

PROPOSED AGENDA

Meeting of the Design Review Board
To be held Thursday, October 22, 2015 at 5:30 p.m.

- I. Chairman Johnson will call the meeting to order.
- II. Approval of Minutes for October 1, 2015.
- III. Design Review Board Presentations
 - a. Mr. Rob McArthur, Carolina Day School, is presenting plans for an attached elevator enclosure to the northeast corner of the Lovett Hall Building.
 - b. Mr. Ben and Mrs. Marcie Dowling, 891 Hendersonville Road, are presenting plans for changing a leaking, existing flat roof to a hip roof that matches the architectural design of the home.
 - c. Mr. Michael and Mrs. Elizabeth Flynn, 408 Vanderbilt Road, are presenting plans for an addition to the front of the residence and a covered walkway from the garage to the home.
 - d. Dr. Walter Brown, 14 Browntown Road, is presenting plans for a detached garage and wrought iron fence to be constructed in the rear yard.
- IV. Adjourn



ZONING APPLICATION

Required for Board of Adjustment & Design Review Board

DATE

10/06/2015

PROPERTY IDENTIFICATION

Owner Name	Property Address	PIN	Zoning	Lot Size (Acres)
Carolina Day School	1345 Hendersonville Rd			

CONTACT INFORMATION

Applicant (if not owner) **Robert McArthur** Email **rmcarthur@carolinaday.org**

Mailing Address **1345 Hendersonville Rd Asheville, NC 28803**

Phone (Primary) **(828) 210-9166** Phone (Alt)

PROPERTY REQUIREMENTS

Maximum Permitted Roof Coverage	Rear Yard Setback
Maximum Permitted Impervious Surface Coverage	Side Yard Setback

SCOPE OF PROJECT

Does the project include increasing roof coverage? Yes ☒ No ☐

If yes, what is the proposed roof coverage? 100 sq ft

Is the proposed roof coverage greater than the permitted maximum roof coverage? Yes ☐ No ☒

Does the project include increasing the impervious surface coverage? Yes ☒ No ☐

If yes, what is the proposed impervious surface coverage? 100 sq ft

Is the proposed impervious surface greater than the permitted maximum impervious surface coverage? Yes ☐ No ☒

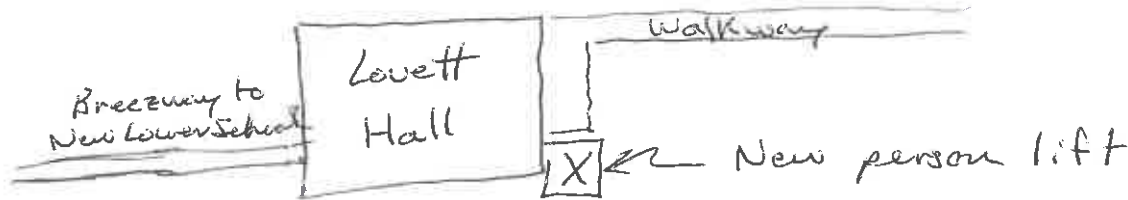
Will any part of the project fall within the front yard? Yes ☐ No ☒

Will any part of the project fall within the side yard or rear yard setback? Yes ☐ No ☒

DESCRIPTION OF PROJECT

Brief Description of Project

We will be adding a person lift (a type of elevator) to our Lovett Hall (PK & KN building). As a result of construction to our Lower School building we need to add this person lift to allow a handicapped person to get to each floor in the building. This person lift will be placed in the north-east corner of the building.



Estimated Cost of Project **\$75K**

Estimated Completion Date **03/01/2016**



ZONING APPLICATION

Required for Board of Adjustment & Design Review Board

9 Oct 2015
DATE
12 Aug 2015

PROPERTY IDENTIFICATION

Owner Name	Property Address	PIN	Zoning	Lot Size (Acres)
BEN DOWLING	891 HENDERSONVILLE RD			

CONTACT INFORMATION

Applicant (if not owner)	Email
	bendowling@fastmail.fm
Mailing Address	
Phone (Primary)	Phone (Alt)
828.244.2366	

PROPERTY REQUIREMENTS

Maximum Permitted Roof Coverage	Rear Yard Setback
Maximum Permitted Impervious Surface Coverage	Side Yard Setback

SCOPE OF PROJECT

Does the project include increasing roof coverage?	Yes <input type="checkbox"/>	No <input checked="" type="checkbox"/>
If yes, what is the proposed roof coverage? _____		
Is the proposed roof coverage greater than the permitted maximum roof coverage?	Yes <input type="checkbox"/>	No <input checked="" type="checkbox"/>
Does the project include increasing the impervious surface coverage?	Yes <input type="checkbox"/>	No <input type="checkbox"/>
If yes, what is the proposed impervious surface coverage? _____		
Is the proposed impervious surface greater than the permitted maximum impervious surface coverage?	Yes <input type="checkbox"/>	No <input type="checkbox"/>
Will any part of the project fall within the front yard?	Yes <input type="checkbox"/>	No <input type="checkbox"/>
Will any part of the project fall within the side yard or rear yard setback?	Yes <input checked="" type="checkbox"/>	No <input type="checkbox"/>

DESCRIPTION OF PROJECT

Brief Description of Project

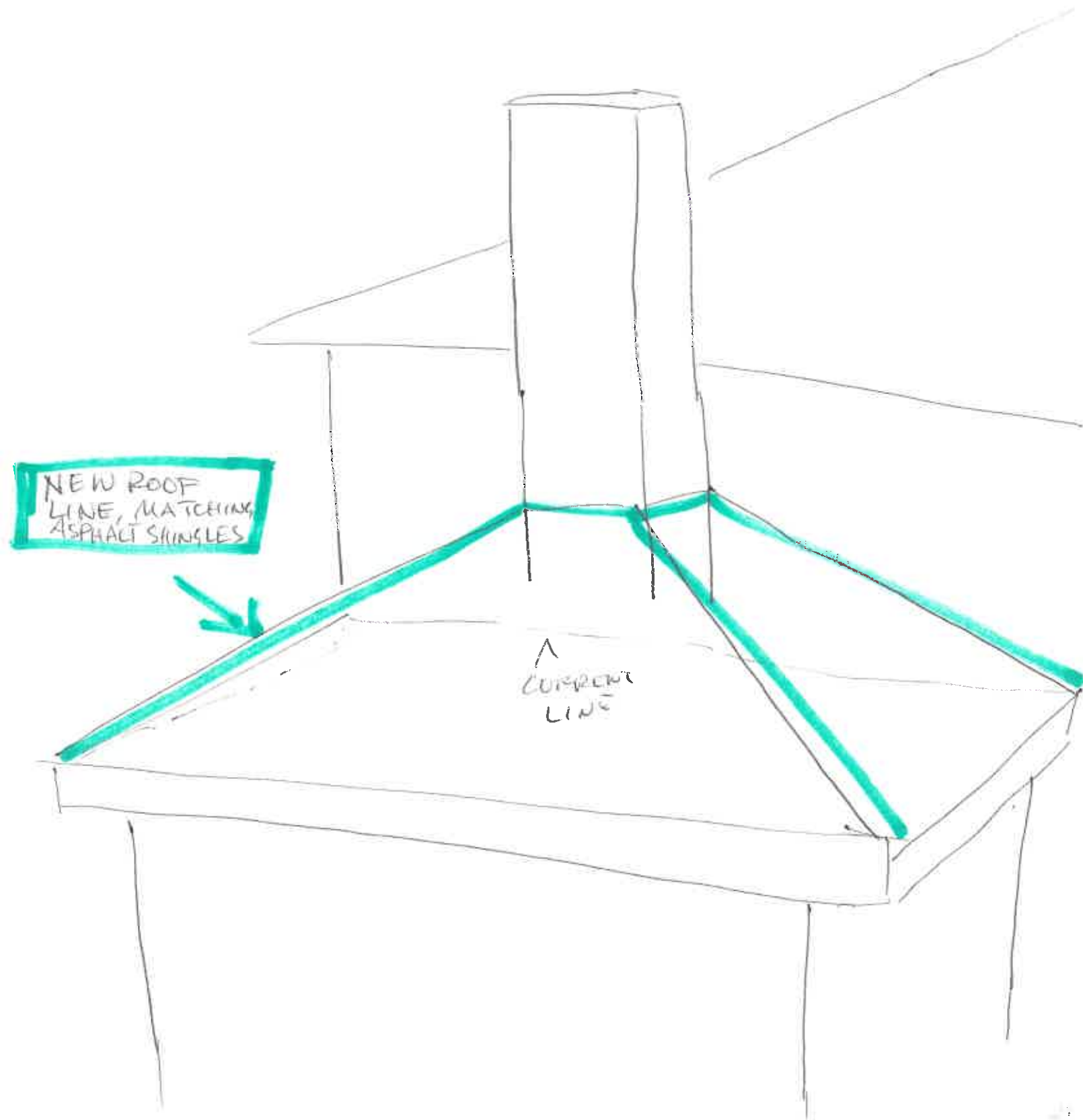
FLAT ROOF OVER BUMP OUT ROOF IS LEAKING.
WISH TO REPLACE W/ HIP ROOF THAT DRAINS PROPERLY
AND FITS W/ ARCHITECTURAL DESIGN OF HOUSE AND
GARAGE, WHICH ARE BOTH HIP ROOFS.

Estimated Cost of Project \$4,000

Estimated Completion Date 11/15

2/16

DOWLING, 891 HENDERSONVILLE RD.
ROOF LINE CHANGE FROM
FLAT TO HIP

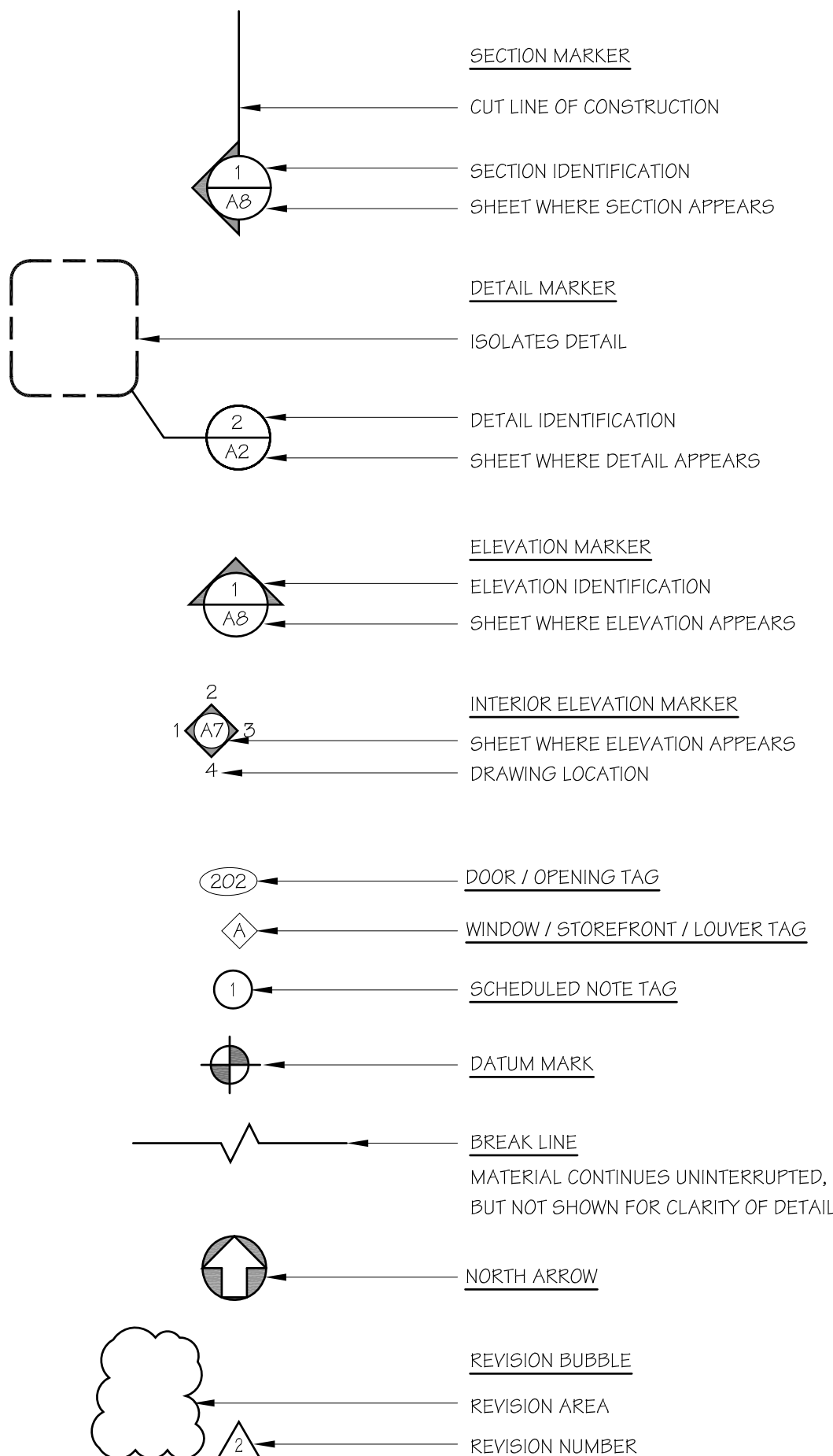


FLYNN RENOVATION

MATERIALS

	NEW WALLS
	EARTH
	GRAVEL
	MORTAR, GROUT, SAND
	BLOCK
	BRICK
	SPECIALTY BLOCK
	PRE-CAST CONCRETE, CAST STONE
	STEEL, LARGE SCALE
	ALUMINUM, LARGE SCALE
	ROUGH WOOD OR BLOCKING, CONTINUOUS
	ROUGH WOOD OR BLOCKING, DISCONTINUOUS
	FINISH WOOD
	BATT INSULATION
	BOARD INSULATION
	GYPSUM BOARD

SYMBOLS



GENERAL NOTES

- STRUCTURAL NOTES:
- ALL STRUCTURAL MEMBERS & CONNECTIONS SHALL BE DESIGNED BY THE CONTRACTOR OR A QUALIFIED STRUCTURAL ENGINEER TO MEET THE NORTH CAROLINA BUILDING CODE. THE ARCHITECT IS NOT RESPONSIBLE FOR THE SIZING OF ANY STRUCTURAL MEMBERS OR THE DESIGN OF ANY STRUCTURAL CONNECTIONS REGARDLESS OF WHAT IS WRITTEN OR IMPLIED IN THIS SET OF CONSTRUCTION DOCUMENTS.
- GENERAL NOTES:
- CONTRACTOR SHALL VERIFY AND COORDINATE ALL NEW AND EXISTING CONDITIONS AND DIMENSIONS AT JOB SITE FOR COMPARISON WITH DRAWINGS AND SPECS PRIOR TO START OF CONSTRUCTION AND DURING CONSTRUCTION. IF ANY DISCREPANCIES OR OMISSIONS ARE FOUND, THE ARCHITECT SHALL BE NOTIFIED PRIOR TO PROCEEDING WITH WORK.
 - DO NOT SCALE DRAWINGS. CONTRACTOR SHALL RELY ON WRITTEN DIMENSIONS AS GIVEN. THE CONTRACTOR SHALL NOTIFY THE ARCHITECT FOR CLARIFICATIONS. ALL DIMENSIONS SHALL BE FIELD VERIFIED BY CONTRACTOR AND COORDINATED WITH ALL OF THE WORK OF ALL TRADES. IF DISCREPANCIES ARE FOUND, THE CONTRACTOR SHALL NOTIFY THE ARCHITECT IN WRITING FOR CLARIFICATION BEFORE THE COMMENCEMENT OR RESUMPTION OF WORK.
 - CONTRACTOR SHALL COORDINATE THE INSTALLATION OF THE VARIOUS TRADE ITEMS WITHIN THE SPACE ABOVE ALL CEILINGS (INCLUDING BUT NOT LIMITED TO: STRUCTURAL MEMBERS, MECHANICAL DUCTS AND INSTALLATION, CONDUITS, RACEWAYS, LIGHT FIXTURES, AND ANY SPECIAL STRUCTURAL SUPPORTS REQUIRED) AND SHALL BE RESPONSIBLE FOR MAINTAINING THE FINISH CEILING HEIGHT ABOVE THE FINISH FLOOR AS NOTED.
 - ACCESS PANELS SHALL BE PROVIDED AND INSTALLED WHEREVER REQUIRED BY BUILDING CODE OR FOR PROPER OPERATION OF MECHANICAL OR ELECTRICAL EQUIPMENT. CONTRACTOR SHALL COORDINATE SIZE, LOCATION, AND TYPE OF ACCESS PANEL AND RECEIVE APPROVAL OF THE ARCHITECT.
 - DIMENSIONS SHOWN ON FLOOR PLANS, SECTIONS, ELEVATIONS, AND DETAILS ARE TO FACE OF STUD, MASONRY, OR CONCRETE UNLESS NOTED OTHERWISE.
 - THE SPECIFICATIONS AND ALL CONSULTANT DRAWINGS ARE SUPPLEMENTAL TO THE ARCHITECTURAL DRAWINGS. IT SHALL BE THE CONTRACTOR'S RESPONSIBILITY TO COORDINATE WITH THE ARCHITECTURAL DRAWINGS BEFORE THE INSTALLATION OF ANY OF THE CONSULTANT'S WORK AND TO BRING DISCREPANCIES TO THE ARCHITECT'S ATTENTION FOR CLARIFICATION. IMPROPERLY INSTALLED WORK SHALL BE CORRECTED BY THE CONTRACTOR AT THE CONTRACTOR'S EXPENSE.
 - REINFORCEMENT AND/OR SUPPORT SATISFACTORY TO ARCHITECT AND STRUCTURAL ENGINEER SHALL BE PROVIDED BY CONTRACTOR PRIOR TO CUTTING INTO STRUCTURAL PORTIONS OF ANY BUILDING.
 - FINAL CLEAN UP AND DISPOSAL: REMOVE DEBRIS, RUBBISH AND WASTE MATERIAL FROM THE OWNER'S PROPERTY TO A LAWFUL DISPOSAL AREA AND PAY ALL HAULING AND DUMPING COSTS. UPON COMPLETION OF WORK, ALL CONSTRUCTION AREAS SHALL BE LEFT VACUUM-CLEAN AND FREE FROM DEBRIS: CLEAN ALL DUST, DIRT, STAINS, HAND MARKS, PAINT SPOTS, DROPPINGS, AND OTHER BLEMISHES.
 - CONTRACTOR AND SUBCONTRACTORS SHALL BE RESPONSIBLE FOR OBTAINING AND PAYING FOR ALL PERMITS AND FEE REQUIRED, NOT NORMALLY COVERED BY BUILDING PERMITS.
 - SUBSTITUTIONS:
 - A. REFERENCE TO BRAND, MODEL, ETC., IS TO ESTABLISH THE TYPE AND QUALITY DESIRED. SUBSTITUTION OF ACCEPTABLE EQUIVALENTS WILL BE PERMITTED IF APPROVED BY THE ARCHITECT AND OWNER UNLESS NOTED OTHERWISE.
 - B. THE ARCHITECT, ACTING AS THE OWNER'S DESIGNATED AGENT FOR THE DESIGN WILL EXERCISE SOLE AUTHORITY FOR DETERMINING CONFORMANCE OF MATERIALS, EQUIPMENT, AND SYSTEMS WITH THE INTENT OF THE DESIGN.
 - ONLY NEW MATERIALS AND EQUIPMENT OF RECENT MANUFACTURE, OF QUALITY SPECIFIED, FREE FROM DEFECTS, WILL BE PERMITTED ON THE WORK UNLESS NOTED OTHERWISE.
 - THE CONTRACTOR SHALL PROVIDE A BLANKET ONE (1) YEAR GUARANTEE FOR THE CONTRACT PROJECT WITH SEPARATE GUARANTEES AS SPECIFIED FOR TRADES/EQUIPMENT ITEMS WITH NAMES OF LOCAL REPRESENTATIVES TO BE CONTACTED FOR SERVICE. PROVIDE OPERATING MAINTENANCE BROCHURES, GUARANTEES AS REQUIRED.
 - THE ARCHITECT MAKES NO WARRANTY FOR THE ACCURACY OR COMPLETENESS OF THE EXISTING INFORMATION RECORDED. CONTRACTOR SHALL FIELD VERIFY ALL EXISTING CONDITIONS, NOTIFY ARCHITECT OF ANY DISCREPANCIES FOR CLARIFICATION PRIOR TO PROCEEDING WITH WORK.
 - THE CONTRACTOR IS RESPONSIBLE FOR CONSTRUCTION MEANS, METHODS, TECHNIQUES, SEQUENCES, PROCEDURES AND SAFETY PRECAUTIONS, AND CONSTRUCTION SUPERVISION.
 - ALL DISSIMILAR METALLIC MATERIALS SHALL BE EFFECTIVELY ISOLATED FROM EACH OTHER TO PREVENT GALVANIC ACTION.
 - ALL WOOD IN CONTACT WITH MASONRY OR CONCRETE SHALL BE PRESSURE TREATED.

ABBREVIATIONS

@	AT	MACH.	MACHINE
Ø	DIAMETER	MAS.	MASONRY
ADJ.	ADJACENT	MAX.	MAXIMUM
AFF.	ABOVE FINISHED FLOOR	MECH.	MECHANICAL
A.P.	ACCESS PANEL	MFR.	MANUFACTURER
ASF.	ABOVE SUBFLOOR	MIN.	MINIMUM
BD	BOARD	MISC.	MISCELLANEOUS
BLDG.	BUILDING	M.O.	MASONRY OPENING
BM.	BEAM	MTG.	MOUNTING
BOT.	BOTTOM	MTL.	METAL
CAB.	CABINET	N.I.C.	NOT IN CONTRACT
C.J.	CONTROL JOINT	NO.	NUMBER
CL	CENTERLINE	NOM.	NOMINAL
CL.	CLOSET	O.C.	ON CENTER
CLG.	CEILING	O.H.	OPPOSITE HAND
CMU	CONCRETE MASONRY UNIT	OPG.	OPENING
COL.	COLUMN	OPP.	OPPOSITE
CONC.	CONCRETE	PART.	PARTITION
CONST.	CONSTRUCTION	R.	PROPERTY LINE
CONT.	CONTINUOUS	PLY., PLYWD	PLYWOOD
CSG	CUSTOMER SUPPLIED	PREFAB.	PREFABRICATED
	CONTRACTOR INSTALLED	PREP.	PREPARATION
C.T.	CERAMIC TILE	P.T.	PRESSURE TREATED
DIAM.	DIAMETER	PTD.	PAINTED
DIM.	DIMENSION	R.	RISER, RADIUS
DS.	DOWNSPOUT	R.A.	RETURN AIR
DTLS.	DETAILS	RAD.	RADIUS
DWGS.	DRAWINGS	REF.	REFRIGERATOR
EL.	ELEVATION	REINF.	REINFORCING
ELEC.	ELECTRICAL	RM.	ROOM
E.O.	EDGE OF	R.O.	ROUGH OPENING
EQ.	EQUAL	SCHED.	SCHEDULE
EQUIP.	EQUIPMENT	SECT.	SECTION
EX., EXIST.	EXISTING	SHT.	SHEET
EXP.	EXPOSED	SIM.	SIMILAR
EXT.	EXTERIOR	S.O.G.	SLAB ON GRADE
F.D.	FLOOR DRAIN	SPECS.	SPECIFICATIONS
FIN.	FINISHED	SQ.	SQUARE
FLR.	FLOOR	S.S.	STAINLESS STEEL
FLASH.	FLASHING	STJSTOR.	STORAGE
F.O.	FACE OF	STL.	STEEL
F.O.S.	FACE OF STUD/SLAB	STRUCT.	STRUCTURAL
F.O.W.	FACE OF WALL	S.W.	STORM WATER
FTG.	FOOTING	T.	TREAD
GA.	GAUGE	T&G	TONGUE AND GROOVE
GAL.	GALVANIZED	T.B.D.	TO BE DETERMINED
GEN.	GENERAL	TEL.	TELEPHONE
G.W.B./G.B.	GYPSUM BOARD	TH.	THRESHOLD
GYP. BD.	GYPSUM BOARD	THK.	THICKNESS
H.B.	HOSE BIB	T.O.	TOP OF
H.O.	HOLD-OPEN	TYP.	TYPICAL
HORIZ.	HORIZONTAL	U.N.O., U.O.N.	UNLESS NOTED OTHERWISE
H.P.	HIGH POINT	V.B.	VAPOR BARRIER
H.R.	HANDRAIL	VERT.	VERTICAL
INSUL.	INSULATION	V.I.F.	VERIFY IN FIELD
JT.	JOINT	W/	WITH
KIT.	KITCHEN	WD.	WOOD
LAM.	LAMINATE	W/O	WITHOUT
LAV.	LAVATORY	WP.	WATERPROOFING
L.F.	LINEAR FEET	WW.F.	WELDED WIRE FABRIC
L.P.	LOW POINT	W.W.M.	WELDED WIRE MESH

VICINITY MAP



DESIGN TEAM

ARCHITECT	STRUCTURAL ENGINEER
WILSON ARCHITECTS, INC 309 KENILWORTH ROAD ASHEVILLE, NC 28803 828.257.4930	TBD

APPLICABLE CODE: 2012 NORTH CAROLINA RESIDENTIAL CODE

DRAWING LIST

ARCHITECTURAL	
A0	COVER SHEET
A1	FIRST FLOOR PLAN - OPTION A
A2	BASEMENT AND SECOND FLOOR PLAN
A3	FIRST FLOOR PLAN - OPTION B
A4	ELEVATIONS

NOT FOR CONSTRUCTION

© COPYRIGHT 2015
WILSON ARCHITECTS

FLYNN RENOVATION

408 Vanderbilt Road
Biltmore Forest, NC 28803

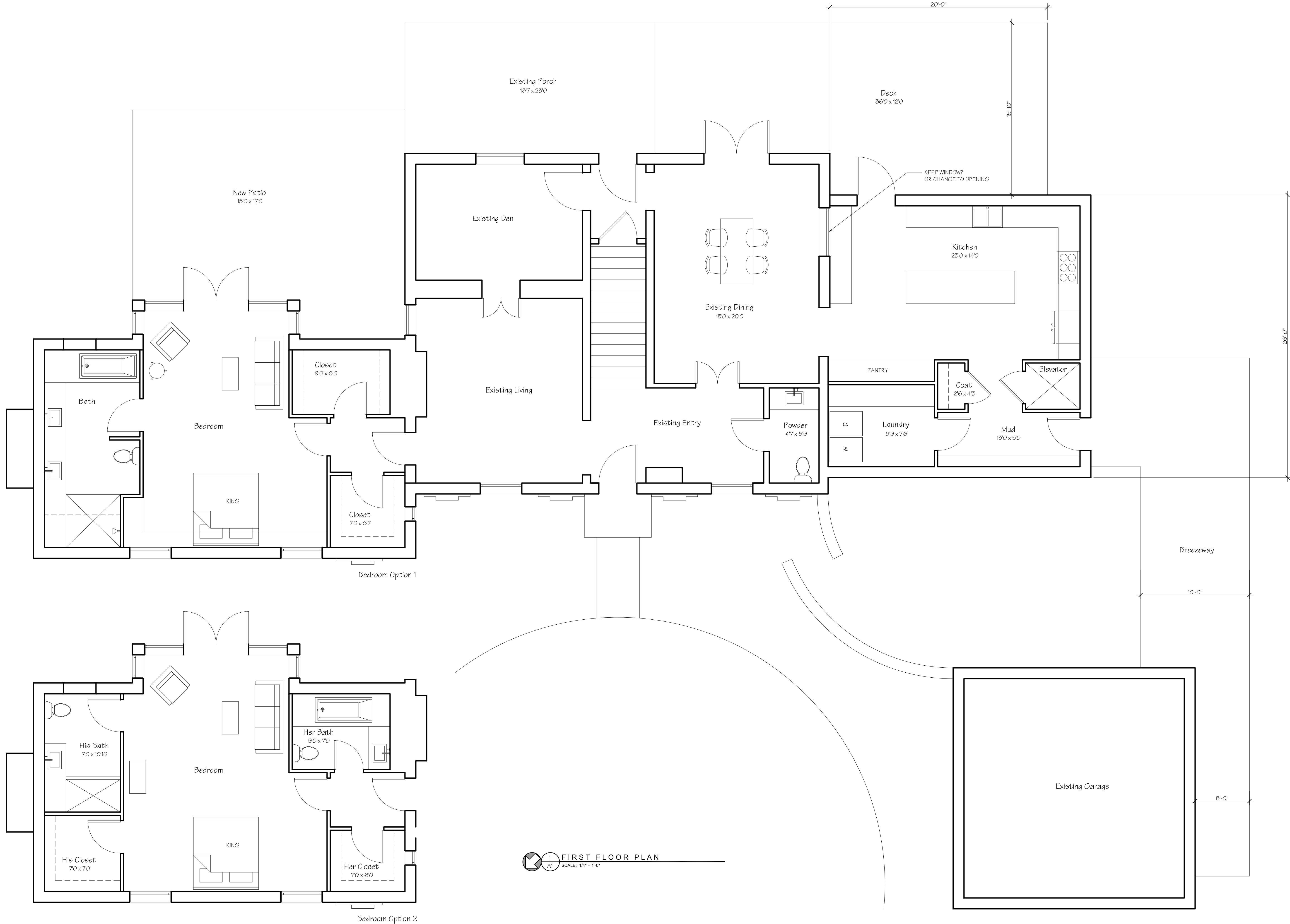
SD SET: 10.5.15

SHEET TITLE:
FIRST FLOOR PLAN
OPTION A

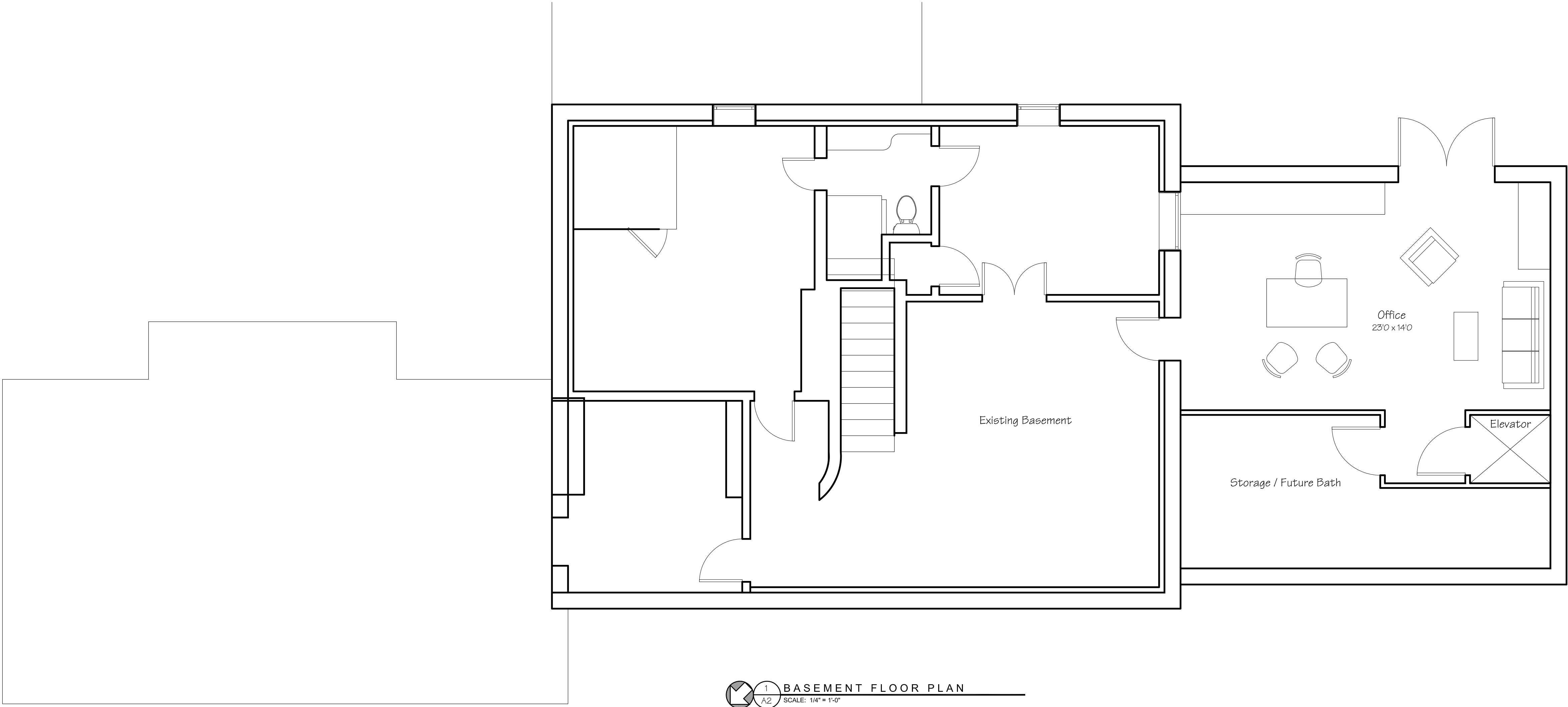
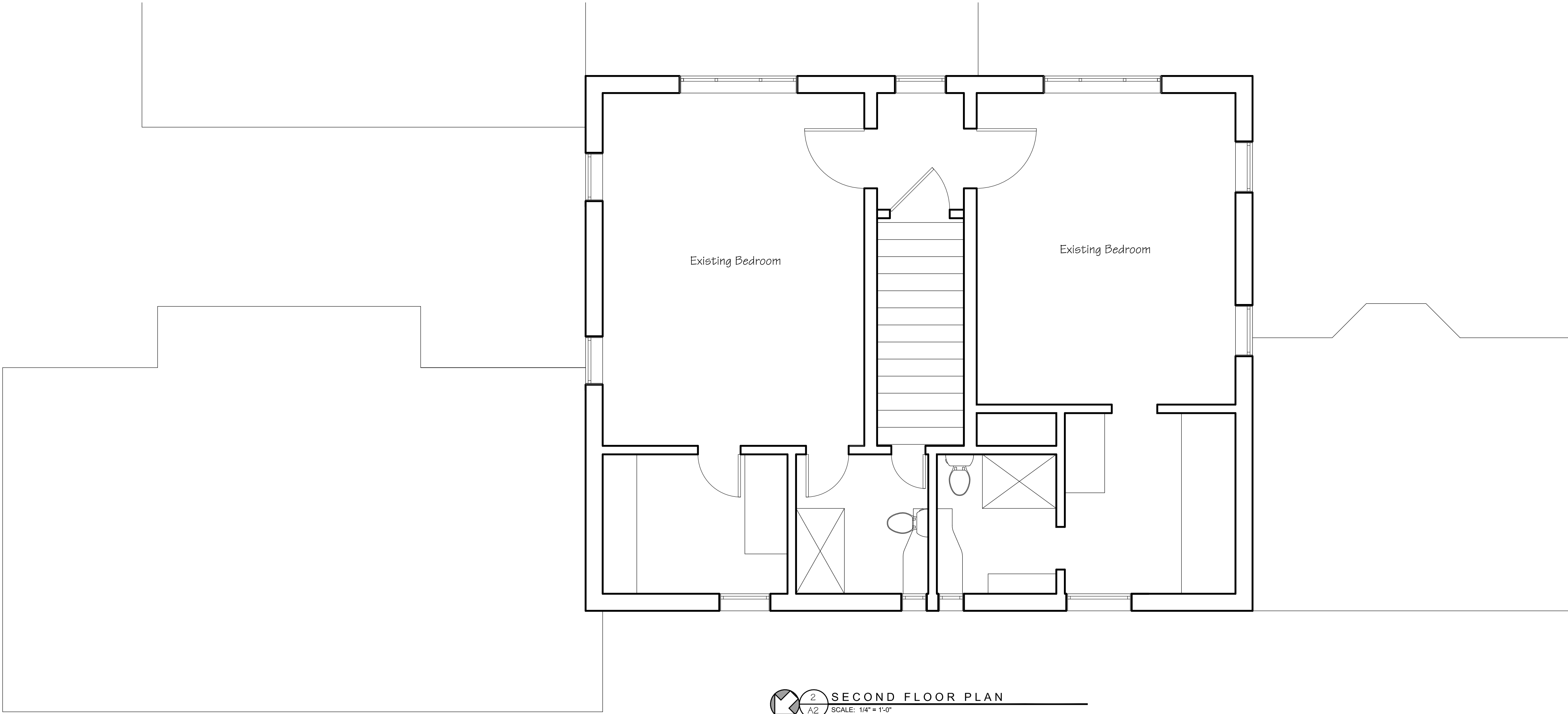
PROJECT NUMBER:
15 051

SHEET NUMBER:

A1



1 FIRST FLOOR PLAN
A1 SCALE: 1/4" = 1'-0"



NOT FOR CONSTRUCTION

© COPYRIGHT 2015
WILSON ARCHITECTS

FLYNN RENOVATION

408 Vanderbilt Road
Biltmore Forest, NC 28803

SD SET: 10.5.15

SHEET TITLE:

SECOND & FIRST
FLOOR PLANS

PROJECT NUMBER:

15 051

SHEET NUMBER:

A2

NOT FOR CONSTRUCTION

© COPYRIGHT 2015
WILSON ARCHITECTS

FLYNN RENOVATION

408 Vanderbilt Road
Biltmore Forest, NC 28803

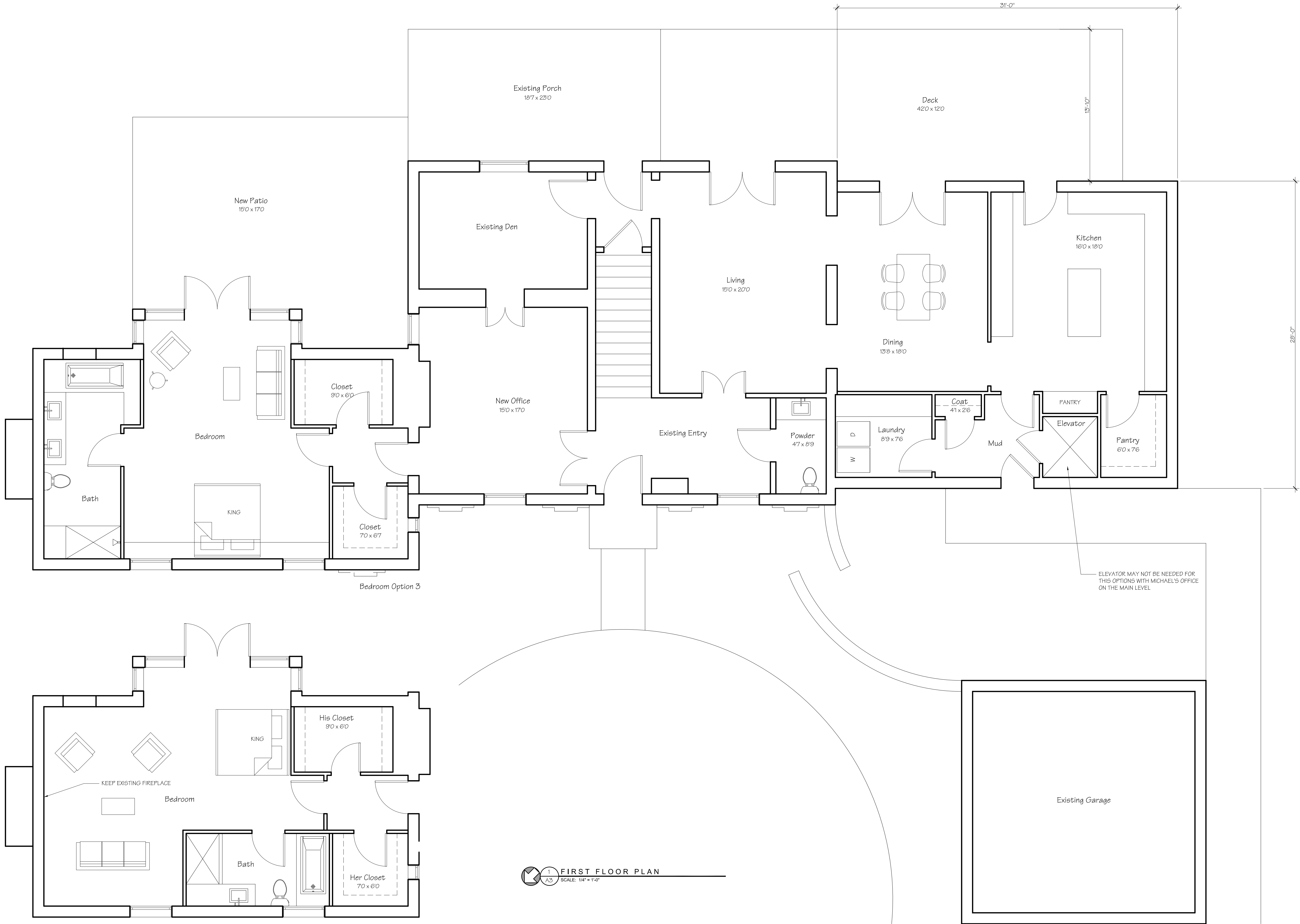
SD SET: 10.5.15

SHEET TITLE:
FIRST FLOOR PLAN
OPTION B

PROJECT NUMBER:
15 051

SHEET NUMBER:

A3



1 FIRST FLOOR PLAN
A3 SCALE: 1/4" = 1'-0"

NOT FOR CONSTRUCTION

© COPYRIGHT 2015
WILSON ARCHITECTS

FLYNN RENOVATION

408 Vanderbilt Road
Biltmore Forest, NC 28803

SD SET: 10.5.15

SHEET TITLE:
ELEVATIONS

PROJECT NUMBER:
15 051

SHEET NUMBER:

A4





ZONING APPLICATION

Required for Board of Adjustment & Design Review Board

				DATE	
PROPERTY IDENTIFICATION					
Owner Name	Property Address	PIN	Zoning	Lot Size (Acres)	
CONTACT INFORMATION					
Applicant (if not owner)			Email		
Mailing Address					
Phone (Primary)			Phone (Alt)		
PROPERTY REQUIREMENTS					
Maximum Permitted Roof Coverage			Rear Yard Setback		
Maximum Permitted Impervious Surface Coverage			Side Yard Setback		
SCOPE OF PROJECT					
Does the project include increasing roof coverage?			Yes	No	
If yes, what is the proposed roof coverage? _____					
Is the proposed roof coverage greater than the permitted maximum roof coverage?			Yes	No	
Does the project include increasing the impervious surface coverage?			Yes	No	
If yes, what is the proposed impervious surface coverage? _____					
Is the proposed impervious surface greater than the permitted maximum impervious surface coverage?			Yes	No	
Will any part of the project fall within the front yard?			Yes	No	
Will any part of the project fall within the side yard or rear yard setback?			Yes	No	
DESCRIPTION OF PROJECT					
Brief Description of Project					
Estimated Cost of Project			Estimated Completion Date		



VARIANCE APPLICATION

I, _____ hereby petition the Board of Adjustment for a variance(s) from the provisions of the Zoning Ordinance for the real property located at _____.

Variance to Zoning Ordinance Section(s):

- (a)
- (b)
- (c)

Reason Variance is Requested:

In granting any variance, the Board of Adjustment may prescribe appropriate conditions and safeguards in conformity with the Zoning Ordinance. Violations of the provisions of the variance granted including any conditions or safeguards which are part of the granting of the variance, shall be deemed a violation of the Zoning Ordinance. I, _____, hereby certify that all the information set forth above is true and accurate to the best of my knowledge.

Signature

Date



ZONING APPLICATION

Required for Board of Adjustment & Design Review Board

DATE

10/01/2015

PROPERTY IDENTIFICATION

Owner Name	Property Address	PIN	Zoning	Lot Size (Acres)
Walter Brown	14 Browntown Rd.	964698296700000	R-1	0.63

CONTACT INFORMATION

Applicant (if not owner) _____ Email **wjbrown@charter.net**
Mailing Address **14 Browntown Rd., Biltmore Forest NC 28803**
Phone (Primary) **(828) 691-1992** Phone (Alt) **(828) 274-1991**

PROPERTY REQUIREMENTS

Maximum Permitted Roof Coverage	3,520	Rear Yard Setback	25
Maximum Permitted Impervious Surface Coverage	7,547	Side Yard Setback	20

SCOPE OF PROJECT

Does the project include increasing roof coverage? Yes ☒ No ☐
If yes, what is the proposed roof coverage? 3,690

Is the proposed roof coverage greater than the permitted maximum roof coverage? Yes ☒ No ☐

Does the project include increasing the impervious surface coverage? Yes ☒ No ☐
If yes, what is the proposed impervious surface coverage? 7,050

Is the proposed impervious surface greater than the permitted maximum impervious surface coverage? Yes ☐ No ☒

Will any part of the project fall within the front yard? Yes ☐ No ☒

Will any part of the project fall within the side yard or rear yard setback? Yes ☒ No ☐

DESCRIPTION OF PROJECT

Brief Description of Project

Two car garage located directly back from existing driveway on side of house

4 foot wrought iron style fence in back yard.

Estimated Cost of Project **100,000**

Estimated Completion Date **06/30/2016**



VARIANCE APPLICATION

I, Walter Brown hereby petition the Board of Adjustment for a variance(s) from the provisions of the Zoning Ordinance for the real property located at 14 Browntown Rd.

Variance to Zoning Ordinance Section(s):

- (a) 1104 Accessory Structures & Accessory Buildings
- (b) ~~Select Ordinance Requirement~~ setback lines
- (c) Select Ordinance Requirement

Reason Variance is Requested:

The project involves a backyard fence and a detached garage, thus the request for variance on the number of structures.

The fence is being requested primarily because we are in the process of adopting a visually impaired child. He will be 6 years old at the time we adopt, and we would like for him to have a safe place to play outdoors. We live on a relatively busy street and feel the fence is important for safety. We also have a dog that we have tried to train on the existing invisible electric fence, but that has not been successful. This is a secondary concern, of course.

The setback variance request is due to lot size and shape. The lot is zoned R-1 but is 0.63 acres. Most lots of this size fall into R-2 with 15' side line and 20' rear line setbacks. I am requesting that the fence be allowed to be sited 15' from the side and rear lines of the property to allow more usable enclosed yard space, since it is a relatively small and narrow lot. The side and rear lines have existing vegetation to shield the visibility of the fence, and more will be added or replaced where needed.

In granting any variance, the Board of Adjustment may prescribe appropriate conditions and safeguards in conformity with the Zoning Ordinance. Violations of the provisions of the variance granted including any conditions or safeguards which are part of the granting of the variance, shall be deemed a violation of the Zoning Ordinance. I, Walter Brown, hereby certify that all the information set forth above is true and accurate to the best of my knowledge.

Signature

Date

10/1/15



CONDITIONAL USE PERMIT APPLICATION

I, Walter Brown hereby petition the Board of Adjustment to issue a
Conditional Use Permit for 802.07 Accessory Buildings
for the property located at 14 Browntown Rd. and described as follows:

Description of the Project:

The fence requested is to be a 4' wrought iron style fence enclosing the back yard. This is needed as we are in the process of adopting a visually impaired child who will be six years old at the time we adopt him. We would like for him to have a safe place to play outdoors. Since we live on a relatively busy street, we feel that the fence is needed to provide for his safety. We also have a dog that we have tried to train on the existing invisible electric fence, but that has proven to be ineffective. This is of course a secondary concern.

Explain why the project would not adversely affect the public interest of those living in the neighborhood:

The fence would be of a size and style that would be unobtrusive to the neighboring properties. There is existing landscaping and vegetation to shield it, and that will be revised and added to as part of the project so that the visibility of the fence will be blocked. The location, while requested to be within the existing setback, will still be far enough from the property lines to allow ample buffering from the adjacent properties.

I certify that the information presented by the undersigned in this application is accurate to the best of my knowledge, information and belief.

Signature

Walter Brown

Date

10/1/15



VARIANCE APPLICATION

I, Walter Brown hereby petition the Board of Adjustment for a variance(s) from the provisions of the Zoning Ordinance for the real property located at 14 Browntown Rd.

Variance to Zoning Ordinance Section(s):

- (a) 1104 Accessory Structures & Accessory Buildings
- (b) 1118 Maximum Roof Coverage
- (c) ~~Select Ordinance Requirement~~ side setback line

Reason Variance is Requested:

Our project involves building a two car garage to replace the existing garage currently located underneath the house. This is to allow the current garage space to be converted to living space as we are planning to expand our family. The project, as stated in the other application papers, includes fencing the back yard, thus the request for variance on the number of structures.

The roof coverage variance is requested to allow the building to have usable functional garage space as we currently have. A footprint smaller than the requested size would significantly decrease the practical function of the garage, including vehicle space and size/functionality of the garage doors. I am requesting the additional roof coverage in order to have appropriate roof overhang for structural and architectural soundness, and to visually fit with the existing house style. I would also like to note that I will use brick pavers for the driveway connection to the garage, such that the amount of additional roof coverage requested will be much less than the additional amount of impervious surface permitted for the lot.

The setback variance is requested due to practical limitations of the lot size and shape. The lot is located in R-1 zoning but is .63 acres. Most lots of this size have 15' side setback, and I am requesting that the garage be 15' from the side property line. This would allow access from the existing driveway to minimize the amount of additional driveway needed. The garage is sited in the back yard to eliminate issues of visibility from the street and minimize visual impact to neighboring houses. The relatively narrow lot width would mean that siting the garage farther from the side property line would significantly decrease usable back yard space, and siting elsewhere would involve either more driveway or visibility issues.

In granting any variance, the Board of Adjustment may prescribe appropriate conditions and safeguards in conformity with the Zoning Ordinance. Violations of the provisions of the variance granted including any conditions or safeguards which are part of the granting of the variance, shall be deemed a violation of the Zoning Ordinance. I, Walter Brown, hereby certify that all the information set forth above is true and accurate to the best of my knowledge.

Signature

Date

10/1/15



CONDITIONAL USE PERMIT APPLICATION

I, Walter Brown hereby petition the Board of Adjustment to issue a

Conditional Use Permit for 802.07 Accessory Buildings

for the property located at 14 Browntown Rd. and described as follows:

Description of the Project:

The project involves a detached two car garage to replace the existing basement garage, so that the existing garage can be converted to living space as we are planning to expand our family. As stated separately, the project also involves a fence for the back yard.

Explain why the project would not adversely affect the public interest of those living in the neighborhood:

The garage is to be sited in the back yard, so that it will not be visible from the street. The back yard has existing vegetation and will be landscaped such that the structure will be shielded from visibility by neighboring properties. The roof coverage variance requested is minimal and not visually noticable due to small size and location in the back yard. The total amount of impervious surface will be well within allowed range, even considering the roof coverage variance. The architectural style will be matched to the existing house.

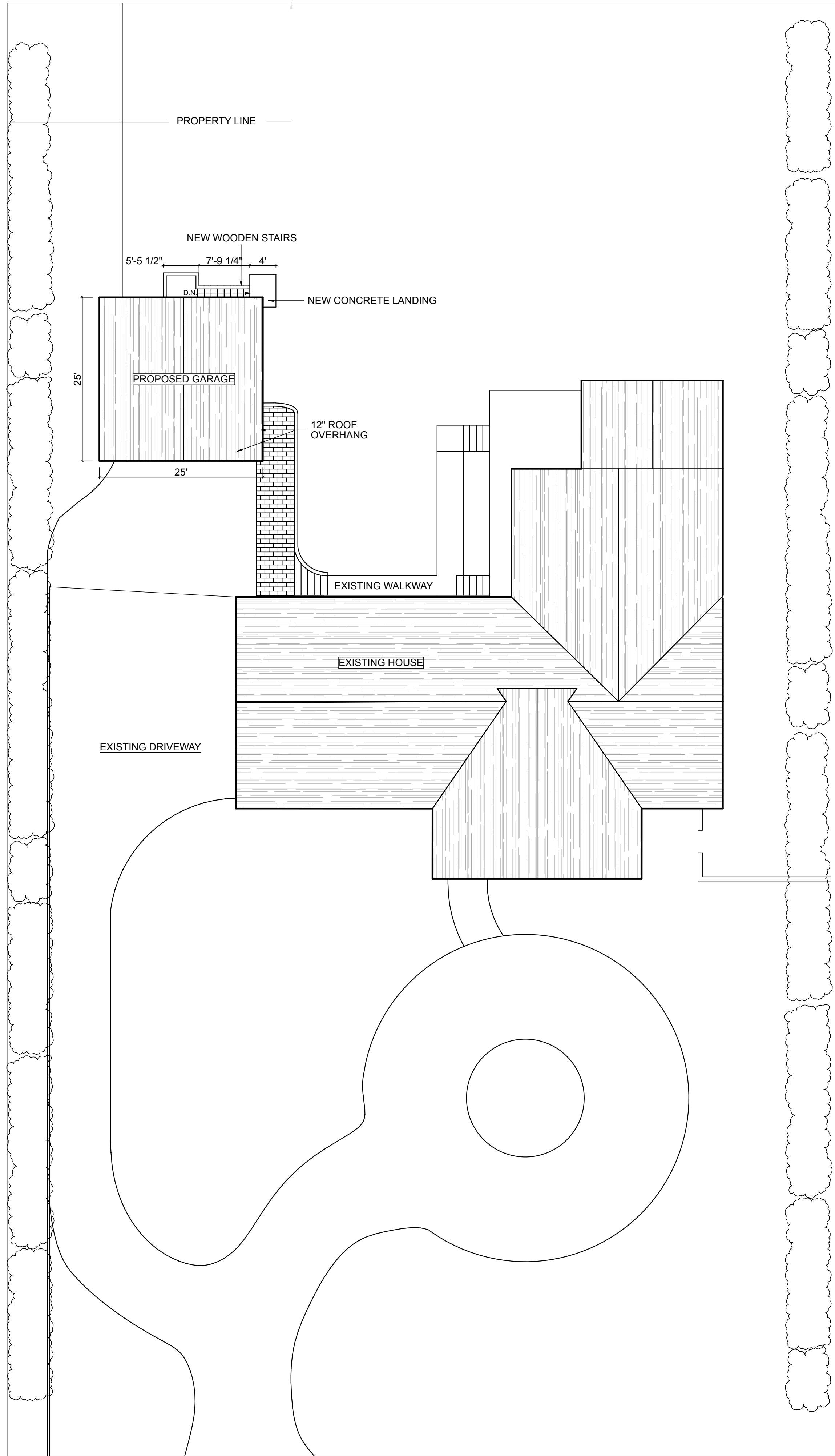
I certify that the information presented by the undersigned in this application is accurate to the best of my knowledge, information and belief.

Signature

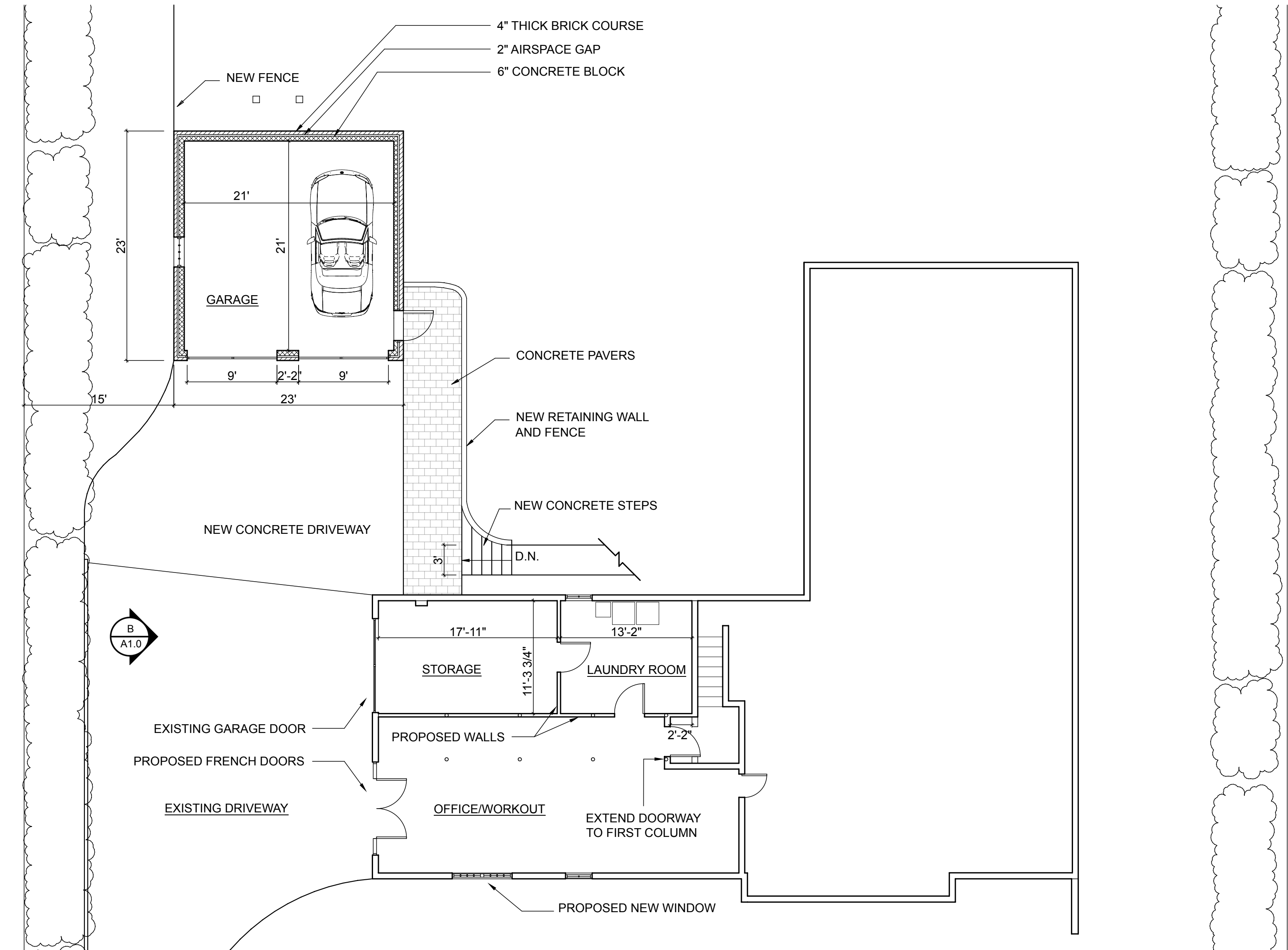
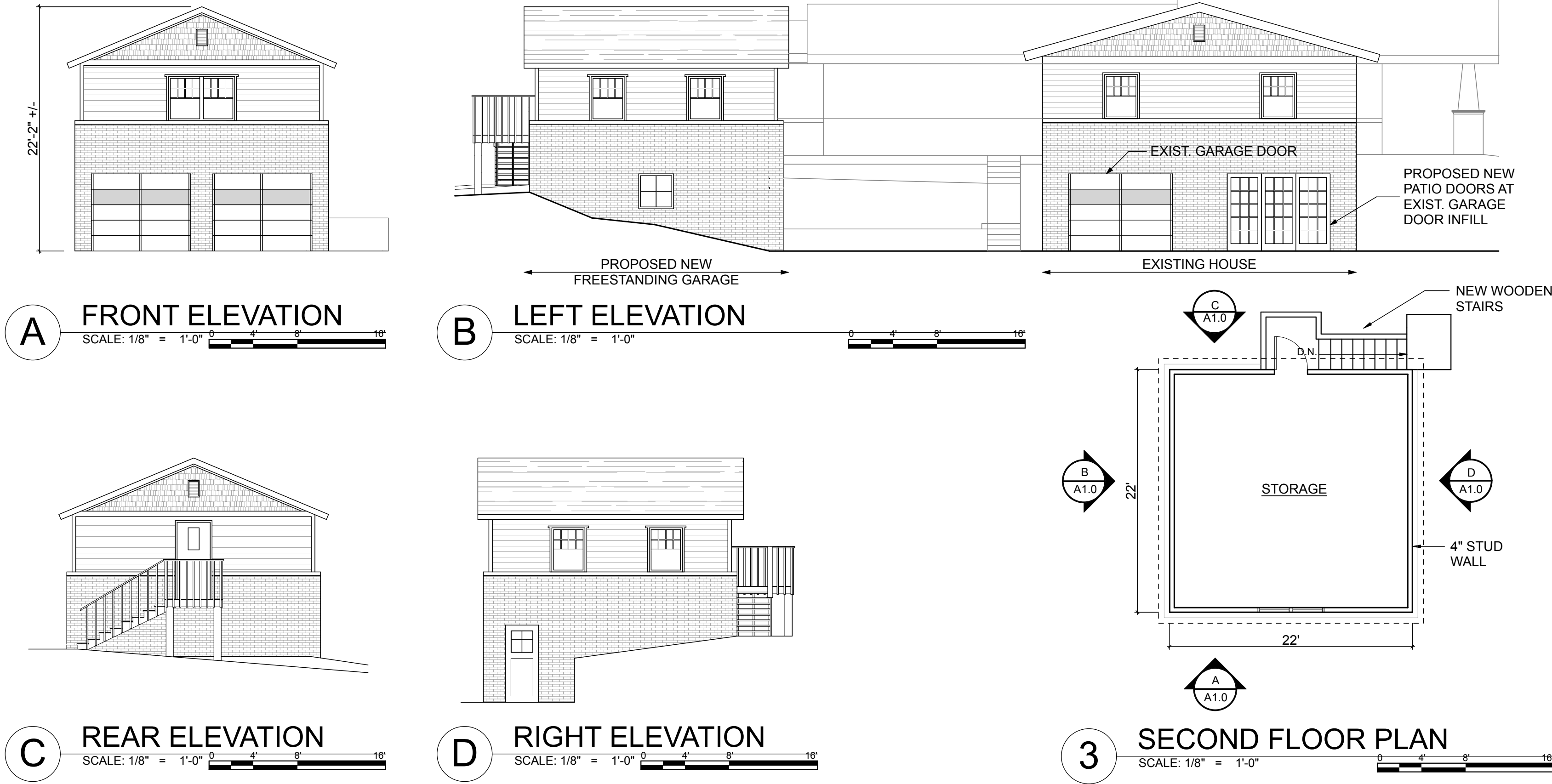
Walter Brown

Date

10/1/15



1 SITE PLAN
SCALE: 3/32" = 1'-0"



2 FIRST FLOOR PLAN
SCALE: 1/8" = 1'-0"

NOTICE
THE DESIGN HEREIN AND THE CORRESPONDING CONSTRUCTION DOCUMENTS ARE PROPERTY OF THE ARCHITECT AND ARE PROTECTED BY COPYRIGHT. NO PART OF THIS DESIGN OR ANY OF THE CORRESPONDING CONSTRUCTION DOCUMENTS SHALL BE REPRODUCED OR TRANSMITTED IN ANY FORM OR BY ANY MEANS, ELECTRONIC OR MECHANICAL, INCLUDING PHOTOCOPYING, RECORDING, OR BY ANY INFORMATION STORAGE AND RETRIEVAL SYSTEM, WITHOUT THE WRITTEN PERMISSION OF THE ARCHITECT. ANY VIOLATION OF THESE TERMS SHALL BE DEEMED A BREACH OF CONTRACT AND SHALL BE PUNISHED TO THE FULLEST EXTENT POSSIBLE.

SEALS:

**NOT
FOR
CONSTRUCTION**

**FOR
REVIEW
ONLY**

THIS DRAWING SHALL NOT BE USED FOR THE PURPOSE OF CONSTRUCTION UNLESS THE PROJECT ARCHITECT'S SEAL AND CONSTRUCTION SEAL APPEARS ABOVE ALONG WITH ITS CORRESPONDING SIGNATURE AND DATE.

**GARAGE ADDITION TO
DR. BROWN'S RESIDENCE**
14 BROWNTOWN ROAD
BILTMORE FOREST, NC 28803

PROJECT:

MASTERS + GENTRY
ARCHITECTS
111 EAST CHESTNUT STREET
ASHEVILLE, N.C. 28801
TEL: 828-238-2888
FAX: 828-238-0280

PROJECT NO.: 15-0803	
ISSUE DATE: 06/17/15	
DRAWN BY: RDH	CHECKED BY: MAM
SHEET REVISION DATE: 9/29/15	

SHEET TITLE:

**PLANS/
ELEVATIONS**

SHEET:

A-1

DRAWING NO. 1 OF 1