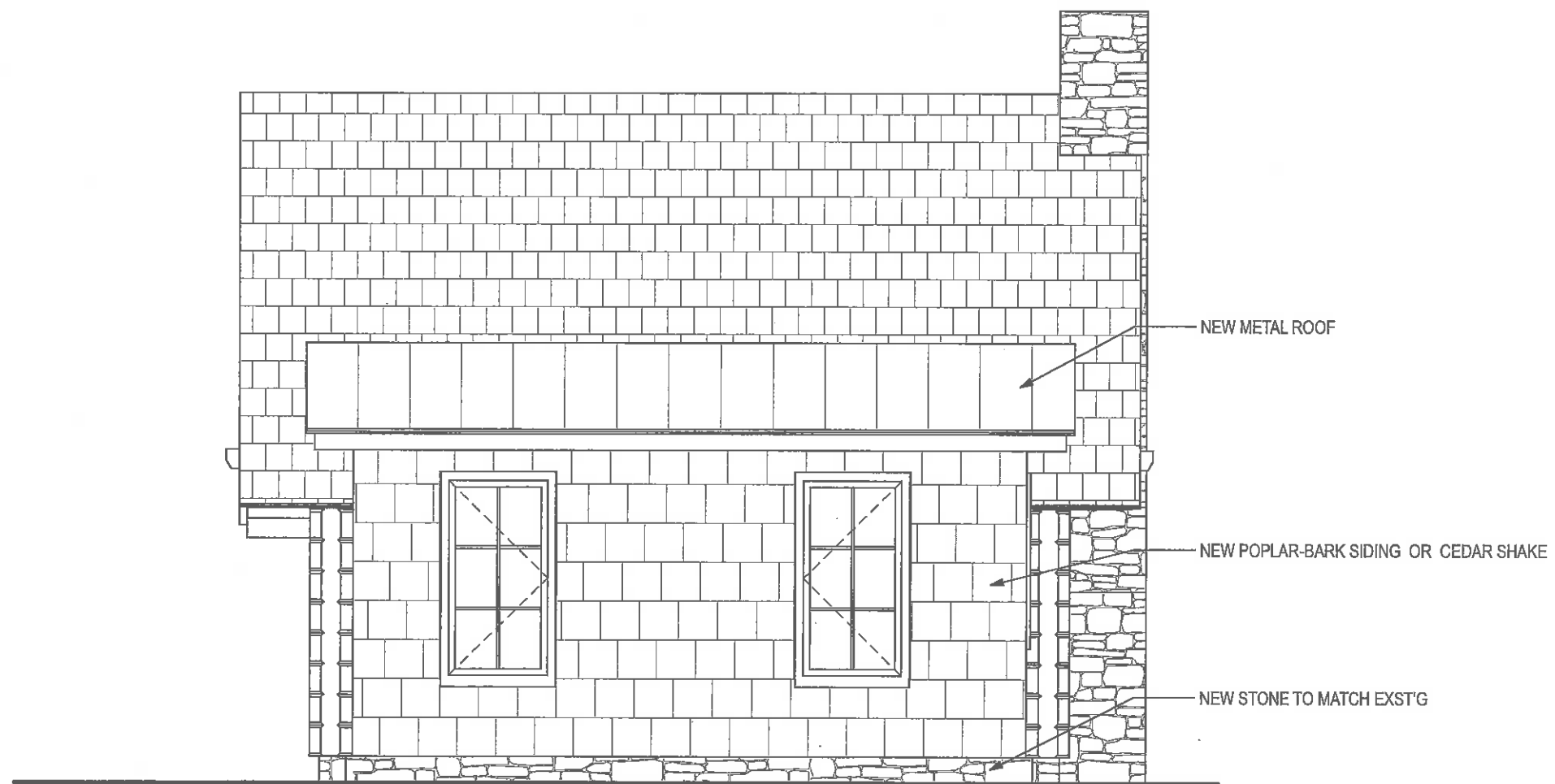
PERSPECTIVE
FINAL SCHEMATIC DESIGN
16.14.0 Schroeder Cabin Addition
3/24/16

SAMSEL ARCHITECTS
1:88.7354



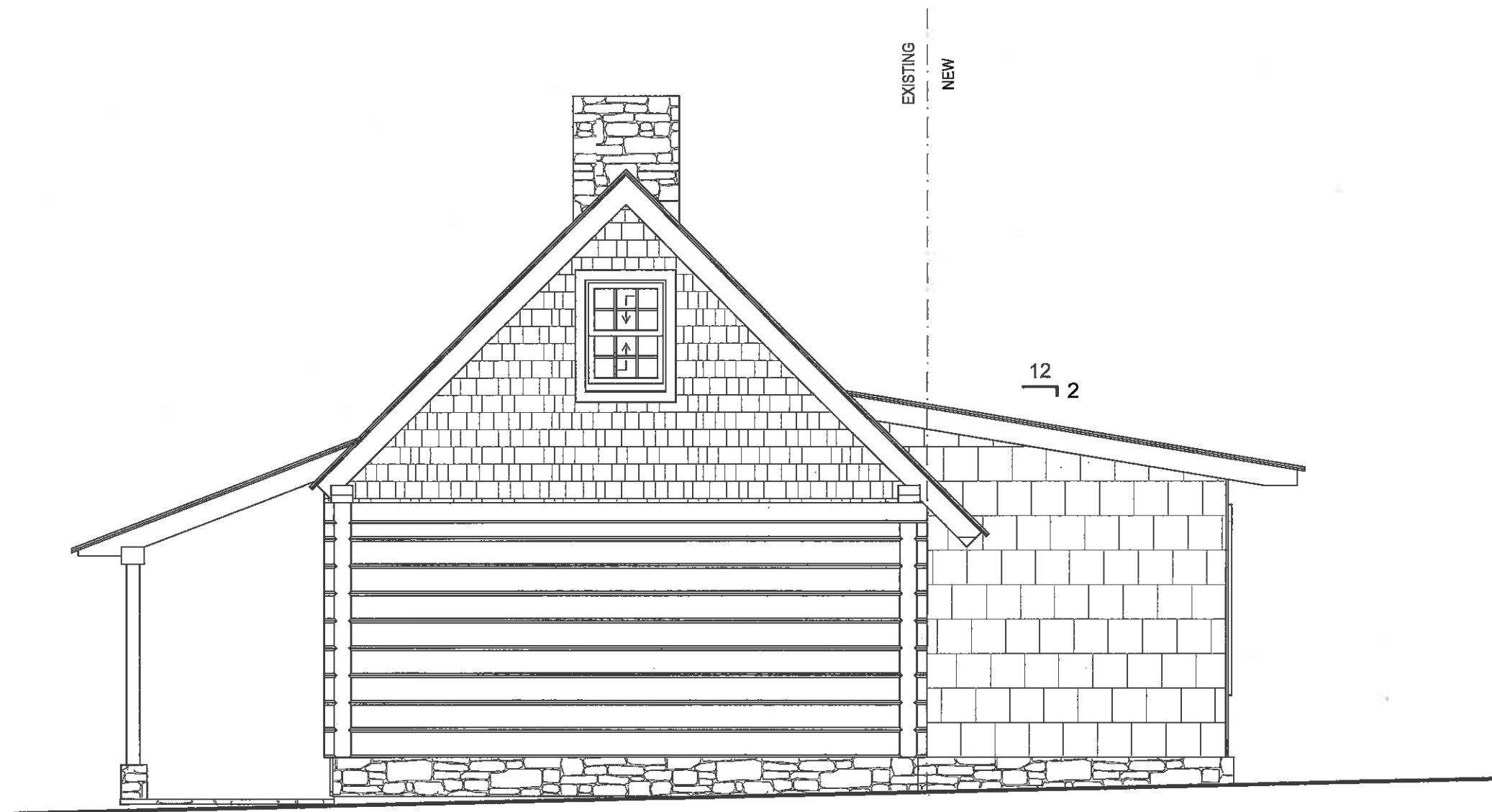
PROPOSED SOUTHWEST ELEVATION
 FINAL SCHEMATIC DESIGN
 16.14.0 Schroeder Cabin Addition
 3/24/16

SAMSEL ARCHITECTS
 1/4" = 1'-0"



PROPOSED NORTHWEST ELEVATION
 FINAL SCHEMATIC DESIGN
 16.14.0 Schroeder Cabin Addition
 3/24/16

SAMSEL ARCHITECTS
 1/4" = 1'-0"



PROPOSED NORTHEAST ELEVATION

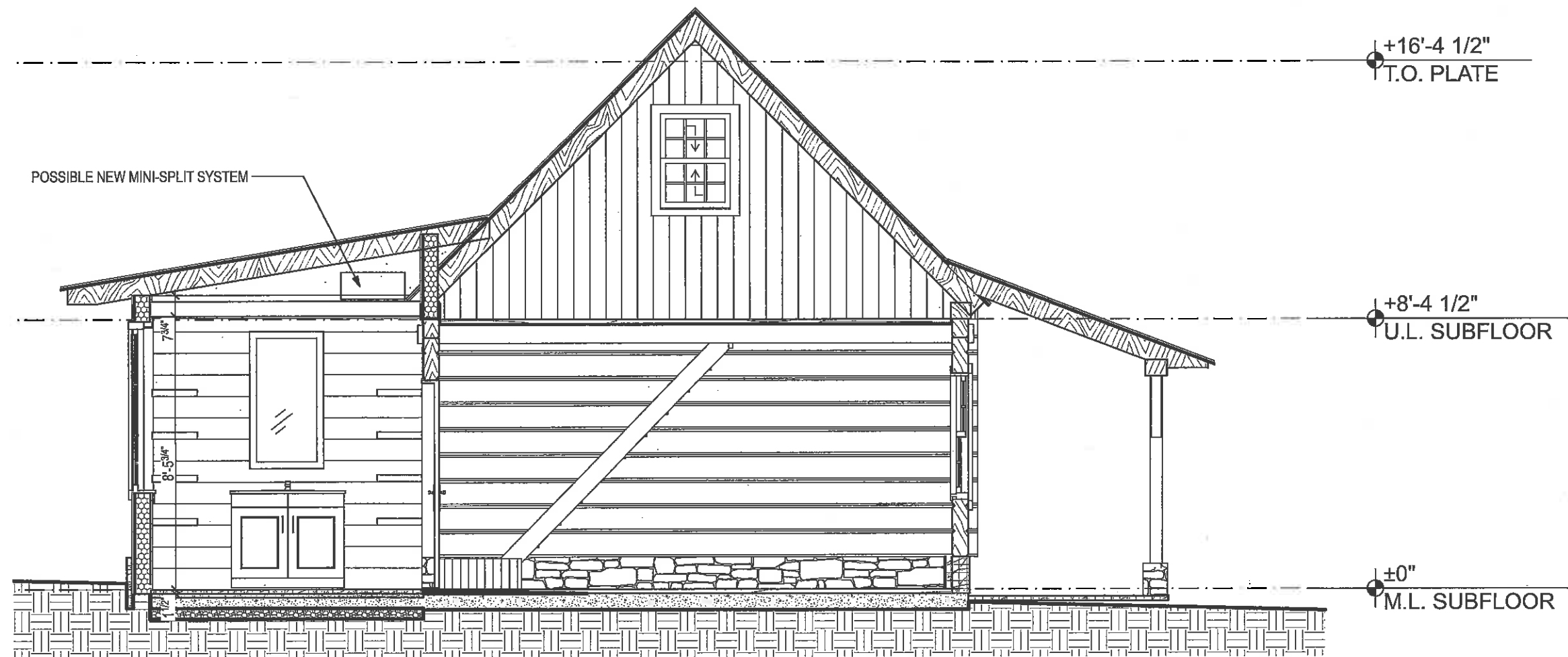
FINAL SCHEMATIC DESIGN

16.14.0 Schroeder Cabin Addition

3/24/16

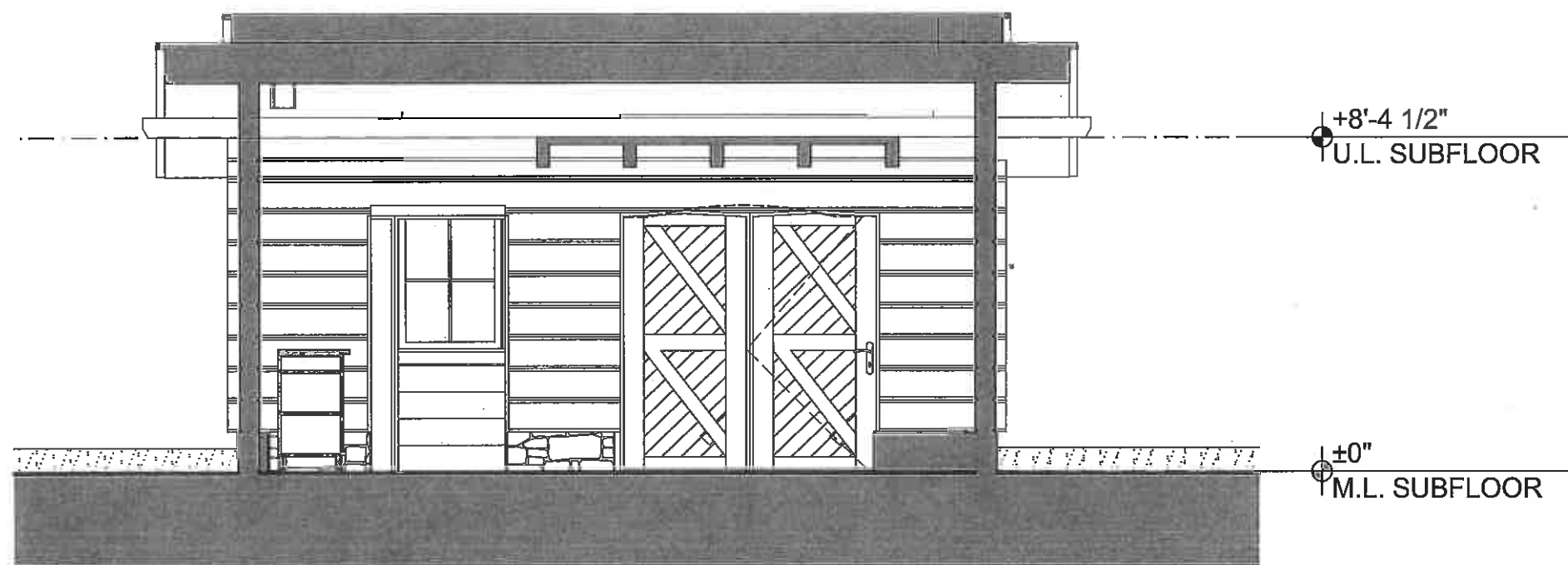
SAMSEL ARCHITECTS

1/4" = 1'-0"



PROPOSED SECTION 1
 FINAL SCHEMATIC DESIGN
 16.14.0 Schroeder Cabin Addition
 3/24/16

SAMSEL ARCHITECTS
 1/4" = 1'-0"



PROPOSED SECTION 2
 FINAL SCHEMATIC DESIGN
 16.14.0 Schroeder Cabin Addition
 3/24/16

SAMSEL ARCHITECTS
 1/4" = 1'-0"



MEMORANDUM

APRIL 25, 2016

To: Board of Adjustment
From: Jonathan Kanipe, Town Administrator
Re: Case Number 5 – 388 Vanderbilt Road
Date: April 20, 2016

Case 5

Property Owner: Mr. William and Mrs. Sherri Morrison
Property Address: 388 Vanderbilt Road
Zoning District: R-1
Lot Size: 2.71 +/- acres
Application Request: Demolition of Existing Home and Construction of New Residence, including a Conditional Use Permit request for Entrance Columns and Retaining Walls in Conjunction with the Project

The applicants present a demolition and construction plan for the Board in conjunction with the property located at 388 Vanderbilt Road. If approved, the existing home will be demolished and removed. Plans for the new residence are provided in detail and include a conditional use permit request for entrance columns and retaining walls. The entrance columns are necessary in order to create a sense of entry to the new residence and the retaining walls are necessary in order to provide access to the main level of the home and to screen the existing historic log cabin on the property. The applicants note that the columns and retaining walls are all located approximately 190 feet from Vanderbilt Road and will not be visible from the street or neighboring properties.

The highest point on the new home is 33 feet and 8 inches, greater than the 25 feet allowance in the ordinance. As a result, adjusted setbacks are in place and the new construction falls within the adjusted setbacks and is in compliance which results in an adjusted setback. The allowable impervious surface on the property is 29,504 square feet and the proposed impervious surface area is 21,326 square feet. The project is in compliance for impervious surface. The maximum roof coverage allowed on this parcel is 7,500 square feet, and the proposed total roof area is 5,832 square feet. The project is in compliance for maximum roof coverage.

The Town received a letter from the Biltmore Forest Country Club with comments on the project. That letter is attached to this packet for your review. The plans included renderings and

all elevations from each side of the proposed home, including from the entrance off Vanderbilt Road and the view from the Country Club.

The applicants have taken care to leave as much existing screening and vegetation as possible, including existing evergreen buffers along the side property lines. There will be a walled courtyard attached to the main residence and the port cochere. The port cochere garage and motor court garage are connected to the main residence via a covered and enclosed hallway.

- New residence plans, including conditional use permit request to construct entrance columns and retaining walls.
- A landscape plan for the property, including the existing and planned buffering and screening, is included for review.

Zoning Application

Property Identification

Name

William and Sherri Morrison

Address

388 Vanderbilt Road, Biltmore Forest, North Carolina 28803

Phone

(949) 413-6007

Email

Williampmorrison1@gmail.com

Zoning

R-1

Lot Size (Acres)

2.71

Email -Submission Verification

Robert.G@GriffinArchitectsPA.com

Scope of Project-Roof Coverage

Does the project include increasing roof coverage?

No

Is the proposed roof coverage greater than the permitted maximum roof coverage?

No

Scope of Project-Impervious Surface

Does the project include increasing the impervious surface coverage?

No

Scope of Project-Setbacks

Does any part of the project fall within the front yard?

Yes

Does any part of the project fall within the side/rear yard setback(s)s?

No

Scope of Project-Accessory Structures

Does the project include a detached structure or building?

No

Will there be more than the approved number of

accessory structures/buildings?

No

Project Description

Brief Description of Project

Removal of existing home and construction of new home.

Estimated Cost of Project

2,750

Estimated Completion Date

12/1/2017

Please attach any drawings, renderings, photographs or other supporting documentation.

Morrison (4.11.16).pdf

Letter From BFCC.pdf

L-100_Site Development Plan.pdf

L-600 Schematic Landscape Plan_Color.pdf

Conditional Use Permit Application

I hereby petition the Board of Adjustment to issue a Conditional Use Permit for:

Name

William and Sherri Morrison

Property Address

388 Vanderbilt Road

Phone

(949) 413-6007

Email

WilliamPMorrison1@Gmail.com

Type of Conditional Use

802.07 Accessory Buildings

Email-Submission Verification

Robert.G@GriffinArchitectsPA.com

Description of Project

Entrance Columns and retaining walls

Explain why the project would not adversely affect the public interest of those living in the neighborhood:

Entrance columns in advance of the Principal Building are needed to create a sense of entry and justify the driveway finish change. Retaining walls are necessary to provide access to the main level of the home for people and cars and to screen the existing Historic log cabin to remain.

None of these are visible from the street or neighbors property and are set back from Vanderbilt Road 190 feet.

I certify that the information presented by the undersigned in this application is accurate to the best of my knowledge, information and belief.

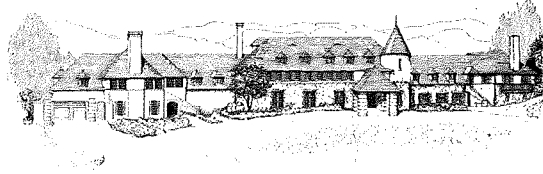
Signature

William
Morrison
by Robert G. Griffin
GAP

Date

4/11/2016

Biltmore Forest Country Club



February 15, 2016

Mr. Jonathan Kanipe
Town Administrator
Town of Biltmore Forest

Dear Jonathan,

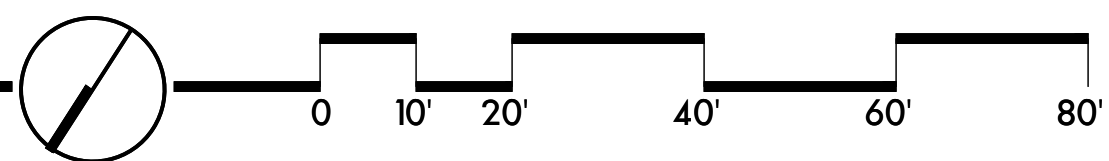
It is our understanding that the new homeowners at 388 Vanderbilt Rd. will be requesting to make some modifications to their home to the Board of Adjusters. We have reviewed the preliminary patio configuration and are comfortable with its proposed location. The club consents to any construction on the property that does not violate any Town ordinances nor encroaches on any setbacks.

If any additional information is needed by the club, please do not hesitate to contact me at 350-3270.

Respectfully for Biltmore Forest CC,

Calvin L. Bolling, CCM
COO/GM

CC: Mr. Greg Goosmann



<div>CONSULTANT</div>			<div><div>sitework</div><div>STUDIOS</div></div> <div>LANDSCAPE ARCHITECTURE 352 Depot Street Suite 120 Asheville, NC 28801 828.225.4945</div>																				
<div>MORRISON RESIDENCE</div>			<div>LOT 12</div> <div>VANDERBILT ROAD</div> <div>BILTMORE FOREST, N.C.</div>																				
<div><div>REVISIONS</div><table><thead><tr><th>NO.</th><th>REMARKS</th><th>DATE</th></tr></thead><tbody><tr><td> </td><td> </td><td> </td></tr><tr><td> </td><td> </td><td> </td></tr><tr><td> </td><td> </td><td> </td></tr><tr><td> </td><td> </td><td> </td></tr><tr><td> </td><td> </td><td> </td></tr></tbody></table></div>						NO.	REMARKS	DATE															
NO.	REMARKS	DATE																					
<div><div><div>NOT FOR CONSTRUCTION</div><div>NO. C-188</div><div>DATE: 4.11.2016</div><div>SHEET TITLE:</div></div><div><div>SCH</div><div>EMATIC</div><div>LANDSCAPE PLAN</div></div><div><div>SHEET NO.</div><div>L-600</div></div></div>																							

	Detail Number Detail - Section Sheet Number
	Detail Number Detail - Plan Sheet Number
	Section Number Section Sheet Number
	Elevation Number Exterior Building Elevation Sheet Number
	Elevation Number Interior Elevation Sheet Number
	Window Designation
	Door Designation
	Centerline
	Align Finished Surfaces
	26'-0" Elevation Above Grade - Building Section or Building Elevation
	26'-0" Elevation Above Finished Floor - Plans
	1 Wall Type
	Revision Cloud and Marker
	Concrete
	Brick
	Concrete Masonry Unit
	Cut Stone
	Metal [See material design schedule for type]
	Glass
	GWB [Large Scale]
	Plywood
	Insulation - Loose or Batt
	Insulation - Rigid
	Wood Blocking - Non Continuous
	Wood Blocking - Continuous
	Wood - Finished
	Carpet

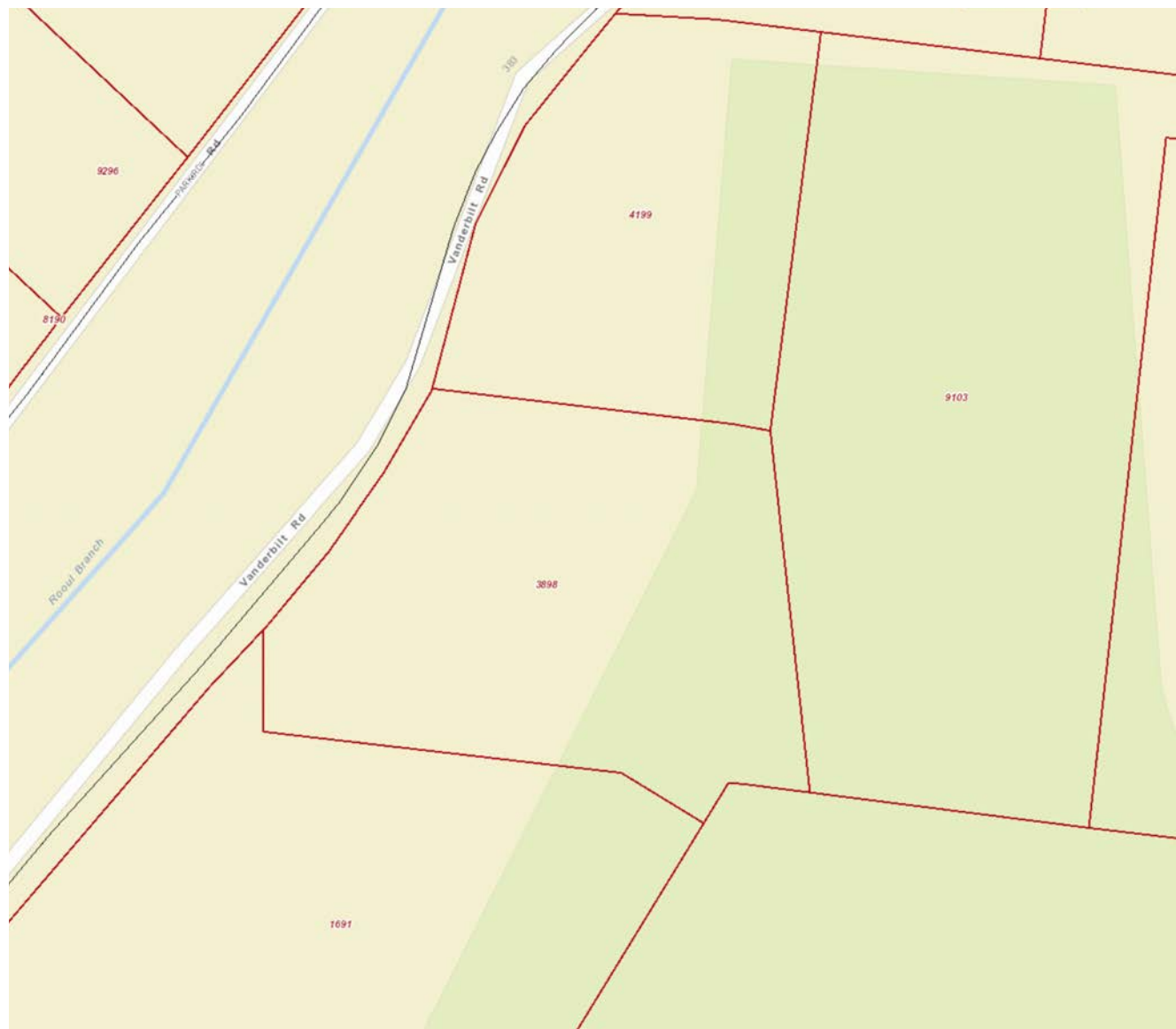
[illegible]

A 3D architectural rendering of a large, symmetrical, two-story house with a central entrance, multiple dormers, and a wide gravel driveway leading to the front door. The house features light-colored siding, dark shutters, and a dark roof. The driveway is flanked by green lawns and small trees. In the foreground, there are two large, light-colored stone pillars.

ARCHITECT:
GRIFFIN ARCHITECTS P.A.
1 VILLAGE LANE, SUITE 1,
ASHEVILLE, NC 28803
828.274.5979

STRUCTURAL ENGINEER:
MEDLOCK & ASSOCIATES
ENGINEERING, P.A.
53 ASHELAND AVE., SUITE 101
ASHEVILLE, NC 28801
828.232.4448

ID	Name
1	Cover
A-2.1	Site Plan
A-2.2	Foundation Plan
A-2.3	Main Level Floor Plan
A-2.4	Garage & Porte Cochere Floor Plan
A-2.5	Upper Level Floor Plan
A-2.6	Lower Level Floor Plan
A-2.7	Office Floor Plan
A-2.8	Roof Plan
A-3.1	North-West Elevation
A-3.2	South-East Elevation
A-3.3	North-East Elevation
A-3.4	South-West Elevation
A-3.5	Motor Court Elevations
A-3.6	Courtyard Elevations



NOT FOR CONSTRUCTION



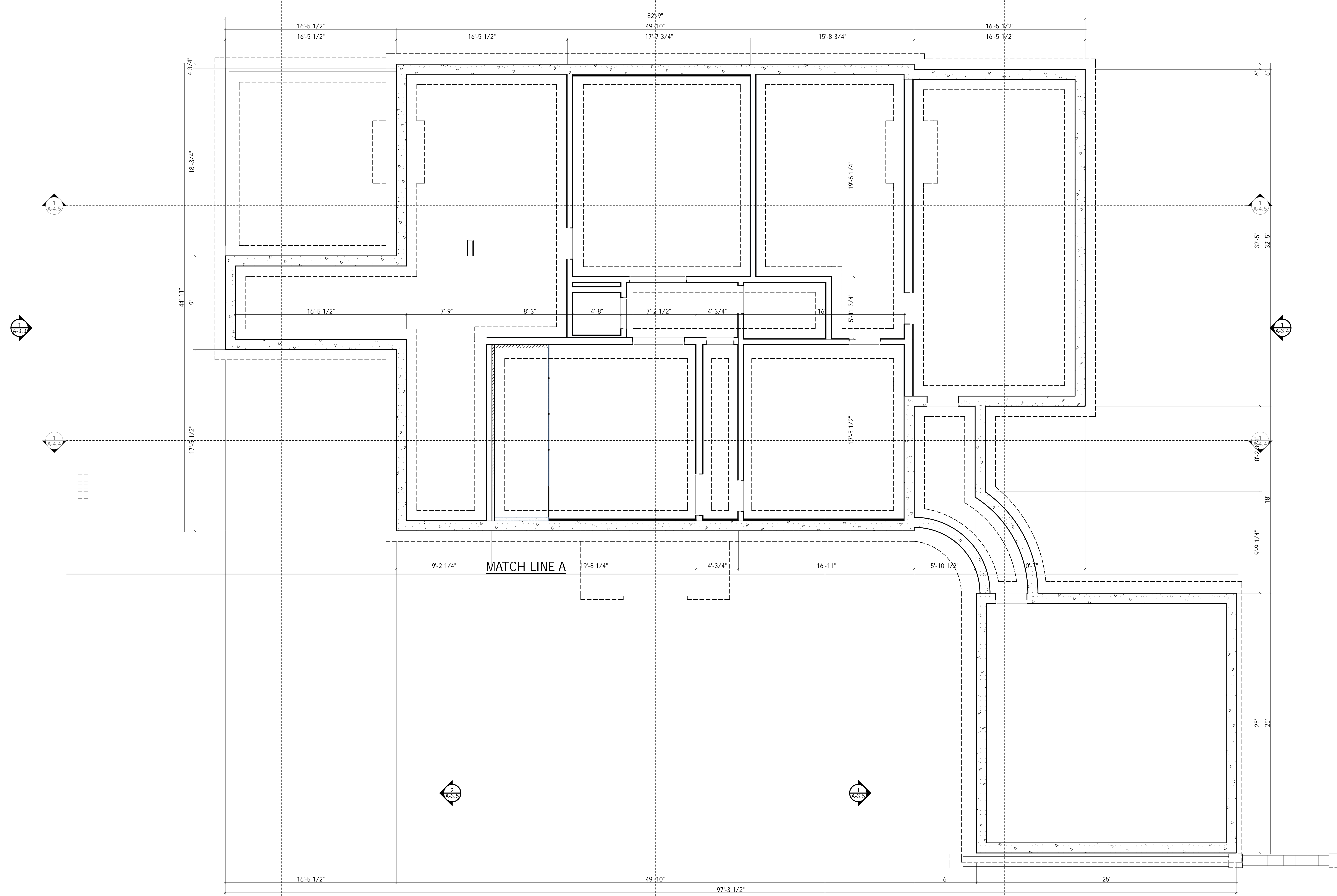
MORRISON RESIDENCE

85% DESIGN DEVELOPMENT

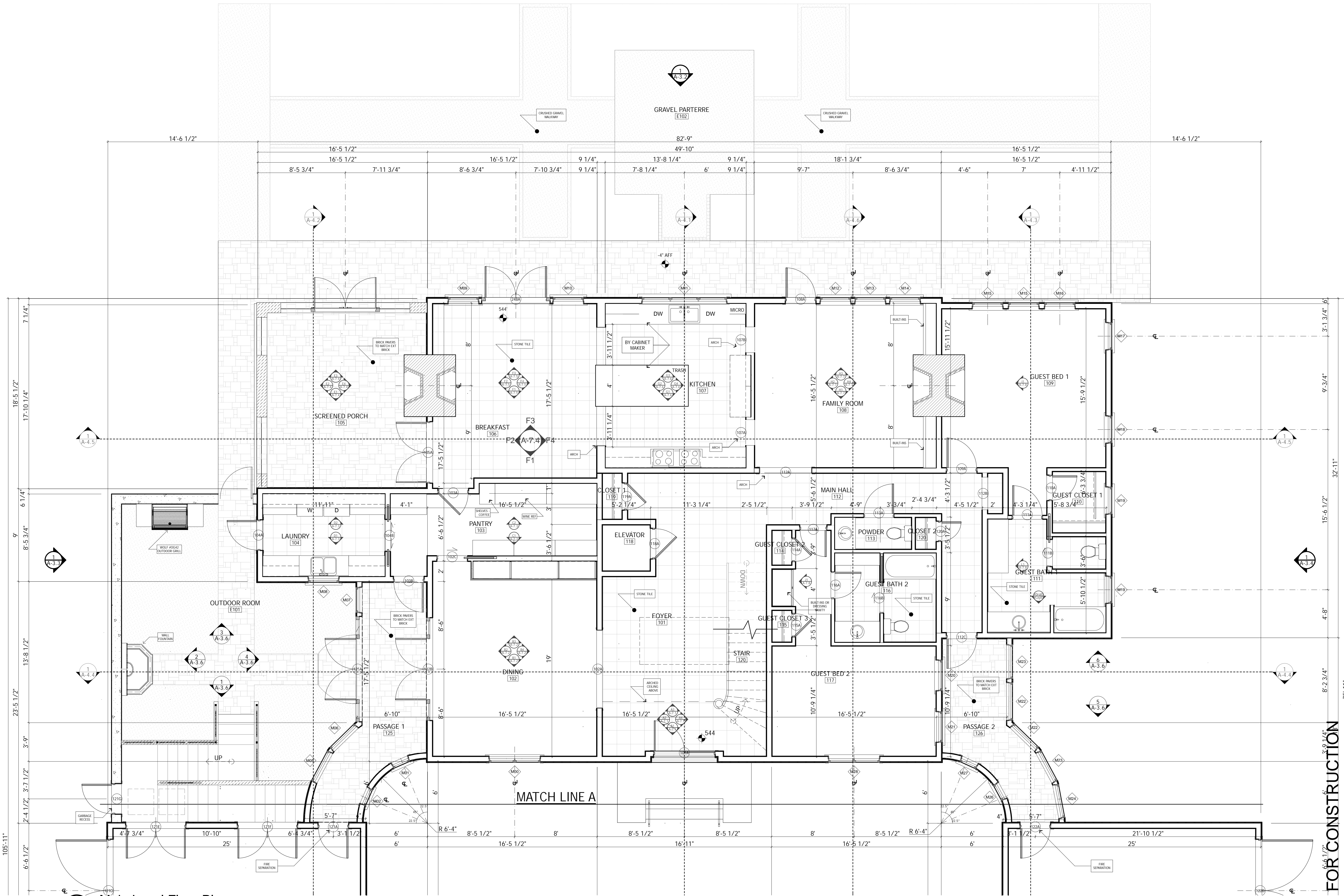
[illegible]

SHEET NO:
1

DATE:
4/11/16



NOT FOR CONSTRUCTION



1 Main Level Floor Plan
A-2.3

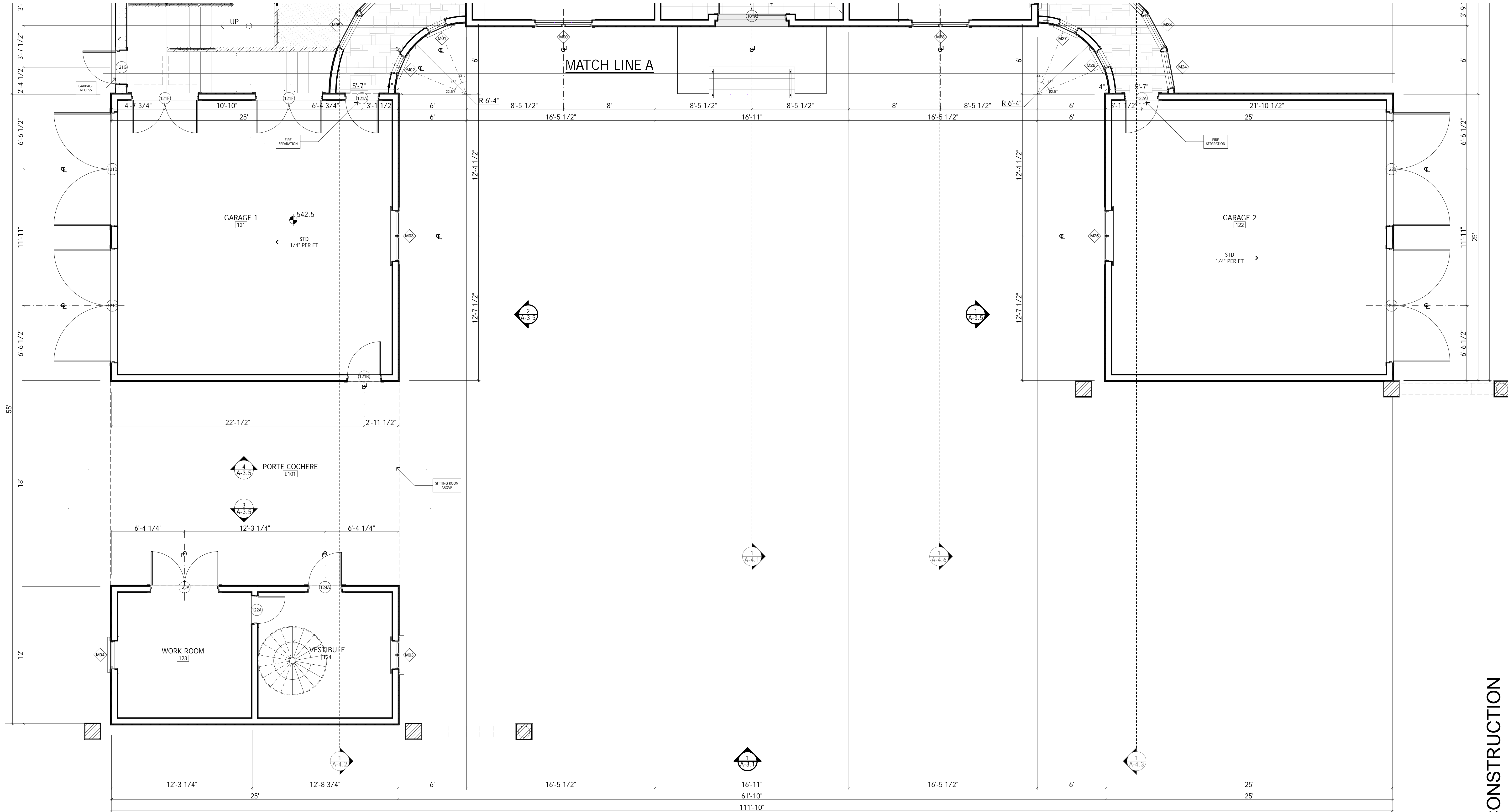
SCALE: 1/4" = 1'-0"

NOT FOR CONSTRUCTION

PROJECT ARCHITECT:	
RSG	
DRAWN BY:	
BRB	
ISSUED FOR:	
####	
REVISIONS:	
NO.	DATE:
NO.	DATE:
NO.	DATE:
NO.	DATE:
NO.	DATE:
NO.	DATE:

SHEET NO.	
A-2.3	
DATE:	
4/11/16	

NOT FOR CONSTRUCTION



1 Main Level Garage Floor Plan
A-2.4 SCALE: 1/4" = 1'-0"



MORRISON RESIDENCE

85% DESIGN DEVELOPMENT

PROJECT ARCHITECT:
RSG

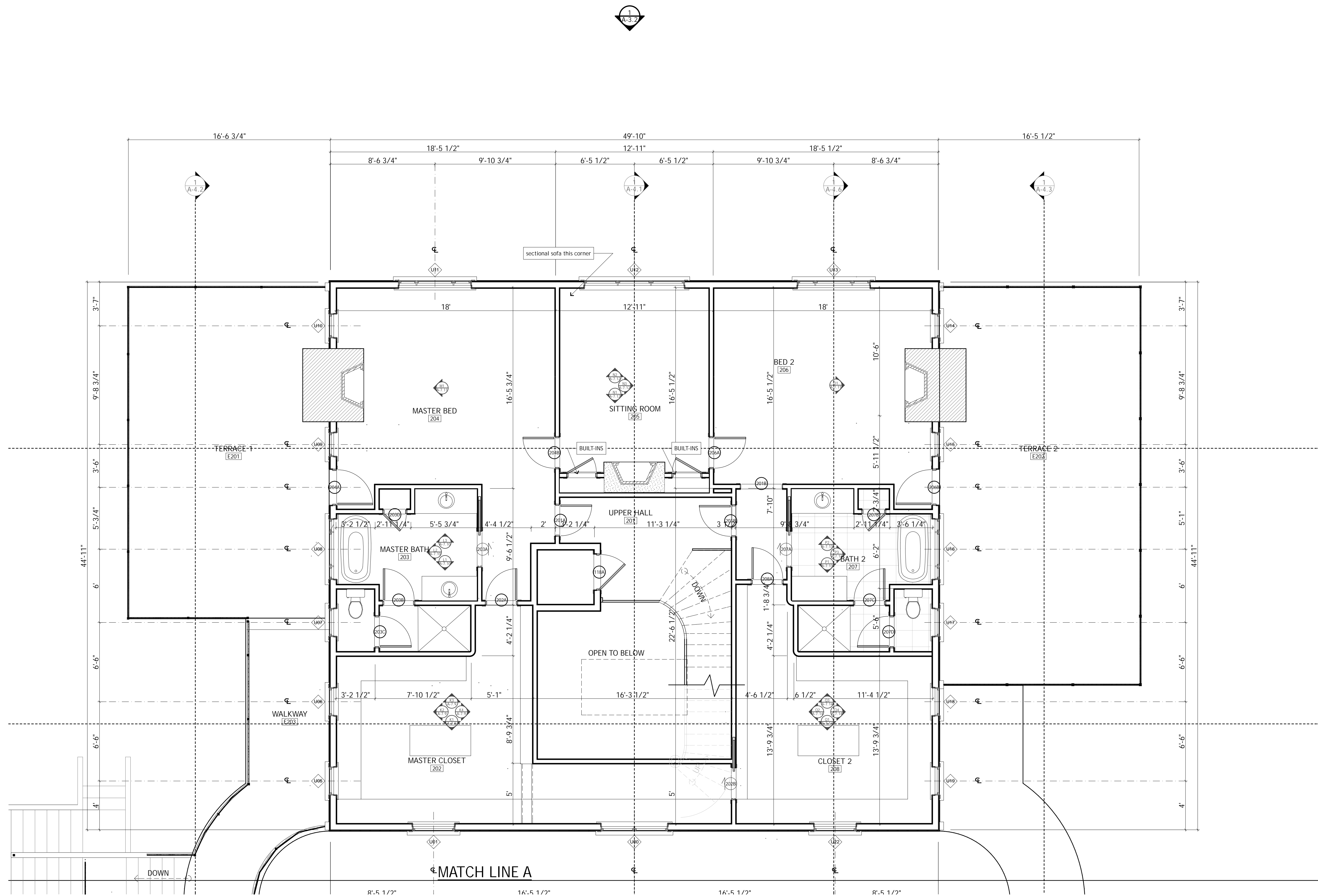
DRAWN BY:
BRB

ISSUED FOR:
####

[illegible]

SHEET NO:
A-2.5
DATE:
4/11/16

NOT FOR CONSTRUCTION

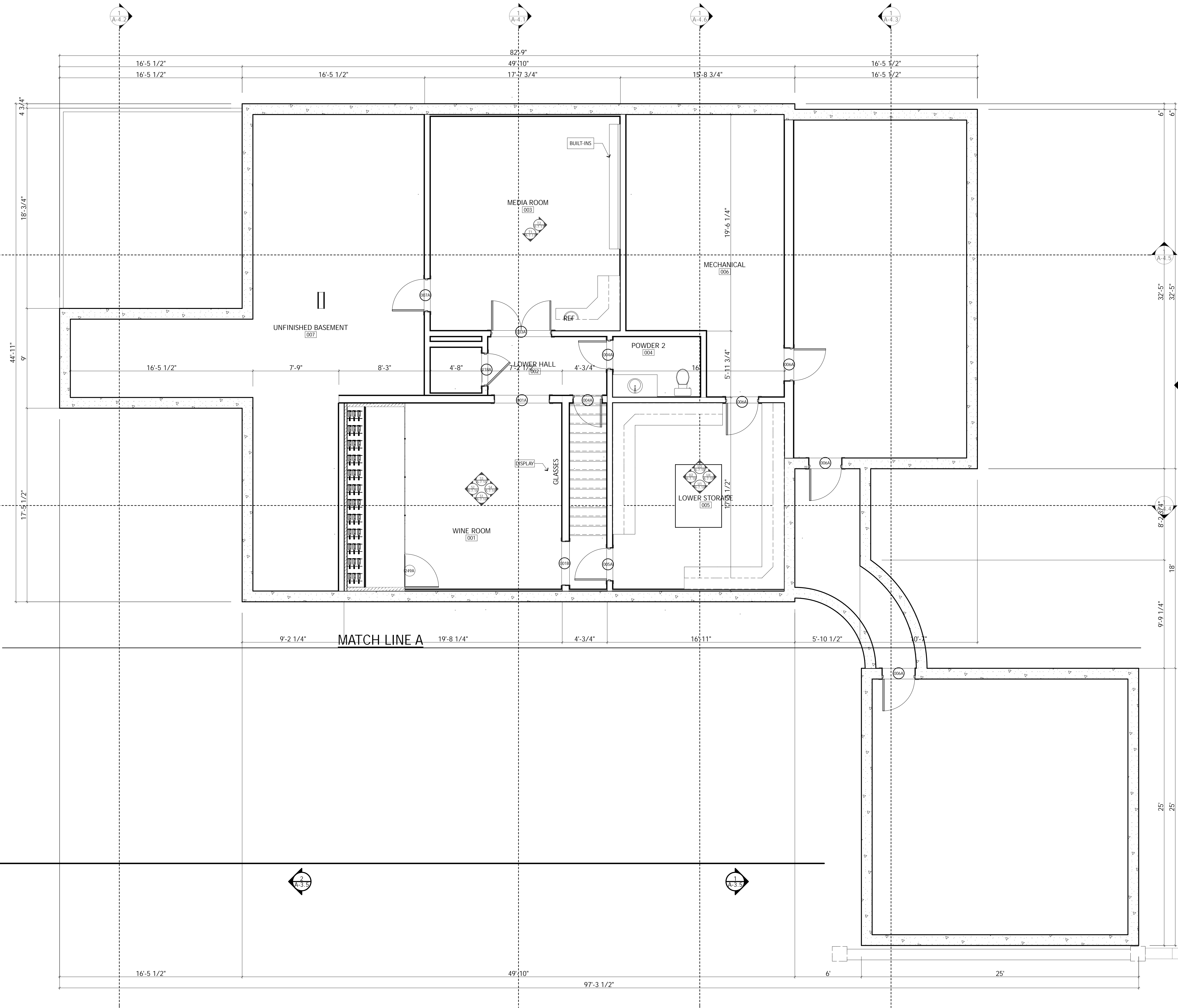


1 Upper Level Floor Plan
A-2.5 SCALE: 1/4" = 1'-0"

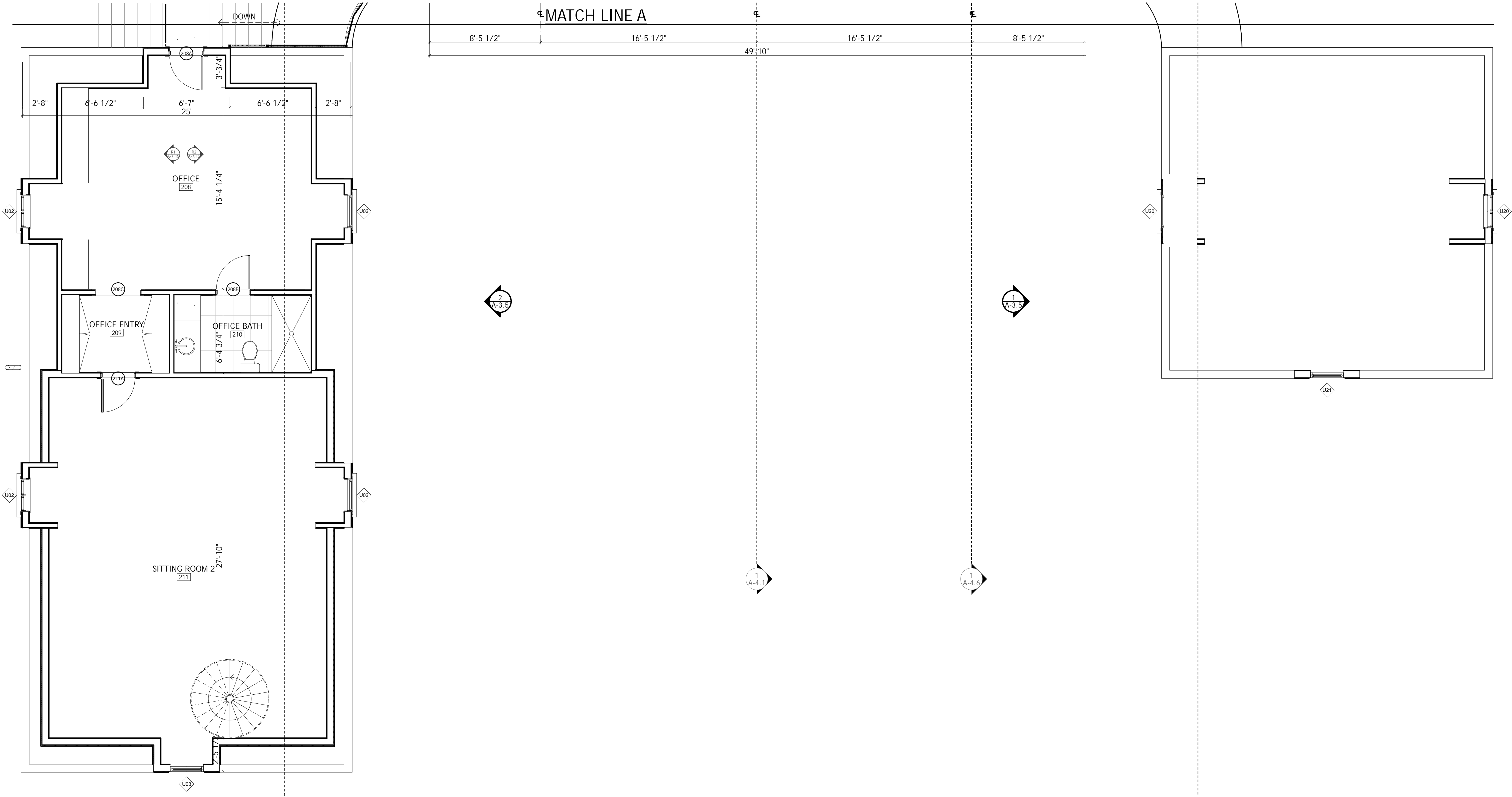
SCALE: 1/4" = 1'-0"

1 Lower Level Floor Plan
A-2.6

SCALE: 1/4" = 1'-0"



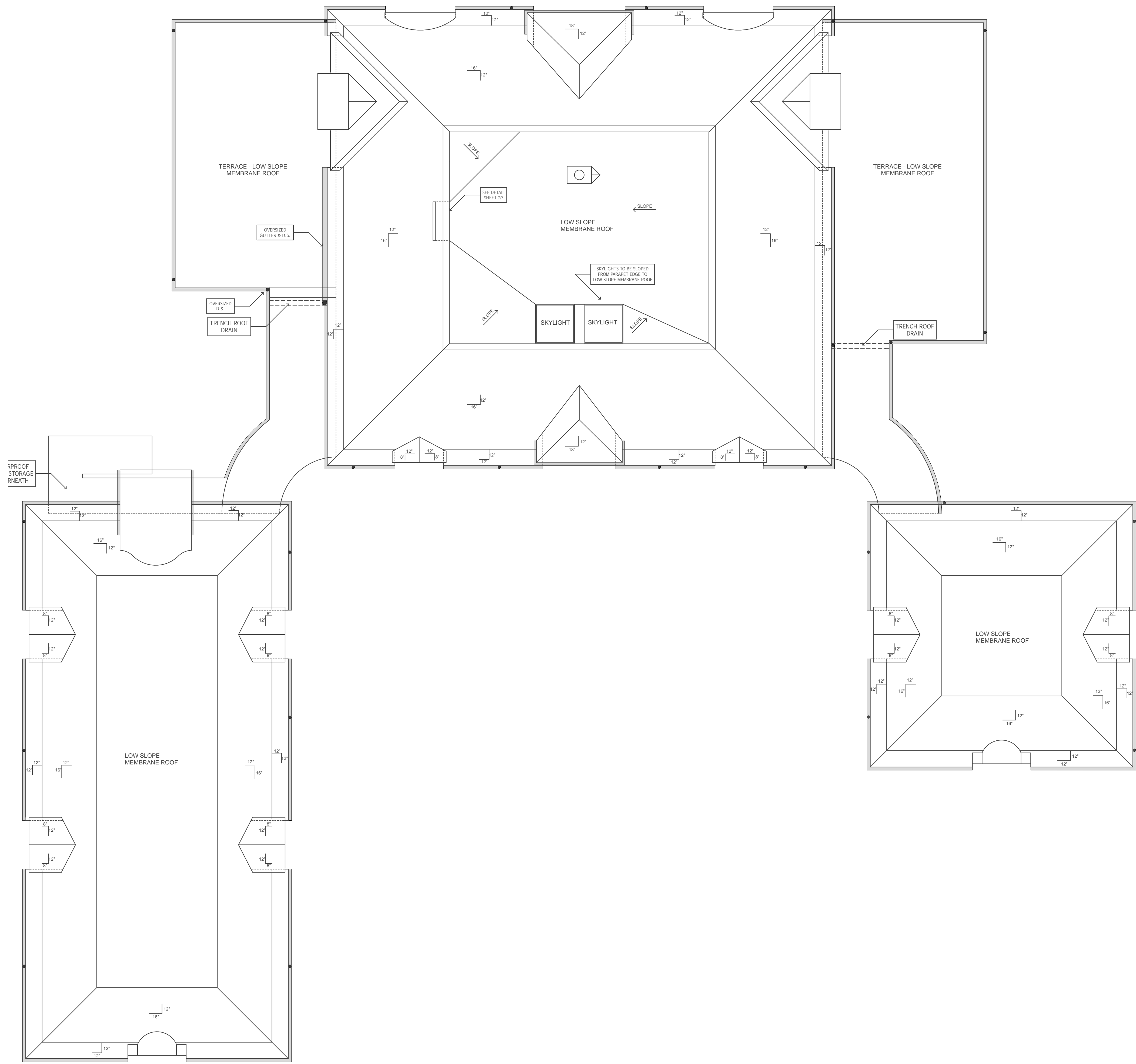
NOT FOR CONSTRUCTION



1 Upper Level Office Floor Plan
A-2.7

SCALE: 1/4" = 1'-0"

NOT FOR CONSTRUCTION



NOT FOR CONSTRUCTION

PROJECT ARCHITECT:	
RSG	
DRAWN BY:	
BRB	
ISSUED FOR:	
####	
REVISIONS:	
NO.	DATE:
NO.	DATE:
NO.	DATE:
NO.	DATE:
NO.	DATE:
NO.	DATE:

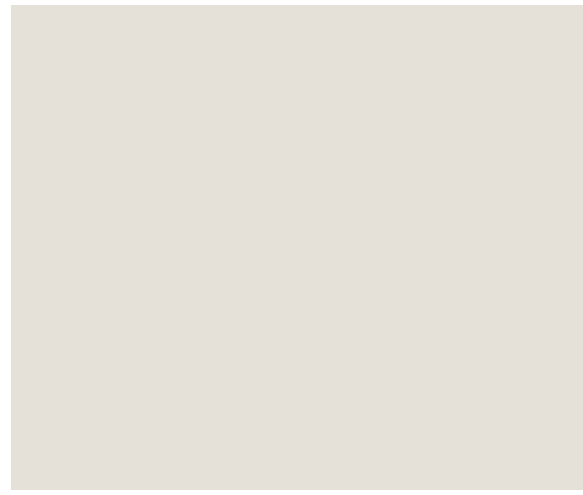
SHEET NO:	
A-2.8	
DATE:	
4/11/16	

85% DESIGN DEVELOPMENT

MORRISON RESIDENCE



ALUMINUM RAILING PAINT
COLOR - HC167



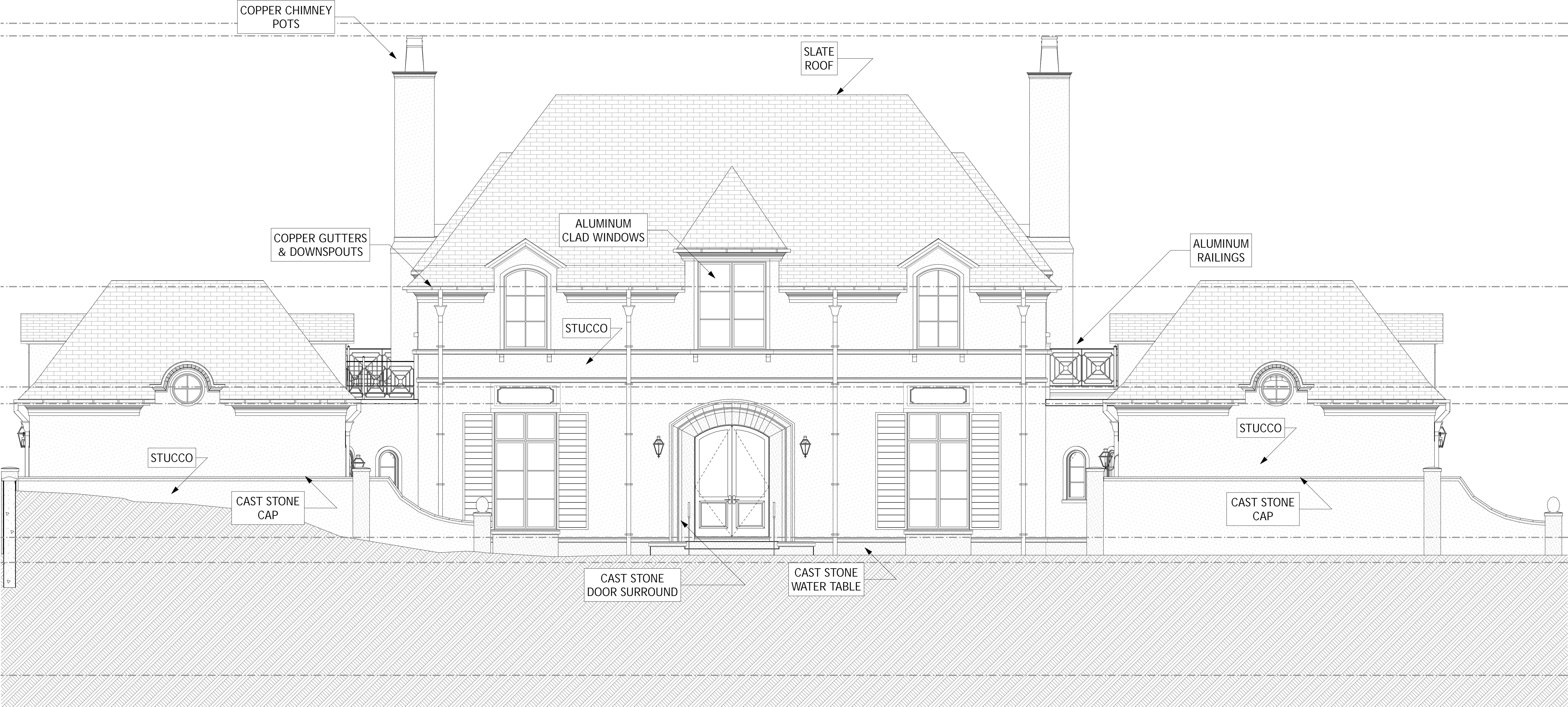
STUCCO PAINT
COLOR - OC23



CAST STONE & TRIM PAINT
COLOR - OC28



SHUTTER PAINT
COLOR - SW6169



1 North-West Elevation
A-3.1 SCALE: 1/4" = 1'-0"

BEVOLO EXTERIOR LIGHTING



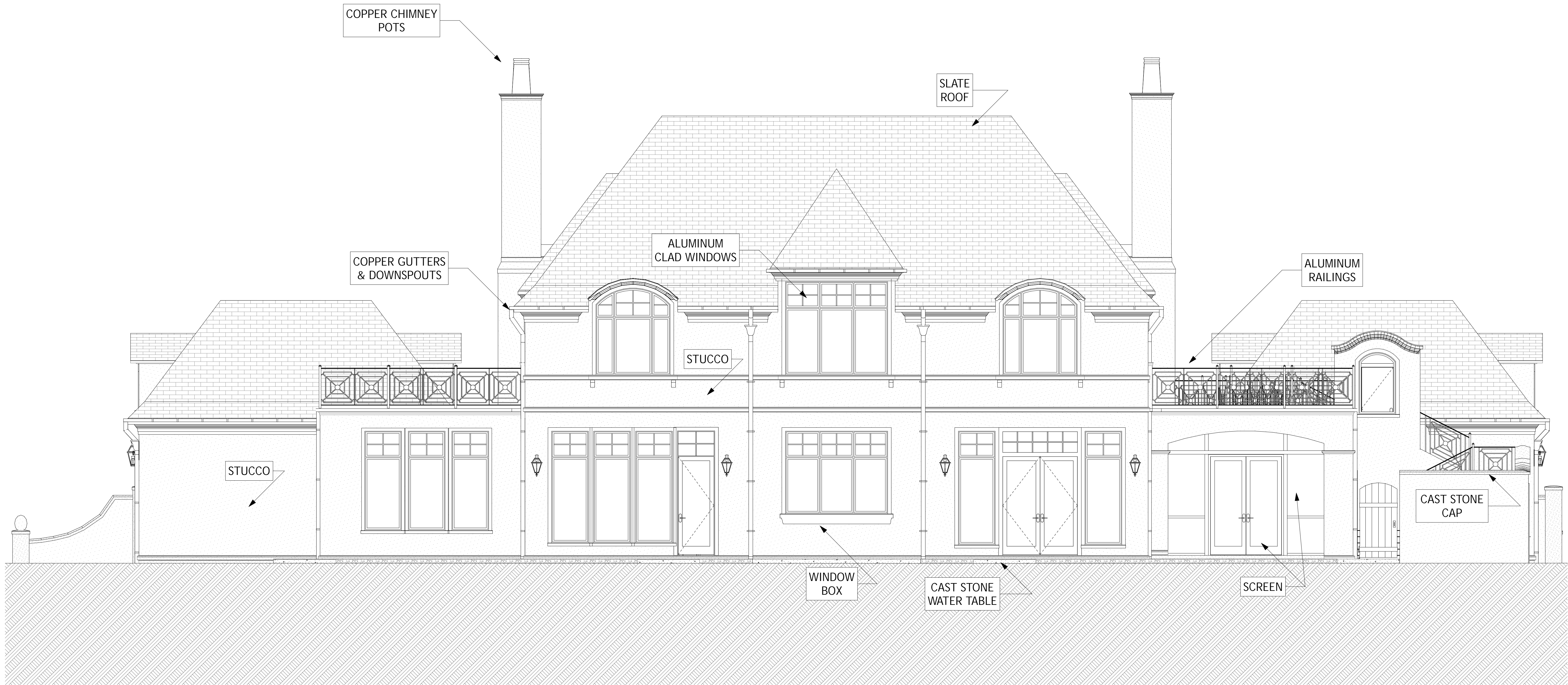
VERMONT SEMI-WEATHERING GRAY SLATE



LOEWEN WINDOWS - ALPINE WHITE

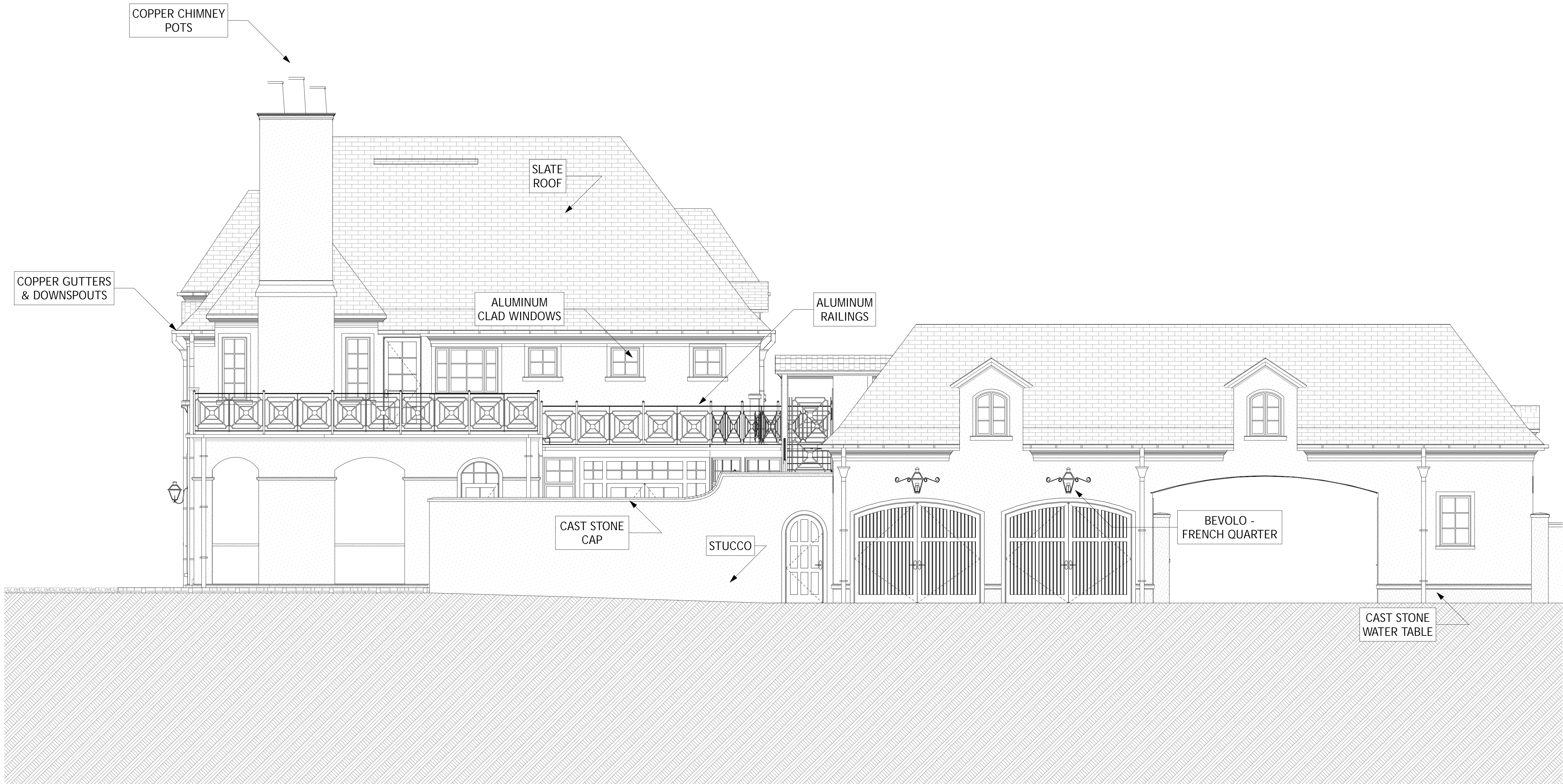


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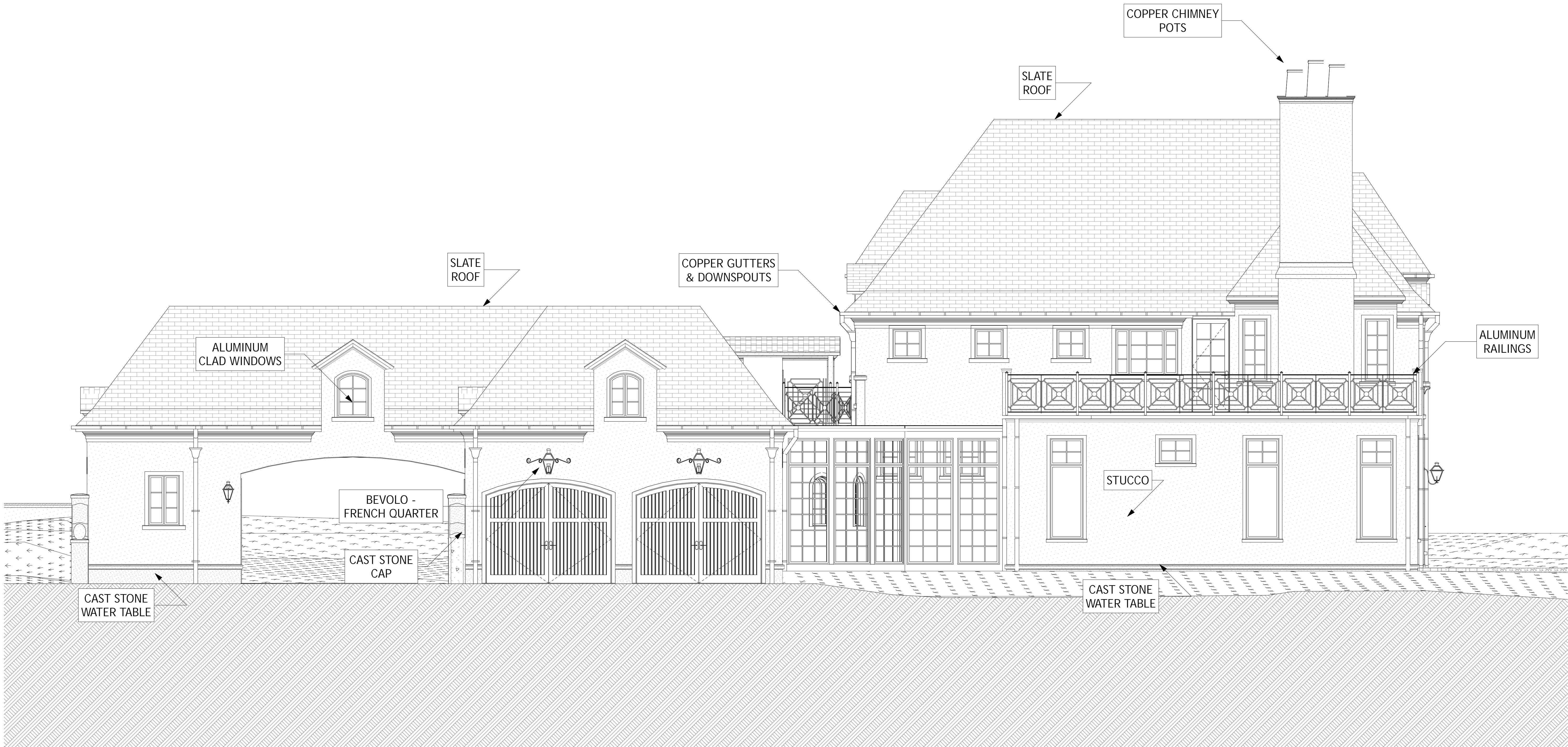


1 South-East Elevations
A-3.2 SCALE: 1/4" = 1'-0"

NOT FOR CONSTRUCTION

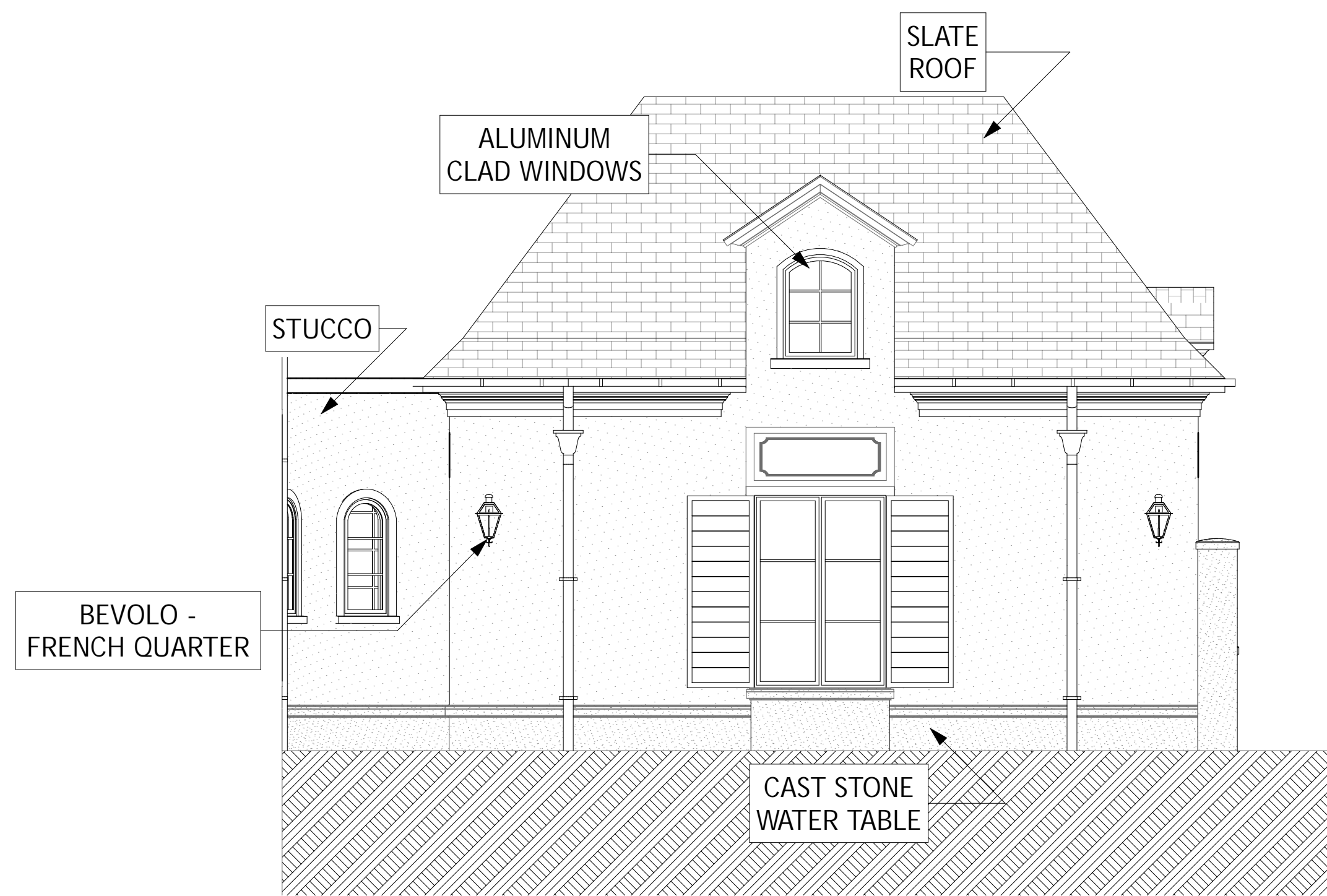


1 North-East Elevation
A-3.3 SCALE: 1/4" = 1'-0"

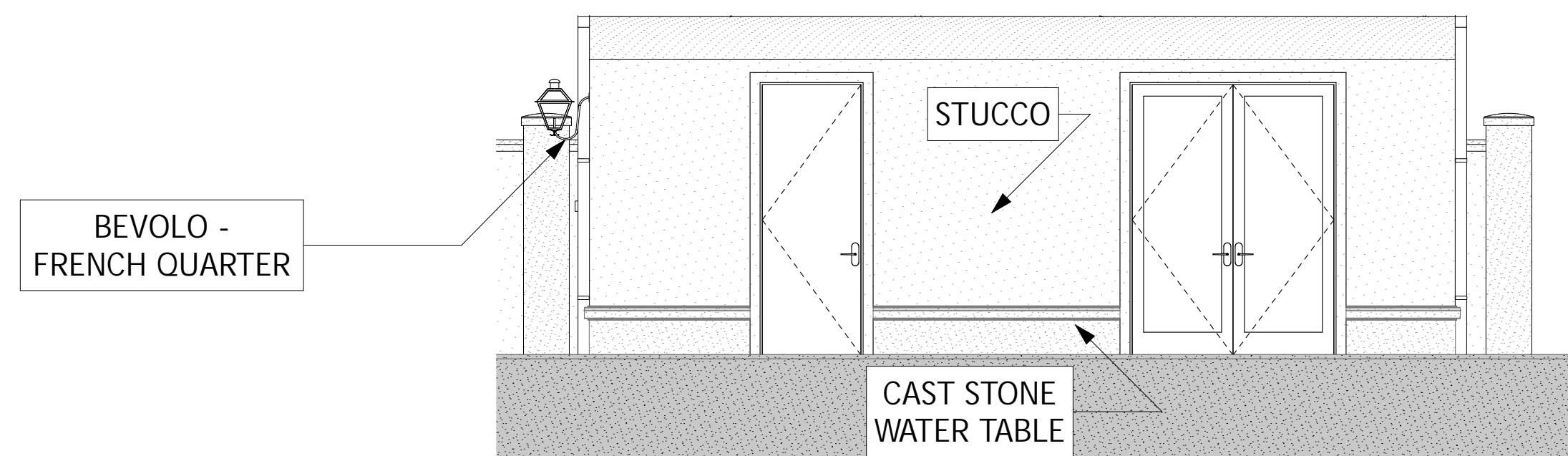


1 South-West Elevation
A-3.4 SCALE: 1/4" = 1'-0"

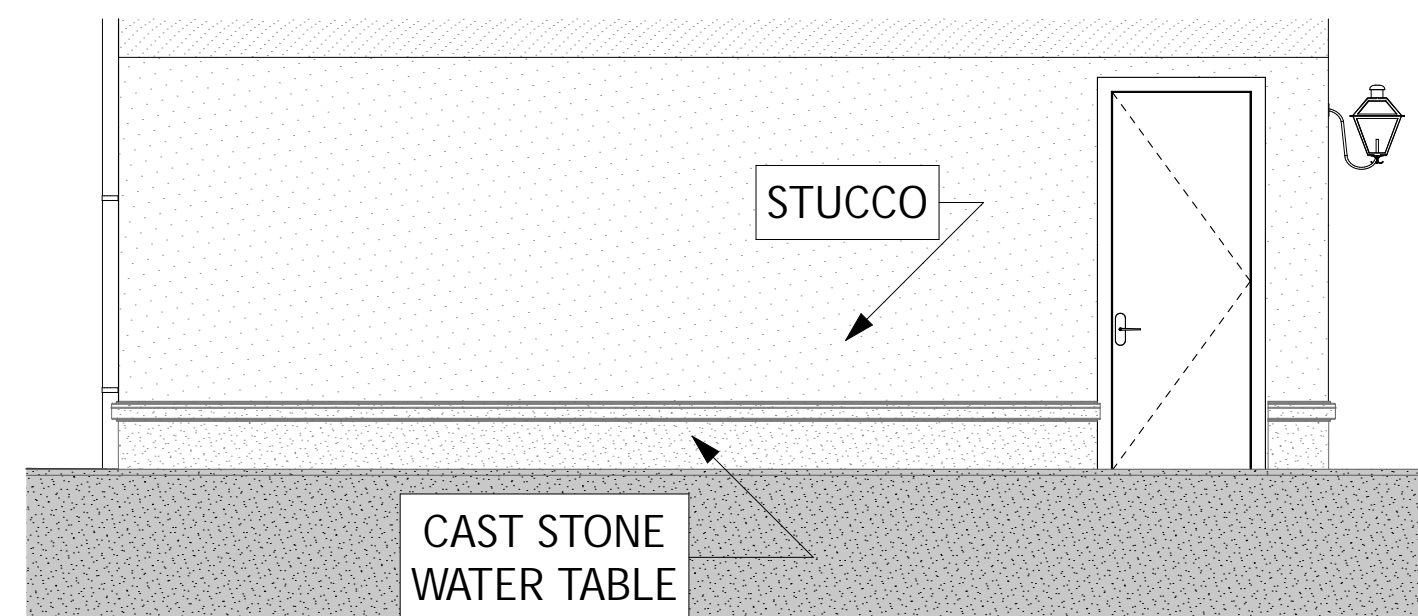
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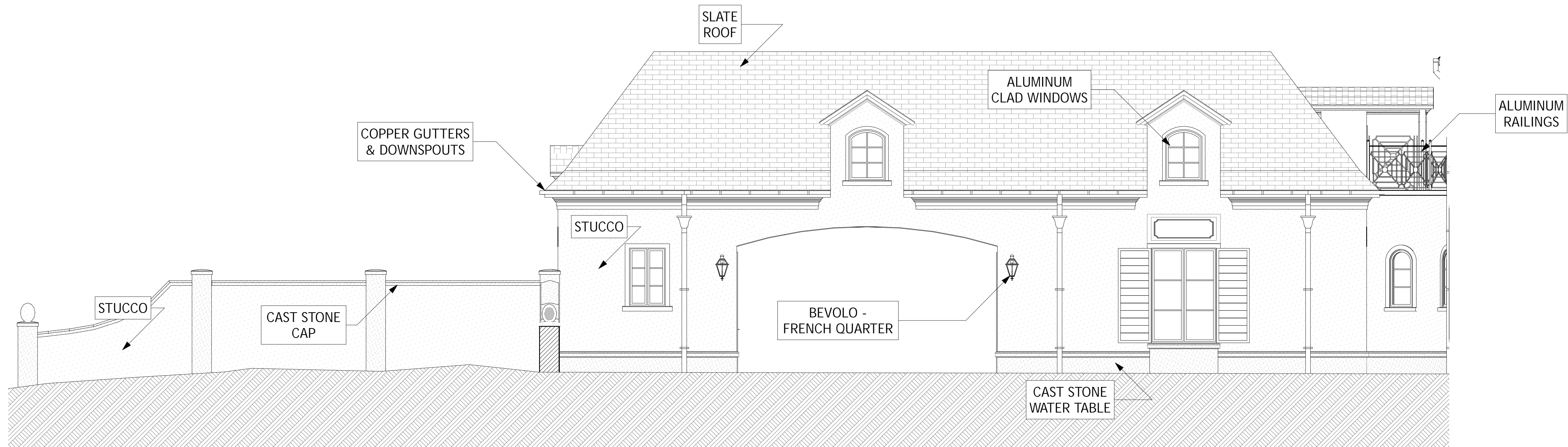
1 North-East Motor Court Elevation
A-3.5 SCALE: 1/4" = 1'-0"



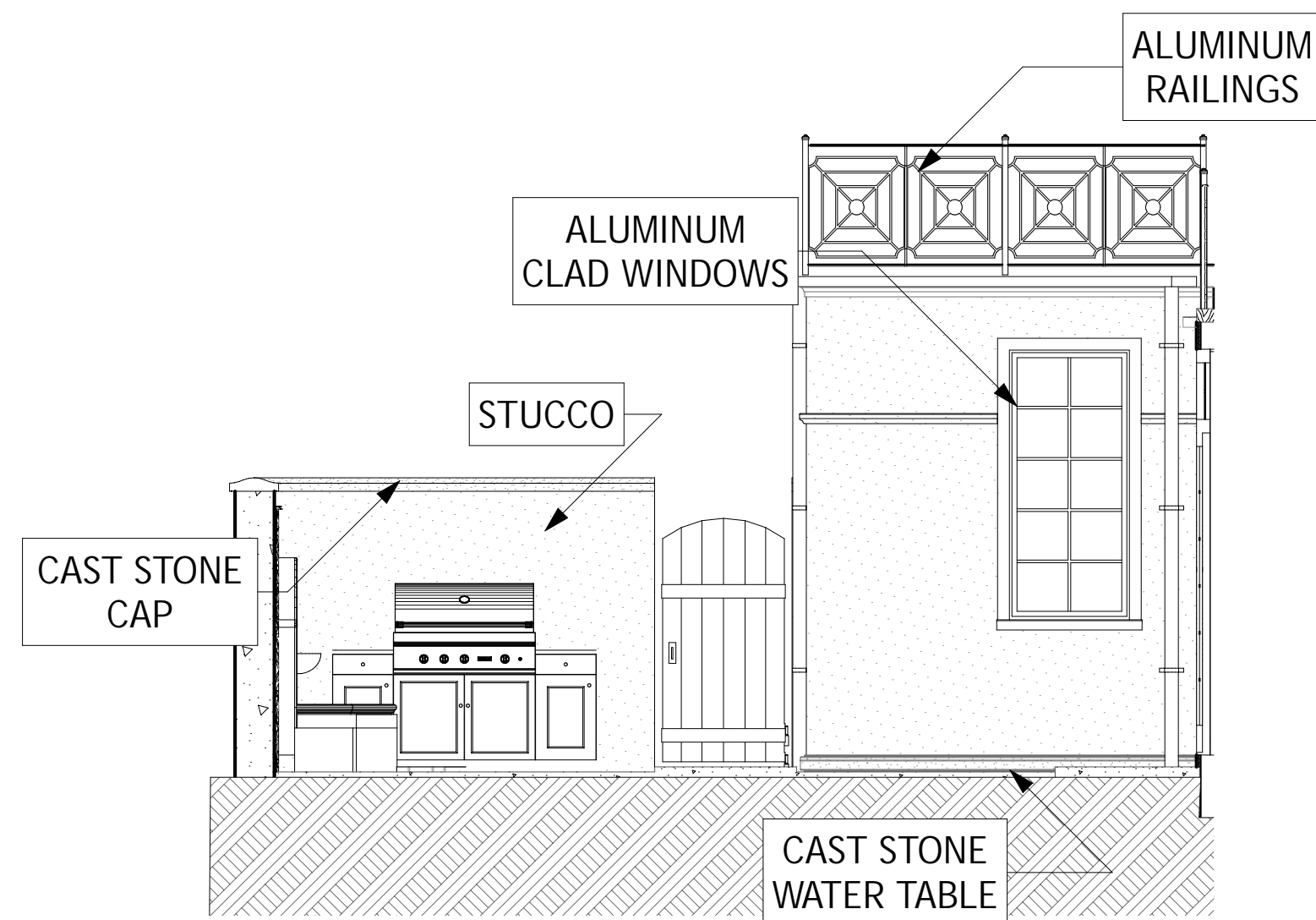
3 Porte Cochere North-West Elevation
A-3.5 SCALE: 1/4" = 1'-0"



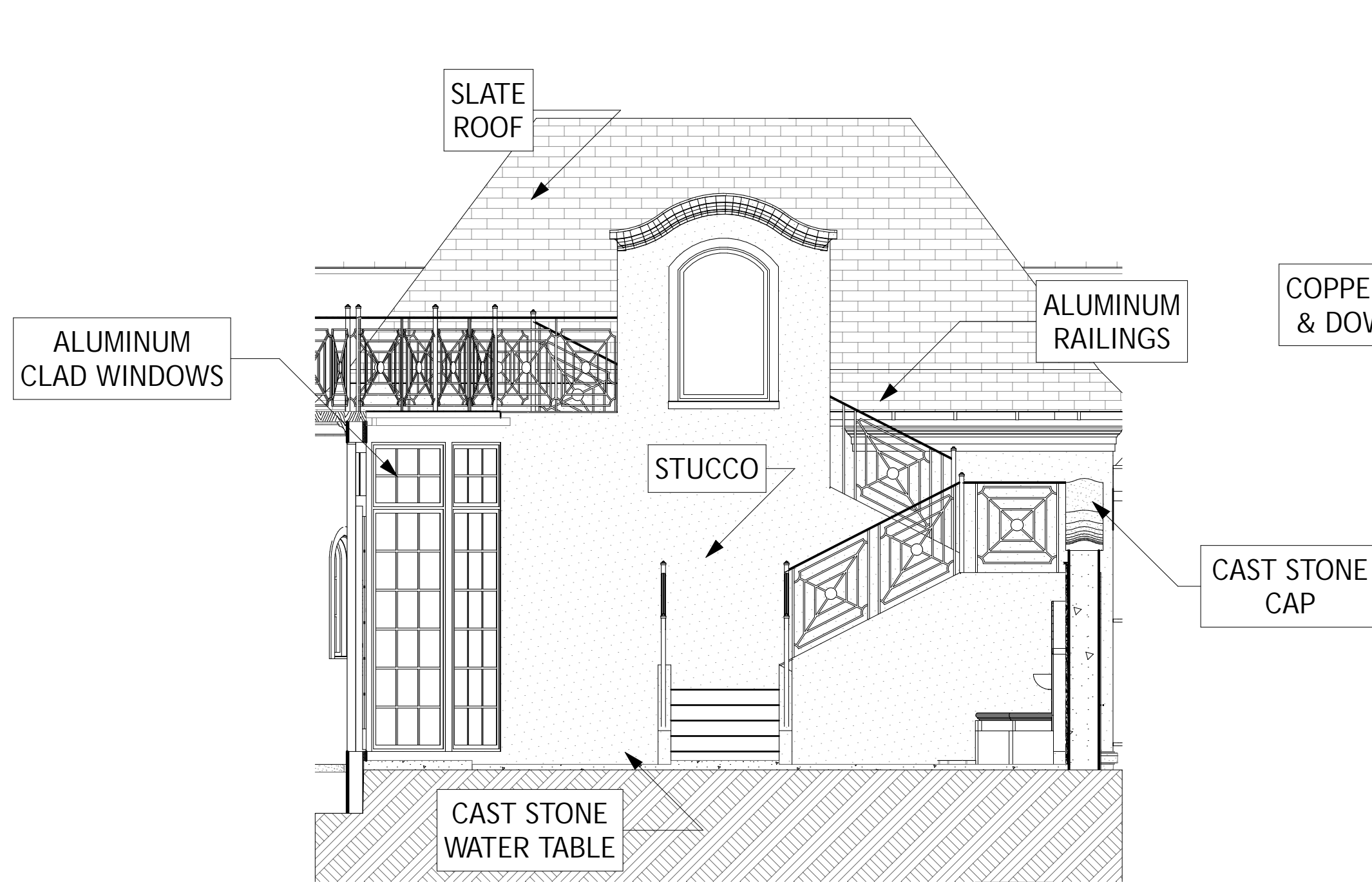
4 Porte Cochere South-East Elevation
A-3.5 SCALE: 1/4" = 1'-0"



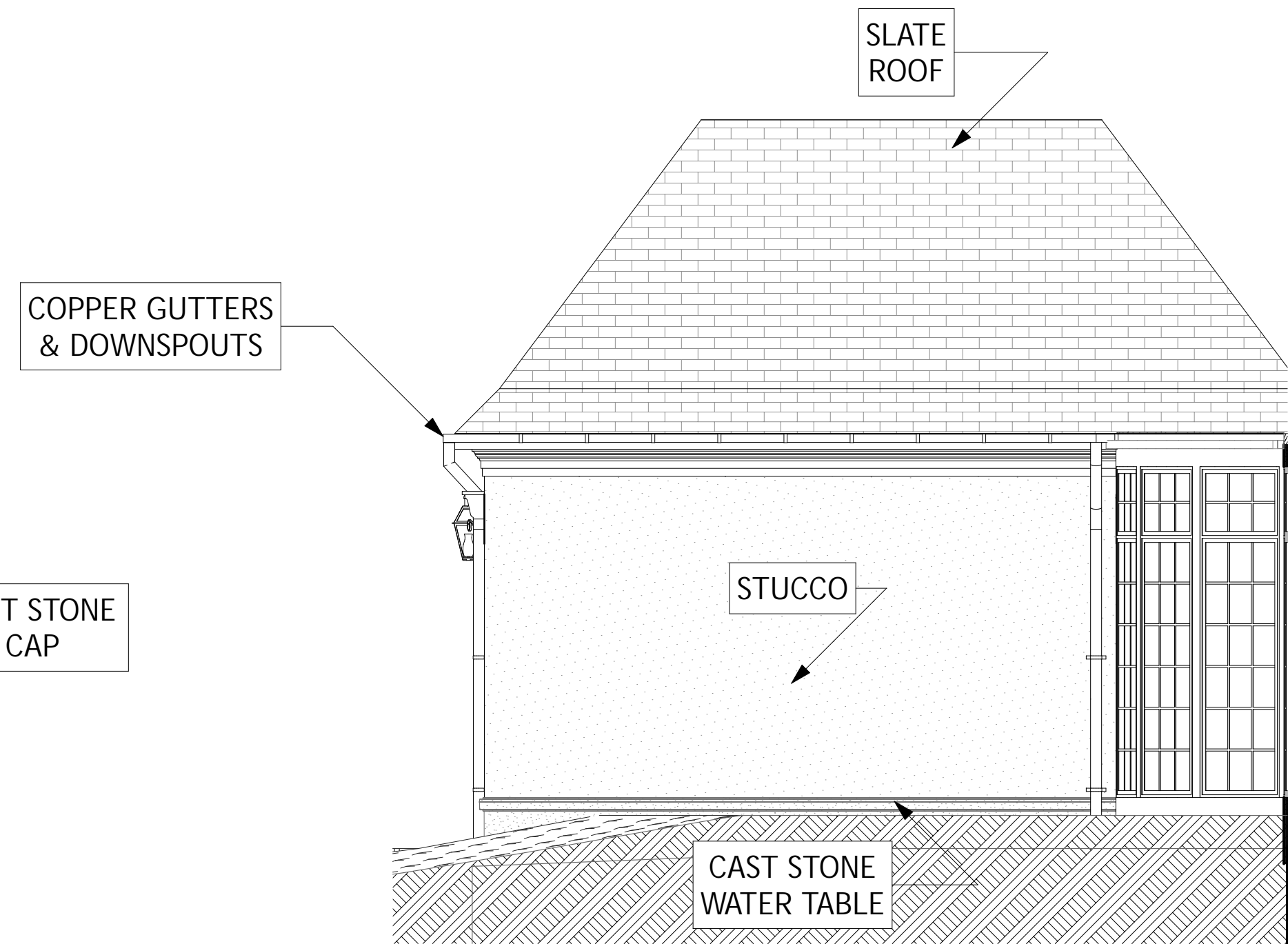
2 South-West Motor Court Elevation
A-3.5 SCALE: 1/4" = 1'-0"



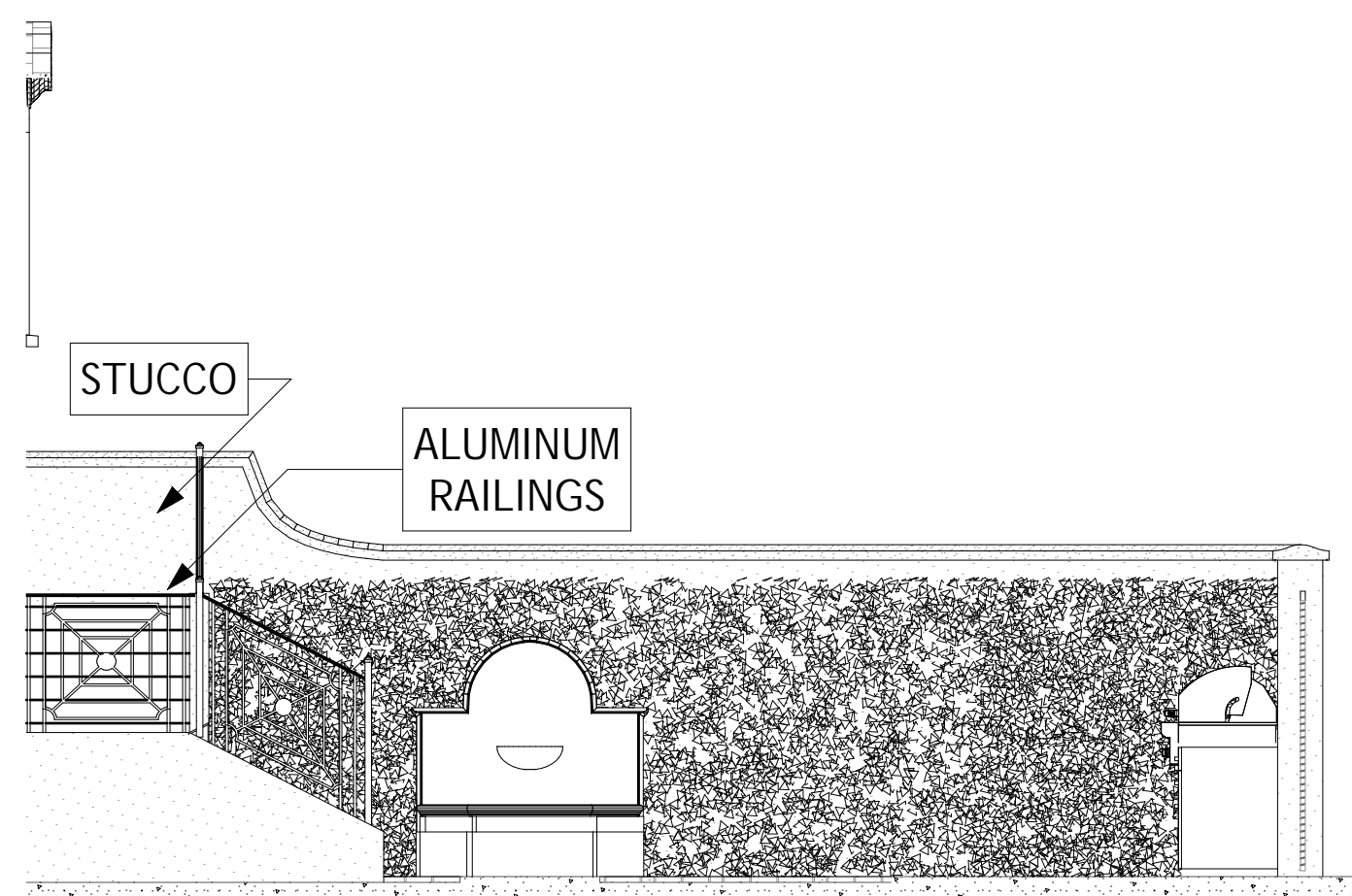
3
A-3.6 Courtyard North-West Elevation
SCALE: 1/4" = 1'-0"



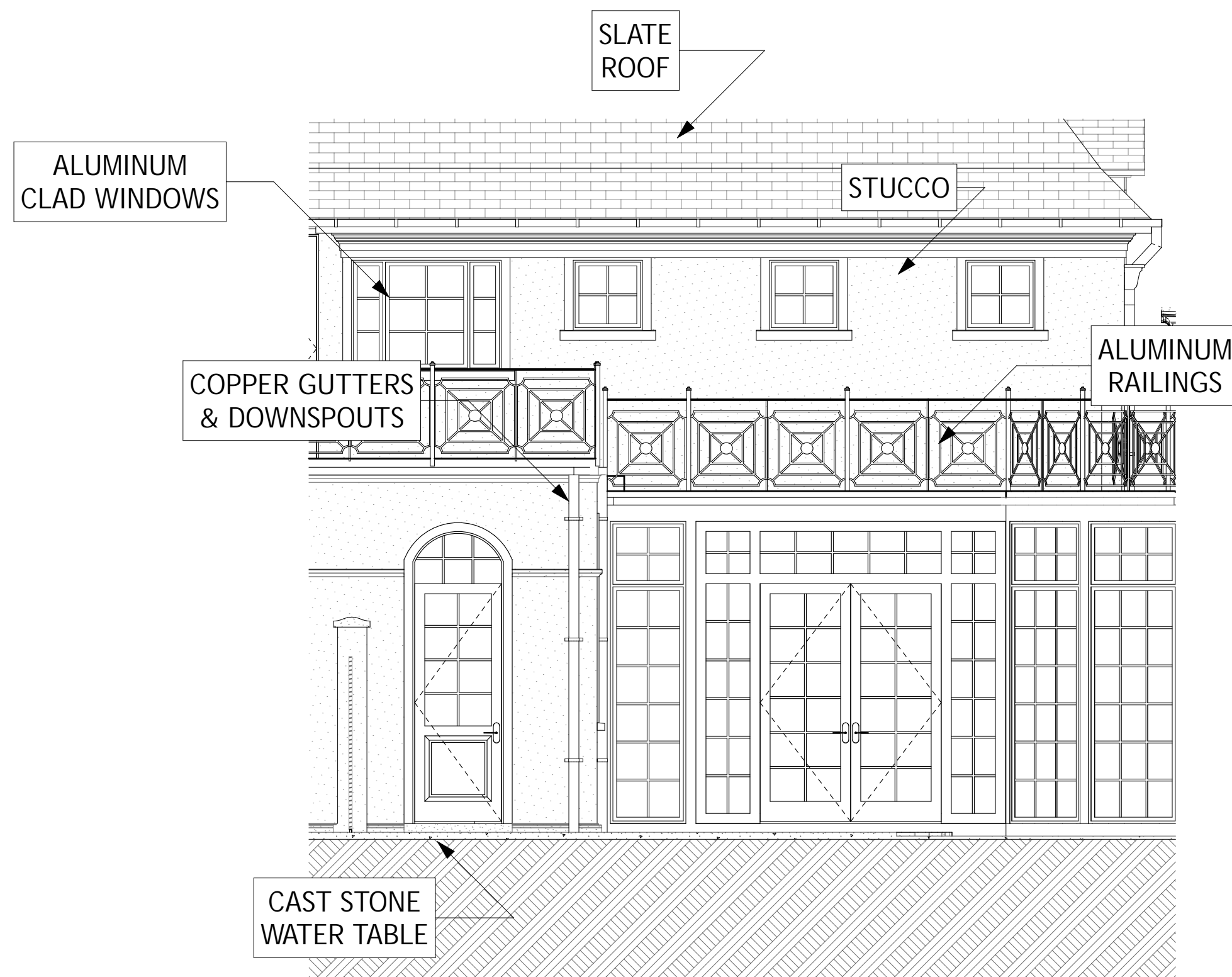
1
A-3.6 Courtyard South-East Elevation
SCALE: 1/4" = 1'-0"



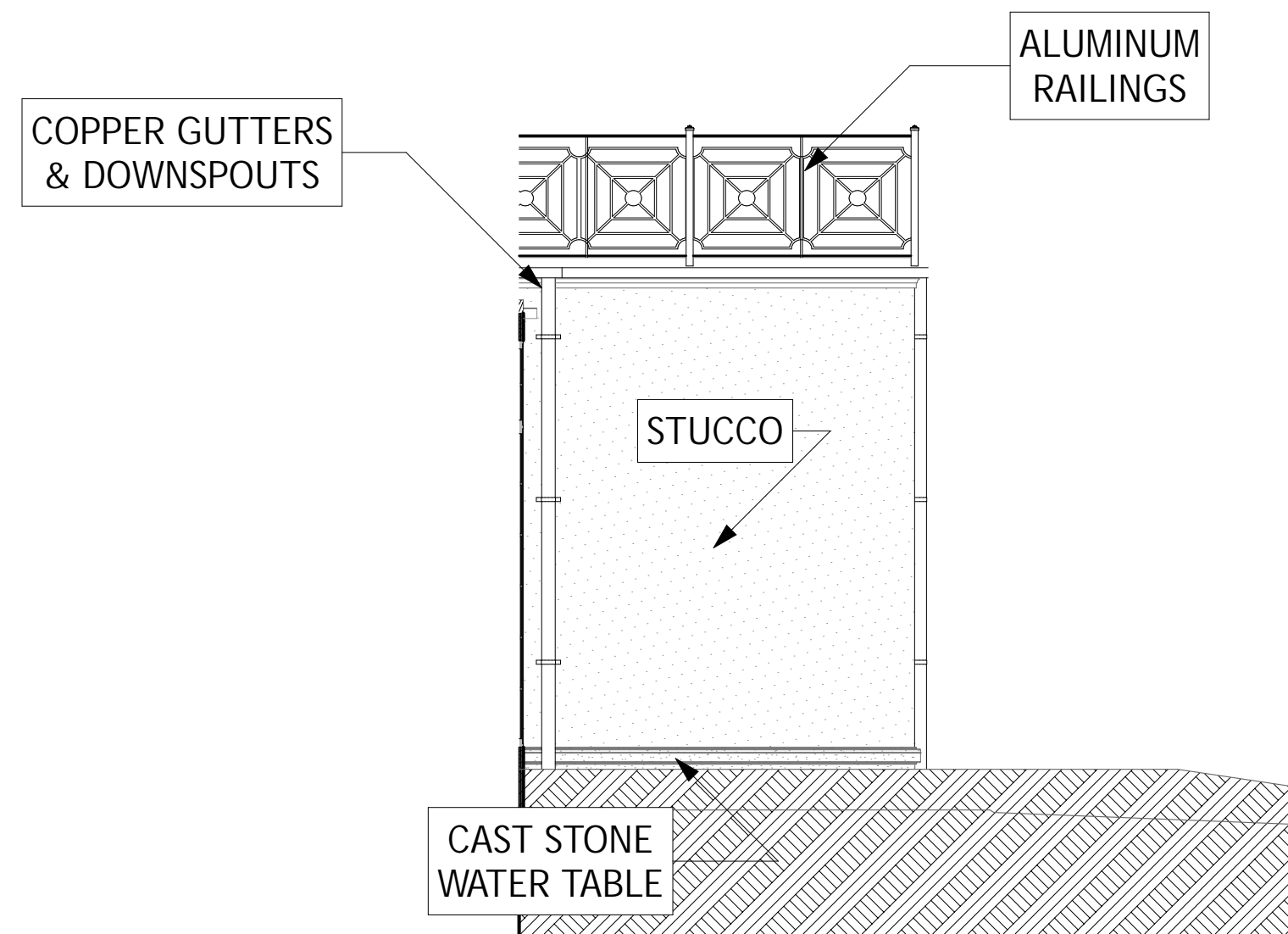
5
A-3.6 Hidden South-East Elevation
SCALE: 1/4" = 1'-0"



2
A-3.6 Courtyard North-East Elevation
SCALE: 1/4" = 1'-0"



4
A-3.6 Courtyard South-West Elevation
SCALE: 1/4" = 1'-0"



6
A-3.6 Hidden North-West Elevation
SCALE: 1/4" = 1'-0"

Zoning Application

Property Identification

Name

Jim and Megan Dugan

Address

327 Vanderbilt Rd, Biltmore Forest, North Carolina 28803

Phone

(406) 451-2435

Email

jdopenwater@yahoo.com

Zoning

R-1

Lot Size (Acres)

1.67

Email -Submission Verification

douglasbrown1618@gmail.com

Scope of Project-Roof Coverage

Does the project include increasing roof coverage?

Yes

What is the proposed roof coverage?

590

Is the proposed roof coverage greater than the permitted maximum roof coverage?

No

Scope of Project-Impervious Surface

Does the project include increasing the impervious surface coverage?

Yes

What is the proposed impervious surface coverage?

340

Is the proposed impervious surface coverage greater than the permitted maximum impervious surface coverage?

No

Scope of Project-Setbacks

Does any part of the project fall within the front yard?

No

Does any part of the project fall within the side/rear yard setback(s)s?

No

Scope of Project-Accessory Structures

Does the project include a detached structure or building?

No

Will there be more than the approved number of accessory structures/buildings?

No

Project Description

Brief Description of Project

The owners would like to build an addition on the rear of the house, to be used as a master bedroom and master bathroom. New construction would total approximately 480 square feet, on a single level with the same floor grade as the rear of the house. Roof pitch and overhangs would match those of the existing house.

Estimated Cost of Project

110,000

Estimated Completion Date

9/1/2016

Please attach any drawings, renderings, photographs or other supporting documentation.



NOTE: MODEL IMAGES ARE FOR REPRESENTATION ONLY, SEE PLAN AND ELEVATIONS FOR CONSTRUCTION INFORMATION

VANDERBILT RENOVATION

MATERIALS

	NEW WALLS
	EARTH
	GRAVEL
	MORTAR, GROUT, SAND
	BLOCK
	BRICK
	SPECIALTY BLOCK
	PRE-CAST CONCRETE, CAST STONE
	STEEL, LARGE SCALE
	ALUMINUM, LARGE SCALE
	ROUGH WOOD OR BLOCKING, CONTINUOUS
	ROUGH WOOD OR BLOCKING, DISCONTINUOUS
	FINISH WOOD
	BATT INSULATION
	BOARD INSULATION
	GYPSUM BOARD

SYMBOLS

	SECTION MARKER
	CUT LINE OF CONSTRUCTION
	SECTION IDENTIFICATION
	SHEET WHERE SECTION APPEARS
	DETAIL MARKER
	ISOLATES DETAIL
	DETAIL IDENTIFICATION
	SHEET WHERE DETAIL APPEARS
	ELEVATION MARKER
	ELEVATION IDENTIFICATION
	SHEET WHERE ELEVATION APPEARS
	INTERIOR ELEVATION MARKER
	SHEET WHERE ELEVATION APPEARS
	DRAWING LOCATION
	DOOR / OPENING TAG
	WINDOW / STOREFRONT / LOUVER TAG
	SCHEDULED NOTE TAG
	DATUM MARK
	BREAK LINE MATERIAL CONTINUES UNINTERRUPTED, BUT NOT SHOWN FOR CLARITY OF DETAIL
	NORTH ARROW
	REVISION BUBBLE
	REVISION AREA
	REVISION NUMBER

GENERAL NOTES

- STRUCTURAL NOTES:
- ALL STRUCTURAL MEMBERS & CONNECTIONS SHALL BE DESIGNED BY THE CONTRACTOR OR A QUALIFIED STRUCTURAL ENGINEER TO MEET THE NORTH CAROLINA BUILDING CODE. THE ARCHITECT IS NOT RESPONSIBLE FOR THE SIZING OF ANY STRUCTURAL MEMBERS OR THE DESIGN OF ANY STRUCTURAL CONNECTIONS REGARDLESS OF WHAT IS WRITTEN OR IMPLIED IN THIS SET OF CONSTRUCTION DOCUMENTS.
- GENERAL NOTES:
- CONTRACTOR SHALL VERIFY AND COORDINATE ALL NEW AND EXISTING CONDITIONS AND DIMENSIONS AT JOB SITE FOR COMPARISON WITH DRAWINGS AND SPECS PRIOR TO START OF CONSTRUCTION AND DURING CONSTRUCTION. IF ANY DISCREPANCIES OR OMISSIONS ARE FOUND, THE ARCHITECT SHALL BE NOTIFIED PRIOR TO PROCEEDING WITH WORK.
 - DO NOT SCALE DRAWINGS. CONTRACTOR SHALL RELY ON WRITTEN DIMENSIONS AS GIVEN. THE CONTRACTOR SHALL NOTIFY THE ARCHITECT FOR CLARIFICATIONS. ALL DIMENSIONS SHALL BE FIELD VERIFIED BY CONTRACTOR AND COORDINATED WITH ALL OF THE WORK OF ALL TRADES. IF DISCREPANCIES ARE FOUND, THE CONTRACTOR SHALL NOTIFY THE ARCHITECT IN WRITING FOR CLARIFICATION BEFORE THE COMMENCEMENT OR RESUMPTION OF WORK.
 - CONTRACTOR SHALL COORDINATE THE INSTALLATION OF THE VARIOUS TRADE ITEMS WITHIN THE SPACE ABOVE ALL CEILINGS (INCLUDING BUT NOT LIMITED TO: STRUCTURAL MEMBERS, MECHANICAL DUCTS AND INSTALLATION, CONDUITS, RACEWAYS, LIGHT FIXTURES, AND ANY SPECIAL STRUCTURAL SUPPORTS REQUIRED) AND SHALL BE RESPONSIBLE FOR MAINTAINING THE FINISH CEILING HEIGHT ABOVE THE FINISH FLOOR AS NOTED.
 - ACCESS PANELS SHALL BE PROVIDED AND INSTALLED WHEREVER REQUIRED BY BUILDING CODE OR FOR PROPER OPERATION OF MECHANICAL OR ELECTRICAL EQUIPMENT. CONTRACTOR SHALL COORDINATE SIZE, LOCATION, AND TYPE OF ACCESS PANEL AND RECEIVE APPROVAL OF THE ARCHITECT.
 - DIMENSIONS SHOWN ON FLOOR PLANS, SECTIONS, ELEVATIONS, AND DETAILS ARE TO FACE OF STUD, MASONRY, OR CONCRETE UNLESS NOTED OTHERWISE.
 - THE SPECIFICATIONS AND ALL CONSULTANT DRAWINGS ARE SUPPLEMENTAL TO THE ARCHITECTURAL DRAWINGS. IT SHALL BE THE CONTRACTOR'S RESPONSIBILITY TO COORDINATE WITH THE ARCHITECTURAL DRAWINGS BEFORE THE INSTALLATION OF ANY OF THE CONSULTANTS' WORK AND TO BRING DISCREPANCIES TO THE ARCHITECTS ATTENTION FOR CLARIFICATION. IMPROPERLY INSTALLED WORK SHALL BE CORRECTED BY THE CONTRACTOR AT THE CONTRACTOR'S EXPENSE.
 - REINFORCEMENT AND/OR SUPPORT SATISFACTORY TO ARCHITECT AND STRUCTURAL ENGINEER SHALL BE PROVIDED BY CONTRACTOR PRIOR TO CUTTING INTO STRUCTURAL PORTIONS OF ANY BUILDING.
 - FINAL CLEAN UP AND DISPOSAL: REMOVE DEBRIS, RUBBISH AND WASTE MATERIAL FROM THE OWNER'S PROPERTY TO A LAWFUL DISPOSAL AREA AND PAY ALL HAULING AND DUMPING COSTS. UPON COMPLETION OF WORK, ALL CONSTRUCTION AREAS SHALL BE LEFT VACUUM-CLEAN AND FREE FROM DEBRIS: CLEAN ALL DUST, DIRT, STAINS, HAND MARKS, PAINT SPOTS, DROPPINGS, AND OTHER BLEMISHES.
 - CONTRACTOR AND SUBCONTRACTORS SHALL BE RESPONSIBLE FOR OBTAINING AND PAYING FOR ALL PERMITS AND FEE REQUIRED, NOT NORMALLY COVERED BY BUILDING PERMITS.
 - SUBSTITUTIONS:
 - A. REFERENCE TO BRAND, MODEL, ETC., IS TO ESTABLISH THE TYPE AND QUALITY DESIRED. SUBSTITUTION OF ACCEPTABLE EQUIVALENTS WILL BE PERMITTED IF APPROVED BY THE ARCHITECT AND OWNER UNLESS NOTED OTHERWISE.
 - B. THE ARCHITECT, ACTING AS THE OWNER'S DESIGNATED AGENT FOR THE DESIGN WILL EXERCISE SOLE AUTHORITY FOR DETERMINING CONFORMANCE OF MATERIALS, EQUIPMENT, AND SYSTEMS WITH THE INTENT OF THE DESIGN.
 - ONLY NEW MATERIALS AND EQUIPMENT OF RECENT MANUFACTURE, OF QUALITY SPECIFIED, FREE FROM DEFECTS, WILL BE PERMITTED ON THE WORK UNLESS NOTED OTHERWISE.
 - THE CONTRACTOR SHALL PROVIDE A BLANKET ONE (1) YEAR GUARANTEE FOR THE CONTRACT PROJECT WITH SEPARATE GUARANTEES AS SPECIFIED FOR TRADES/EQUIPMENT ITEMS WITH NAMES OF LOCAL REPRESENTATIVES TO BE CONTACTED FOR SERVICE. PROVIDE OPERATING MAINTENANCE BROCHURES, GUARANTEES AS REQUIRED.
 - THE ARCHITECT MAKES NO WARRANTY FOR THE ACCURACY OR COMPLETENESS OF THE EXISTING INFORMATION RECORDED. CONTRACTOR SHALL FIELD VERIFY ALL EXISTING CONDITIONS, NOTIFY ARCHITECT OF ANY DISCREPANCIES FOR CLARIFICATION PRIOR TO PROCEEDING WITH WORK.
 - THE CONTRACTOR IS RESPONSIBLE FOR CONSTRUCTION MEANS, METHODS, TECHNIQUES, SEQUENCES, PROCEDURES AND SAFETY PRECAUTIONS, AND CONSTRUCTION SUPERVISION.
 - ALL DISSIMILAR METALLIC MATERIALS SHALL BE EFFECTIVELY ISOLATED FROM EACH OTHER TO PREVENT GALVANIC ACTION.
 - ALL WOOD IN CONTACT WITH MASONRY OR CONCRETE SHALL BE PRESSURE TREATED.

ABBREVIATIONS

@	AT	MACH.	MACHINE
Ø	DIAMETER	MAS.	MASONRY
ADJ.	ADJACENT	MAX.	MAXIMUM
AFF.	ABOVE FINISHED FLOOR	MECH.	MECHANICAL
A.P.	ACCESS PANEL	MFR.	MANUFACTURER
ASF.	ABOVE SUBFLOOR	MIN.	MINIMUM
BD	BOARD	MISC.	MISCELLANEOUS
BLDG.	BUILDING	M.O.	MASONRY OPENING
BM.	BEAM	MTG.	MOUNTING
BOT.	BOTTOM	MTL.	METAL
CAB.	CABINET	N.I.C.	NOT IN CONTRACT
C.J.	CONTROL JOINT	NO.	NUMBER
CL	CENTERLINE	NOM.	NOMINAL
CL.	CLOSET	O.C.	ON CENTER
CLG.	CEILING	O.H.	OPPOSITE HAND
CMU	CONCRETE MASONRY UNIT	OPG.	OPENING
COL.	COLUMN	OPP.	OPPOSITE
CONC.	CONCRETE	PART.	PARTITION
CONST.	CONSTRUCTION	R.	PROPERTY LINE
CONT.	CONTINUOUS	PLY., PLYWD	PLYWOOD
CSGI	CUSTOMER SUPPLIED CONTRACTOR INSTALLED	PREFAB.	PREFABRICATED
		PREP.	PREPARATION
C.T.	CERAMIC TILE	P.T.	PRESSURE TREATED
DIAM.	DIAMETER	PTD.	PAINTED
DIM.	DIMENSION	R.	RISER, RADIUS
DS.	DOWNSPOUT	R.A.	RETURN AIR
DTLS.	DETAILS	RAD.	RADIUS
DWGS.	DRAWINGS	REF.	REFRIGERATOR
EL.	ELEVATION	REINF.	REINFORCING
ELEC.	ELECTRICAL	RM.	ROOM
E.O.	EDGE OF	R.O.	ROUGH OPENING
EQ.	EQUAL	SCHED.	SCHEDULE
EQUIP.	EQUIPMENT	SECT.	SECTION
EX., EXIST.	EXISTING	SHT.	SHEET
EXP.	EXPOSED	SIM.	SIMILAR
EXT.	EXTERIOR	S.O.G.	SLAB ON GRADE
F.D.	FLOOR DRAIN	SPECS.	SPECIFICATIONS
FIN.	FINISHED	SQ.	SQUARE
FLR.	FLOOR	S.S.	STAINLESS STEEL
FLASH.	FLASHING	STJSTOR.	STORAGE
F.O.	FACE OF	STL.	STEEL
F.O.S.	FACE OF STUD/SLAB	STRUCT.	STRUCTURAL
F.O.W.	FACE OF WALL	S.W.	STORM WATER
FTG.	FOOTING	T.	TREAD
GA.	GAUGE	T&G	TONGUE AND GROOVE
GAL.	GALVANIZED	T.B.D.	TO BE DETERMINED
GEN.	GENERAL	TEL.	TELEPHONE
G.W.B./G.B.	GYPSUM BOARD	TH.	THRESHOLD
GYP. BD.	GYPSUM BOARD	THK.	THICKNESS
H.B.	HOSE BIB	T.O.	TOP OF
H.O.	HOLD-OPEN	TYP.	TYPICAL
HORIZ.	HORIZONTAL	U.N.O., U.O.N.	UNLESS NOTED OTHERWISE
H.P.	HIGH POINT	V.B.	VAPOR BARRIER
H.R.	HANDRAIL	VERT.	VERTICAL
INSUL.	INSULATION	V.I.F.	VERIFY IN FIELD
JT.	JOINT	W/	WITH
KIT.	KITCHEN	WD.	WOOD
LAM.	LAMINATE	W/O	WITHOUT
LAV.	LAVATORY	WP.	WATERPROOFING
L.F.	LINEAR FEET	WW.F.	WELDED WIRE FABRIC
L.P.	LOW POINT	W.W.M.	WELDED WIRE MESH

VICINITY MAP



DESIGN TEAM

ARCHITECT	STRUCTURAL ENGINEER
WILSON ARCHITECTS, INC 309 KENILWORTH ROAD ASHEVILLE, NC 28803 828.257.4930	TBD

APPLICABLE CODE: 2012 NORTH CAROLINA RESIDENTIAL CODE

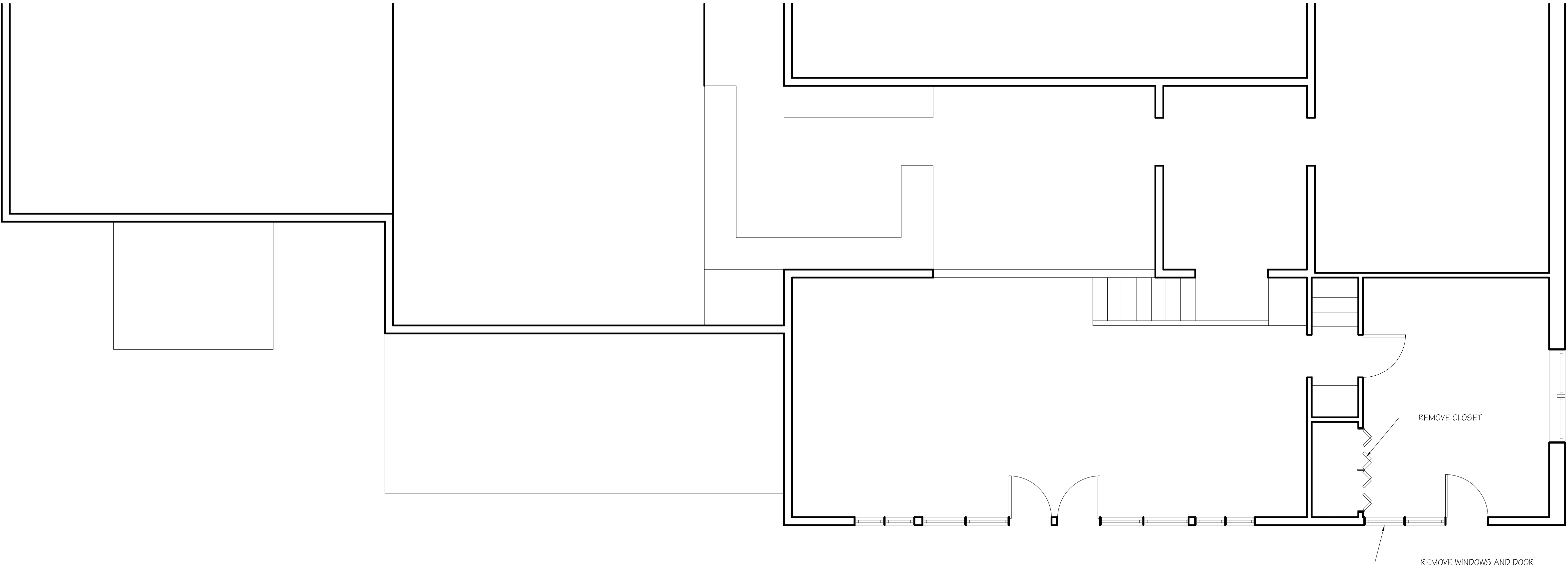
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ARCHITECTURAL

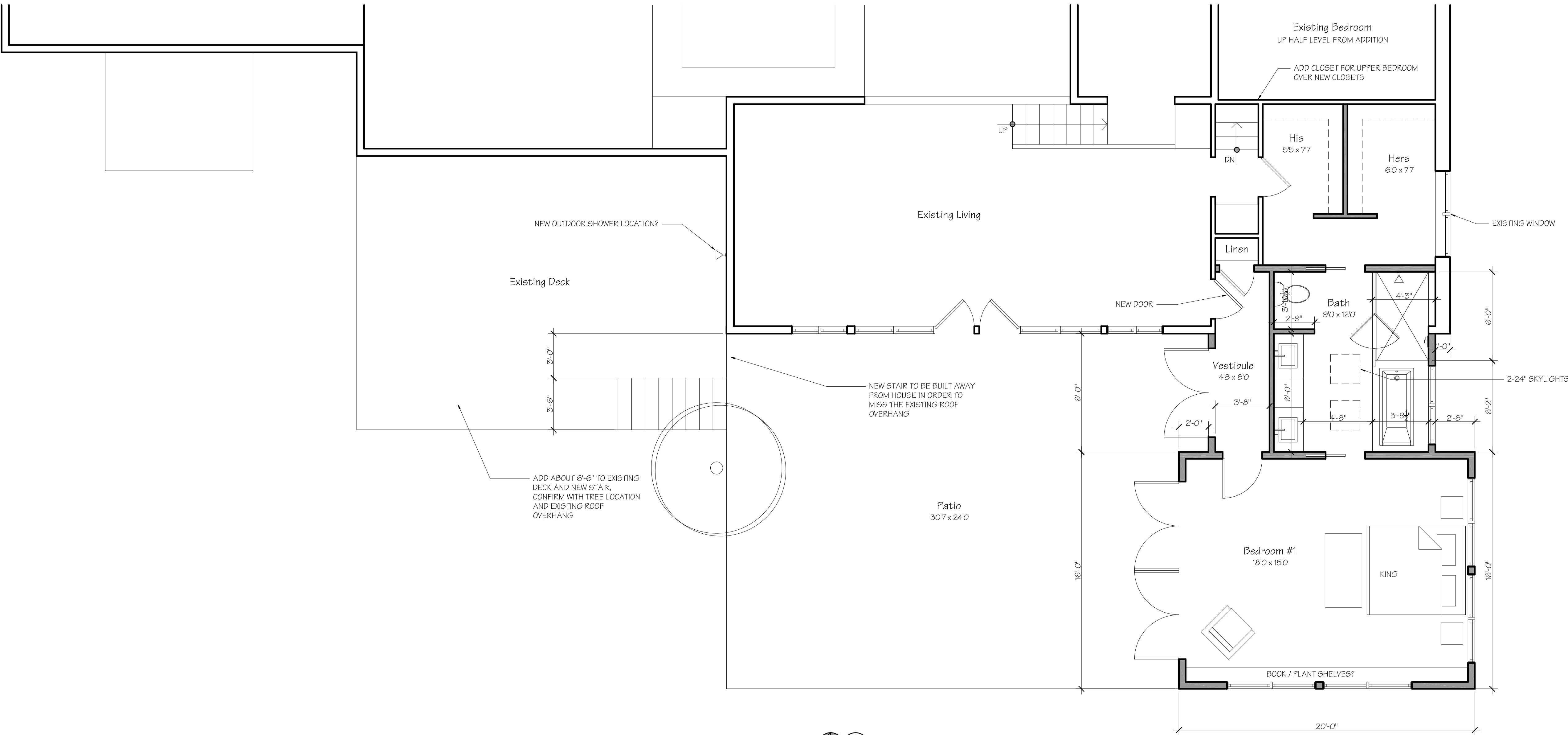
A0	COVER SHEET
A1	PLANS
A2	ELEVATIONS

STRUCTURAL

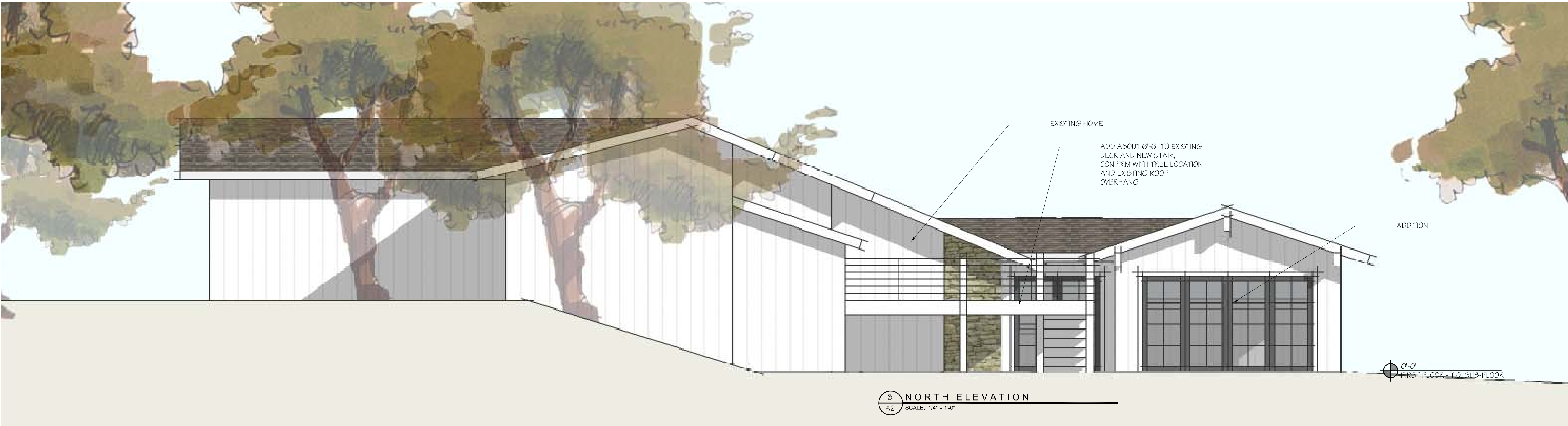
SO	TBD
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2
A1
EXISTING PLAN
SCALE: 1/4" = 1'-0"



1
A1
FIRST FLOOR PLAN
SCALE: 1/4" = 1'-0"



section

G

CONSTRUCTION GUIDELINES



Introduction

Welcome to The Ramble Biltmore Forest. As a lot owner/builder, you have assumed responsibilities associated with the construction process. This document is provided as a supplement to the Design Guidelines in order to outline these responsibilities. You will want to keep it and refer to it throughout the construction period. It is intended to provide clarification on the entire process - from design review to move-in.

Our goals are:

- To maintain a sense of community harmony that conveys to existing and future residents the intended lifestyle of The Ramble Biltmore Forest.
- To provide a clean, safe environment in which to live, work and play.
- To preserve the beauty and natural setting of the wooded character of The Ramble Biltmore Forest property.

The information contained herein is provided to clearly communicate the expectations for construction within the community. After reviewing these documents, should you have any questions please feel free to call Community Associates representing Ramble Community Association at 828.274.7511.



Introduction

CONSTRUCTION GUIDELINES

Who is Responsible?

The owner of record for each lot is ultimately responsible for compliance with the Covenants, Conditions and Restrictions for The Ramble Biltmore Forest, Construction Regulations and Design Guidelines. Throughout this document, you will see the term "lot owner/builder". This term refers to the owner of the lot, which in some cases may also be the builder. The lot owner is accountable for the actions of their builder as well as any and all subcontractors or others providing service to your specific lot.

Construction Deposit

The Association elects to charge a refundable deposit of \$10,000 per lot. Each builder shall pay the deposit prior to commencement of construction. In the event of violation of any of the following regulations or damage to infrastructure, associated costs or fines will be deducted from the deposit. Should the entire amount of the deposit be required to cover the cost of damages or fines, the lot owner/builder will immediately replenish the deposit amount to the full amount set by the Association.

After the final building inspection by the Design Review Committee, the deposit will be refunded less any damages or fines which may have been incurred.

Design Review

Prior to commencing construction, each builder/lot owner will be required to submit plans for review by The Ramble Biltmore Forest Design Review Committee (DRC). Plans should be submitted to the Community Associates office representing Ramble Community Association at 828.274.7511. The appropriate and fully completed application forms must be attached to the plans, along with the required review fee and deposit.

Upon approval by the Design Review Committee, construction can commence. Should construction begin prior to approval being granted, a fine shall be imposed upon the lot owner/builder.

Any changes or modifications desired during the construction process which modify the approved exterior design must be re-submitted for review prior to implementation. The Design Review Committee may conduct an inspection at any time to verify that all issues identified during the design review process have been adequately addressed and implemented during construction. In addition, a final building inspection will be conducted.



Lot Clearing & Grading

Upon approval, a clearing and grading limit lines, submitted during the DRC process, must be respected when construction on-site begins; no additional vegetation outside this limit line may be cleared from the site.

Additional selective clearing will be considered for approval upon submittal of the final Landscape Plan. Appropriate reforestation and screen plantings for the site will also be determined at this time. Owners and builders are subject to fines for clearing beyond approved limits.

During construction, all trees scheduled to remain must be protected from damage. Builders shall avoid damaging the root systems of existing trees when excavating and installing underground utilities.

Utility Easements

To avoid harm to yourself or your contractors and damage to underground utilities, you are required to request that the locations of existing utilities be marked by Dig Safety. This requirement relates to any construction, including foundations, landscaping, fences, etc.

Before you dig, call NC One-Call at 1-800-632-4949

YOU WILL BE LIABLE FOR ANY DAMAGE TO UNDERGROUND UTILITIES WHICH MAY OCCUR AS A RESULT OF A FAILURE TO FOLLOW THESE PROCEDURES.

On most lots, equipment which must be located above ground such as electrical transformers, pull boxes as well as cable and telephone service pedestals will be located at the edge of the right-of-way or on the private lot for which the equipment is specifically related. Please refer to the Design Guidelines for more information regarding these utilities.

Construction Debris & Trash Removal

Each builder will be required to maintain a dumpster at the front of the property (not in the right-of-way) on the lot under construction. This dumpster should be emptied periodically when construction materials reach the upper rim. All construction sites are to be cleaned daily to facilitate a pleasing appearance to homeowners, guests and prospective buyers and to eliminate any potentially hazardous conditions.

Lightweight materials, packaging, and other items shall be covered and weighted down to prevent their being blown off the construction site.

Excess excavation materials must be hauled away and disposed of legally. Appropriate measures shall be taken to preserve natural areas, surrounding properties and buried utilities from damage.

Should a construction site be deemed in an unacceptable condition on an on-going basis, the lot owner will be notified by the Association and required to clean the site. Failure to comply will result in the Association having the site cleaned and back-charging the lot owner at direct cost plus 10%.

Construction materials will be kept out of the street right-of-way at all times. Streets adjacent to said property shall be kept open for circulation at all times. This is for the protection of all parties and will allow emergency vehicles direct access to any part of the community.

Workers utilizing the common areas of the community for lunch or breaks shall remove all food wrappers, containers, cigarette butts, etc. from the site upon completion and deposit the debris in trash receptacles.

Dumpsters may be shared between two or more lots, if possible.

NO DEBRIS OF ANY KIND MAY BE DUMPED ON ADJACENT LOTS, COMMON AREAS, OR UNDEVELOPED AREAS WITHIN THE RAMBLE BILTMORE FOREST COMMUNITY. A fine shall be imposed on anyone dumping debris of any kind, including landscaping debris, on any undeveloped parcels or other areas within The Ramble Biltmore Forest Community. This fine shall accrue to the property from which the debris originated and a lien may be filed on said property. The workman responsible for depositing such debris shall be prohibited from future work within The Ramble Biltmore Forest.



Wash-Down Area

The lot owner/builder is responsible for furnishing a wash-down area on each lot for purposes of disposing of paint and other solvents. This area shall consist of barrels, a lined pit, or other suitable disposal method. Concrete trucks are specifically prohibited from dumping any excess concrete anywhere on The Ramble Biltmore Forest site. Concrete which is accidentally spilled on the asphalt paving or in any common area must be removed by the builder immediately. Concrete can only be washed out on your lot and you are solely responsible for its removal from the site upon completion of your construction.

UNDER NO CIRCUMSTANCES SHALL ANY MATERIALS BE DEPOSITED INTO THE STORM DRAINS OR DIRECTLY ONTO SOIL. A fine shall be imposed on anyone depositing debris of any kind, including landscaping debris, into any storm drain within The Ramble Biltmore Forest community. This fine shall accrue to the property from which the debris originated and a lien may be filed on said property. The workman responsible for depositing such debris shall be prohibited from future work within The Ramble Biltmore Forest.

Protection of Infrastructure & Landscaping

Within The Ramble Biltmore Forest community there are numerous forms of infrastructure including curbs, driveways and walks, streets and grassed verges, landscaping, street lights, sidewalks, irrigation systems, benches, trash receptacles, etc. The lot owner/builder is responsible for protecting the infrastructure adjacent to their property.

The lot owner/builder will be responsible for wrapping green or black construction netting or fencing around street trees and street lighting adjacent to your lot, as well as around all existing trees or other landscaping to be protected. All building materials are to be kept away from these trees and lights during construction so as to prevent damage.

All electrical, gas, sewer and other connections will be located at the corner of the lot and will be marked for connections. The lot owner/builder is responsible for staking around the connection area and wrapping this area with green or black netting. All netting will be maintained throughout the construction period.

During construction, all trees scheduled to remain must be protected from damage. Builders shall avoid damaging the root systems of existing trees when excavating and installing underground utilities.

Any damage to infrastructure should be reported immediately to the Community Associates office at 828.274.7511. Damage to any infrastructure item will be repaired by The Ramble Community Association and back-charged to the lot owner/builder at direct cost plus 10%.



Use of Buildings Under Construction

No functions shall occur in any building under construction. Once a building is completed, any functions which are planned in an unoccupied building within the community must be cleared through the Community Associates office.

Construction Times

No builder shall commence construction on a weekday prior to 7:00 a.m., nor continue construction beyond 7:00 p.m. Weekend construction hours shall be Saturday from 8:30 a.m. to 6:00 p.m. and Sunday 12:00 p.m. to 6:00 p.m.

Construction Radios, Noises, & Dust

No construction radios shall be permitted. The Builder shall be responsible for controlling dust and noise from the construction site.

Open Fires

Open fires are strictly prohibited on any project site. Should you desire to have a fire for purposes of providing a heat source for workers during the winter months, an appropriate container MUST be used. No burning of trash or debris shall be permitted at any time.

Erosion Control & Lot Boundaries

Silt fencing shall be properly installed on all lots to prevent run-off of silt and debris onto adjacent properties, streets and common areas, and specifically to prevent run-off directly into preservation areas. Extra precautions may be necessary for lots with steep topography. Silt fencing will be properly trenched to 8" in depth and backfilled.

A temporary drive or area will be provided as a means of ingress or egress onto the lot for equipment, trucks, etc. This area shall consist of a 6" deep layer of 2" to 3" size course aggregate (e.g. railroad ballast) in order to prevent vehicles from dragging mud and debris into the streets. This area should be at least 10' wide x 20' deep.

The lot owner/builder is required to put up a solid black silt fence or screening (as appropriate) along the limits of the proposed construction area (Building Zone), defining the proposed construction site from the adjacent properties. This fence may have an opening at the location of the temporary drive. All construction activities, materials or debris are to be contained within the boundaries of your lot. Any damage to an adjacent property or residence shall be immediately repaired by the lot owner/builder at their sole expense. No material, refuse or debris of any type may be stored, dumped or otherwise placed on adjacent properties, within setback areas, right of ways, or preservation zones.

Silt fencing, screening and temporary drives MUST be maintained throughout the entire construction period. Any cleanup required due to a lack of properly installing and maintaining these items will be back-charged to the lot owner/builder at cost plus 10%.

Adjacent lots under construction simultaneously may share screening if agreed upon by both property owners.



Sanitary Facilities

Each builder is responsible for their own Port-A-John. One (1) is required on every construction site. Portable toilets or similar temporary toilet facilities shall be located only within the building zone or in an area approved by the DRC.

Parking & Construction Access

While it is understood that parking for workers may in some instances be limited, it is mandatory that vehicles not be parked in such a manner as to impede ingress or egress of emergency vehicles or residents to/from their homes, nor should parking block mailboxes or in any way prevent mail delivery. Fire hydrants may not be blocked. Parking shall only occur on paved streets or driveways. The Association reserves the right to tow any vehicle that violates any of the aforementioned restrictions.

Each Builder shall be responsible for its subcontractors and suppliers obeying all speed limits within The Ramble Biltmore Forest. Repeated violations will result in fines for the Builder. Access to the site will only be permitted through the cleared driveway opening for the individual lot. Construction vehicles and equipment must be parked within the building envelope or on paved streets. Parking or storage is NOT allowed in any Natural Area, Setback or Right of Way.

Signage

In accordance with the Design Guidelines for The Ramble Biltmore Forest, the only signage allowed on a single lot or home is the standard, approved lot/builder sign. Lot/builder signs will initially be provided by the Developer. Once plans are approved for construction and the attached sign request form has been completed and submitted to the The Ramble Biltmore Forest Association office, the appropriate signage will be installed.

Mailboxes

All mailboxes and mailbox locations within The Ramble Biltmore Forest community will be consistent with the specifications provided by the DRC. A request for mailbox should be made to The Ramble Biltmore Forest Association office a minimum of 3 weeks prior to completion of construction (or anticipated move-in date).

Conduct

Workers are expected to conduct themselves in a professional manner at all times. Clothing shall not display offensive, vulgar language or gestures.



General Practices

All Owners shall be ultimately responsible for the conduct and behavior of their builders, contractors, subcontractors and guests while on the premises of The Ramble Biltmore Forest. These regulations should be posted at the construction site at all times.

The following practices are prohibited:

- Clearing of native, existing vegetation on lots where the vegetation is designated to remain or left undisturbed.
- Disposing of concrete or plaster washout except in the designated wash-out area.
- Removing any plant material, topsoil or similar items from any property of others within The Ramble, including other construction sites.
- Carrying any type of firearms within The Ramble.
- Using disposal methods or equipment other than those approved by the DRC.
- Careless disposal of cigarettes and other flammable material; at least one 5 kilogram quality rated dry chemical fire extinguisher shall be present and available, in a conspicuous place, on the construction site at all times.
- Careless treatment or removal of protected plant materials or plants not previously approved for removal by the DRC.
- Use of, or transit, over common areas in The Ramble.
- Bringing of pets, particularly dogs, by the construction personnel into The Ramble. If this occurs, the DRC has the right to contact authorities to impound the pet or refuse to permit the builder or subcontractor involved to continue work on the project.
- Playing of radios and other audio equipment on construction sites in The Ramble Biltmore Forest.



Prohibited Practices

CONSTRUCTION GUIDELINES