



To: Members of the Board of Adjustment, Applicants & Neighboring Property Owners  
From: Jonathan B. Kanipe, Town Manager  
Date: June 23, 2022  
Re: **Board of Adjustment Meeting – June 27, 2022**

### Applicants:

You or a representative **MUST** attend the meeting to have the matter considered.

Members of the Board of Adjustment & staff may visit each property prior to the meeting. If this occurs, the property owner will be notified beforehand and asked if they approve the visit.

### Neighbors:

You are receiving this notice because your property is adjacent to an applicant on this month's agenda.

You may review applications & plans for the projects on this agenda at <http://www.biltmoreforest.org/board-of-adjustments>

You are invited to attend the scheduled meeting at the Town Hall and make comment when called upon.

Additional information regarding the meeting will be provided on the Town's website no later than June 22, 2022.

### **\*\*\*REVISED AGENDA\*\*\***

**The following items of business will be considered by the Biltmore Forest Board of Adjustment on Monday, June 27, 2022 at 4:00 pm via Zoom. A link for the Zoom meeting is found on the following page.**

1. The meeting will be called to order and roll call taken.
2. The minutes of the May 16, 2022 regular meeting will be considered.
3. Hearing of Cases (Evidentiary Hearings, Deliberations & Determinations).

**Case 1: 14 Eastwood Road** – Special Use Request for Installation of Driveway Retaining Wall

**Case 2: 24 Amherst Road** – Special Use request for Installation of Accessory Structure (Playground) in Side Yard

**Case 3: 9 Forest Road** – Special Use request for Construction of Detached Accessory Building (Greenhouse) in Rear Yard

**Case 4: Undeveloped Parcel ID 9646-99-9306 (Hendersonville Road/Browntown Road)** – Variance Request to Change Front Yard Determination from Hendersonville Road to Browntown Road

**Case 5: 37 Hilltop Road** – Variance request to Exceed Maximum Roof Coverage and Variance request to Encroach Side Yard Setback

**Case 6: 100 Stuyvesant Road** – Variance request to Exceed Maximum Roof Coverage for Accessory Building; Special Use permit request to Construct Detached Accessory Building and Breezeway

**Case 7: Undeveloped Parcel ID 9646-43-5152 (Cedar Hill Drive)** Variance requests to Exceed Maximum Roof Coverage and to encroach side yard setback associated with new home construction; Special Use permit request for swimming pool construction

4. Adjourn

Topic: Biltmore Forest Board of Adjustment Meeting

Time: Jun 27, 2022 04:00 PM Eastern Time (US and Canada)

Join Zoom Meeting

<https://us02web.zoom.us/j/89564956299?pwd=T2RRZ2F5ZU1YdDIHVVJidlgrV3oxZz09>

Meeting ID: 895 6495 6299

Passcode: 211440

One tap mobile

+13017158592,,89564956299#,,,,\*211440# US (Washington DC)

+13126266799,,89564956299#,,,,\*211440# US (Chicago)

Dial by your location

+1 301 715 8592 US (Washington DC)

+1 312 626 6799 US (Chicago)

+1 646 876 9923 US (New York)

+1 346 248 7799 US (Houston)

+1 408 638 0968 US (San Jose)

+1 669 900 6833 US (San Jose)

+1 253 215 8782 US (Tacoma)

Meeting ID: 895 6495 6299

Passcode: 211440

Find your local number: <https://us02web.zoom.us/u/kOKEcYKJ9>

MINUTES OF THE BOARD OF ADJUSTMENT MEETING  
HELD MONDAY, MAY 16, 2022

The Board of Adjustment met at 4:00 p.m. on Monday, May 16, 2022.

Members present: Ms. Lynn Kieffer, Mr. Robert Chandler, Mr. Lowell Pearlman, and Ms. Rhoda Groce were present. Mr. Jonathan Kanipe, Town Manager and Mr. William Clarke, Town Attorney were also present.

Ms. Lynn Kieffer called the meeting to order at 4:00 p.m.

Mr. Goosmann swore in the following:

Mr. Jonathan Kanipe

Mr. T.J. Finger

Ms. Kirby Finger

Mr. Chris Michelle

Ms. Tina McGuire

Mr. Bobby Ingle

Mr. Randall Finken

A motion was made by Mr. Robert Chandler to approve the minutes from April 18, 2022. Ms. Rhoda Groce seconded the motion. Roll call was taken, and the minutes were unanimously approved.

HEARING (Evidentiary):

A Special Use Permit is requested for an accessory structure (installation of a patio and fire pit in the rear yard) at 30 Ridgefield Place. Mr. Chris Michelle represented the homeowners. The homeowners would like to add an entertaining space off their porch. It would be a built-in fireplace with stone bench seating. An area for seating, fires, grilling, and an overall entertaining area. The wall is twenty-seven feet long and three feet tall. Mr. Chandler asked if the homeowners are willing to buffer if neighbors requested it. Mr. Michelle said yes, they would be willing to buffer if needed.

DELIBERATION AND DETERMINATION:

Ms. Kieffer recited the facts. The request for an accessory structure for a flagstone patio in the back and a three-foot-high patio will be twenty-seven feet long. The homeowners have agreed to additional buffering as needed. The fire pit will also have a gas starter.

Ms. Rhoda Groce made a motion to have a Special Use Permit granted to Marty Smile and Lisa Madden and the facts as recited by Ms. Kieffer and her summation be accepted as findings and facts to support this grant. The Board has inspected this site and no neighboring property owner has objected. Mr. Pearlman further moved the Board define that granting this Special Use Permit (a) would not materially endanger the public health or safety if located where proposed and developed according to the plans as submitted and improved, (b) met all required conditions and specifications of the Town of Biltmore Forest Zoning ordinance, (c) would not substantially injure the value of adjoining or abutting property, and (d) would be in general conformity with the plan of development of the Town of Biltmore Forest and its environs as set forth in Sections 153.110 (C)(2-3) of the above ordinance. The applicant has been informed that he/she is to report to the Zoning Administrator within seven (7) days of completion of the project in order that the Zoning Administrator can determine that the project has been completed in accordance with plans submitted to the Town.

The motion was seconded by Mr. Lowell Pearlman. The motion was unanimously approved.

HEARING (Evidentiary):

A Special Use Permit request was requested for the removal of twenty-seven (27) protected trees per Town Tree Protection Ordinance at 46 Hilltop Road. Ms. Rhoda Grove shepherded the matter. Mr. Chris Michelle represented the homeowners. The homeowners are going through extensive renovations. They are hoping to remove pine trees, hemlocks, and a poplar. They are eliminating some trees that could be a danger to their home. They would like to incorporate flowered trees. They will replace them with seventy-one trees. They would put together a landscape plan and introduce flowering trees. Ms. Groce said the Board is currently approving the removal of the trees today and not the future landscaping plan at this time.

DELIBERATION AND DETERMINATION:

Ms. Groce made a motion for approval of the trees under the conditions that a landscaping plan be presented to the Board in accordance with the numbers of replacements. Mr. Robert Chandler seconded the motion. The motion was unanimously approved.

HEARING (Evidentiary):

A Special Use Permit request for accessory structures in the side yard (retaining wall and gate) at 120 Stuyvesant Road. Mr. Lowell Pearlman shepherded the matter. The homeowner, Mr. Finger, said they are trying to shield the side yard from the road. They would like to have privacy. There will be a small entrance gate. It will be approximately six or seven feet wide. A retaining wall will be built in the side yard. The retaining wall will not be built in the front plane of the home. A metal gate will connect one corner of the house. Vegetation will be planted in front of the gate. Mr. Pearlman asked if they would be willing to buffer additionally if needed. Mr. Finger said yes.

### DELIBERATION AND DETERMINATION:

Mr. Robert Chandler made a motion for a Special Use Permit and that it be granted to Kirby and T.J. Finger of 120 Stuyvesant Road and the facts as recited by Lowell Pearlman and his summation be accepted as findings and facts to support this grant. The Board has inspected this site and no neighboring property owner has objected. Mr. Chandler further moved the Board define that granting this Special Use Permit (a) would not materially endanger the public health or safety if located where proposed and developed according to the plans as submitted and improved, (b) met all required conditions and specifications of the Town of Biltmore Forest Zoning ordinance, (c) would not substantially injure the value of adjoining or abutting property, and (d) would be in general conformity with the plan of development of the Town of Biltmore Forest and its environs as set forth in Sections 153.110 (C)(2-3) of the above ordinance. The applicant has been informed that he/she is to report to the Zoning Administrator within seven (7) days of completion of the project in order that the Zoning Administrator can determine that the project has been completed in accordance with plans submitted to the Town.

Ms. Rhoda Groce seconded the motion. The motion was unanimously approved under the stipulations that they will submit a follow up accurate, to scale plan to the Board and Mr. Kanipe.

### HEARING (Evidentiary):

A Variance and Special Use Permit request for an accessory structure (fence) to be located within the rear and side yard setback at 28 Forest Road. Mr. Robert Chandler shepherded the matter. The fence would be replaced all the way back to the corner. Ms. McGuire showed a picture of the fence to the Board. It is black and 4-5' high. A picture of the material of the fence was shown to the Board and neighboring property owners. The fence will be camouflaged. Mr. Bobby Ingle said it acceptable to be ten feet away from the property line. The fence in the rear was built by the Town after receiving approval from the former owner, Mr. Vance Brown. Two gates will be added. Mr. Randall Finken said minimal

buffering would be needed because the state of the vegetation is acceptable. Mr. Finken was ok with no additional buffering.

DELIBERATION AND DETERMINATION:

Mr. Robert Chandler recited the facts and said a Variance and Special Use were requested for a fence to be located within the rear and side yard setback at 28 Forest Road. Additional buffering will be placed if needed. Mr. Lowell Pearlman made a motion for a Special Use Permit be granted to Christine McGuire at 28 Forest Road and the facts as recited by Robert Chandler and his summation be accepted as findings and facts to support this grant. The Board has inspected this site and no neighboring property owner has objected. Mr. Pearlman further moved the Board define that granting this Special Use Permit (a) would not materially endanger the public health or safety if located where proposed and developed according to the plans as submitted and improved, (b) met all required conditions and specifications of the Town of Biltmore Forest Zoning ordinance, (c) would not substantially injure the value of adjoining or abutting property, and (d) would be in general conformity with the plan of development of the Town of Biltmore Forest and its environs as set forth in Sections 153.110 (C)(2-3) of the above ordinance. The applicant has been informed that he/she is to report to the Zoning Administrator within seven (7) days of completion of the project in order that the Zoning Administrator can determine that the project has been completed in accordance with plans submitted to the Town.

Mr. Pearlman further moved that granting this Variance satisfies the applicable Sections of 153.110(D) and paragraphs one through four and would not be contrary to the public interest where, owing to special conditions, a literal enforcement of the provisions of this Ordinance would, in this case, result in a practical difficulty or unnecessary hardship. She further moved the Board to find the spirit of the ordinance would be observed, public safety and welfare secured, and substantial justice done. The applicant has been informed that he/she is to report to the Zoning Administrator within seven (7) days of completion of the project in order that the Zoning Administrator can determine that the project has been completed in accordance with plans submitted to the Town.

The motion was seconded by Ms. Rhoda Groce. Roll call was taken and unanimously approved.

Ms. Kieffer adjourned the meeting at 4:40 pm. The next Board of Adjustment meeting is scheduled for Monday, June 27, 2022 at 4:00 pm.

ATTEST:

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Greg Goosmann

Chairman

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Laura Jacobs

Town Clerk



**BOARD OF ADJUSTMENT  
STAFF MEMORANDUM**

June 27, 2022



**Case 1 – 14 Eastwood Road  
Special Use Permit Request for Installation of  
Driveway Retaining Wall**

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Property Owner: Sammie & David Bevan  
Property Address: 14 Eastwood Road

Project Description

The applicants request a special use permit to install two (2) low retaining walls along either side of their northern driveway. The proposed retaining walls will be constructed to improve drainage issues and reduce debris washed into the stormwater system. The walls will be constructed of brick and have a low profile, with a height of approximately two (2) feet closest to the road and just a few inches farther up the driveway.

Special Use Permit Request

Per the Town's Zoning Ordinance, the Board of Adjustment has authority to waive setback requirements for driveway entrance walls.

*Footnote 4. Accessory structures, including driveways, shall meet all setback requirements. **Notwithstanding the foregoing, setback requirements for driveway entrance columns or driveway entrance walls may be waived or modified by the Board of Adjustment with the granting of a special use permit in accordance with § 153.110(C), without the need for a variance pursuant to § 153.110(D).***

Staff measured the proposed location for the retaining walls and they are not located within the Town's right of way on Eastwood Road.

# Zoning Compliance Application

Town of Biltmore Forest

**Name**

David Bevan

**Property Address**

14 Eastwood Rd

**Phone**

(828) 424-0304

**Email**

dafzero@gmail.com

**Parcel ID/PIN Number**

## ZONING INFORMATION

**Current Zoning**

R-1

**Lot Size**

na

**Maximum Roof Coverage**

2,874 square feet (Up to .5 acres)

**Proposed Roof Coverage Total**

na

**Maximum Impervious Surface Coverage**

Up to 1 acre (27.5 percent of lot area)

**Proposed Impervious Surface Coverage**

na

**Front Yard Setback**

No Minimum (PS District)

**Side Yard Setback**

No Minimum (PS District)

**Rear Yard Setback**

No Minimum (PS District)

**Building Height**

na

**Description of the Proposed Project**

Dear Jonathan,

We submit the following request to build two low retaining walls on either side of our northern driveway entrance.

As you can see from the associated photographs, the steep bank to the left of the drive is such that it constantly erodes into the driveway.

The deterioration on the right side of the existing retaining feature causes continuous erosion into the yard. We have put a temporary barrier to direct water from flowing across the yard to further down the driveway so that it drains into the road catchment area as it should. The existing crumbling retaining feature is unsightly and requires redress.

The proposed retaining walls will be constructed of brick and have a low profile, rising no higher than is necessary to accomplish their purpose. The height at the entrance will be approximately 2 feet and reducing to a few inches approximately 20 feet up the driveway.

Every effort will be made to make them esthetically pleasing to the eye.

In order to accomplish this, the coloring of the brick and mortar used will match the existing materials the house is built with. The small end columns that will define the beginning of the retaining wall will be fashioned to match the design used on the walkway leading to the front door of the house. (See photo)

It should be noted that many of the adjacent houses on Eastwood Rd have similar driveway entrances that are built from materials matching those used in their respective homes.

We look forward to your acceptance of this minor but necessary feature to our home.

Sincerely,

David Bevan

PS - I have no idea about the Zoning Information that is required in this form so I have just completed it so the form will send.

DBB

**Estimated Start Date**

8/1/2022

**Estimated Completion Date**

8/15/2022

**Estimated Cost of Project**

\$5,000.00

**Supporting Documentation (Site Plan, Drawings, Other Information)**

Driveway Masonry - 3.jpeg

Driveway Masonry - 1.jpeg

Driveway Masonry - 2.jpeg

Driveway Masonry - 4.jpeg

Driveway Sketch Left.png

Driveway Sketch Right.png

**Applicant Signature**

**Date**

5/24/2022



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# Special Use Permit Application

Town of Biltmore Forest

**Name**

David Bevan

**Address**

14 Eastwood Rd

**Phone**

(828) 424-0304

**Email**

dafzero@gmail.com

**Please select the type of special use you are applying for:**

Accessory Structures

The applicant must show that the proposed use will not materially endanger public health or safety or injure value of adjoining or abutting property. In addition, the proposed use must be in general conformity with the plan of development of the town and be in harmony with scale, bulk, height, coverage, density, and character of the neighborhood.

**Please provide a description of the proposed project:**

We submit the following request to build two low retaining walls on either side of our northern driveway entrance. It is approximately 85 feet from the adjoining property and is the only driveway on the southern side of Eastwood Rd between Hilltop and the bend in the road.

The proposed retaining walls will assist in reducing the amount of debris that is washed into the storm drainage system.

The proposed retaining walls will be constructed of brick and have a low profile, rising no higher than is necessary to accomplish their purpose. The height at the entrance will be approximately 2 feet and reducing to a few inches approximately 20 feet up the driveway.

Every effort will be made to make them esthetically pleasing to the eye.

In order to accomplish this, the coloring of the brick and mortar used will match the existing materials the house is built with. The small end columns that will define the beginning of the retaining wall will be fashioned to match the design used on the walkway leading to the front door of the house. (See photos)

It should be noted that many of the adjacent houses on Eastwood Rd have similar driveway entrances that are built from materials matching those used in their respective homes.

**Explain why the project would not adversely affect the public interest of those living in the neighborhood:**

As opposed to an adverse effect, the construction will enhance the beauty of Eastwood Rd by updating a deteriorating retaining feature that should have been done years ago.

**I hereby certify that all of the information set forth above is true and accurate to the best of my knowledge.**

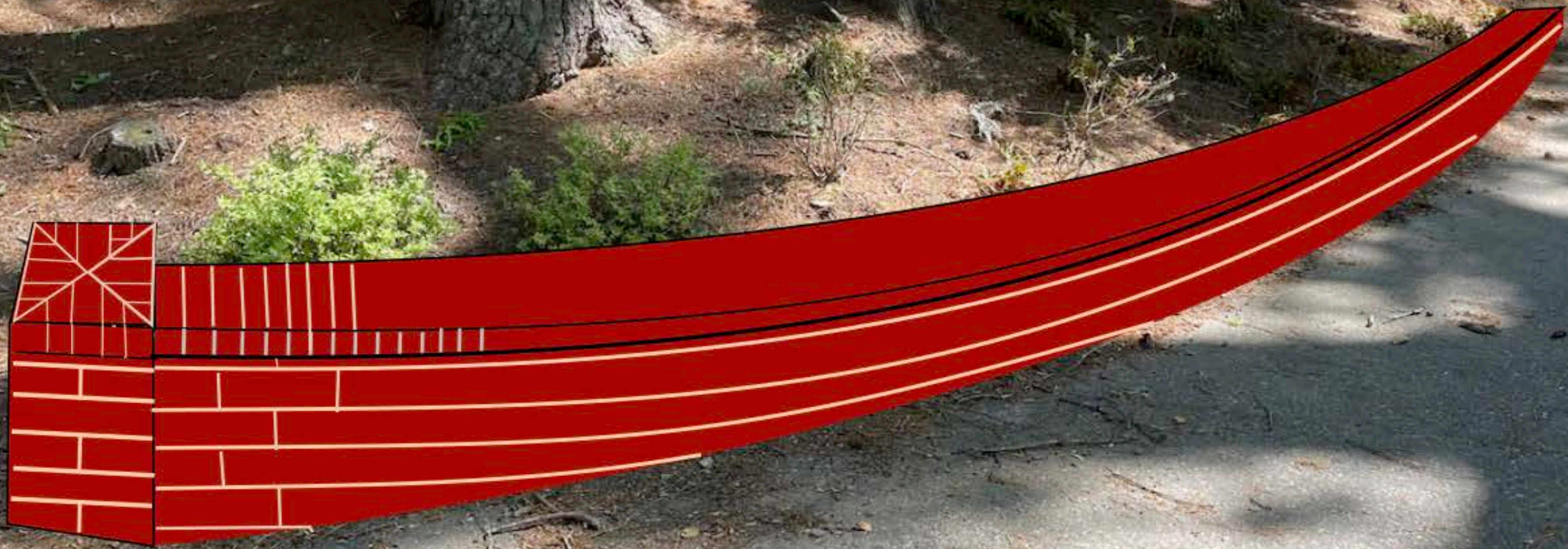
**Signature**

**Date**  
5/24/2022



A handwritten signature in black ink, consisting of several stylized, overlapping strokes that form a cursive-like shape. The signature is positioned above a thin horizontal line.

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**BOARD OF ADJUSTMENT  
STAFF MEMORANDUM**

June 27, 2022



**Case 2 – 24 Amherst Road  
Special Use Permit Request for Installation of  
Accessory Structure (Playground) in Side Yard**

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Property Owner: Lauren Arsuffi  
Property Address: 24 Amherst Road

Project Description

The request a special use permit for installation of a children’s playset within the side yard. The proposed location complies with the rear and side yard setbacks. The owner has attached a photo of the playset and an aerial view of the property showing the location.

Special Use Permit Request

Per Section 153.029, accessory structures (including playsets) are allowed by special use approval of the Board of Adjustment as noted below.

*§ 153.029 ACCESSORY STRUCTURES AND BUILDINGS.*

*(A) Accessory structures and/or necessary buildings shall not detract from nor interfere with adjacent properties. No accessory structure or building shall be constructed, erected, or located within any front yard or within any side yard or rear yard setback.*

*(B) (1) In addition, the following standards are established for accessory structures and accessory buildings:*

- (a) The maximum number of accessory buildings permitted on a lot shall be one;*
- (b) The maximum roof coverage area for accessory buildings shall be 750 square feet;*
- (c) The maximum height for accessory buildings shall be 25 feet;*
- (d) The accessory building must be screened by vegetation or other buffer as set forth in § 153.008;*
- (e) The accessory building must be located behind a line parallel to the rear of the principal structure on the lot;*
- (f) The accessory building must be designed in the same architectural style as the principal structure;*
- (g) Any accessory structure and/or accessory building shall be included in the calculation of allowable roof coverage and allowable impervious surface coverage on the lot pursuant to §§ 153.043 and 153.048.*

# Zoning Compliance Application

Town of Biltmore Forest

**Name**

Lauren Arsuffi

**Property Address**

15 Ocala Street

**Phone**

(828) 736-4849

**Email**

erikalaurenarsuffi@gmail.com

**Parcel ID/PIN Number**

965607256800000

## ZONING INFORMATION

**Current Zoning**

R-1

**Lot Size**

.73

**Maximum Roof Coverage**

2,874 square feet (Up to .5 acres)

**Proposed Roof Coverage Total**

n/a

**Maximum Impervious Surface Coverage**

Up to 1 acre (27.5 percent of lot area)

**Proposed Impervious Surface Coverage**

n/a

**Front Yard Setback**

60 feet (R-1 District)

**Side Yard Setback**

20 feet (R-1 District)

**Rear Yard Setback**

25 feet (R-1 District)

**Building Height**

10'

**Description of the Proposed Project**

Impervious surface and roof coverage are all not applicable. However, I had to select an option. Please disregard these estimates.

This project is for moving my son's playset from our old home to our new home at 24 Amherst Rd. We would like it to be located in our side yard.

**Estimated Start Date**

7/5/2022

**Estimated Completion Date**

7/10/2022

**Estimated Cost of Project**

\$0.00

**Supporting Documentation (Site Plan, Drawings, Other Information)**

**Applicant Signature**

**Date**  
5/21/2022



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A handwritten signature in black ink, consisting of several loops and a long vertical stroke extending downwards, positioned above a thin horizontal line.

# Special Use Permit Application

Town of Biltmore Forest

**Name**

Lauren Arsuffi

**Address**

24 Amherst Rd.

**Phone**

(828) 736-4849

**Email**

erikalaurenarsuffi@gmail.com

**Please select the type of special use you are applying for:**

Accessory Structures

The applicant must show that the proposed use will not materially endanger public health or safety or injure value of adjoining or abutting property. In addition, the proposed use must be in general conformity with the plan of development of the town and be in harmony with scale, bulk, height, coverage, density, and character of the neighborhood.

**Please provide a description of the proposed project:**

We are moving to 24 Amherst as of July and are requesting to have our son's wooden playset located in the side yard our home and land. Our son is 3 1/2 and we think it would help him to feel more at home knowing it would move with us. We love spending time and playing outside, and use it often. I am happy to provide a picture of the set if requested.

**Explain why the project would not adversely affect the public interest of those living in the neighborhood:**

The wooden playset would be in the side yard of our home and land. This area is the farthest away from all of our neighbors and the cul de sac. In my opinion, it would not adversely affect the public interest of those living in the neighborhood in any way.

**I hereby certify that all of the information set forth above is true and accurate to the best of my knowledge.**

**Signature**



**Date**

5/16/2022

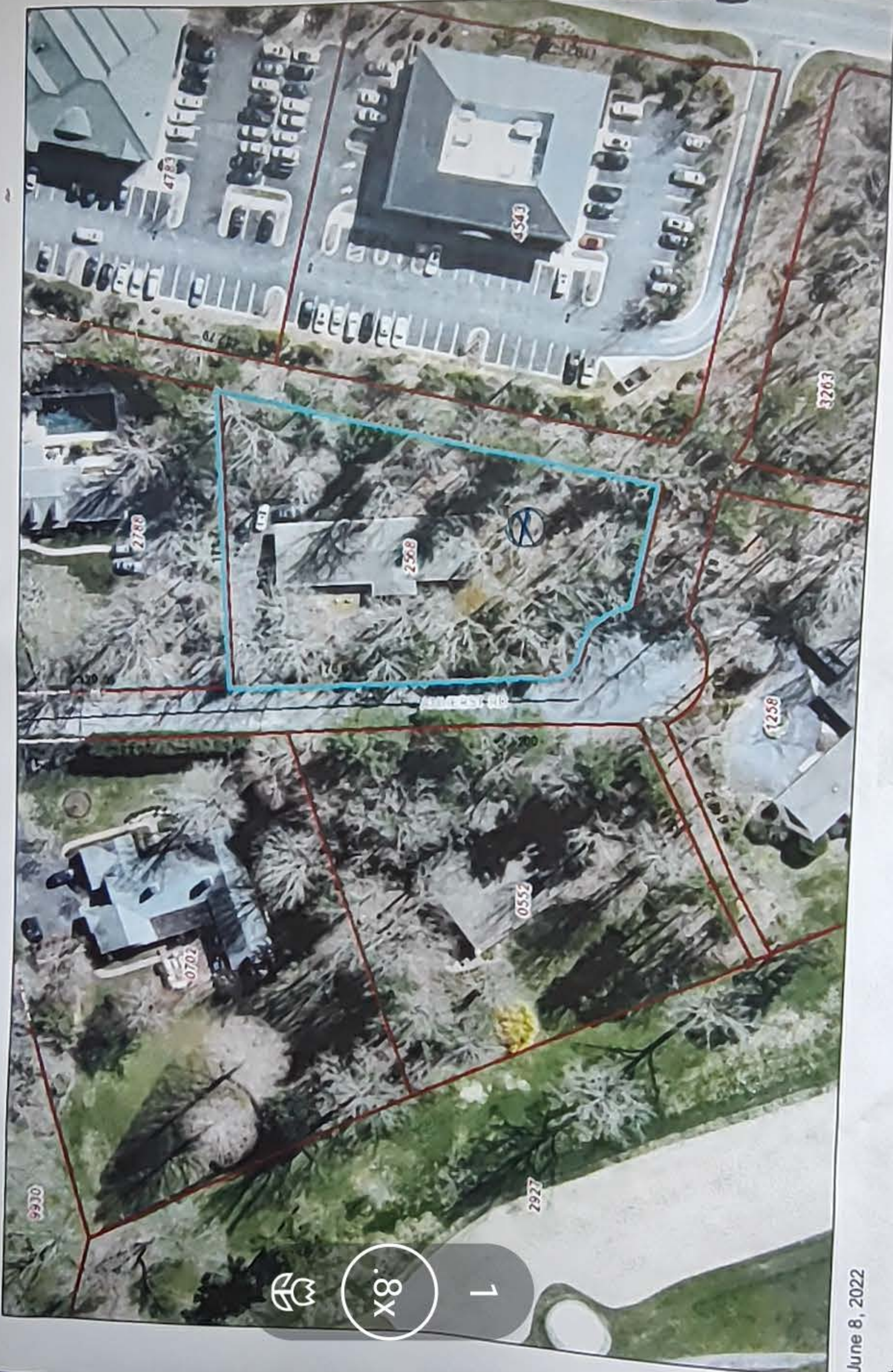


HDR

3:4



June 8, 2022



24 Amherst Road



8x

1

Mo

Pro

Portrait

Photo

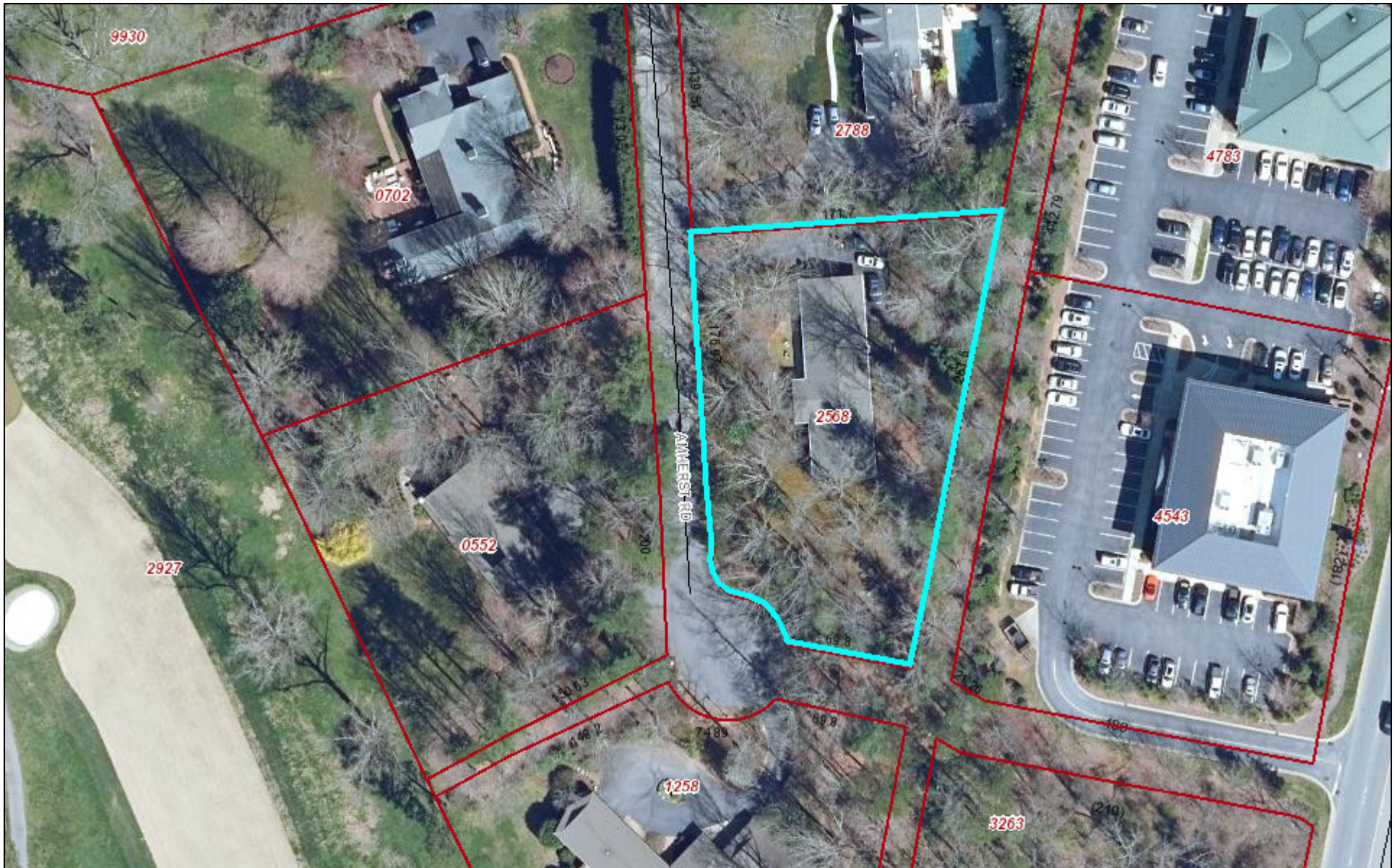
Video

Slow Motion

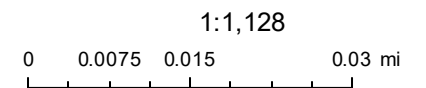




# 24 Amherst Road



June 8, 2022





**BOARD OF ADJUSTMENT  
STAFF MEMORANDUM**

June 27, 2022



**Case 3 – 9 Forest Road  
Special Use Permit Request for Installation of  
Accessory Building (Greenhouse) in Rear Yard**

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Property Owner: Maki Goskowicz  
Property Address: 9 Forest Road

Project Description

The applicant request a special use permit to install an accessory building within the rear yard. The proposed accessory building is a 20x32 greenhouse with vestibule. The proposed greenhouse meets the Zoning Ordinance requirement (stated below) to not exceed 750 square feet of roof coverage. The proposed location for the greenhouse complies with the setbacks for the side and rear yard, and the building is located behind the main residence.

Special Use Permit Request

Per Section 153.029, accessory buildings are allowed by special use approval of the Board of Adjustment as noted below.

§ 153.029 *ACCESSORY STRUCTURES AND BUILDINGS.*

*(A) Accessory structures and/or necessary buildings shall not detract from nor interfere with adjacent properties. No accessory structure or building shall be constructed, erected, or located within any front yard or within any side yard or rear yard setback.*

- (B) (1) In addition, the following standards are established for accessory structures and accessory buildings:*
- (a) The maximum number of accessory buildings permitted on a lot shall be one;*
  - (b) The maximum roof coverage area for accessory buildings shall be 750 square feet;*
  - (c) The maximum height for accessory buildings shall be 25 feet;*
  - (d) The accessory building must be screened by vegetation or other buffer as set forth in § 153.008;*
  - (e) The accessory building must be located behind a line parallel to the rear of the principal structure on the lot;*
  - (f) The accessory building must be designed in the same architectural style as the principal structure;*

*(g) Any accessory structure and/or accessory building shall be included in the calculation of allowable roof coverage and allowable impervious surface coverage on the lot pursuant to §§ 153.043 and 153.048.*

# Zoning Compliance Application

Town of Biltmore Forest

**Name**

Maki Goskowicz

**Property Address**

9 Forest Road

**Phone**

(858) 735-3627

**Email**

mcgoskowicz@gmail.com

**Parcel ID/PIN Number**

9647-62-8494-00000

## ZONING INFORMATION

**Current Zoning**

R-1

**Lot Size**

1.43 acres

**Maximum Roof Coverage**

5,500 square feet (Up to 1.5 acres)

**Proposed Roof Coverage Total**

725 sq ft

**Maximum Impervious Surface Coverage**

1-3 acres (25 percent of lot area)

**Proposed Impervious Surface Coverage**

725 sq ft

**Front Yard Setback**

60 feet (R-1 District)

**Side Yard Setback**

20 feet (R-1 District)

**Rear Yard Setback**

25 feet (R-1 District)

**Building Height**

18 ft high or less

**Description of the Proposed Project**

Installation of Greenhouse, 20 x 32 ft with 8 x 4 ft vestibule. Greenhouse to have polycarbonate panel roof and double glass panels on the sides. Greenhouse will be placed at site in yard indicated by orange flags on property.

**Estimated Start Date**

8/22/2022

**Estimated Completion Date**

7/14/2023

**Estimated Cost of Project**

\$261,142.00

**Supporting Documentation (Site Plan, Drawings, Other Information)**

AerialofLorShowingGreenhouse.pdf

Copy of Gutter & Downspouts Attachment.pdf

Copy of Gutter systems.pdf

GIS Map Without Greenhouse.pdf

Goskowicz\_Maki CT2032DGEFW+ 5 6.pdf

Goskowicz, Maki CT2032DGEFW-2 Layout (2).pdf

**Applicant Signature**

**Date**

5/23/2022



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# Special Use Permit Application

Town of Biltmore Forest

**Name**

Maki Goskowicz

**Address**

9 Forest Road, Biltmore Forest, NC

**Phone**

(858) 735-3627

**Email**

mcgoskowicz@gmail.com

**Please select the type of special use you are applying for:**

Accessory Buildings

The applicant must show that the proposed use will not materially endanger public health or safety or injure value of adjoining or abutting property. In addition, the proposed use must be in general conformity with the plan of development of the town and be in harmony with scale, bulk, height, coverage, density, and character of the neighborhood.

**Please provide a description of the proposed project:**

20 x 32 Greenhouse with vestibule

**Explain why the project would not adversely affect the public interest of those living in the neighborhood:**

The greenhouse would be contained within my property, well beyond the required setbacks.

**I hereby certify that all of the information set forth above is true and accurate to the best of my knowledge.**

**Signature**

**Date**

5/23/2022

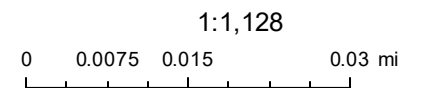


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# Buncombe County



May 19, 2022

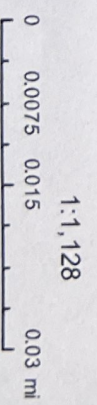




Buncombe County

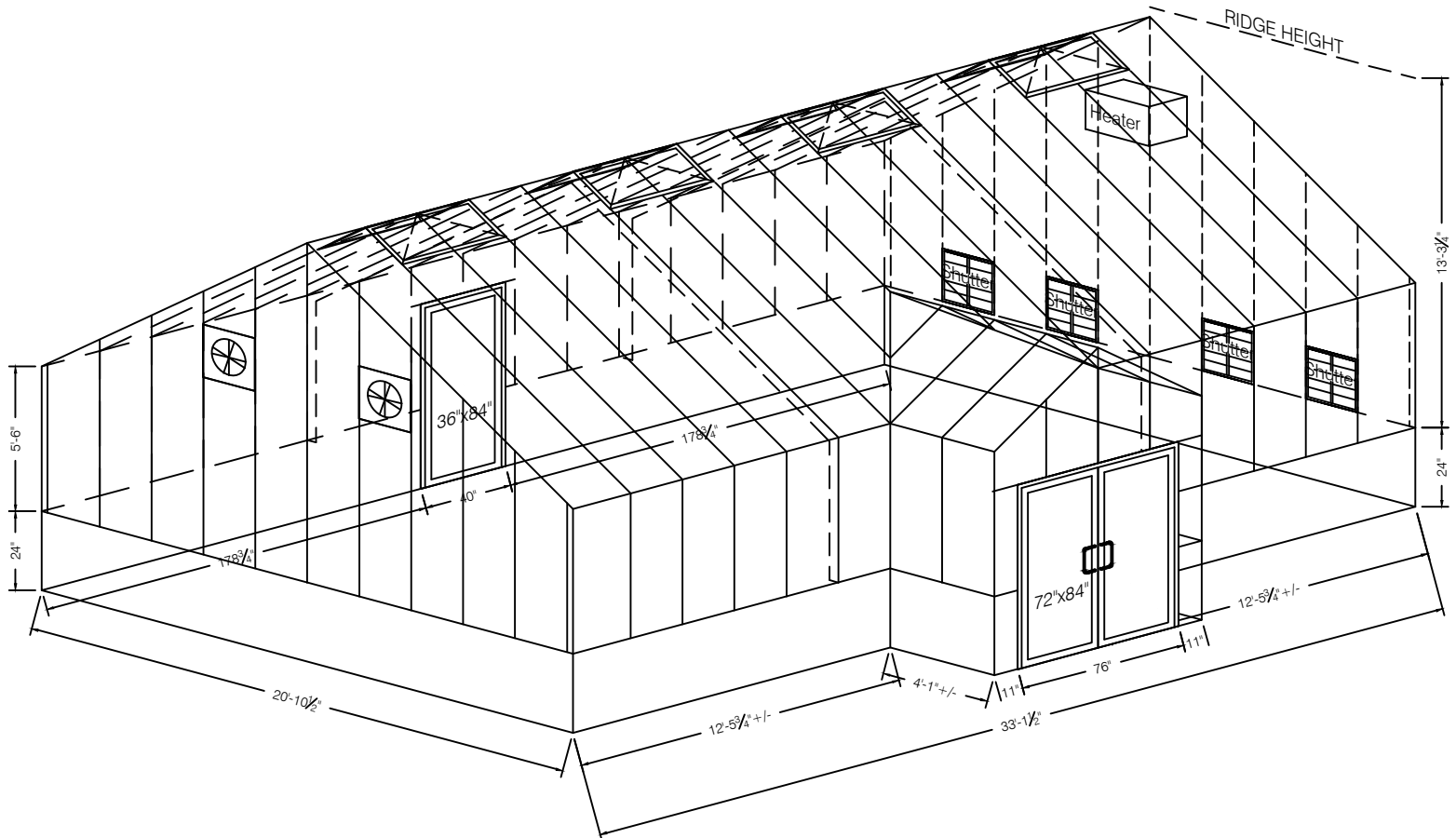


May 19, 2022



1:1,128

IMPORTANT NOTES: All dimensions are to the outside of greenhouse frame  
 For layout purposes only, drawing does not show all infrastructure included  
 Some accessories may need to shift position depending on infrastructure design  
 Roof Slope: 8.5/12  
 Door Drop: 246



Customer:

Goskowicz, Maki

Date Created:

April 13, 2022

Revised:

May 6, 2022

Model:

CT2032DGEFW+

Scale:

Custom

Sheet Name:

Layout

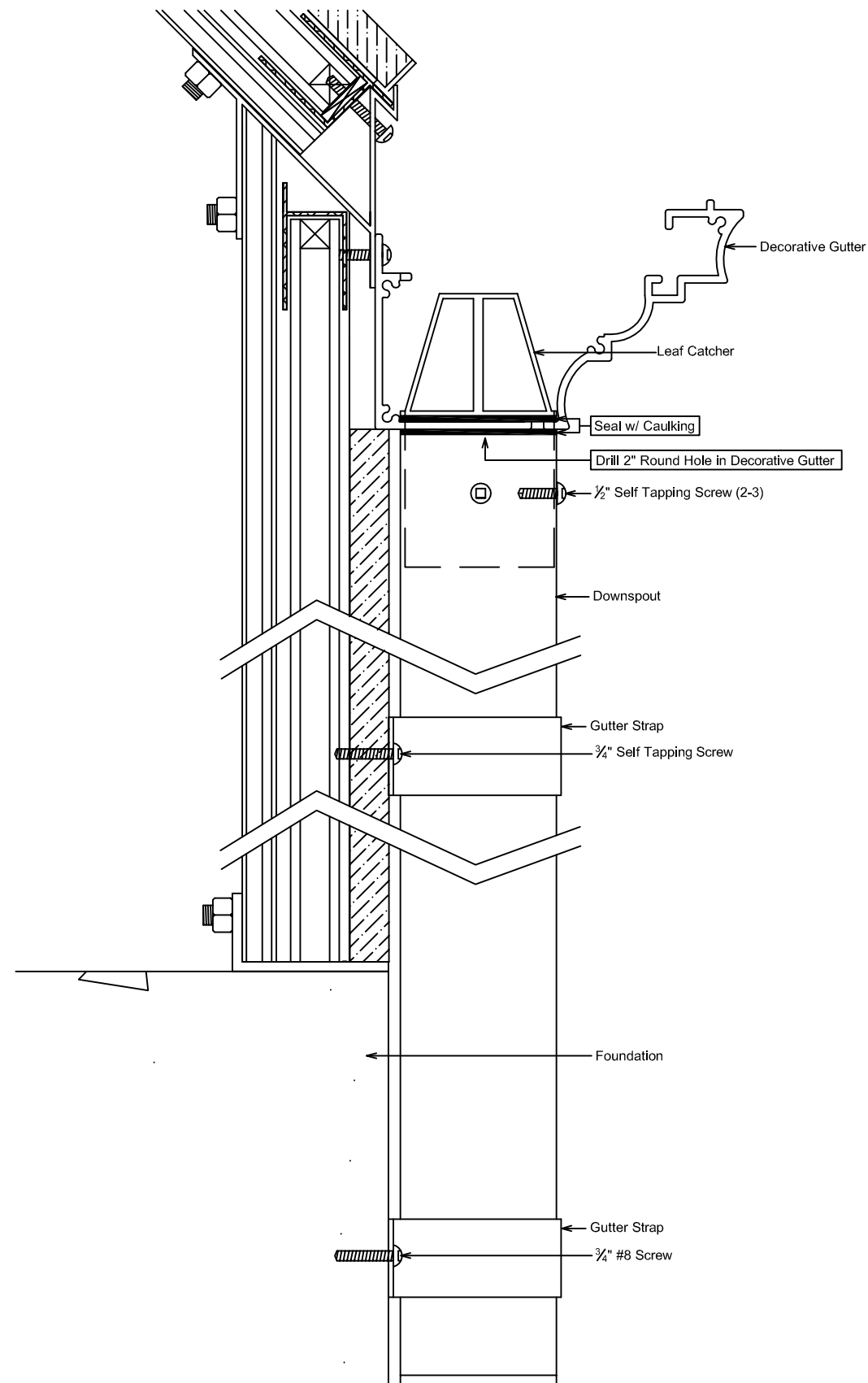
Drawn By:

CJ/CS

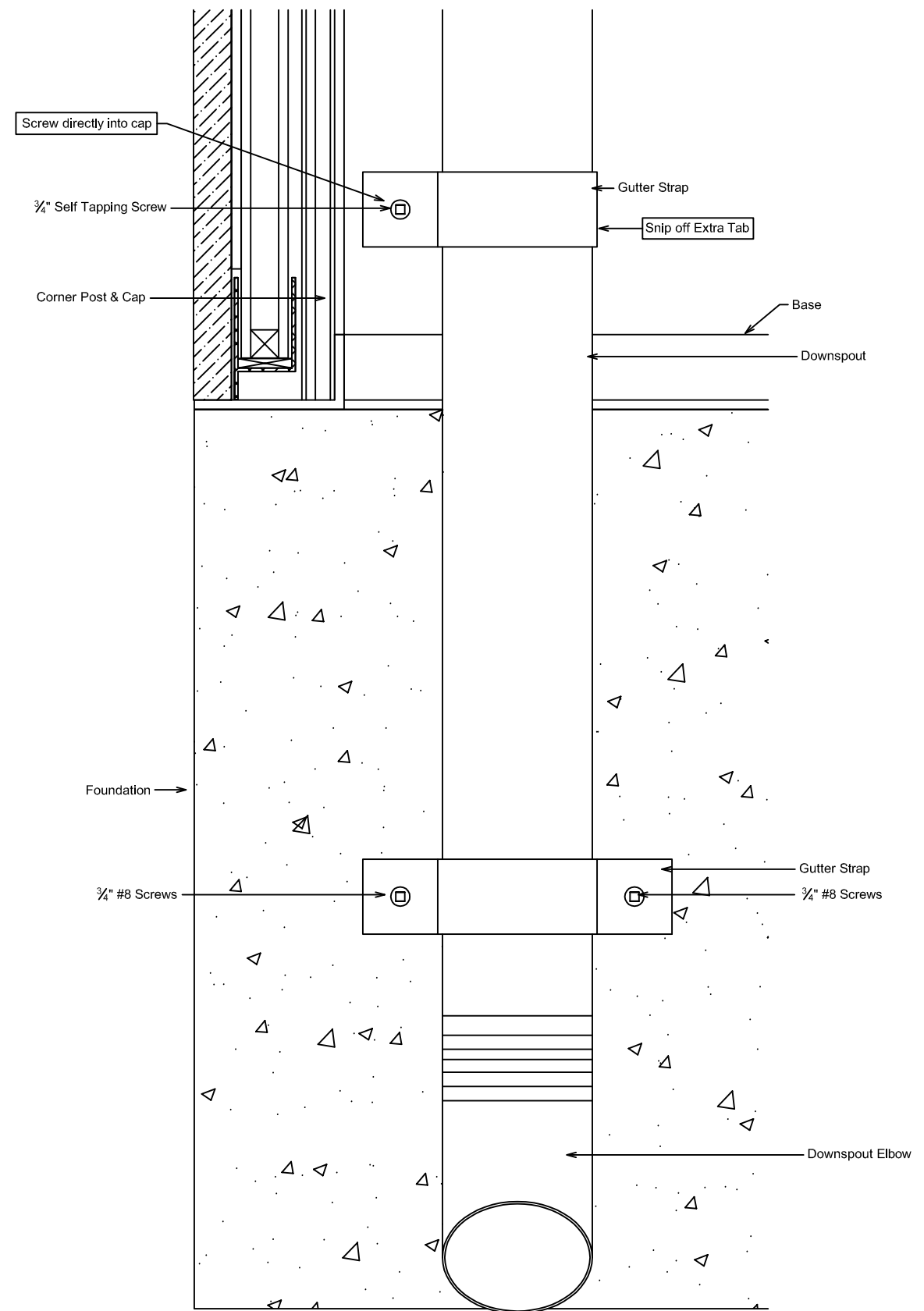
Page:

1

# DOWNSPOUT INSTALLATION



Downspout Attachment



Downspout Attachment



## Decorative Gutter

Decorative gutter is much like adding crown molding to a home. It provides a distinctive, finished look that is pleasing to the eye. Our decorative gutter also has functional purpose for your greenhouse. Combined with a downspout, the gutter system will expel water where you want it to go. Our decorative gutter system has a beautiful Victorian profile and is available in any finish or color.

You can choose a full wraparound gutter system or choose the best location for form or function.



This Garden Room boasts a beautiful Victorian gutter.

Additional options are also available which include contemporary profiles with full drainage systems.





**BOARD OF ADJUSTMENT  
STAFF MEMORANDUM**

June 27, 2022



**Case 4 – Undeveloped Parcel ID 9646-99-9306  
(Intersection of Hendersonville Road/Browntown Road)**

**Variance Request to Change Front Yard Determination from  
Hendersonville Road to Browntown Road**

---

Property Owner: Joseph “Robert” Anderson  
Property Address: Undeveloped Parcel ID 9646-99-9306  
Adjacent to 4 Browntown Road

Project Description

The applicant requests a variance to change the front yard determination for this unoccupied and undeveloped lot from Hendersonville Road to Browntown Road.

Variance Request

The definitions section of the Town’s Zoning Ordinance (Section 153.004) states:

*“Lots with frontage on more than one street, the side of the lot with the most street frontage shall be considered the **FRONT YARD**; however, in the consideration and determination of applications for special use or variance on such a lot, the Board of Adjustment shall take into account and consider the visibility of both the **FRONT** and side yards to the street and adjoining properties in any determination.”*

In this instance, the applicant’s property includes 108 feet of street frontage on Browntown Road and approximately 197 feet of road frontage on Hendersonville Road. By definition, this would require the “front yard” to be designated as Hendersonville Road. The variance application from the property owner is to designate Browntown Road as the “front yard” for this parcel.

# VARIANCE APPLICATION

Town of Biltmore Forest

**Name**

Joseph "Robert" Anderson

**Address**

4 Browntown Road

**Phone**

(828) 277-9206

**Email**

anderson-1@charter.net

**Current Zoning/Use**

Residential

**Requested Use**

Residential

**APPLICATION REQUIREMENTS:** An application to the Board of Adjustment for a variance must be submitted to the Town of Biltmore Forest Town Manager at least 21 days prior to the meeting at which the application will be considered. A pre-application meeting with Town staff is required prior to application submittal to the Board of Adjustment.

**What would you like to do with your property?**

The property immediately East of my property on 4 Browntown Road, is listed as a "Hendersonville Road" address. My wife, Tracy, and I own both of these adjacent properties. We are considering options to build a home for family vs. possible public sale. Either way, after we realized that the ordinances requires a new house on that property to face Hendersonville Road, and also enter/exit via driveway only from Hendersonville Road. We would like to request a variance so that a house could face Browntown Road, and have a driveway open to Browntown Road. This would include a change in the property's address to "2 Browntown Road". Thank you for your consideration.

**What does the ordinance require?**

The ordinance requires a new house on the Hendersonville Road property to face Hendersonville Road, and also requires entry/exit via driveway only from Hendersonville Road.

BOARD OF ADJUSTMENT: N.C.G.S. 160A-388(D) requires that the Board of Adjustment shall vary the provisions of the Zoning Ordinance only upon a showing of ALL the items below. The Board of Adjustment must follow strict procedure and all determinations must be decided by a concurring vote of four-fifths of the members of the Board. It is important to provide detailed supporting documentation for the Board of Adjustment to review. If necessary, additional sheets may be attached to this application.

**REQUIRED FINDINGS: Please provide a thorough response to each.****Unnecessary hardship would result from the strict application of the ordinance.**

Entering and exiting onto Hendersonville Road is a significant hardship and markedly less safe than entering and exiting onto Browntown Road. In addition, the difference in the value of this property is significantly lower with a Hendersonville Road address vs. a Browntown Road address. Argument can be made that an entry/exit onto Browntown Road may be more safe and easier to protect as well... being a home more clearly a part of the Town of Biltmore Forest.

**The hardship results from conditions that are peculiar to the property, such as location, size, or topography.**

The property is immediately adjacent to our home at 4 Browntown Road, and happens to also border on Hendersonville Road. There could be access from either road. My brother owns a similar lot at 2 Cedar

Cliff Road, and his home faces Cedar Cliff with a Cedar Cliff Road address.

**The hardship did not result from actions taken by the applicant or the property owner.**

This issue is unique to these properties that border on both a main Biltmore Forest road and Hendersonville Road.

**The requested variance is consistent with the spirit, purpose, and intent of the ordinance, such that public safety is secured, and substantial justice is achieved.**

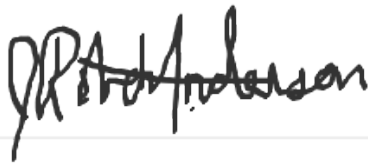
The requested variance remains consistent with the spirit, purpose, and intent of the original ordinance, and actually public safety may be improved, especially with the significant increase in traffic on Hendersonville Road. As to justice, there are similar properties within the Town of Biltmore Forest with similar circumstance/location that have flourished and thus maintained a higher value than if they faced Hendersonville Road.

**I hereby certify that all of the information set forth above is true and accurate to the best of my knowledge.**

**Signature**

**Date**

5/31/2022



---



▼ Measure Tools

 | Feet

---

Measurement Result

197.1 Feet



**BOARD OF ADJUSTMENT  
STAFF MEMORANDUM**

June 27, 2022



**Case 5 – 37 Hilltop Road**

**Variance Request to Exceed Maximum Roof Coverage and  
Variance Request to Encroach within Side Yard Setback**

---

Property Owner: Anthony and Deborah Adams  
Property Address: 37 Hilltop Road

Project Description

The applicant requests two variances from the Zoning Ordinance in conjunction with an overall reworking of the home. The entire remodeling project consists of new windows, siding, color scheme, and exterior details. As part of this variance request, the applicants would like to enlarge their master bath and master closet and enlarge an existing screened porch.

Variance Request

The variance requests are broken down into two separate requests, as noted below.

Variance 1: Request to exceed the maximum roof coverage for the lot. Zoning Ordinance 153.043 provides that for a lot up to 1.2 acres, the maximum allowable roof coverage is 5,060 square feet. The proposed total for the roof coverage, after renovation, is 5,707 square feet. This is an exceedance of 11.2 percent. The home was constructed prior to this portion of the Zoning Ordinance being in effect; as a result, the existing home is already over the maximum roof coverage allowance.

Variance 2: Request to extend into the side yard setback. The proposed screen porch addition would increase the existing encroachment by approximately 1' 3/8". The existing structure is currently 3' 9 1/4" into the 20-foot setback. Variance approval would increase the encroachment into the setback to 5' 2 1/2". This is 14' 9 1/2" from the neighboring property line. The dimensional requirements found within the Town's Zoning Ordinance require a 20' side setback on all properties within the R-1 zoning district.

# Zoning Compliance Application

Town of Biltmore Forest

**Name**

Scott Bartholomew

**Property Address**

37 Hilltop Rd, Biltmore Forest, NC

**Phone**

(828) 712-1297

**Email**

scott@swbarchitecture.com

**Parcel ID/PIN Number**

9646756421

## ZONING INFORMATION

**Current Zoning**

R-1

**Lot Size**

1.12 acres

**Maximum Roof Coverage**

5,060 square feet (Up to 1.2 acres)

**Proposed Roof Coverage Total**

5,717

**Maximum Impervious Surface Coverage**

1-3 acres (25 percent of lot area)

**Proposed Impervious Surface Coverage**

10,827

**Front Yard Setback**

60 feet (R-1 District)

**Side Yard Setback**

20 feet (R-1 District)

**Rear Yard Setback**

25 feet (R-1 District)

**Building Height**

2 story on basement

**Description of the Proposed Project**

Our intention is to provide an overall reworking of the look of the house including new windows, siding, color scheme, and exterior details. Included in this work are much needed additions to the rear of the house, which include an enlarged Master Bath, Master Closet and Screen Porch.

**Estimated Start Date**

8/1/2022

**Estimated Completion Date**

12/1/2022

**Estimated Cost of Project**

\$200,000.00

**Supporting Documentation (Site Plan, Drawings, Other Information)**

Adams 22-05-24.pdf

**Applicant Signature**

A handwritten signature in black ink, appearing to read "L. P. ...". The signature is written in a cursive style with a horizontal line crossing through the middle of the letters. Below the signature is a thin horizontal line.

**Date**

5/26/2022

# VARIANCE APPLICATION

Town of Biltmore Forest

**Name**

Scott Bartholomew

**Address**

37 Hilltop Rd, Biltmore Forest, NC 28803

**Phone**

(828) 712-1297

**Email**

scott@swbarchitecture.com

**Current Zoning/Use**

Residential

**Requested Use**

Residential

**APPLICATION REQUIREMENTS:** An application to the Board of Adjustment for a variance must be submitted to the Town of Biltmore Forest Town Manager at least 21 days prior to the meeting at which the application will be considered. A pre-application meeting with Town staff is required prior to application submittal to the Board of Adjustment.

**What would you like to do with your property?**

Our intention is to provide an overall reworking of the look of the house including new windows, siding, color scheme, and exterior details. Included in this work are much needed additions to the rear of the house, which include an enlarged Master Bath and Master Closet (variance 1 below) and an enlarged Screen Porch (variance 1 & 2 below).

**What does the ordinance require?**

- 1) Per 163.043 Maximum Roof Coverage. Up to 1.2 acres - 5,060 sq.ft. allowable.
- 2) Per 153.007 Dimensional Requirements. Side Setbacks are 20' for R-1 zoned lots.

BOARD OF ADJUSTMENT: N.C.G.S. 160A-388(D) requires that the Board of Adjustment shall vary the provisions of the Zoning Ordinance only upon a showing of ALL the items below. The Board of Adjustment must follow strict procedure and all determinations must be decided by a concurring vote of four-fifths of the members of the Board. It is important to provide detailed supporting documentation for the Board of Adjustment to review. If necessary, additional sheets may be attached to this application.

**REQUIRED FINDINGS: Please provide a thorough response to each.****Unnecessary hardship would result from the strict application of the ordinance.**

- 1) A strict application of the ordinance would limit to ability of the property owner to make effective use of a desired enlargement of the Master Closet & Bath and Screen Porch within the existing structure. The existing are significantly undersized for the scale of the home and the era which we currently live.
- 2) A strict application of the ordinance would limit the ability of the property owner to make effective use of a desired enlarged screen porch allowing for larger gatherings as necessitated by a growing family.

**The hardship results from conditions that are peculiar to the property, such as location, size, or topography.**

- 1) The hardship is a result of a house footprint and roof coverage which pre-dates the current roof coverage ordinance restrictions. The modest additions proposed are very much in keeping with the layout and look of the house. Both of which are on the rear face of the house and merely extensions of existing roof lines, so impact to the community at large is negligible.
- 2) The hardship is a result of the location and angled placement of the existing structure currently

encroaching on the side setback toward the back of the house. Any addition to the rear of the house on this side, keeping in plane with the existing side of the house, will encroach further into the side setback. See attached Site Plan. A stepped side as to keep within the side setback would result in an awkward, ineffective and unworkable outdoor living space. See Attached Floor Plan.

**The hardship did not result from actions taken by the applicant or the property owner.**

- 1) The Hardship described is a result of the existing non-compliance of the existing roof coverage pre dating 163.043 of the BFUDO.
- 2) The hardship described is a result of the existing non-compliant location of the structure (3'-9 1/4" over setback). Our intended screen porch addition would increase the non-compliance to 5'-2 1/2" over the setback.

**The requested variance is consistent with the spirit, purpose, and intent of the ordinance, such that public safety is secured, and substantial justice is achieved.**

- 1) Roof Coverage
  - a) The existing footprint of the house is generally square giving the overall appearance of the house a smaller massing than the actual square footage would imply. Additionally, the additions to both Master Bath and Closet and to the Screen Porch are both direct extensions on rear wings of the house yielding an extremely low impact to the look of the house and to the community as a whole.
- 2) Side Setback
  - a) In that the resulting setback, if approved, of ~15' is maintained to the property line, code required fire separation from the property line (10') is maintained for the property in questions and adjacent properties.
  - b) In that the addition is in keeping with the overall look of the house and only encroaches further toward the rear of the lot, the overall look of the house from the neighborhood will remain unchanged.
  - c) The house location on the adjacent property on this side is well in front of and closer to the road. The proposed addition is further from this house than the current existing structure at the front.

**I hereby certify that all of the information set forth above is true and accurate to the best of my knowledge.**

**Signature**

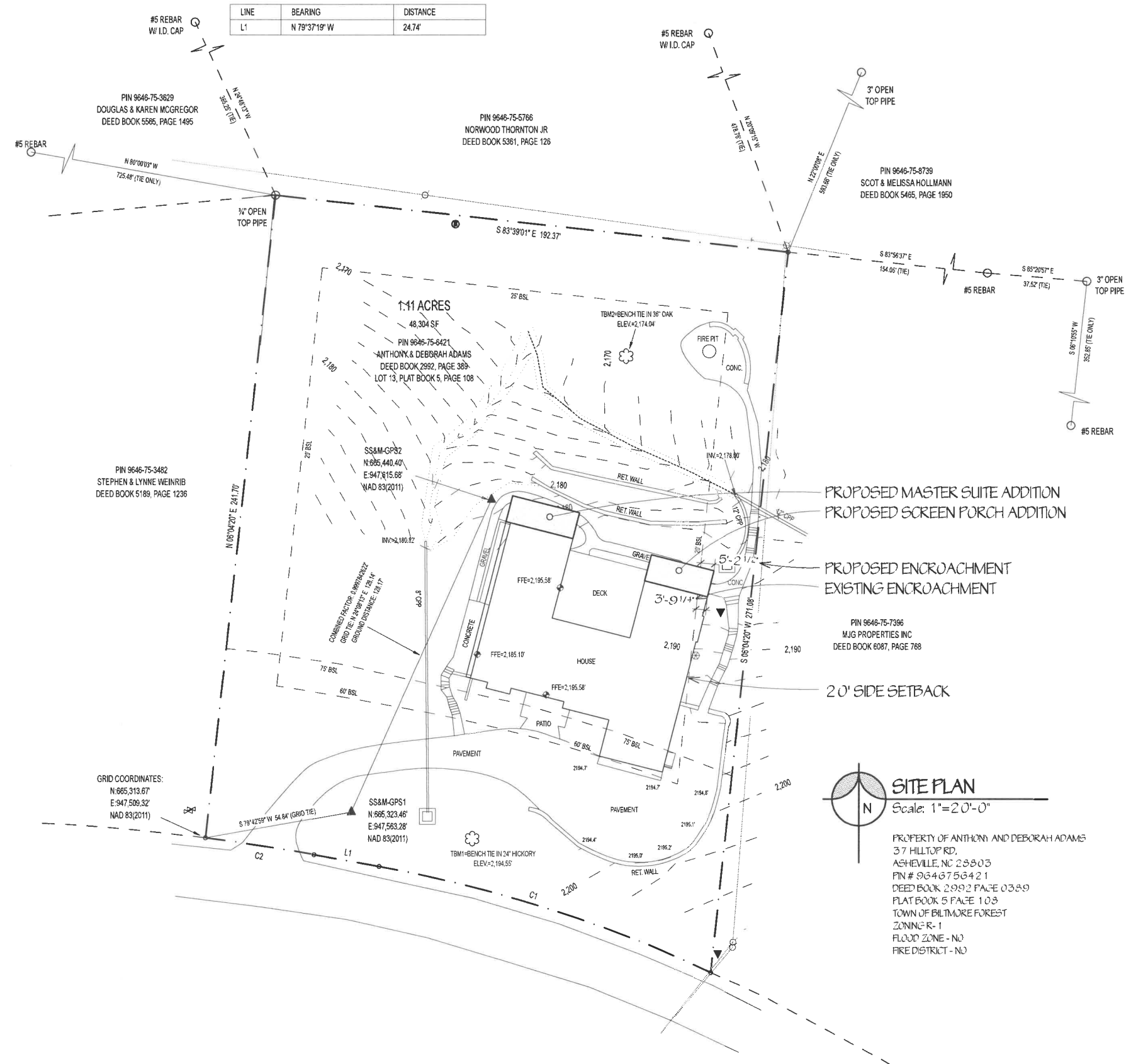


**Date**

6/6/2022

CURVE	RADIUS	ARC LENGTH	CHORD LENGTH	CHORD BEARING	DELTA ANGLE
C1	493.20'	130.32'	129.94'	N 72°08'46" W	15°08'20"
C2	732.34'	40.56'	40.55'	N 81°12'31" W	3°10'23"

LINE	BEARING	DISTANCE
L1	N 79°37'19" W	24.74'

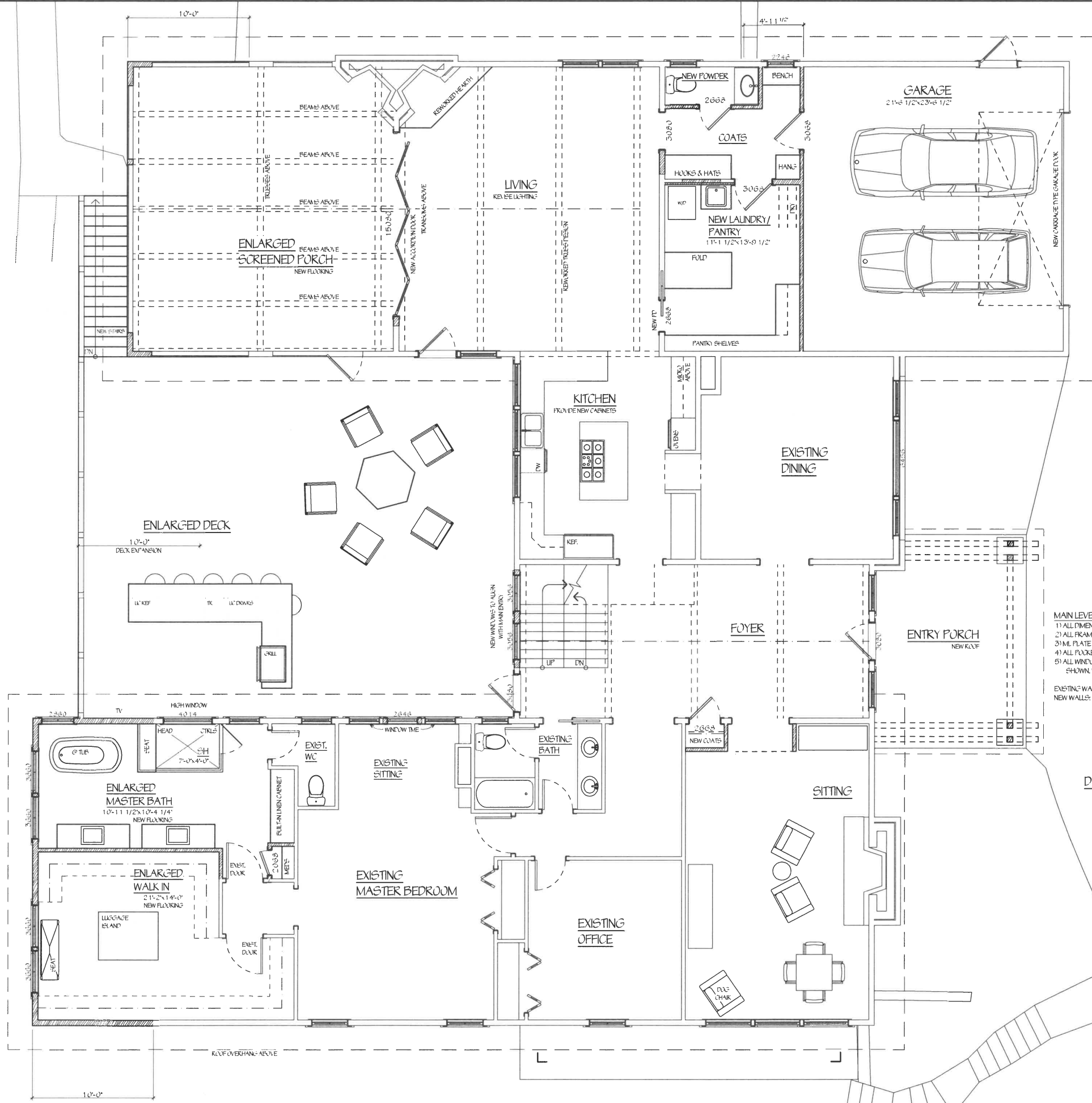


**SITE PLAN**  
Scale: 1"=20'-0"

PROPERTY OF ANTHONY AND DEBORAH ADAMS  
37 HILLTOP RD,  
ASHEVILLE, NC 28803  
PIN # 9646756421  
DEED BOOK 2992 PAGE 0389  
PLAT BOOK 5 PAGE 103  
TOWN OF BILTMORE FOREST  
ZONING: R-1  
FLOOD ZONE - NO  
FIRE DISTRICT - NO

**PRELIMINARY**  
NOT RELEASED FOR  
CONSTRUCTION

24 May 2022



**MAIN LEVEL FLOOR PLAN NOTES:**  
 1) ALL DIMENSIONS ARE SHOWN TO OUTSIDE FACE OF WALL UNLESS NOTED OTHERWISE.  
 2) ALL FRAMING TO BE 2x4 STUDS @ 16" O.C. UNLESS NOTED OTHERWISE.  
 3) MILL PLATE HEIGHTS TO BE AS SHOWN.  
 4) ALL POCKET DOOR WALLS & WASHER DRYER WALLS TO BE 2x6 AS SHOWN.  
 5) ALL WINDOWS AND EXTERIOR DOORS TO BE REPLACED. WINDOWS AND DOORS WITH SIZE CALL-OUTS TO BE RESIZED AS SHOWN. WINDOWS AND DOORS WITHOUT SIZE CALL-OUTS TO FIT EXISTING ROUGH OPENINGS.

EXISTING WALLS:   
 NEW WALLS:

**MAIN LEVEL SQUARE FOOTAGE CALCULATIONS:**

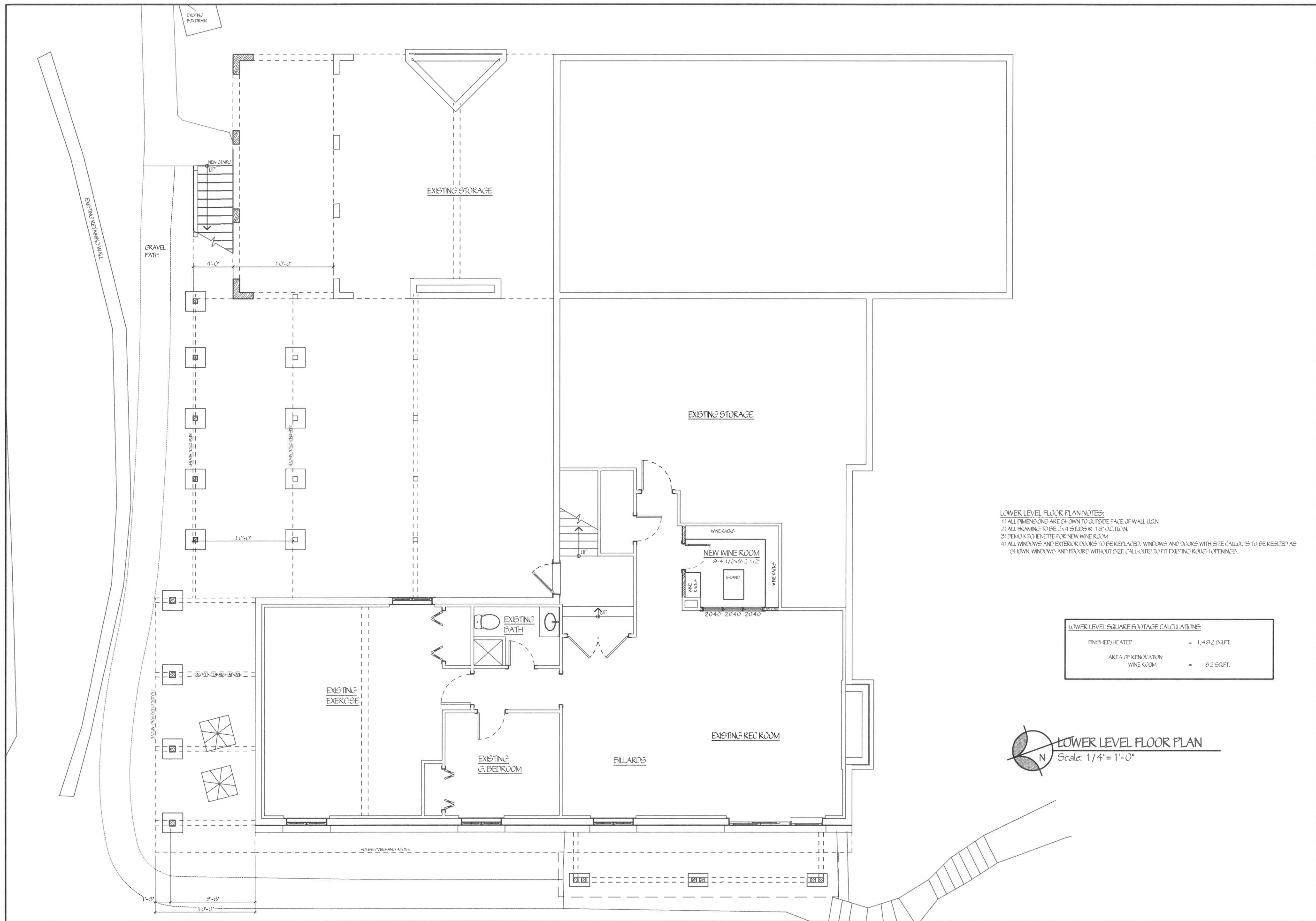
FINISHED HEATED (EXISTING)	= 3,165 SQ.FT.
FINISHED HEATED (NEW)	= 266 SQ.FT.
GARAGE	= 664 SQ.FT.
REAR PORCH (EXISTING)	= 294 SQ.FT.
REAR PORCH ADDITION	= 245 SQ.FT.
ENTRY PORCH (NEW ROOF)	= 214 SQ.FT.
<b>AREAS OF RENOVATION:</b>	
KITCHEN & PANTRY	= 298 SQ.FT.
MASTER BATH AND CLOSET	= 262 SQ.FT.
LAUNDRY	= 97 SQ.FT.
<b>DECK, EXISTING</b>	
DECK + STAIRS (NEW)	= 360 SQ.FT.

**MAIN LEVEL FLOOR PLAN**  
 Scale: 1/4" = 1'-0"

**PRELIMINARY**  
 NOT RELEASED FOR CONSTRUCTION

24 May 2022





**LOWER LEVEL FLOOR PLAN NOTES:**  
 1) ALL DIMENSIONS ARE SHOWN TO OUTSIDE FACE OF WALL UNLESS NOTED OTHERWISE.  
 2) ALL FRAMING TO BE 2x4 STUDS @ 16\"/>

LOWER LEVEL SQUARE FOOTAGE CALCULATIONS:	
FINISHED/HEATED	= 1,492 SQ.FT.
AREA OF RENOVATION: WINE ROOM	= 82 SQ.FT.

**LOWER LEVEL FLOOR PLAN**  
 Scale: 1/4" = 1'-0"



1 SOUTH ELEVATION  
A-4 Scale: 1/4" = 1'-0"



2 NORTH ELEVATION  
A-4 Scale: 1/4" = 1'-0"

Scott W. Bartholomew Architecture  
Asheville, NC  
828-712-1297

**PRELIMINARY**  
NOT RECOMMENDED FOR CONSTRUCTION  
19 Oct 2021

The Adams House Renovation  
Blittmore Forest, NC

24 May 2022

REV 19 Oct 2021



1 WEST ELEVATION  
A-5 Scale: 1/4" = 1'-0"



2 EAST ELEVATION  
A-5 Scale: 1/4" = 1'-0"

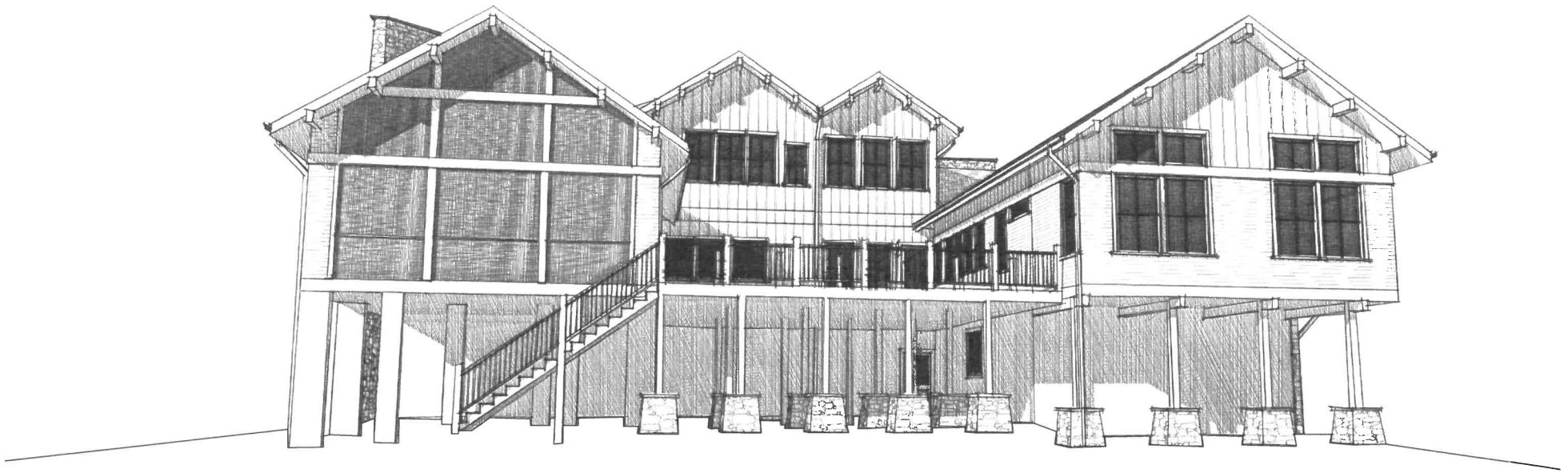
Scott W. Bartholomew Architecture  
Asheville, NC  
828-772-1297

**PRELIMINARY**  
NOT RELEASED FOR  
CONSTRUCTION

The Adams House Renovation  
Blittmore Forest, NC

24 May 2022

A-5  
of 5



Scott W. Bartholomew Architecture  
Asheville, NC  
828-712-1297

**PRELIMINARY**  
NOT RELEASED FOR  
CONSTRUCTION

The Adams House Renovation  
Blittmore Forest, NC

24 May 2022

A-6  
of 5

**BOARD OF ADJUSTMENT  
STAFF MEMORANDUM**

June 27, 2022



**Case 6 – 100 Stuyvesant Road**

**Variance Request to Exceed Maximum Roof Coverage for  
Detached Accessory Building**

**Special Use Permit Request to Construct Detached  
Accessory Building and Breezeway**

---

Property Owner: Carol Jackson  
Property Address: 100 Stuyvesant Road

Project Description

The applicant requests a variance from the Zoning Ordinance in conjunction with the requested special use permit associated for a new, detached garage. The detached garage exceeds the maximum roof coverage allowance for accessory buildings. The proposed garage is attached to the home with a breezeway, however, the Zoning Ordinance stipulates that only conditioned, enclosed connections qualify as “attached” to the home.

Varian Request

Section 153.029 of the Town’s Zoning Ordinance requires an accessory building to have a maximum of 750 square feet of roof coverage.

§ 153.029 *ACCESSORY STRUCTURES AND BUILDINGS.*

*(A) Accessory structures and/or necessary buildings shall not detract from nor interfere with adjacent properties. No accessory structure or building shall be constructed, erected, or located within any front yard or within any side yard or rear yard setback.*

*(B) (1) In addition, the following standards are established for accessory structures and accessory buildings:*

*(a) The maximum number of accessory buildings permitted on a lot shall be one;*

*(b) The maximum roof coverage area for accessory buildings shall be 750 square feet;*

*(c) The maximum height for accessory buildings shall be 25 feet;*

*(d) The accessory building must be screened by vegetation or other buffer as set forth in § 153.008;*

*(e) The accessory building must be located behind a line parallel to the rear of the principal structure on the lot;*

*(f) The accessory building must be designed in the same architectural style as the principal structure;*

*(g) Any accessory structure and/or accessory building shall be included in the calculation of allowable roof coverage and allowable impervious surface coverage on the lot pursuant to §§ 153.043 and 153.048.*

The proposed detached garage and breezeway constitute 905 square feet of roof coverage. There is NO overage for the maximum square footage for the entire parcel. In addition, the proposed detached garage also is located does not appear to be behind a line parallel to the rear of the principal structure.

#### Special Use Permit

The detached garage requires a special use permit from the Board of Adjustment with conditions as specified in Section 153.029. The definitions section of the Zoning Ordinance (153.004) states the following in regards to what constitutes an attached building:

***BUILDING.*** *Any structure having a roof supported by columns or by walls, and intended for shelter, housing, or enclosure of persons, animals, or property. Two structures shall be deemed a single building only if connected by heated and enclosed living space.*

# Zoning Compliance Application

Town of Biltmore Forest

**Name**

Carol Jackson

**Property Address**

100 Stuyvesant Rd.

**Phone**

(703) 217-2163

**Email**

carol.jackson@longandfoster.com

**Parcel ID/PIN Number**

9646-84-8927-0000

## ZONING INFORMATION

**Current Zoning**

R-1

**Lot Size**

1.79 acres

**Maximum Roof Coverage**

6,100 square feet (Up to 2 acres)

**Proposed Roof Coverage Total**

1,137 (new) + 3267 (existing)=4404 sf

**Maximum Impervious Surface Coverage**

1-3 acres (25 percent of lot area)

**Proposed Impervious Surface Coverage**

905. (New) +2924 existing

**Front Yard Setback**

60 feet (R-1 District)

**Side Yard Setback**

20 feet (R-1 District)

**Rear Yard Setback**

25 feet (R-1 District)

**Building Height**

17'7"

**Description of the Proposed Project**

Detached 2 car garage addition with breezeway connecting to existing residence.

**Estimated Start Date**

7/31/2022

**Estimated Completion Date**

12/31/2022

**Estimated Cost of Project**

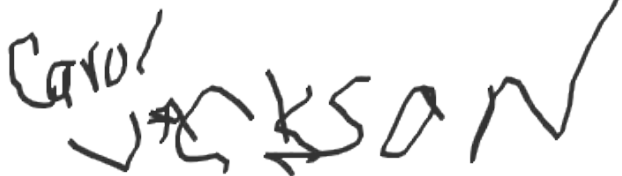
\$200,000.00

**Supporting Documentation (Site Plan, Drawings, Other Information)**

**Applicant Signature**

**Date**

5/25/2022



A handwritten signature in black ink that reads "CAROL JACKSON". The signature is written in a cursive, slightly slanted style. The word "CAROL" is on the top line, and "JACKSON" is on the bottom line. The signature is positioned to the left of the date "5/25/2022".





# VARIANCE APPLICATION

Town of Biltmore Forest

**Name**

Carol Jackson

**Address**

100 Stuyvesant Rd.

**Phone**

(703) 217-2163

**Email**

Carol.jackson@Inf.com

**Current Zoning/Use**

Residential

**Requested Use**

Residential

**APPLICATION REQUIREMENTS:** An application to the Board of Adjustment for a variance must be submitted to the Town of Biltmore Forest Town Manager at least 21 days prior to the meeting at which the application will be considered. A pre-application meeting with Town staff is required prior to application submittal to the Board of Adjustment.

**What would you like to do with your property?**

Add a 2 car garage

**What does the ordinance require?**

Permission from the planning board.

BOARD OF ADJUSTMENT: N.C.G.S. 160A-388(D) requires that the Board of Adjustment shall vary the provisions of the Zoning Ordinance only upon a showing of ALL the items below. The Board of Adjustment must follow strict procedure and all determinations must be decided by a concurring vote of four-fifths of the members of the Board. It is important to provide detailed supporting documentation for the Board of Adjustment to review. If necessary, additional sheets may be attached to this application.

**REQUIRED FINDINGS: Please provide a thorough response to each.**

**Unnecessary hardship would result from the strict application of the ordinance.**

Would have to move to include play space indoors for grandchildren.

**The hardship results from conditions that are peculiar to the property, such as location, size, or topography.**

None

**The hardship did not result from actions taken by the applicant or the property owner.**

It did not.

**The requested variance is consistent with the spirit, purpose, and intent of the ordinance, such that public safety is secured, and substantial justice is achieved.**

Proposed build is within the setback requirements. No impact on other properties.

**I hereby certify that all of the information set forth above is true and accurate to the best of my knowledge.**

**Signature**

Carol Oakeson

---

**Date**

6/13/2022

# Special Use Permit Application

Town of Biltmore Forest

**Name**

Carol Jackson

**Address**

100 Stuyvesant Rd.

**Phone**

(703) 217-2163

**Email**

Carol.jackson@Inf.com

**Please select the type of special use you are applying for:**

Accessory Buildings

The applicant must show that the proposed use will not materially endanger public health or safety or injure value of adjoining or abutting property. In addition, the proposed use must be in general conformity with the plan of development of the town and be in harmony with scale, bulk, height, coverage, density, and character of the neighborhood.

**Please provide a description of the proposed project:**

Remodel current garage to become rec room, build a new garage adjacent to it.

**Explain why the project would not adversely affect the public interest of those living in the neighborhood:**

All set backs are respected, no new plumbing.

**I hereby certify that all of the information set forth above is true and accurate to the best of my knowledge.**

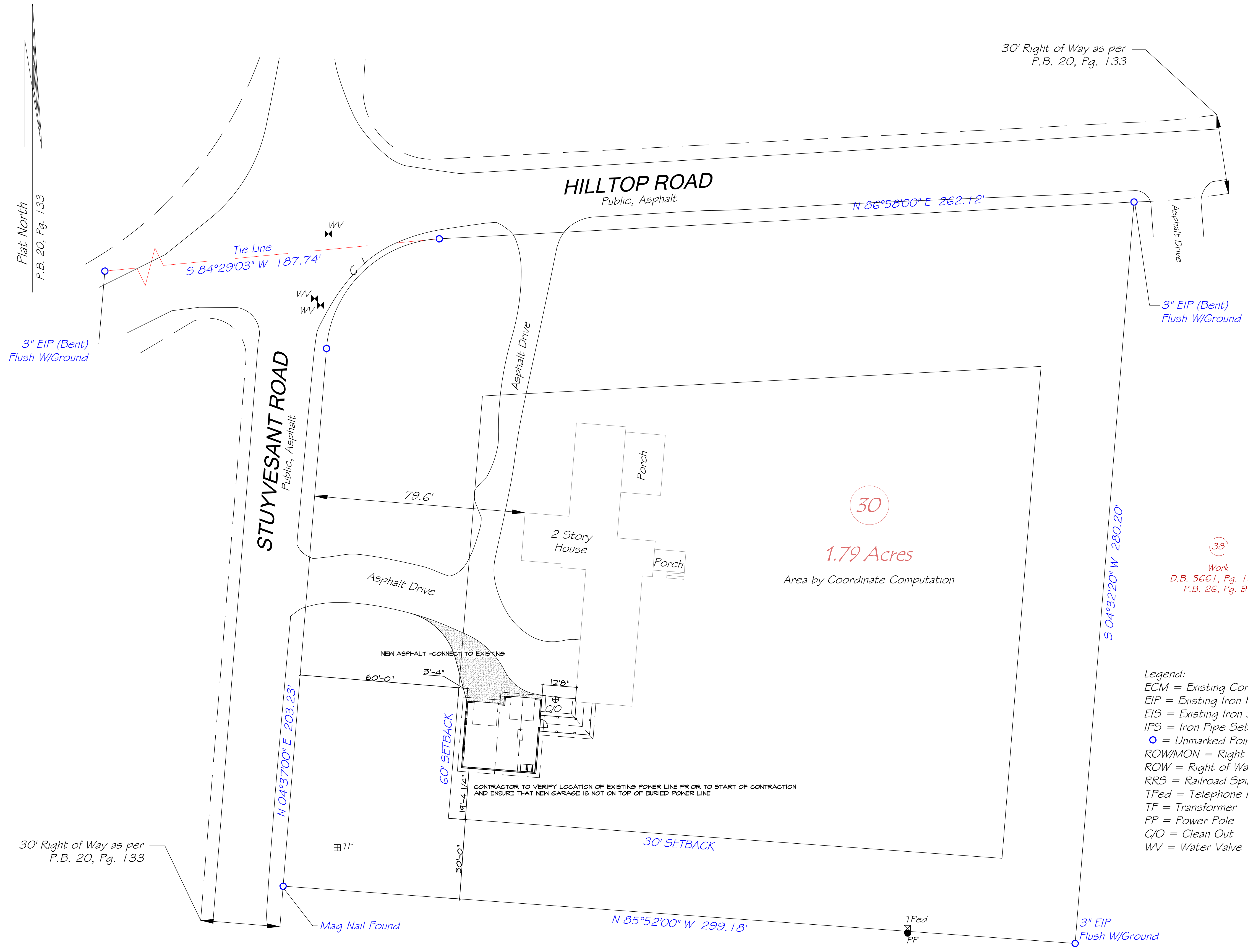
**Signature**

**Date**

6/13/2022



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Plat North  
P.B. 20, Pg. 133

30' Right of Way as per  
P.B. 20, Pg. 133

3" EIP (Bent)  
Flush W/Ground

3" EIP (Bent)  
Flush W/Ground

30' Right of Way as per  
P.B. 20, Pg. 133

Mag Nail Found

3" EIP  
Flush W/Ground

**HILLTOP ROAD**  
Public, Asphalt

**STUYVESANT ROAD**  
Public, Asphalt

30  
1.79 Acres  
Area by Coordinate Computation

38  
Work  
D.B. 5661, Pg. 1309  
P.B. 26, Pg. 97

- Legend:
- ECM = Existing Concrete Monument
  - EIP = Existing Iron Pipe
  - EIS = Existing Iron Stake
  - IPS = Iron Pipe Set
  - = Unmarked Point, Unless Otherwise Noted
  - ROW/MON = Right of Way Monument
  - ROW = Right of Way
  - RRS = Railroad Spike
  - TPed = Telephone Pedestal
  - TF = Transformer
  - PP = Power Pole
  - C/O = Clean Out
  - WV = Water Valve

CONTRACTOR TO VERIFY LOCATION OF EXISTING POWER LINE PRIOR TO START OF CONTRACTION  
AND ENSURE THAT NEW GARAGE IS NOT ON TOP OF BURIED POWER LINE

31  
Saponaro  
D.B. 4241, Pg. 988  
P.B. 20, Pg. 133

**SITE PLAN** SCALE 1"=20'-0"  
INFORMATION FROM ASSOCIATED LAND SURVEYORS & PLANNERS, PC; SURVEY DATED 11 MAY 2022

PRELIMINARY

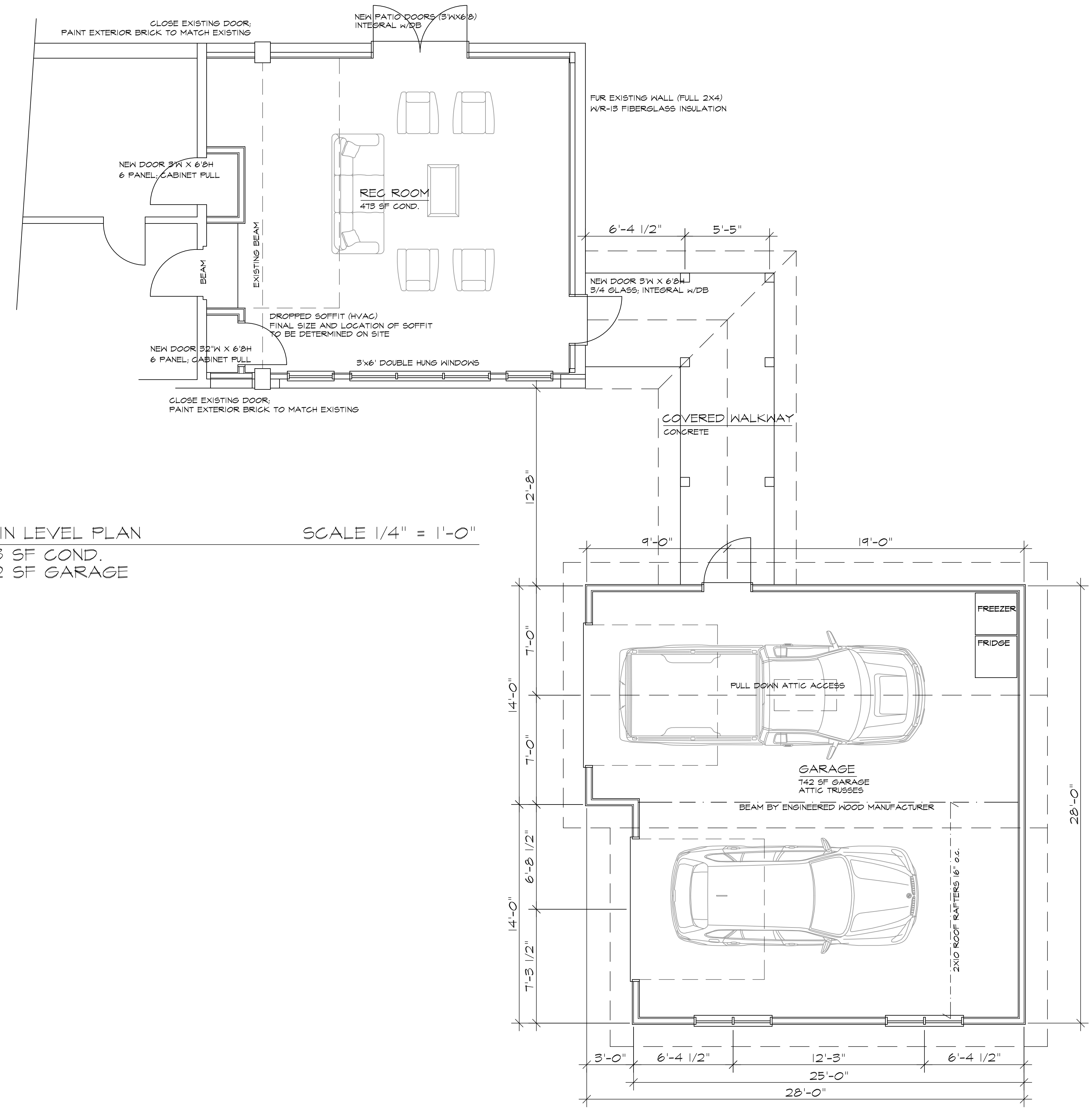
**casa design studio, pllc**  
28a espresso lane  
hendersonville, nc  
(828)216-8198

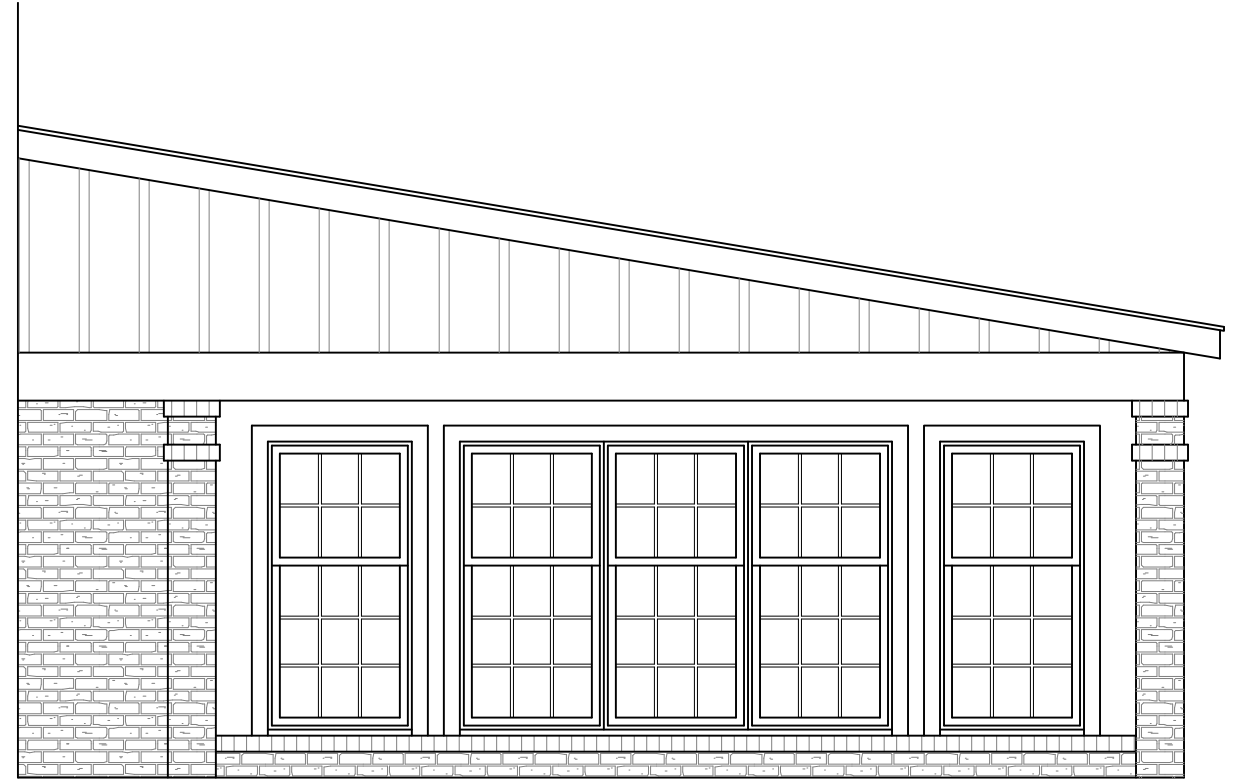
**jackson residence**  
ADDITION AND RENOVATIONS FOR CAROL AND JOHN JACKSON  
100 STUYVESANT ROAD - BILTMORE FOREST - NORTH CAROLINA

26 MAY 2022

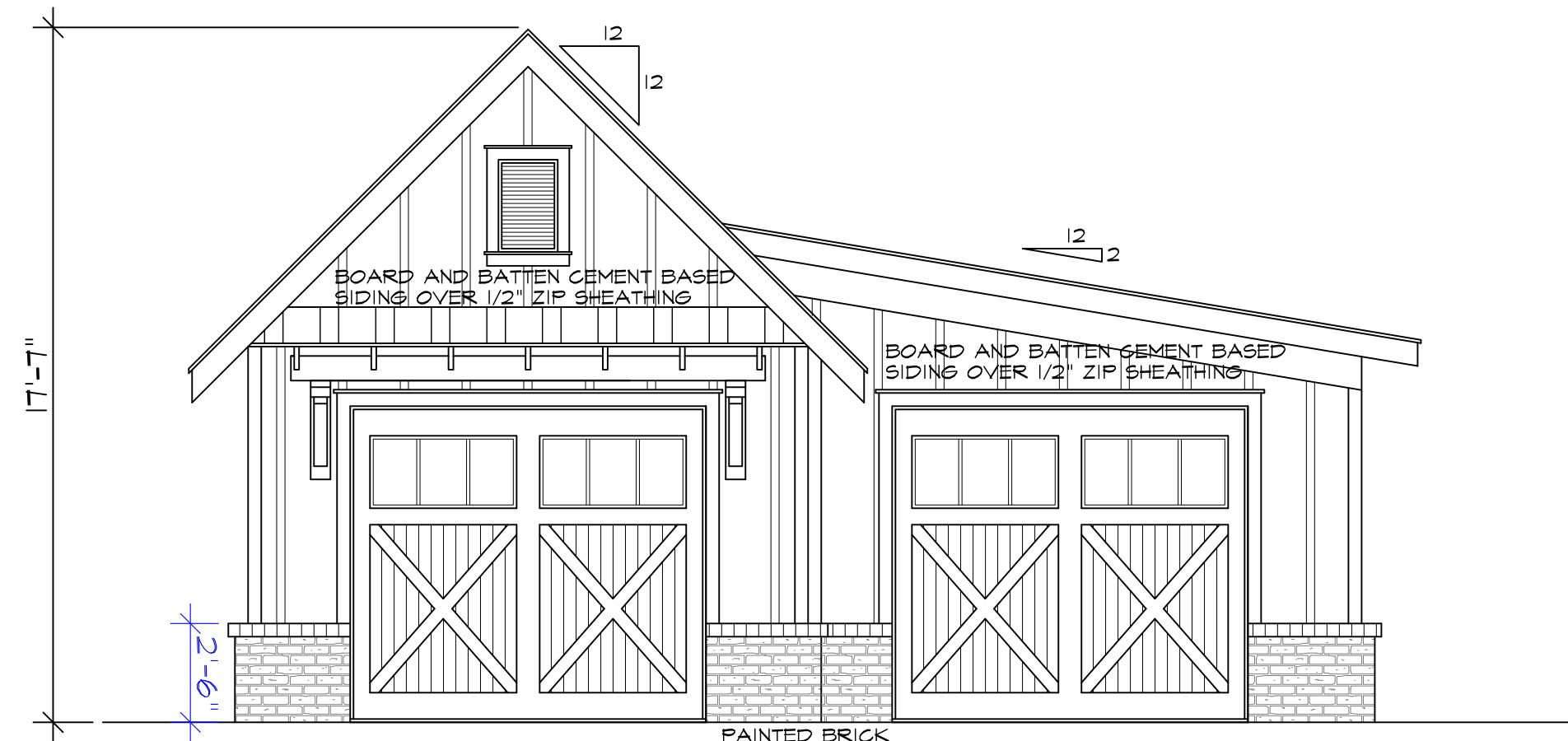
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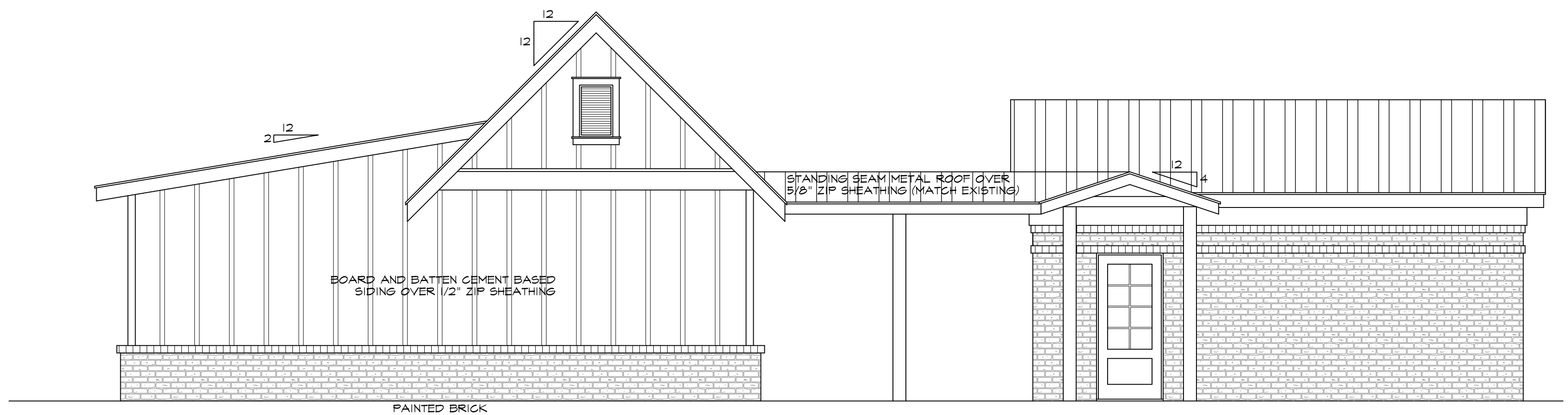




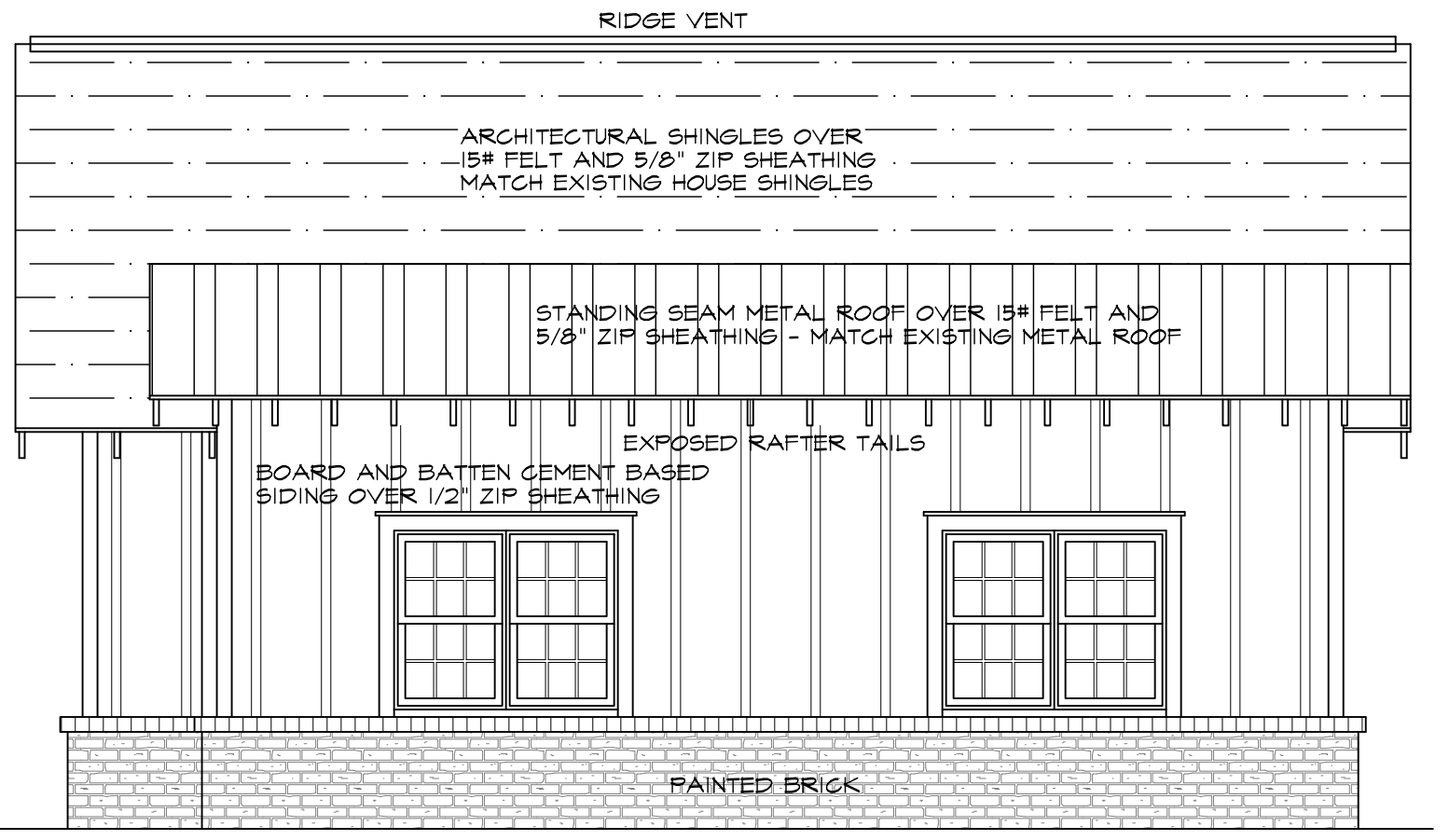
REC ROOM WEST ELEVATION SCALE 1/4" = 1'-0"



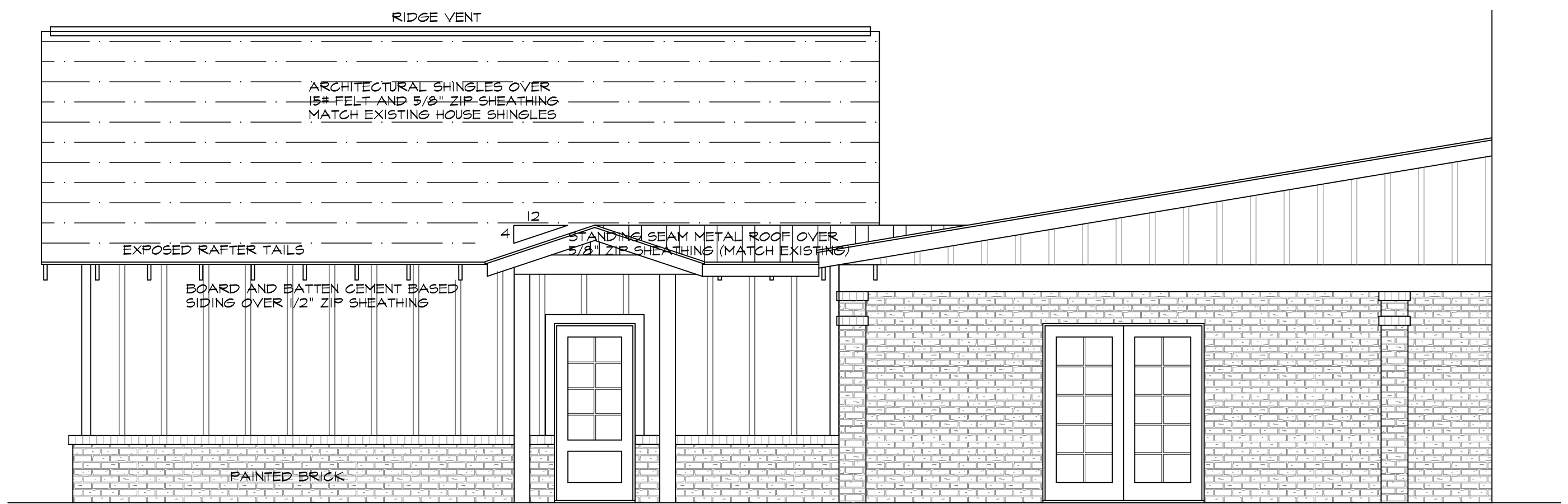
GARAGE NORTH ELEVATION SCALE 1/4" = 1'-0"



GARAGE SOUTH ELEVATION SCALE 1/4" = 1'-0"



GARAGE WEST ELEVATION SCALE 1/4" = 1'-0"



GARAGE EAST ELEVATION SCALE 1/4" = 1'-0"

**BOARD OF ADJUSTMENT  
STAFF MEMORANDUM**

June 27, 2022



**Case 7 – Undeveloped Parcel ID 9646-43-5152  
(Cedar Hill Drive)**

**Variance requests to Exceed Maximum Roof Coverage and  
to Encroach Side Yard Setback in Conjunction with New  
Home Construction**

**Special Use permit request for Swimming Pool Construction**

Property Owner: Bill Ross  
Property Address: Undeveloped Parcel ID 9646-43-5152 - (Cedar Hill Drive)

Project Description

The applicant requests a variance from the Zoning Ordinance in conjunction with a new home construction. There are two variance requests and one special use request associated with this proposed construction project. The undeveloped parcel is located on Cedar Hill Drive adjacent to and northwest of 28 Cedar Hill Drive.

Variance Request

There are two variance requests filed by the applicant. They are broken down individually for the Board's review.

Variance Request 1: The first request is to exceed the maximum roof coverage square footage for the lot. The lot is 1.08 acres. Per Section 153.043, the maximum allowed roof coverage shall be 5,060 square feet. The proposed roof coverage for the new home construction is 5,393 square feet. This is an overage of 6.58 percent.

Variance Request 2: The applicant also requests an encroachment into the side yard setback. The standard side setback for this parcel, zoned R-1, is 20 feet. Because the house is greater than 25 feet in height, the required side setback is 31'7". The proposed stone retaining wall on the southwest corner of the property is located within this side setback.

Special Use Permit

In addition to the variance requests associated with the main residence, the applicant also requests a special use permit to install a swimming pool. The swimming pool is located within the rear yard and does not encroach upon any setbacks. Swimming pools are deemed an accessory structure per the Town's Zoning Ordinance and require a special use permit via Section 153.029, as laid out on the following page.

§ 153.029 ACCESSORY STRUCTURES AND BUILDINGS.

*(A) Accessory structures and/or necessary buildings shall not detract from nor interfere with adjacent properties. No accessory structure or building shall be constructed, erected, or located within any front yard or within any side yard or rear yard setback.*

*(B) (1) In addition, the following standards are established for accessory structures and accessory buildings:*

*(a) The maximum number of accessory buildings permitted on a lot shall be one;*

*(b) The maximum roof coverage area for accessory buildings shall be 750 square feet;*

*(c) The maximum height for accessory buildings shall be 25 feet;*

*(d) The accessory building must be screened by vegetation or other buffer as set forth in § 153.008;*

*(e) The accessory building must be located behind a line parallel to the rear of the principal structure on the lot;*

*(f) The accessory building must be designed in the same architectural style as the principal structure;*

*(g) Any accessory structure and/or accessory building shall be included in the calculation of allowable roof coverage and allowable impervious surface coverage on the lot pursuant to §§ 153.043 and 153.048*



# Zoning Compliance Application

Town of Biltmore Forest

**Name**

Bill Ross

**Property Address**

964643515200000 (PIN) no house or lot number

**Phone**

(717) 201-4448

**Email**

bill@rossinsuranceagency.com

**Parcel ID/PIN Number**

964643515200000

## ZONING INFORMATION

**Current Zoning**

R-1

**Lot Size**

1.09 acres

**Maximum Roof Coverage**

5,060 square feet (Up to 1.2 acres)

**Proposed Roof Coverage Total**

5393 sq.ft. (Variance Requested)

**Maximum Impervious Surface Coverage**

1-3 acres (25 percent of lot area)

**Proposed Impervious Surface Coverage**

11,733 sq.ft.

**Front Yard Setback**

60 feet (R-1 District)

**Side Yard Setback**

20 feet (R-1 District)

**Rear Yard Setback**

25 feet (R-1 District)

**Building Height**

36'7"

**Description of the Proposed Project**

New Single Family Custom Home

**Estimated Start Date**

7/18/2022

**Estimated Completion Date**

1/1/2024

**Estimated Cost of Project**

\$2,900,000.00

**Supporting Documentation (Site Plan, Drawings, Other Information)**

Ross Residence Pricing Set 04-15-2022.pdf

L-1.0\_Site\_Grading\_Plan\_Ross (2).pdf

L-1.1\_Site\_Grading\_Plan\_Ross (2).pdf

L-2.0\_Tree\_Preservation\_Plan\_Ross (2).pdf

L-3.0\_Landscape\_Plan\_Ross (2).pdf

L-3.1\_Landscape\_Plan\_Ross (2).pdf

Ross pool selection list.pdf

Ross Pool selections.pdf

**Applicant Signature**

A handwritten signature in black ink, consisting of several loops and a long horizontal stroke extending to the right. The signature is positioned above a thin horizontal line.

**Date**

6/6/2022

# VARIANCE APPLICATION

Town of Biltmore Forest

**Name**

Bill Ross

**Address**

964643515200000 (PIN) no house or lot number.

**Phone**

(717) 201-4448

**Email**

bill@rossinsuranceagency.com

**Current Zoning/Use**

Residential

**Requested Use**

Residential

**APPLICATION REQUIREMENTS:** An application to the Board of Adjustment for a variance must be submitted to the Town of Biltmore Forest Town Manager at least 21 days prior to the meeting at which the application will be considered. A pre-application meeting with Town staff is required prior to application submittal to the Board of Adjustment.

**What would you like to do with your property?**

The topography/steepness of the lot dictates the home's width and narrowness. Because of this, a retaining wall is required for accessibility to the motorcourt which crosses the required setback.

**What does the ordinance require?**

There cannot be any structures within the required setback.

BOARD OF ADJUSTMENT: N.C.G.S. 160A-388(D) requires that the Board of Adjustment shall vary the provisions of the Zoning Ordinance only upon a showing of ALL the items below. The Board of Adjustment must follow strict procedure and all determinations must be decided by a concurring vote of four-fifths of the members of the Board. It is important to provide detailed supporting documentation for the Board of Adjustment to review. If necessary, additional sheets may be attached to this application.

**REQUIRED FINDINGS: Please provide a thorough response to each.****Unnecessary hardship would result from the strict application of the ordinance.**

Without the motorcourt, the garage with front-loading doors would be facing the street.

**The hardship results from conditions that are peculiar to the property, such as location, size, or topography.**

The topography/steepness of the lot dictates its width and narrowness. Because of this, retaining walls are required for the motorcourt which cross the required setback. We have worked extensively with the landscape architect to design appropriate drainage necessary to safely remediate all water from impervious surfaces.

**The hardship did not result from actions taken by the applicant or the property owner.**

Due to the steep topography and 14% slope of the property, the 60 yard setback line required would push the house into the steepness of the lot.

**The requested variance is consistent with the spirit, purpose, and intent of the ordinance, such that public safety is secured, and substantial justice is achieved.**

The retaining walls would uphold the safety of the public/homeowners by providing a sound structural

foundation for the motorcourt that leads into the side loading garage. The retaining wall will not be seen from the street.

**I hereby certify that all of the information set forth above is true and accurate to the best of my knowledge.**

**Signature**

A handwritten signature in black ink, consisting of several overlapping loops and a long horizontal stroke extending to the right.

**Date**

6/6/2022

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# VARIANCE APPLICATION

Town of Biltmore Forest

**Name**

Bill Ross

**Address**

964643515200000 (PIN) no house or lot number.

**Phone**

(717) 201-4448

**Email**

bill@rossinsuranceagency.com

**Current Zoning/Use**

Residential

**Requested Use**

Residential

**APPLICATION REQUIREMENTS:** An application to the Board of Adjustment for a variance must be submitted to the Town of Biltmore Forest Town Manager at least 21 days prior to the meeting at which the application will be considered. A pre-application meeting with Town staff is required prior to application submittal to the Board of Adjustment.

**What would you like to do with your property?**

Exceed maximum roof coverage to 5393 square feet.

**What does the ordinance require?**

Maximum roof coverage is 5060 square feet.

BOARD OF ADJUSTMENT: N.C.G.S. 160A-388(D) requires that the Board of Adjustment shall vary the provisions of the Zoning Ordinance only upon a showing of ALL the items below. The Board of Adjustment must follow strict procedure and all determinations must be decided by a concurring vote of four-fifths of the members of the Board. It is important to provide detailed supporting documentation for the Board of Adjustment to review. If necessary, additional sheets may be attached to this application.

**REQUIRED FINDINGS: Please provide a thorough response to each.****Unnecessary hardship would result from the strict application of the ordinance.**

The topography of the lot dictates the width and orientation of the home requiring an excessive ridgeline and causing extra roof coverage.

**The hardship results from conditions that are peculiar to the property, such as location, size, or topography.**

Because of the droppage of the lot from front to back, and the 60 foot required front setback, the design resulted in a wider footprint.

**The hardship did not result from actions taken by the applicant or the property owner.**

The design was dictated by the survey and the landscape architect's recommendations for accessibility and drainage.

**The requested variance is consistent with the spirit, purpose, and intent of the ordinance, such that public safety is secured, and substantial justice is achieved.**

Public safety will be secured in that the recommendations and design from the landscape architect will provide contained drainage, as well as easy accessibility to the home.

I hereby certify that all of the information set forth above is true and accurate to the best of my knowledge.

Signature

A handwritten signature in black ink, consisting of several loops and a long horizontal stroke extending to the right.

Date

6/6/2022

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# Special Use Permit Application

Town of Biltmore Forest

**Name**

Bill Ross

**Address**

964643512 (PIN). No house or lot number.

**Phone**

(717) 201-4448

**Email**

bill@rossinsuranceagency.com

**Please select the type of special use you are applying for:**

Accessory Structures

The applicant must show that the proposed use will not materially endanger public health or safety or injure value of adjoining or abutting property. In addition, the proposed use must be in general conformity with the plan of development of the town and be in harmony with scale, bulk, height, coverage, density, and character of the neighborhood.

**Please provide a description of the proposed project:**

The additional structure is a swimming pool at a new single family custom home that is currently under review.

**Explain why the project would not adversely affect the public interest of those living in the neighborhood:**

The pool area was designed to be completely hidden from the public behind the house and built into the patio. The only neighbor that would see the pool is directly east.

**I hereby certify that all of the information set forth above is true and accurate to the best of my knowledge.**

**Signature**



**Date**

6/6/2022

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# Special Use Permit Application

Town of Biltmore Forest

**Name**

Bill Ross

**Address**

964643512 (PIN) no house or lot number

**Phone**

(717) 201-4448

**Email**

bill@rossinsuranceagency.com

**Please select the type of special use you are applying for:**

Accessory Structures

The applicant must show that the proposed use will not materially endanger public health or safety or injure value of adjoining or abutting property. In addition, the proposed use must be in general conformity with the plan of development of the town and be in harmony with scale, bulk, height, coverage, density, and character of the neighborhood.

**Please provide a description of the proposed project:**

The additional structure will be retaining walls for the pool/auto court of the Ross residence on Cedar Hill Drive that is currently under DRB review. The walls are necessary because of the topography of the lot.

**Explain why the project would not adversely affect the public interest of those living in the neighborhood:**

Although the retaining walls are necessary because of the topography of the lot, the walls will not be very tall. They will be hardly visible from the rear neighbors, and not visible at all from the front of the house. The bottom of the retaining wall will be landscaped to provide a pleasant view for the neighbors.

**I hereby certify that all of the information set forth above is true and accurate to the best of my knowledge.**

**Signature**



**Date**

6/6/2022

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Name/Notes	Date
Site Plan for Submittal to the DRB	11/17/2021
Site Plan Revisions for Re-submittal to the DRB	01/10/2022
Final Plans for submittal to the DRB	05/31/2022

**ROSS RESIDENCE**  
Town of Biltmore Forest, NC 28803  
Cedar Hill Drive, PIN# 9646-43-5152

Sheet Title:

**SITE &  
GRADING PLAN**

Sheet Number:

**L-1.0**

**LEGEND**

- APPROXIMATE LIMIT OF DISTURBANCE (29,098 SF)
- SILT FENCE PER TOWN OF BILTMORE FOREST STANDARDS
- TREE PROTECTION FENCE PER TOWN OF BILTMORE FOREST STANDARDS
- DRAINAGE FLOW DIRECTION
- EXISTING CONTOUR
- PROPOSED CONTOUR
- PROPOSED SPOT GRADE
- TOP OF WALL (TW)
- BOTTOM OF WALL (BW)
- LANDSCAPE BOULDERS
- STONE FACED WALL
- GUARDRAIL TO COMPLIMENT ARCHITECTURE
- PATIO DRAIN
- CULVERT
- PATIO DRAIN COLLECTION PIPE
- SHOVEL DUG LANDSCAPE EDGE
- TEMPORARY CONSTRUCTION MUD MAT PER STATE OF NORTH CAROLINA STANDARDS
- 4"-6" DIA. RIVER COBBLE OVER FILTER FABRIC
- ASPHALT
- INTEGRALLY COLORED CONCRETE, COLOR TO BE CHOSEN BY OWNER
- PAVERS TO COMPLIMENT THE ARCHITECTURE
- WOOD MULCH PLANTING BED OR PATH
- SOD
- EXISTING TREES TO BE SAVED & PROTECTED & COUNTED TOWARDS STREET TREE REQUIREMENT
- EXISTING TREES TO BE SAVED

**R1 DISTRICT DIMENSIONAL REQUIREMENT CHART**

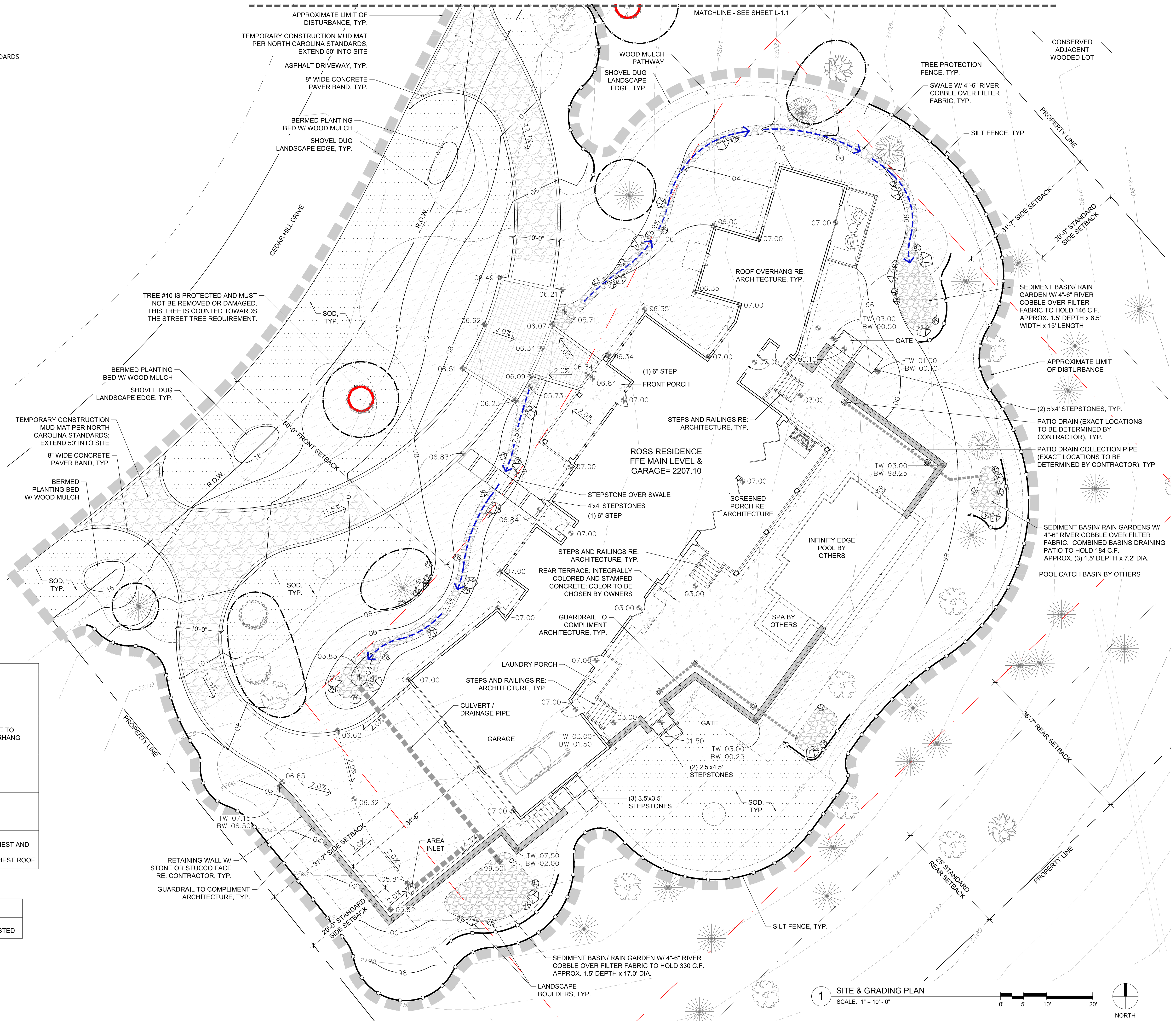
REQUIREMENT	PROVIDED
MINIMUM LOT AREA	43,560 SQ. FT. (1.00 ACRE) / 47,480 SQ. FT. (1.09 ACRES)
MINIMUM LOT WIDTH AT BUILDING LINE	150 L.F. / 240 L.F.
FRONT YARD SETBACK (FROM STREET)	60' / 60' FROM PROPERTY LINE TO CLOSEST ROOF OVERHANG
SIDE YARD SETBACK	20'-0" + 1'-6" FOR EVERY 1'-0" THE BUILDING HEIGHT IS OVER 25'-0" = 31'-7" / 40'-4" FROM PROPERTY LINE TO CLOSEST ROOF OVERHANG
REAR YARD SETBACK	25'-0" + 1'-6" FOR EVERY 1'-0" THE BUILDING HEIGHT IS OVER 25'-0" = 36'-7" / 84'-10" FROM PROPERTY LINE TO CLOSEST ROOF OVERHANG
HOUSE HEIGHT	40' OR LESS / 36'-7" AVERAGE FROM HIGHEST AND LOWEST GRADES AT FOUNDATION TO HIGHEST ROOF

**ROOF COVERAGE COMPLIANCE**

MAX. COVERAGE ALLOWED	PROVIDED
LOT SIZE CATEGORY: UP TO 1.2 ACRES	5,060 SQ. FT. / 5,393 SQ. FT. VARIANCE REQUESTED

**IMPERVIOUS SURFACE COVERAGE COMPLIANCE**

MAX. COVERAGE ALLOWED	PROVIDED
LOT SIZE CATEGORY: OVER 1 ACRE TO 3 ACRES	11,979 SQ. FT. OR 25% OF LOT AREA / 11,733 SQ. FT.



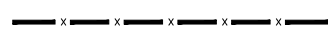


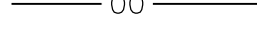
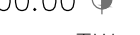




















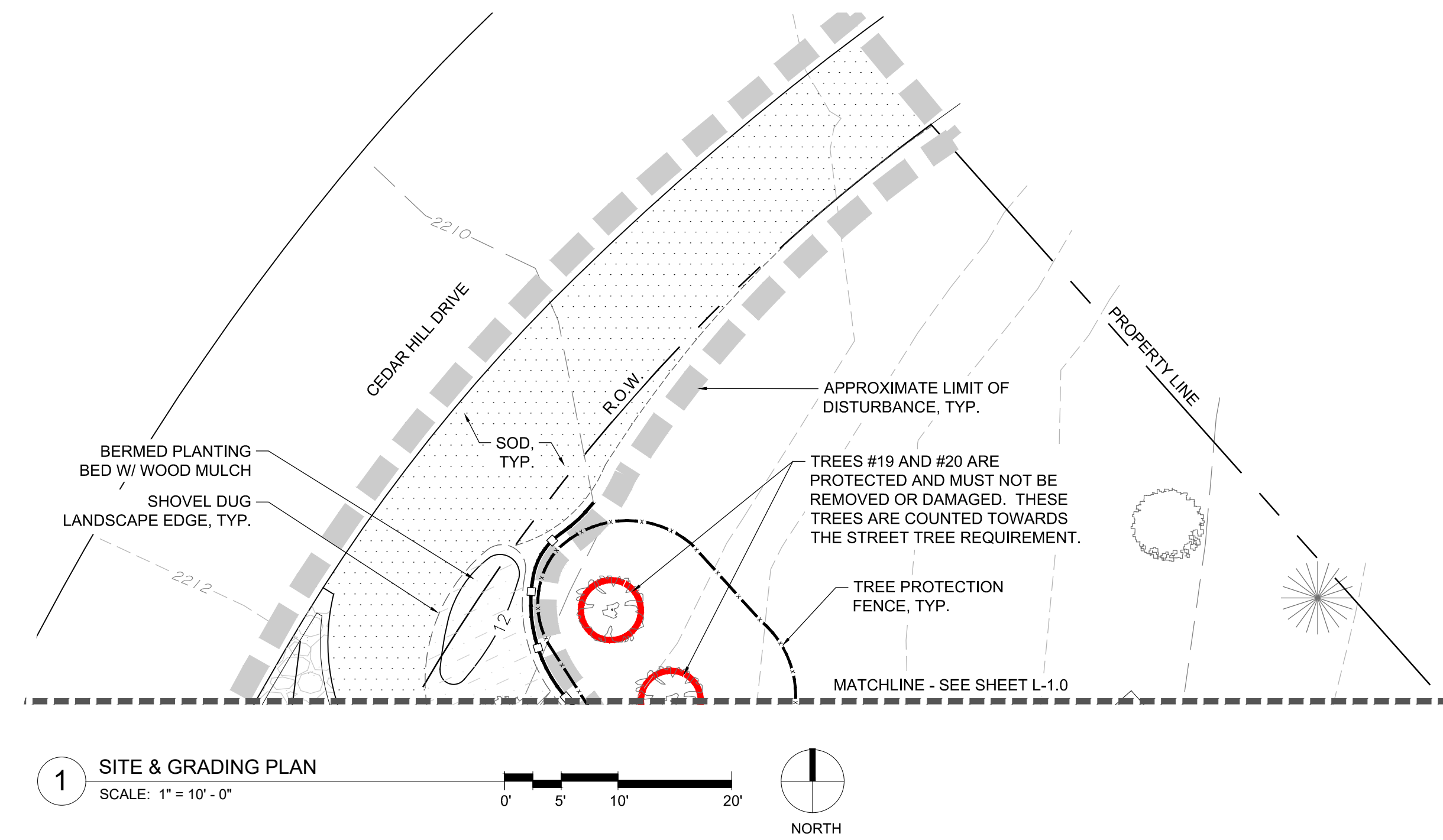
**1 SITE & GRADING PLAN**  
SCALE: 1" = 10' - 0"

**SITE AND GRADING NOTES**

1. THE SURVEY FOR THIS WORK HAS BEEN PROVIDED BY OTHERS FOR USE IN THE DESIGN OF THIS PROJECT. THE LANDSCAPE ARCHITECT IS NOT RESPONSIBLE FOR THE ACCURACY OR COMPLETENESS OF THE SURVEY.
2. CONTRACTOR SHALL CONTACT THE NORTH CAROLINA 811 UTILITIES NOTIFICATION CALL CENTER TO DETERMINE THE LOCATIONS OF ALL UTILITIES. CONTRACTOR IS RESPONSIBLE FOR VERIFYING THE EXACT LOCATIONS AND DEPTH OF ALL EXISTING UTILITIES PRIOR TO BEGINNING WORK.
3. CONTRACTOR SHALL BECOME FAMILIAR WITH THE EXISTING SITE CONDITIONS PRIOR TO COMMENCING WORK.
4. ANY MISCELLANEOUS ITEMS AND MATERIALS NOT SPECIFICALLY NOTED, BUT REQUIRED FOR THE PROPER EXECUTION, INSTALLATION, AND PERFORMANCE OF THIS WORK SHALL BE PROVIDED BY THE CONTRACTOR.
5. CONTRACTOR SHALL MINIMIZE DISTURBANCE OUTSIDE THE SCOPE OF WORK. ANY DISTURBANCE OUTSIDE THE SCOPE OF WORK SHALL BE REPAIRED BY THE CONTRACTOR TO, AT A MINIMUM, ITS CONDITION PRIOR TO BEGINNING WORK.
6. ALL CONNECTIONS TO EXISTING WORK SHALL BE SMOOTH AND CONTINUOUS.
7. CONTRACTOR SHALL PROVIDE PROTECTION FOR NEWLY INSTALLED WORK AND FINISHES.
8. CONSTRUCTION DEBRIS SHALL BE REMOVED AT THE END OF EACH WORK DAY AND THE SITE SHALL BE MAINTAINED IN A NEAT, CLEAN CONDITION. CONTRACTOR IS RESPONSIBLE FOR ALL PHASES OF HANDLING, TRANSPORTING, AND DISPOSING OF TRASH AND DEBRIS.
9. CONTRACTOR SHALL INSTALL AND MAINTAIN EROSION CONTROL MEASURES IN ACCORDANCE WITH ALL APPLICABLE TOWN OF BILTMORE FOREST STANDARDS AND SPECIFICATIONS. REFER TO THE TOWN OF BILTMORE FOREST BUILDING REGULATIONS.
10. CONTRACTOR SHALL ASSURE POSITIVE DRAINAGE, AT A MINIMUM SLOPE OF 2%, AWAY FROM ALL BUILDING FOUNDATIONS, WALLS, AND OTHER STRUCTURES.
11. CONTRACTOR SHALL CONFINE ALL EARTHWORK AND GRADING ACTIVITIES TO PRIVATE PROPERTY WITH THE EXCEPTION OF THE DRIVEWAY CONSTRUCTION.
12. CONTRACTOR SHALL ROUTE ALL GUTTER DOWNSPOUTS VIA SUBSURFACE PIPES TO THE PROPOSED SWALES AND/OR RAIN GARDENS SHOWN ON THE PLANS.
13. SEDIMENT BASINS / RAIN GARDENS ARE SIZED TO HOLD THE FIRST FLUSH (FIRST 15 MINUTES) OF A 25 YEAR STORM EVENT.
14. CONTRACTOR SHALL STOCKPILE BOULDERS UNCOVERED DURING EXCAVATION FOR POTENTIAL USE AS LANDSCAPE ACCENT BOULDERS.

**LEGEND**

-  APPROXIMATE LIMIT OF DISTURBANCE (29,098 SF)
-  SILT FENCE PER TOWN OF BILTMORE FOREST STANDARDS
-  TREE PROTECTION FENCE PER TOWN OF BILTMORE FOREST STANDARDS
-  DRAINAGE FLOW DIRECTION
-  EXISTING CONTOUR
-  PROPOSED CONTOUR
-  PROPOSED SPOT GRADE
-  TOP OF WALL
-  BOTTOM OF WALL
-  LANDSCAPE BOULDERS
-  STONE FACED WALL
-  GUARDRAIL TO COMPLIMENT ARCHITECTURE
-  PATIO DRAIN
-  CULVERT
-  PATIO DRAIN COLLECTION PIPE
-  SHOVEL DUG LANDSCAPE EDGE
-  TEMPORARY CONSTRUCTION MUD MAT PER STATE OF NORTH CAROLINA STANDARDS
-  4"-6" DIA. RIVER COBBLE OVER FILTER FABRIC
-  ASPHALT
-  INTEGRALLY COLORED CONCRETE; COLOR TO BE CHOSEN BY OWNER
-  PAVERS TO COMPLIMENT THE ARCHITECTURE
-  WOOD MULCH PLANTING BED OR PATH
-  SOD
-  EXISTING TREES TO BE SAVED & PROTECTED & COUNTED TOWARDS STREET TREE REQUIREMENT
-  EXISTING TREES TO BE SAVED



Date	Name/ Notes
11/17/2021	Site Plan for Submittal to the DRB
01/10/2022	Site Plan Revisions for Re-submittal to the DRB
05/31/2022	Final Plans for submittal to the DRB

**ROSS RESIDENCE**  
Town of Biltmore Forest, NC 28803  
Cedar Hill Drive, PIN# 9646-43-5152

Sheet Title:

**SITE & GRADING PLAN**

Sheet Number:

**L-1.1**

EXISTING TREE SCHEDULE

TREE #	CALIPER	SPECIES	TREES TO BE SAVED CREDITS		TREES TO BE REMOVED EQUIVALENTS	
			PROTECTED	UN-PROTECTED	PROTECTED	UN-PROTECTED
1	12"	Hickory	-	1	-	-
2	24"	Oak	-	2	-	-
3	24"	Oak	-	2	-	-
4	20"	Pine	-	2	-	-
5	10"	Sourwood	-	-	-	1
6	24"	Pine	-	2	-	-
7	18"	Pine	-	-	-	1
8	24"	Pine	-	-	-	2
9	10"	Hickory	-	-	-	1
10	24"	Oak	4	-	-	-
11	12"	Pine	-	-	-	1
12	24"	Pine	-	-	-	2
13	20"	Pine	-	-	-	2
14	12"	Sourwood	-	-	-	1
15	15"	Pine	-	-	-	1
16	15"	Pine	-	-	-	1
17	20"	Pine	-	2	-	-
18	10"	Poplar	-	1	-	-
19	10"	Poplar	2	-	-	-
20	10"	Poplar	2	-	-	-
21	15"	Oak	3	-	-	-
22	24"	Pine	4	-	-	-
23	10"	Sourwood	2	-	-	-
24	10"	Holly	-	1	-	-
25	24"	Maple	-	2	-	-
26	18"	Pine	-	1	-	-
27	24"	Pine	4	-	-	-
28	15"	Poplar	3	-	-	-
29	18"	Pine	3	-	-	-
30	20"	Pine	4	-	-	-
31	20"	Pine	4	-	-	-
32	15"	Poplar	3	-	-	-
33	20"	Pine	4	-	-	-
34	24"	Poplar	4	-	-	-
35	20"	Pine	4	-	-	-
36	15"	Pine	3	-	-	-
37	15"	Poplar	3	-	-	-
38	15"	Pine	3	-	-	-
39	15"	Pine	3	-	-	-
40	12"	Pine	2	-	-	-
41	24"	Pine	4	-	-	-
42	20"	Pine	4	-	-	-
43	20"	Pine	4	-	-	-
44	12"	Pine	2	-	-	-
45	12"	Sourwood	2	-	-	-
46	12"	Poplar	2	-	-	-
47	15"	Poplar	3	-	-	-
48	20"	Pine	4	-	-	-
49	24"	Pine	4	-	-	-
50	18"	Pine	3	-	-	-
51	20"	Poplar	4	-	-	-
52	18"	Poplar	3	-	-	-
53	24"	Pine	4	-	-	-
54	18"	Poplar	3	-	-	-
55	10"	Sourwood	2	-	-	-
56	18"	Pine	3	-	-	-
57	24"	Pine	4	-	-	-
58	24"	Pine	-	-	-	2
59	10"	Sourwood	-	-	-	1
60	15"	Pine	-	-	-	1
61	24"	Pine	4	-	-	-
62	15"	Pine	-	-	-	1
63	18"	Pine	-	-	-	1
64	18"	Oak	3	-	-	-
65	12"	Poplar	2	-	-	-
66	12"	Pine	2	-	-	-
67	15"	Pine	-	1	-	1
68	10"	Oak	-	1	-	-
69	10"	Oak	-	-	-	1
70	12"	Pine	-	-	-	1
71	12"	Sourwood	-	-	-	1
72	24"	Poplar	-	2	-	-
73	18"	Pine	-	-	-	1
74	18"	Pine	-	-	-	1
75	24"	Pine	-	-	-	2
76	20"	Pine	-	-	-	2
77	20"	Pine	-	2	-	-
78	24"	Maple	-	2	-	-
79	24"	Pine	-	-	-	2
80	20"	Pine	-	-	-	2
81	18"	Poplar	-	-	-	1
82	24"	Pine	-	-	-	2
83	30"	Pine	-	-	-	2
84	24"	Pine	-	-	-	2
85	24"	Pine	-	-	-	2
86	20"	Pine	-	-	-	2
87	15"	Pine	-	-	-	1
88	24"	Pine	-	-	-	2
89	12"	Poplar	-	-	-	1
90	24"	Pine	-	-	-	2
91	24"	Pine	-	-	-	2
92	15"	Poplar	-	-	-	1
93	15"	Sourwood	-	-	-	1
94	30"	Pine	-	-	-	3
95	10"	Sourwood	-	-	-	1
96	12"	Sourwood	-	-	-	1
97	10"	Holly	-	-	-	1
98	24"	Pine	-	-	-	2
99	12"	Pine	-	-	-	1
100	10"	Pine	-	-	-	1
101	10"	Pine	-	-	-	1
102	10"	Oak	-	-	-	1
103	24"	Pine	-	-	-	2
TOTALS:			130	24	0	67

LEGEND

- ■ ■ ■ ■ APPROXIMATE LIMIT OF DISTURBANCE (29,098 SF)
- SILT FENCE PER TOWN OF BILTMORE FOREST STANDARDS
- TREE PROTECTION FENCE PER TOWN OF BILTMORE FOREST STANDARDS
- - - - - EXISTING CONTOUR
- - - - - PROPOSED CONTOUR
- ⊗ EXISTING TREES TO BE SAVED & PROTECTED & COUNTED TOWARDS STREET TREE REQUIREMENT
- ⊗ EXISTING TREES TO BE SAVED
- ⊗ EXISTING TREES TO BE REMOVED
- PROPOSED NEW TREES
- OAK
- MAPLE
- POPLAR
- SOURWOOD
- HICKORY
- PINE
- HOLLY

TREE SUMMARY CHART

PROTECTED TREES TO BE PRESERVED CREDITS	UNPROTECTED TREES TO BE PRESERVED CREDITS	PROTECTED TREES TO BE REMOVED	UNPROTECTED TREES TO BE REMOVED EQUIVALENTS	NEW TREES TO BE ADDED
130	24	0	67	*27

NOTES:

- \*REFER TO THE LANDSCAPE PLAN (SHEETS L-3.0 & L-3.1) FOR PROPOSED NEW TREES SPECIES AND SIZES.
- PER DISCUSSION WITH THE DRB, 'UNPROTECTED' TREES ARE THOSE INSIDE THE LIMIT OF DISTURBANCE AND 'PROTECTED' TREES ARE THOSE OUTSIDE THE LIMIT OF DISTURBANCE.

STREET TREE REQUIREMENT CHART

CODE	REQUIREMENT	PROVIDED
(1) LARGE-MATURING TREE FOR EVERY 40 L.F. OF PROPERTY ABUTTING A STREET WITHIN THE 50' PLANTING STRIP	240 L.F. / 40 L.F. = (6) LARGE MATURING TREES OR TREE CREDITS	(0) NEW LARGE MATURING TREES (2) EXISTING 10" CALIPER LARGE MATURING TREES = 4 NEW TREES (1) EXISTING 24" CALIPER LARGE MATURING TREE = 4 NEW TREES  (8) TREE CREDITS PROVIDED

NOTES:

- LANDSCAPE BUFFER REQUIREMENTS AND PARKING LOT SCREENING REQUIREMENTS ARE NOT APPLICABLE TO THIS PROJECT.
- PER CODE SECTION 153.062, TREES DESIGNATED FOR PRESERVATION MAY BE CREDITED AT THE FOLLOWING RATES:  
EXISTING 2"-6" CALIPER TREE = 1 NEW TREE  
EXISTING 7"-12" CALIPER TREE = 2 NEW TREES  
EXISTING 19"-24" CALIPER TREE = 4 NEW TREES  
EXISTING 25" CALIPER AND GREATER TREE = 5 NEW TREES



TREE PRESERVATION NOTES

- CONTRACTOR SHALL ADHERE TO THE TOWN OF BILTMORE FOREST BUILDING REGULATIONS: SECTION 153.062 EXISTING VEGETATION FOR PRESERVING AND PROTECTING EXISTING TREES
- NO PERSON SHALL REMOVE OR IN ANY WAY DAMAGE ANY TREES MARKED AS 'PROTECTED' WITHOUT FIRST FILING AN APPLICATION FOR SAID REMOVAL AND RECEIVING A PERMIT FROM THE TOWN MANAGER.
- CONTRACTOR SHALL MAKE EVERY REASONABLE EFFORT TO PRESERVE ALL TREES MARKED 'TO BE SAVED'.
- ANY TREE MARKED 'TO BE SAVED' THAT IS REMOVED SHALL BE REPLACED PER TOWN OF BILTMORE FOREST BUILDING REGULATIONS.

1 TREE PRESERVATION PLAN  
SCALE: 1" = 20' - 0"

Date	Name/ Notes
11/17/2021	Site Plan for Submittal to the DRB
01/10/2022	Site Plan Revisions for Re-submittal to the DRB
05/31/2022	Final Plans for submittal to the DRB

PLANT SCHEDULE

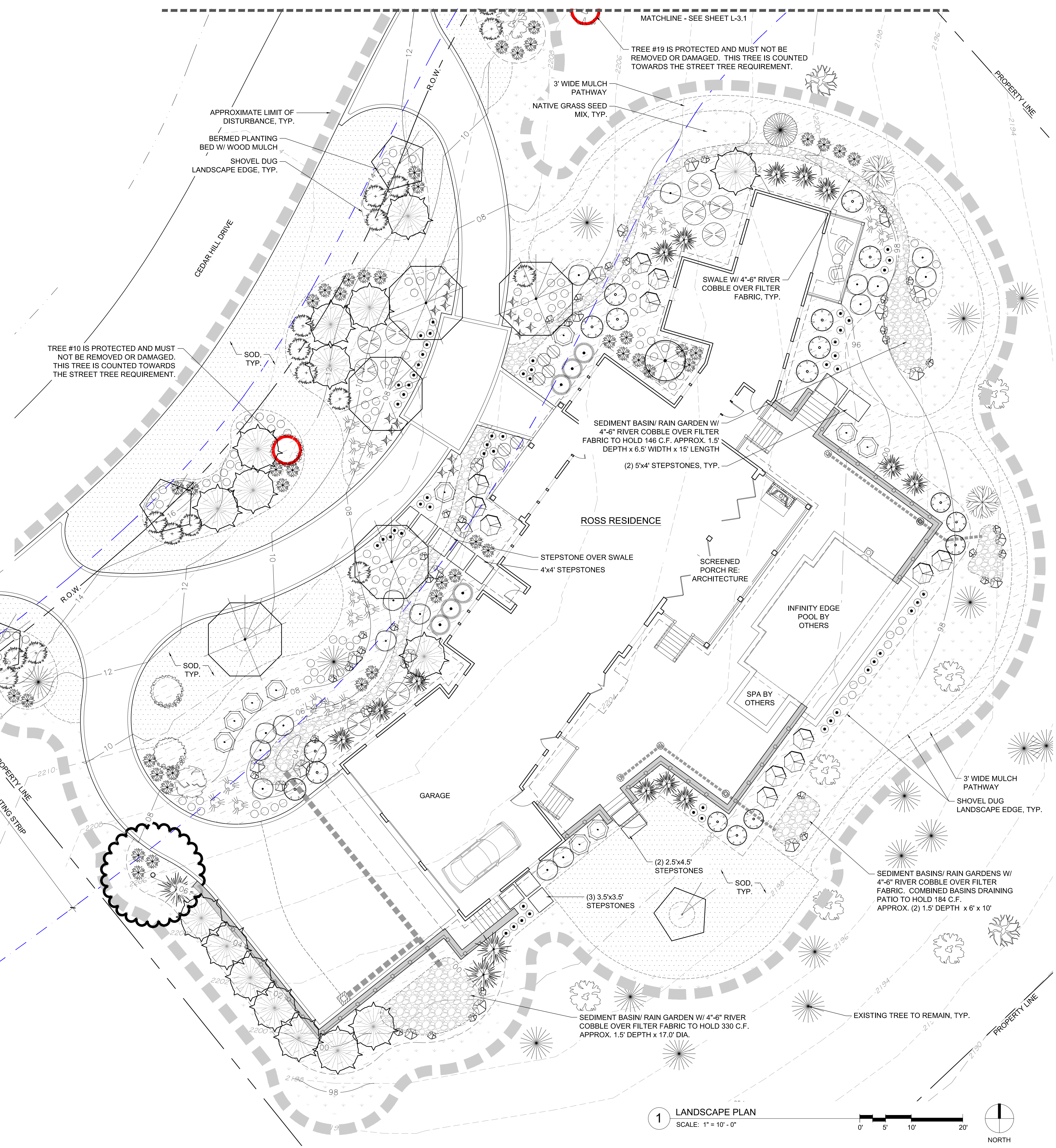
Sym.	Botanical Name	Common Name	Size	Condition
<b>Deciduous Trees</b>				
AP	Acer palmatum 'Orangeola'	Orangeola Japanese Maple	10 Gal.; 4' Height min.	Cont.
CF	Cornus florida 'Princess White'	Princess White Dogwood	15 Gal.	Cont.
LS	Liquidambar styraciflua 'Burgundy Blush'	Burgundy Blush Sweetgum	2" Caliper	B&B
MV	Magnolia 'Vulcan'	Vulcan Magnolia (Deciduous)	15 Gal.	Cont.
<b>Evergreen Trees</b>				
IM	Ilex 'Magiana'	Acadiana Holly	10 Gal.; 4' Height min.	Cont.
<b>Deciduous Shrubs</b>				
CAT	Cotoneaster apiculatus 'Tom Thumb'	Tom Thumb Cotoneaster	3 Gal.	Cont.
FMD	Fothergilla 'Mount Airy'	Dwarf Fothergilla	3 Gal.	Cont.
HQR	Hydrangea quercifolia 'Ruby Slippers'	Ruby Slippers Oakleaf Hydrangea	3 Gal.	Cont.
POG	Physocarpus opulifolius 'Ginger Wine'	Ginger Wine Ninebark	5 Gal.	Cont.
<b>Evergreen Shrubs</b>				
BSE	Buxus sempervirens 'Elegantissima'	Variiegated Boxwood	5 Gal.	Cont.
CPV	Chamaecyparis pisifera 'Vintage Gold'	Vintage Gold False Cypress	3 Gal.	Cont.
JSB	Juniperus scopulorum 'Blue Arrow'	Blue Arrow Juniper	5' Min.	Cont.
NDF	Nandina domestica 'Firepower'	Firepower Heavenly Bamboo	3 Gal.	Cont.
RNZ	Rhododendron 'Nova Zembla'	Nova Zembla Rhododendron	5 Gal.	Cont.
<b>Ornamental Grasses and Sedges</b>				
PVS	Panicum virgatum 'Shenandoah'	Shenandoah Switch Grass	1 Gal.	Cont.
<b>Groundcovers and Perennials</b>				
CVG	Chrysogonum virginianum	Green and Gold	4" Pot	Cont.
GIJ	Geranium ibericum 'Johnson's Blue'	Johnson's Blue Geranium	4" Pot	Cont.
HGP	Heuchera 'Georgia Peach'	Georgia Peach Heuchera	4" Pot	Cont.
PAC	Polystichum acrostichoides	Christmas Fern	4" Pot	Cont.

LEGEND

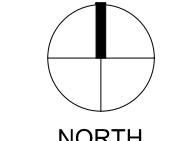
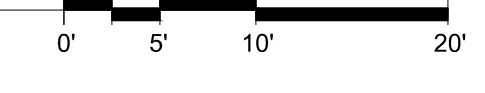
- APPROXIMATE LIMIT OF DISTURBANCE (29,098 SF)
- EXISTING CONTOUR
- PROPOSED CONTOUR
- LANDSCAPE BOULDERS
- CULVERT
- PATIO DRAIN COLLECTION PIPE
- SHOVEL DUG LANDSCAPE EDGE
- EXISTING TREES TO BE SAVED & PROTECTED & COUNTED TOWARDS STREET TREE REQUIREMENT
- EXISTING TREES TO BE SAVED
- 4"-6" DIA. RIVER COBBLE OVER FILTER FABRIC
- WOOD MULCH PLANTING BED OR PATH
- SOD
- NATIVE GRASS SEED MIX

LANDSCAPE NOTES:

- CONTRACTOR SHALL SUPPLY ALL PLANT MATERIAL IN QUANTITIES SUFFICIENT TO COMPLETE THE PLANTING SHOWN ON THE DRAWINGS.
- ALL MATERIAL SHALL CONFORM TO THE GUIDELINES ESTABLISHED BY THE CURRENT AMERICAN STANDARD FOR NURSERY STOCK, PUBLISHED BY THE AMERICAN ASSOCIATION OF NURSERMEN, OR EQUIVALENT. PLANT MATERIAL DEEMED INFERIOR BY THE PROJECT MANAGER AND/OR LANDSCAPE ARCHITECT SHALL BE REPLACED AT CONTRACTOR'S EXPENSE.
- AREAS TO BE PLANTED SHALL BE TILLED TO A MINIMUM DEPTH OF 12-INCHES. CONTRACTOR SHALL THEN APPLY SOIL AMENDMENT OVER SURFACE AT MANUFACTURER'S SPECIFIED RATE. CONTRACTOR SHALL THEN TILL LANDSCAPE AREAS AGAIN TO A MINIMUM DEPTH OF 8-INCHES PRIOR TO ANY PLANTING. TILL AND AMEND WITHIN: 4' OF NEW TREE TRUNKS, 2' OF NEW SHRUB CENTERS, AND 1' OF NEW GRASS AND PERENNIAL CENTERS. WHERE PLANTING OCCURS UNDER EXISTING TREE CANOPIES THE CONTRACTOR SHALL CAREFULLY HAND DIG INDIVIDUAL PLANTING PITS AVOIDING MAJOR TREE ROOTS.
- AREAS TO BE SODDED THAT ARE NOT WITHIN AN EXISTING TREE DRIP LINE (ROOT ZONE) SHALL BE TILLED TO A MINIMUM DEPTH OF 4-INCHES. CONTRACTOR SHALL THEN APPLY SOIL AMENDMENT OVER SURFACE AT MANUFACTURER'S SPECIFIED RATE. CONTRACTOR SHALL THEN RE-TILL TO A DEPTH OF 4-INCHES.
- AREAS TO BE SODDED THAT ARE WITHIN AN EXISTING TREE DRIP LINE (ROOT ZONE) SHALL BE CAREFULLY ROUGHENED WITH A GARDEN RAKE, AVOIDING UNEARTHING ROOTS. CONTRACTOR SHALL THEN APPLY SOIL AMENDMENT OVER SURFACE AT MANUFACTURER'S SPECIFIED RATE AND RAKE IN PRIOR TO SODDING.
- NO LANDSCAPING SHALL BE INSTALLED BEFORE FINE GRADING HAS BEEN COMPLETED AND ITS CONDITION APPROVED BY THE PROJECT MANAGER OR LANDSCAPE ARCHITECT. ANY AREAS NOT PROPERLY TILLED, AMENDED, OR FINE-GRADED WILL NEED TO BE RE-DONE AT THE CONTRACTOR'S EXPENSE.
- PROPOSED PLANT SUBSTITUTIONS MUST BE REVIEWED AND APPROVED BY THE LANDSCAPE ARCHITECT PRIOR TO TRANSPORT TO THE PROJECT SITE. PLANT MATERIAL SUBSTITUTED AND INSTALLED WITHOUT APPROVAL MAY REQUIRE REMOVAL AND REPLACEMENT AT THE DISCRETION OF THE LANDSCAPE ARCHITECT. PLANT MATERIAL REQUIRING REPLACEMENT SHALL BE DONE AT THE CONTRACTOR'S EXPENSE.
- ALL PLANTS SHALL BE BALLED AND BURLAPPED OR CONTAINER GROWN AS SPECIFIED ON THE PLANT LIST. NO CONTAINER GROWN STOCK WILL BE ACCEPTED IF IT'S ROOT BOUND. ALL ROOT WRAPPING MATERIAL SHALL BE REMOVED COMPLETELY AT TIME OF PLANTING AND PROPERLY DISCARDED.
- ALL PLANTS SHALL HAVE THE SAME RELATIONSHIP TO FINISHED GRADE AS THE PLANT'S ORIGINAL GRADE BEFORE DIGGING, UNLESS OTHERWISE SPECIFIED OR DETAILED.
- AFTER PLANTING, WOOD MULCH SHALL BE APPLIED TO ALL PLANTING AREAS AT A DEPTH OF 3" OVER WEED CONTROL FABRIC.
- CONTRACTOR SHALL BE RESPONSIBLE FOR WATERING AND OTHER MAINTENANCE NECESSARY FOR INITIAL ESTABLISHMENT OF PLANTINGS. PLANT MATERIAL NEEDING REPLACEMENT WITHIN ONE YEAR OF PLANTING SHALL BE DONE AT CONTRACTOR'S EXPENSE.
- IN NATIVE SEED AREAS, CONTRACTOR SHALL BE RESPONSIBLE FOR ESTABLISHING A CONTINUOUS, CLOSE STAND OF GRASS THAT IS FREE OF SIGNIFICANT BARE SPOTS, GAPS, AND WEEDS. CONTRACTOR SHALL WATER AND OVERSEED AS NEEDED TO ESTABLISH AN ACCEPTABLE STAND OF NATIVE GRASS.



1 LANDSCAPE PLAN  
SCALE: 1" = 10' - 0"



Name/ Notes	Date
Site Plan for Submittal to the DRB	11/17/2021
Site Plan Revisions for Re-submittal to the DRB	01/10/2022
Final Plans for submittal to the DRB	05/31/2022

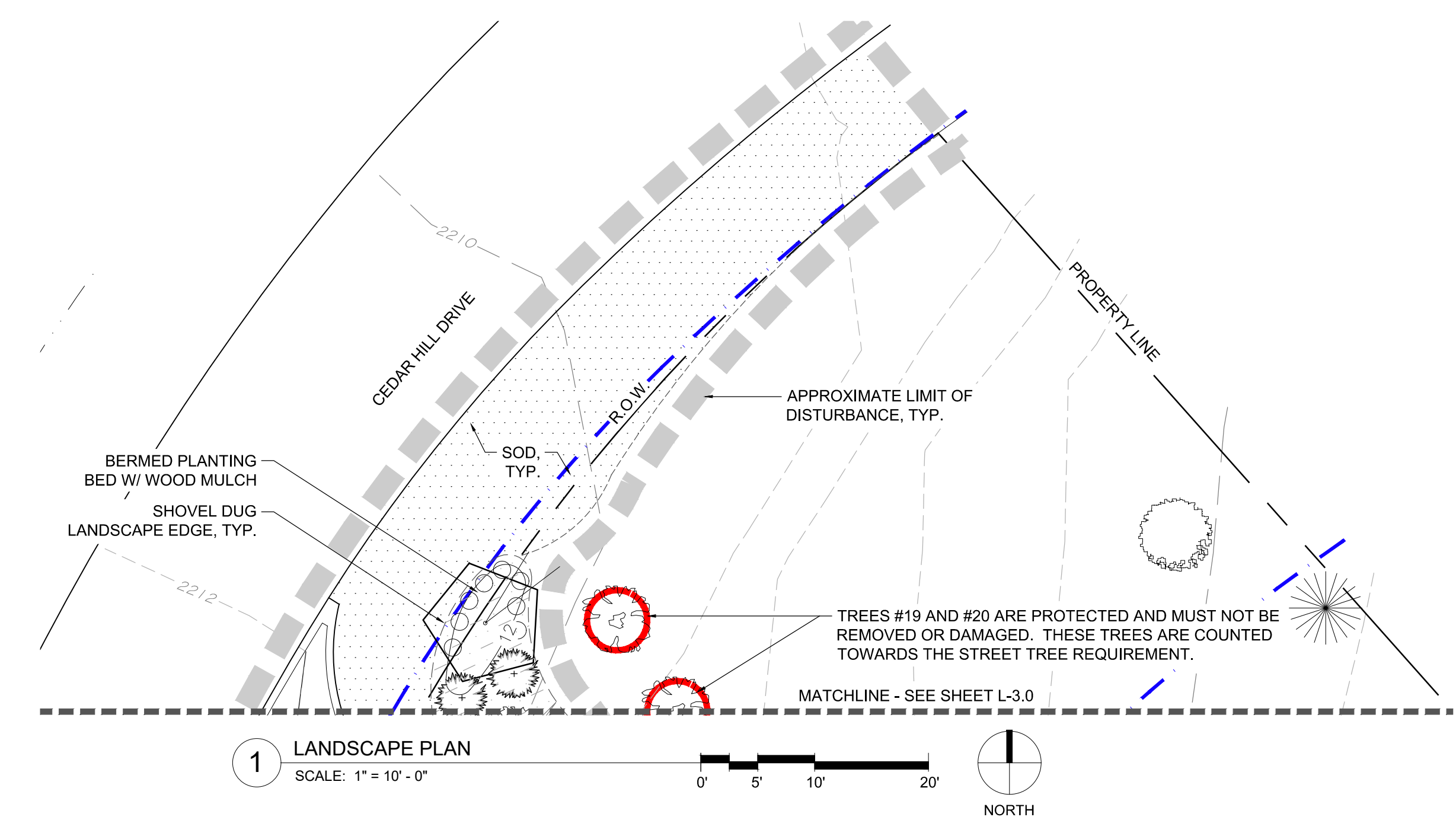
**ROSS RESIDENCE**  
Town of Biltmore Forest, NC 28803  
Cedar Hill Drive, PIN# 9646-43-5152

Sheet Title:  
**LANDSCAPE PLAN**

Sheet Number:  
**L-3.0**

PLANT SCHEDULE

Sym.	Botanical Name	Common Name	Size	Condition
<b>Deciduous Trees</b>				
AP	Acer palmatum 'Orangeola'	Orangeola Japanese Maple	10 Gal.; 4' Height min.	Cont.
CF	Cornus florida 'Princess White'	Princess White Dogwood	15 Gal.	Cont.
LS	Liquidambar Styraciflua 'Burgundy Blush'	Burgundy Blush Sweetgum	2" Caliper	B&B
MV	Magnolia 'Vulcan'	Vulcan Magnolia (Deciduous)	15 Gal.	Cont.
<b>Evergreen Trees</b>				
IM	Ilex 'Magiana'	Acadiana Holly	10 Gal.; 4' Height min.	Cont.
<b>Deciduous Shrubs</b>				
CAT	Cotoneaster apiculatus 'Tom Thumb'	Tom Thumb Cotoneaster	3 Gal.	Cont.
FMD	Fothergilla 'Mount Airy'	Dwarf Fothergilla	3 Gal.	Cont.
HQR	Hydrangea quercifolia 'Ruby Slippers'	Ruby Slippers Oakleaf Hydrangea	3 Gal.	Cont.
POG	Physocarpus opulifolius 'Ginger Wine'	Ginger Wine Ninebark	5 Gal.	Cont.
<b>Evergreen Shrubs</b>				
BSE	Buxus sempervirens 'Elegantissima'	Variegated Boxwood	5 Gal.	Cont.
CPV	Chamaecyparis pisifera 'Vintage Gold'	Vintage Gold False Cypress	3 Gal.	Cont.
JSB	Juniperus scopulorum 'Blue Arrow'	Blue Arrow Juniper	5' Min.	Cont.
NDF	Nandina domestica 'Firepower'	Firepower Heavenly Bamboo	3 Gal.	Cont.
RNZ	Rhododendron 'Nova Zembla'	Nova Zembla Rhododendron	5 Gal.	Cont.
<b>Ornamental Grasses and Sedges</b>				
PVS	Panicum virgatum 'Shenandoah'	Shenandoah Switch Grass	1 Gal.	Cont.
<b>Groundcovers and Perennials</b>				
CVG	Chrysogonum virginianum	Green and Gold	4" Pot	Cont.
GIJ	Geranium ibericum 'Johnson's Blue'	Johnson's Blue Geranium	4" Pot	Cont.
HGP	Heuchera 'Georgia Peach'	Georgia Peach Heuchera	4" Pot	Cont.
PAC	Polystichum acrostichoides	Christmas Fern	4" Pot	Cont.



**LEGEND**

	APPROXIMATE LIMIT OF DISTURBANCE (29,098 SF)		4"-6" DIA. RIVER COBBLE OVER FILTER FABRIC
	EXISTING CONTOUR		WOOD MULCH PLANTING BED OR PATH
	PROPOSED CONTOUR		SOD
	LANDSCAPE BOULDERS		NATIVE GRASS SEED MIX
	CULVERT		
	PATIO DRAIN COLLECTION PIPE		
	SHOVEL DUG LANDSCAPE EDGE		

EXISTING TREES TO BE SAVED & PROTECTED & COUNTED TOWARDS STREET TREE REQUIREMENT

EXISTING TREES TO BE SAVED

Name/Notes	Date
Site Plan for Submittal to the DRB	11/17/2021
Site Plan Revisions for Re-submittal to the DRB	01/10/2022
Final Plans for submittal to the DRB	05/31/2022

**ROSS RESIDENCE**  
Town of Biltmore Forest, NC 28803  
Cedar Hill Drive, PIN# 9646-43-5152

Sheet Title:  
**LANDSCAPE PLAN**

Sheet Number:  
**L-3.1**

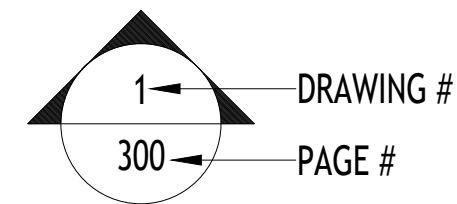


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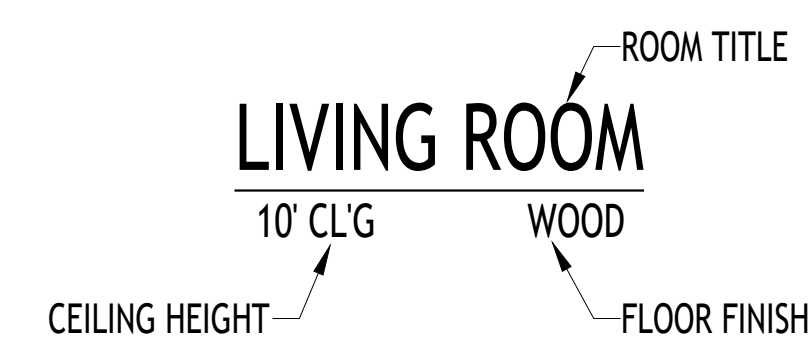
### WINDOW / DOOR SIZING

2856 = 2'-8" WIDE x 5'-6" TALL OPENING SIZE  
SEE ELEVATIONS FOR HEAD HEIGHT, HANDING  
AND GRILL PATTERN

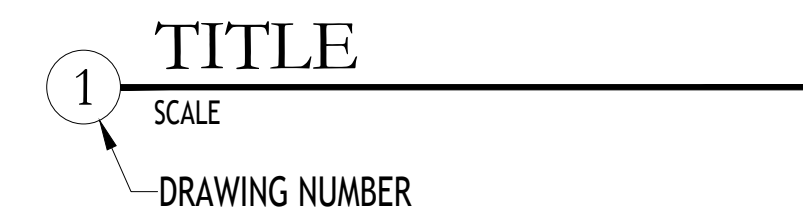
### ELEVATION / SECTION BUBBLE



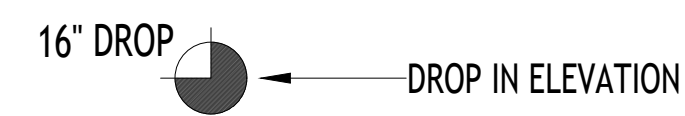
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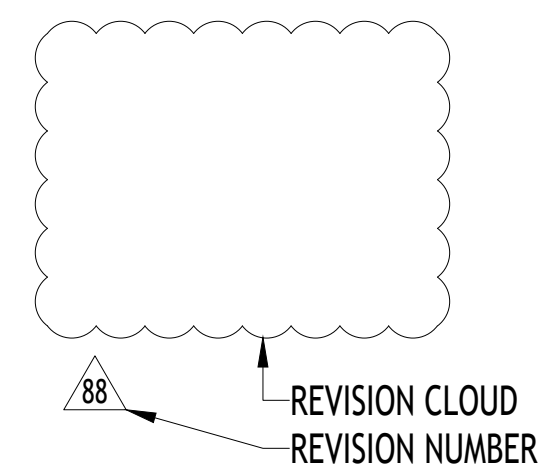
### DRAWING TITLE



### ELEVATION MARKERS



### REVISION NOTES



# ROSS RESIDENCE

BILTMORE FOREST, NC

## DRAWING INDEX

- 000 TITLE SHEET / DRAWING INDEX / KEY
- 100 FOUNDATION PLAN / ROOF PLAN
- 201 OVERALL FIRST FLOOR PLAN
- 201.1 PARTIAL FIRST FLOOR PLAN
- 201.2 PARTIAL FIRST FLOOR PLAN
- 202 SECOND FLOOR PLAN
- 300 OVERALL ELEVATIONS
- 301 PARTIAL ELEVATIONS
- 302 PARTIAL ELEVATIONS
- 303 PARTIAL ELEVATIONS

## SQUARE FOOTAGE

FIRST FLOOR HEATED:	2,960 sq. ft.
SECOND FLOOR HEATED:	1,206 sq. ft.
TOTAL HEATED:	4,166 sq. ft.
POOL STORAGE:	107 sq. ft.
FRONT PORCH:	175 sq. ft.
REAR PORCH:	414 sq. ft.
FAMILY ENTRY:	22 sq. ft.
LAUNDRY DECK:	60 sq. ft.
MASTER DECK:	122 sq. ft.
GARAGE:	964 sq. ft.
TOTAL CUMULATIVE:	6,030 sq. ft.

C3 Studio LLC  
133 W. Jackson Ave.  
Knoxville, TN 37902  
865-309-4461  
www.C3StudioLLC.com



ROSS RESIDENCE  
BILTMORE FOREST, NC

REVISIONS

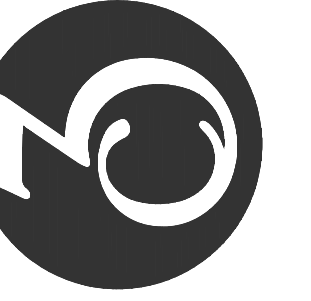
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PROJECT  
2101025

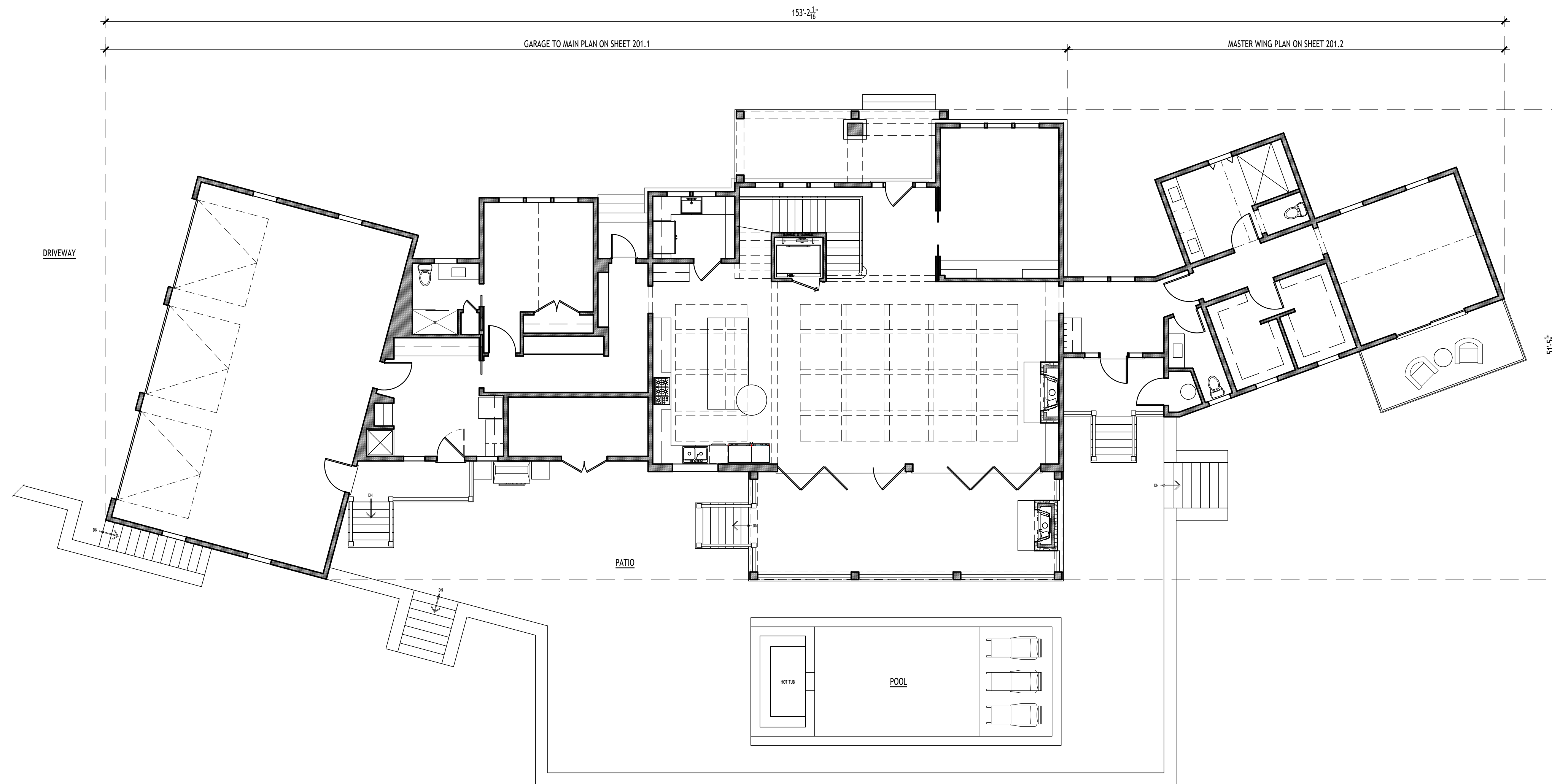
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CHECKED BML

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**ROSS RESIDENCE**  
BILTMORE FOREST, NC



**FIRST FLOOR FULL PLAN**  
1/8" = 1'-0"

REVISIONS

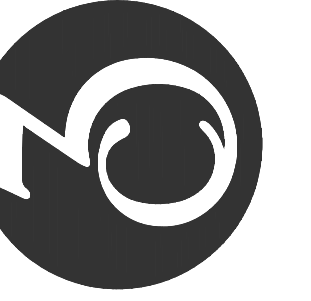
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April 15, 2022

PROJECT  
2101025

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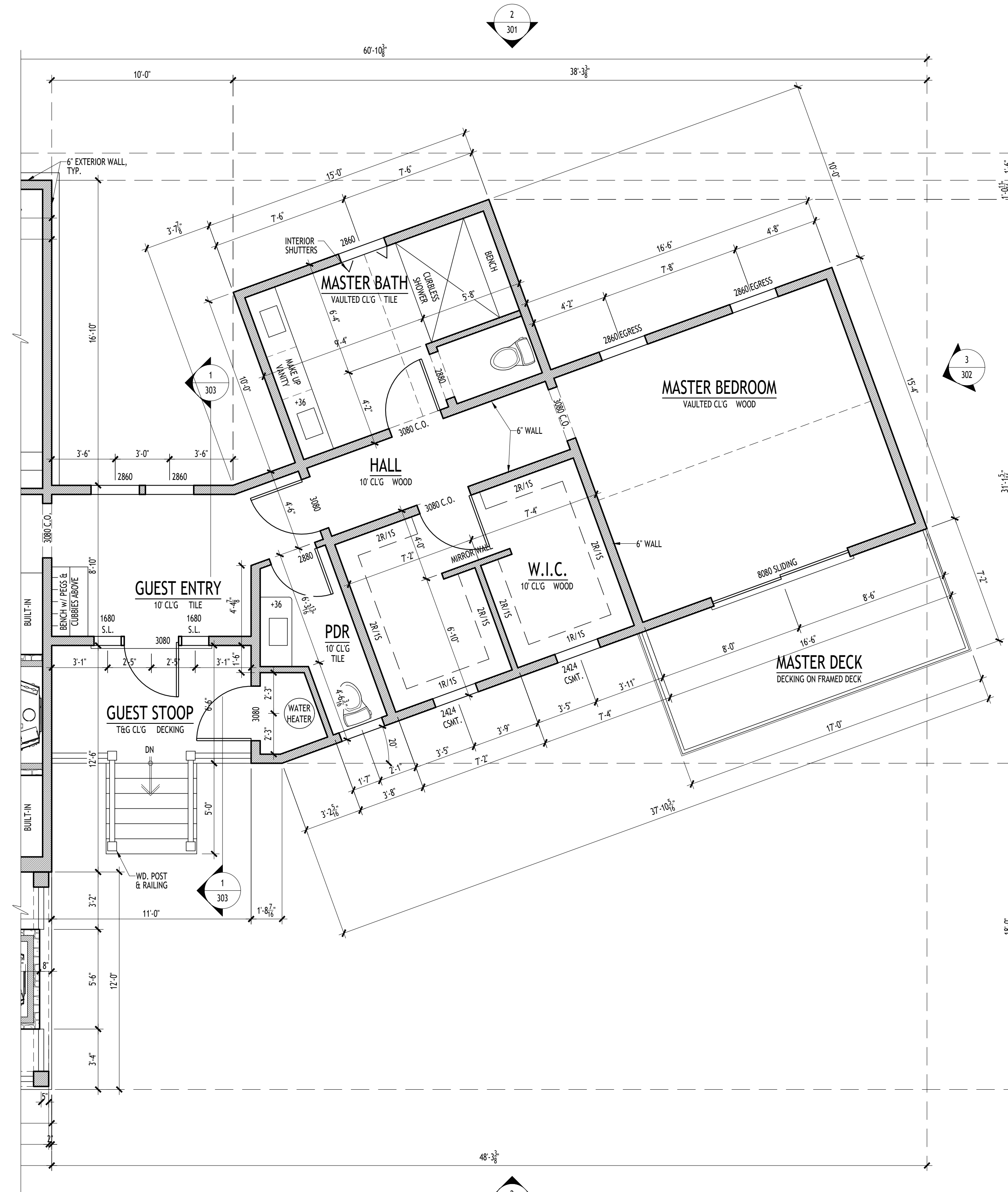




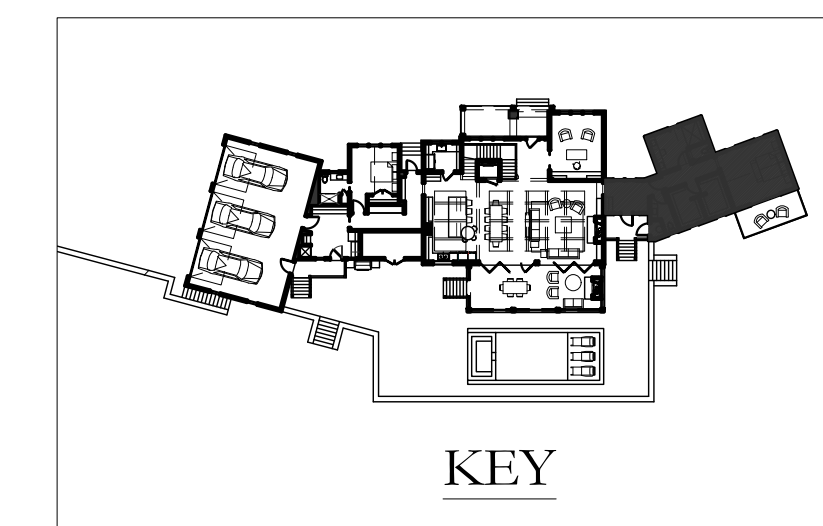


**ROSS RESIDENCE**  
BILTMORE FOREST, NC

- GENERAL NOTES:**
- ALL STRUCTURAL SYSTEMS AND COMPONENTS SHALL COMPLY WITH LOCAL CODES AND INTERNATIONAL RESIDENTIAL CODE (IRC), OR BE SPECIFIED SEPARATELY ON STRUCTURAL PLANS BY AN ENGINEER PER BUDGET AND SITE CONDITIONS. APPROVED ENGINEERED LUMBER & COMPONENTS SHALL BE INSTALLED PER MANUFACTURERS SPECIFICATIONS.
  - VERIFY ALL INTERIOR AND EXTERIOR FRAMING WITH CODE OR STRUCTURAL PLANS. ALL FRAMING COMPONENTS EXPOSED TO THE EXTERIOR OR IN CONTACT WITH MASONRY / CONCRETE SHALL BE PRESSURE TREATED (U.N.O.) AND FASTENED MEETING REQUIREMENTS OF CODE AND STRUCTURAL.
  - STRUCTURAL BEAM/GIRDERS AT PORCHES SHALL STRUCTURALLY CONNECT TO FRAMED WALL PER CODE OR STRUCTURAL.
  - ADD SUPPORT WITHIN FLOOR SYSTEM PER CODE OR STRUCTURAL BELOW TUBS, LARGE SHOWERS WITH AID BASE, AND WALLS PARALLEL TO JOISTS.
  - WINDOW & DOOR HEIGHTS ARE FROM TOP OF FINISHED FLOOR. FRAMING CONTRACTOR SHALL COORDINATE WITH BUILDER TO DETERMINE ROUGH OPENING HEIGHTS.
  - ATTIC ACCESSES NOT SHOWN. PROVIDE PER CODE.
- WINDOW NOTES:**
- ALL WINDOWS ARE DOUBLE HUNG UNLESS NOTED OTHERWISE.
  - CONTRACTOR SHALL VERIFY WITH SELECTED WINDOW MANUFACTURER BEDROOM WINDOWS MEET LOCAL WIND AND EGRESS REQUIREMENTS.
  - WINDOW MANUFACTURER SHALL VERIFY ALL WINDOW LOCATIONS WHERE SAFETY GLAZING IS REQUIRED AND PROVIDE AS NEEDED.
  - ALL WINDOW UNITS SHALL MEET WIND AND ENERGY REQUIREMENTS AS SPECIFIED BY LOCAL OR NATIONAL REQUIREMENTS.
  - WINDOW HEIGHTS ARE FROM FINISHED FLOOR. WINDOW INSTALLER SHALL COORDINATE WITH BUILDER TO DETERMINE INSTALLATION HEIGHTS.



PARTIAL FIRST FLOOR PLAN - MASTER WING  
1/4" = 1'-0"



REVISIONS

DATE  
Pricing Set  
April 15, 2022

PROJECT  
2101025

DRAWN  
JDD / CR

CHECKED  
BML

**201.2**



# ROSS RESIDENCE

BILTMORE FOREST, NC

REVISIONS

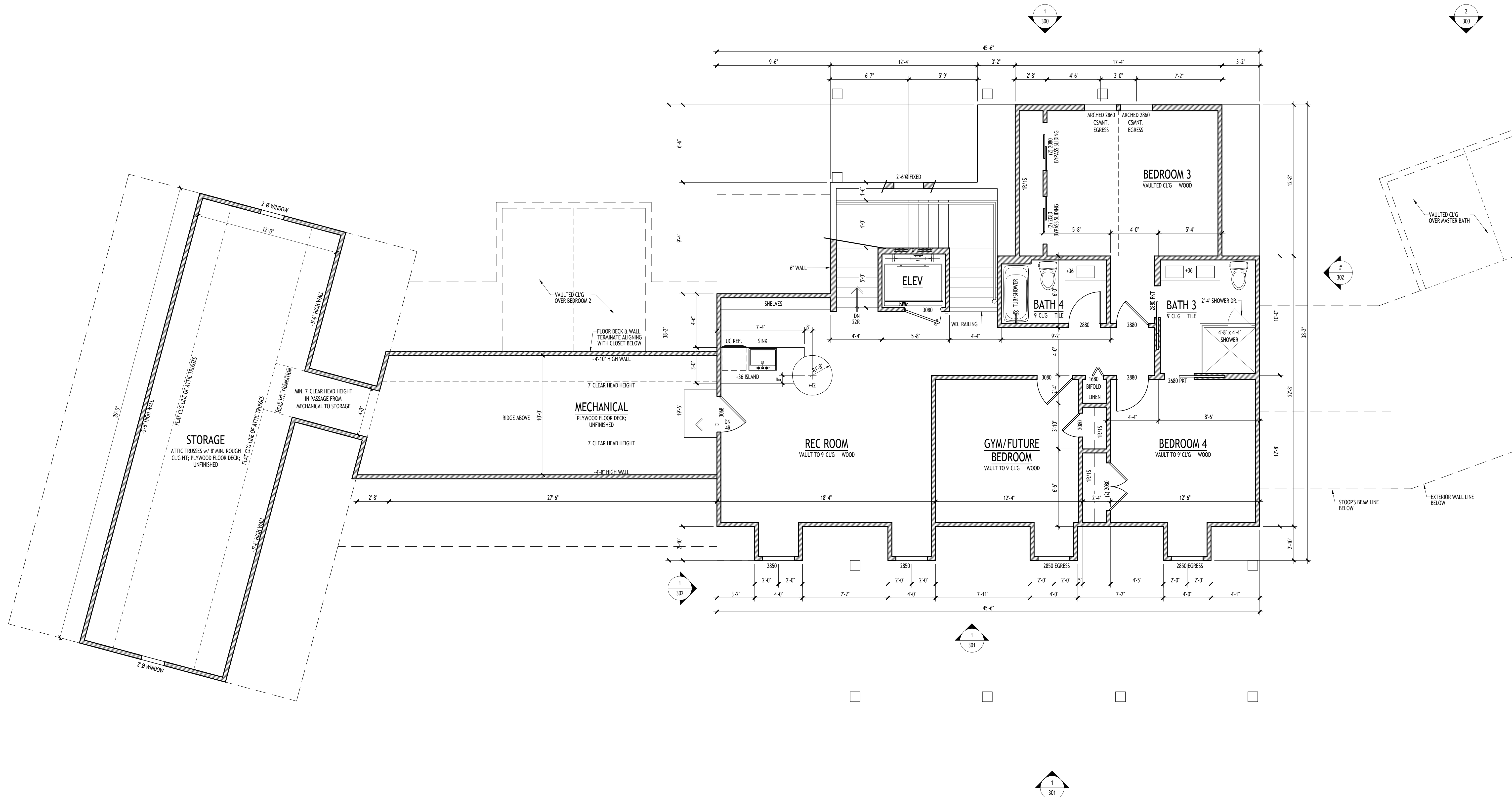
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April 15, 2022

PROJECT  
2101025

DRAWN JDD / CR  
CHECKED BML

- GENERAL NOTES:
- ALL STRUCTURAL SYSTEMS AND COMPONENTS SHALL COMPLY WITH LOCAL CODES AND INTERNATIONAL RESIDENTIAL CODE (IRC), OR BE SPECIFIED SEPARATELY ON STRUCTURAL PLANS BY AN ENGINEER PER BUDGET AND SITE CONDITIONS. APPROVED ENGINEERED LUMBER & COMPONENTS SHALL BE INSTALLED PER MANUFACTURERS SPECIFICATIONS.
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  - WINDOW & DOOR HEIGHTS ARE FROM TOP OF FINISHED FLOOR. FRAMING CONTRACTOR SHALL COORDINATE WITH BUILDER TO DETERMINE ROUGH OPENING HEIGHTS.
  - ATTIC ACCESSES NOT SHOWN. PROVIDE PER CODE.

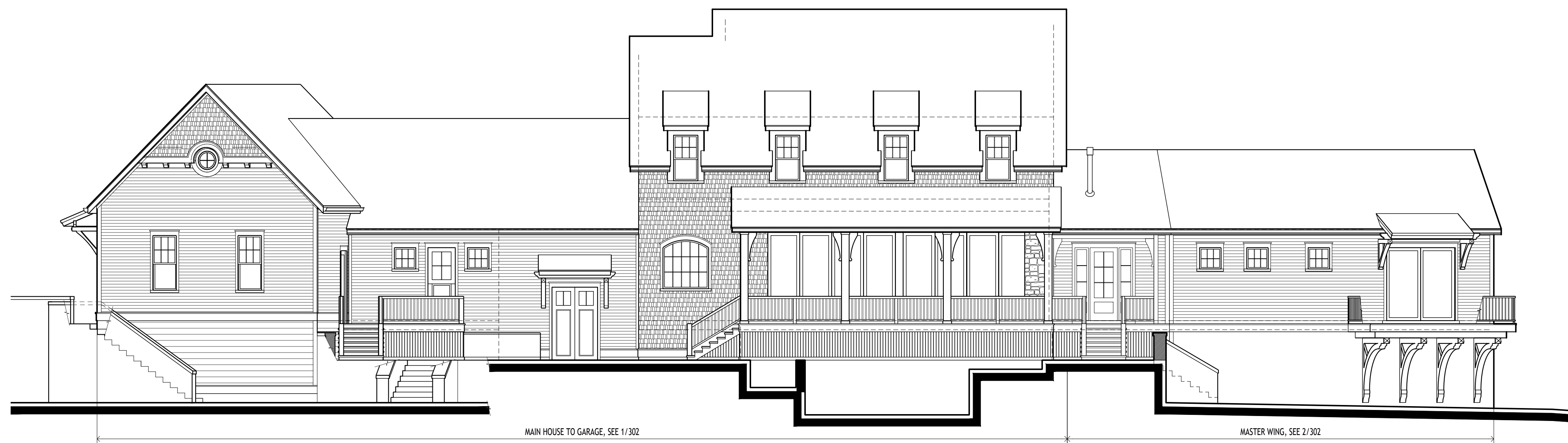
- WINDOW NOTES:
- ALL WINDOWS ARE DOUBLE HUNG UNLESS NOTED OTHERWISE.
  - CONTRACTOR SHALL VERIFY WITH SELECTED WINDOW MANUFACTURER. BEDROOM WINDOWS MEET LOCAL WIND AND EGRESS REQUIREMENTS.
  - WINDOW MANUFACTURERS SHALL VERIFY ALL WINDOW LOCATIONS WHERE SAFETY GLAZING IS REQUIRED AND PROVIDE AS NEEDED.
  - ALL WINDOW UNITS SHALL MEET WIND AND ENERGY REQUIREMENTS AS SPECIFIED BY LOCAL OR NATIONAL REQUIREMENTS.
  - WINDOW HEIGHTS ARE FROM FINISHED FLOOR. WINDOW INSTALLER SHALL COORDINATE WITH BUILDER TO DETERMINE INSTALLATION HEIGHTS.



SECOND FLOOR PLAN  
1/4" = 1'-0"



**ROSS RESIDENCE**  
BILTMORE FOREST, NC



② REAR ELEVATION  
1/8" = 1'-0"



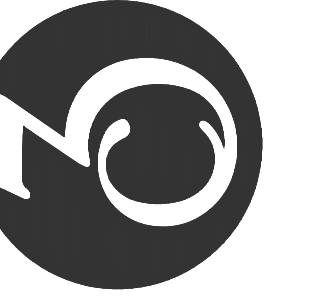
① FRONT ELEVATION  
1/8" = 1'-0"

REVISIONS

DATE  
Pricing Set  
April 15, 2022

PROJECT  
2101025

DRAWN	CHECKED
JDD / CR	BML



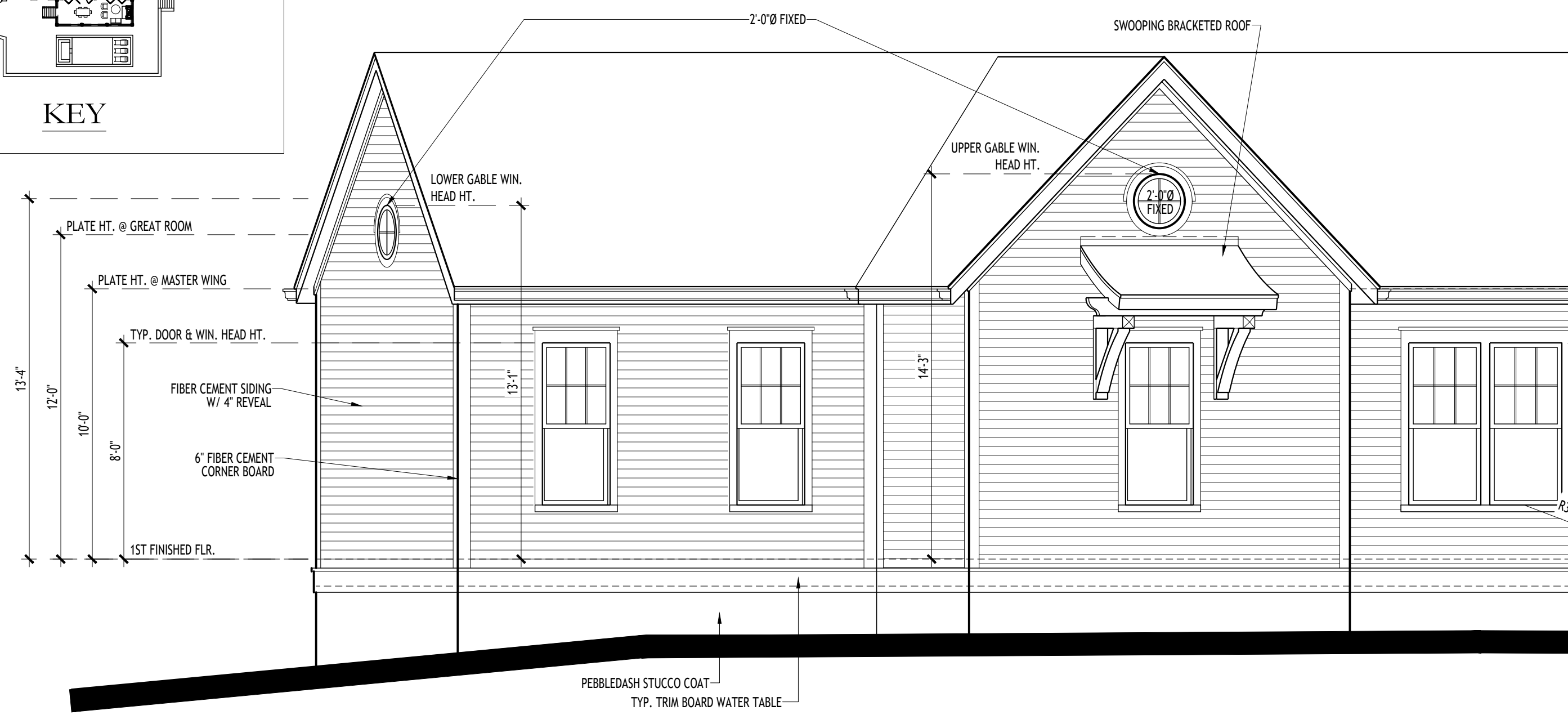
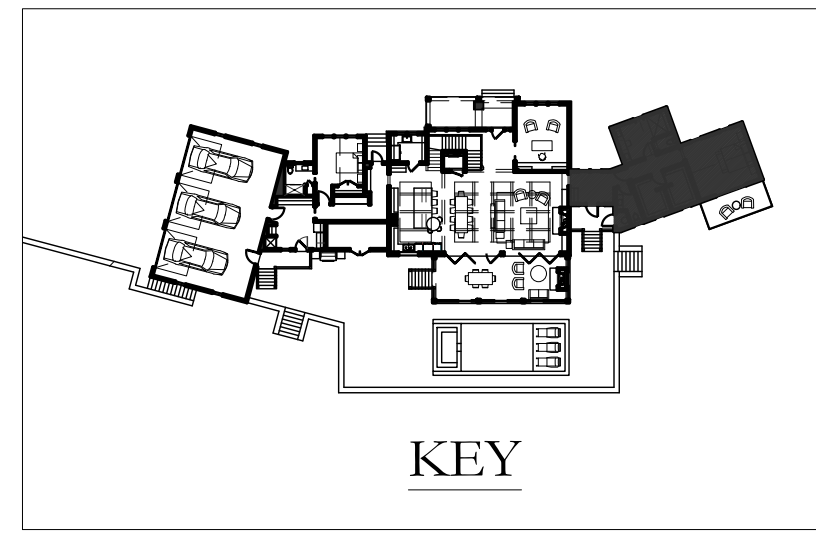
ROSS RESIDENCE  
BILTMORE FOREST, NC

REVISIONS

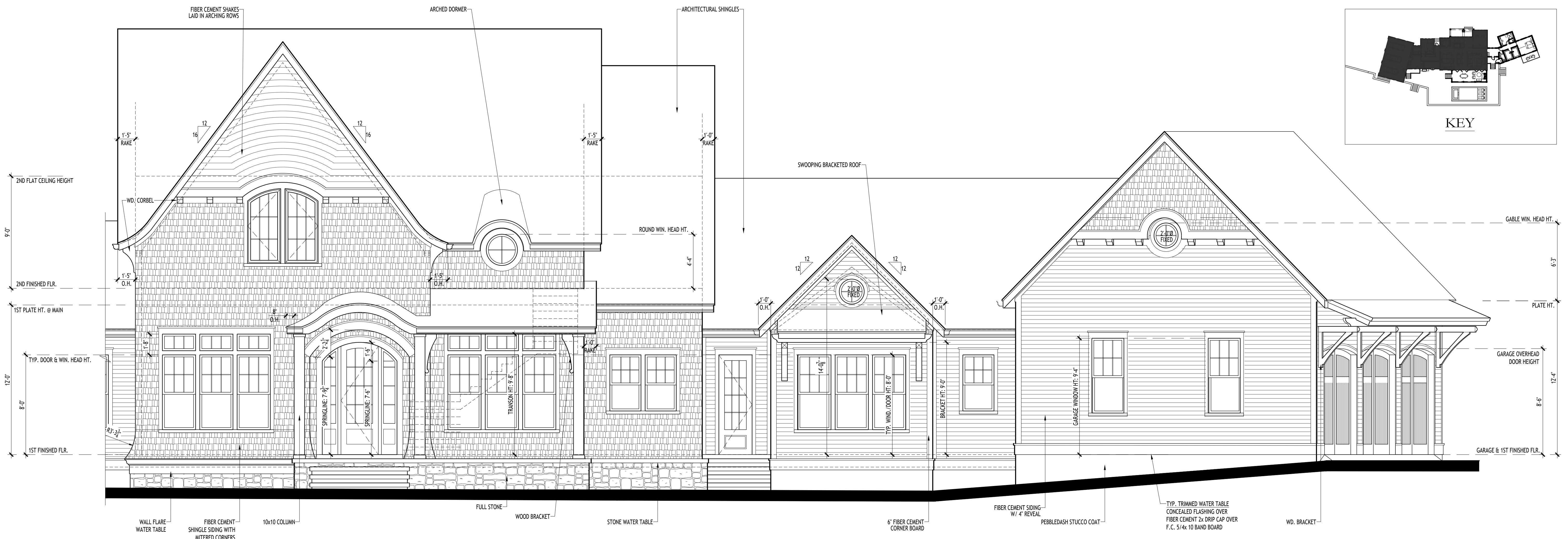
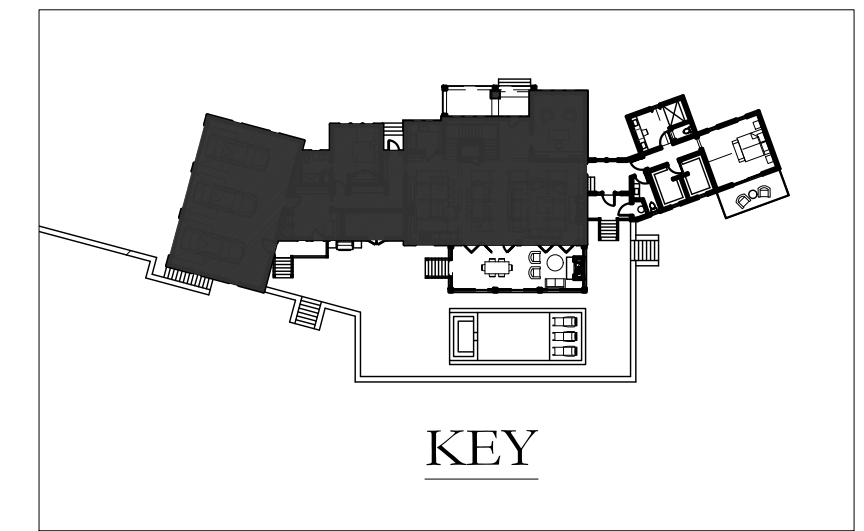
DATE Pricing Set  
April 15, 2022

PROJECT  
2101025

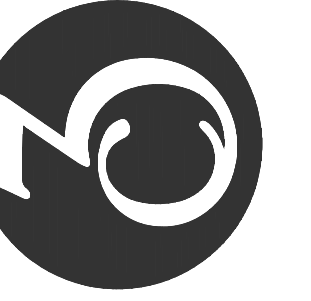
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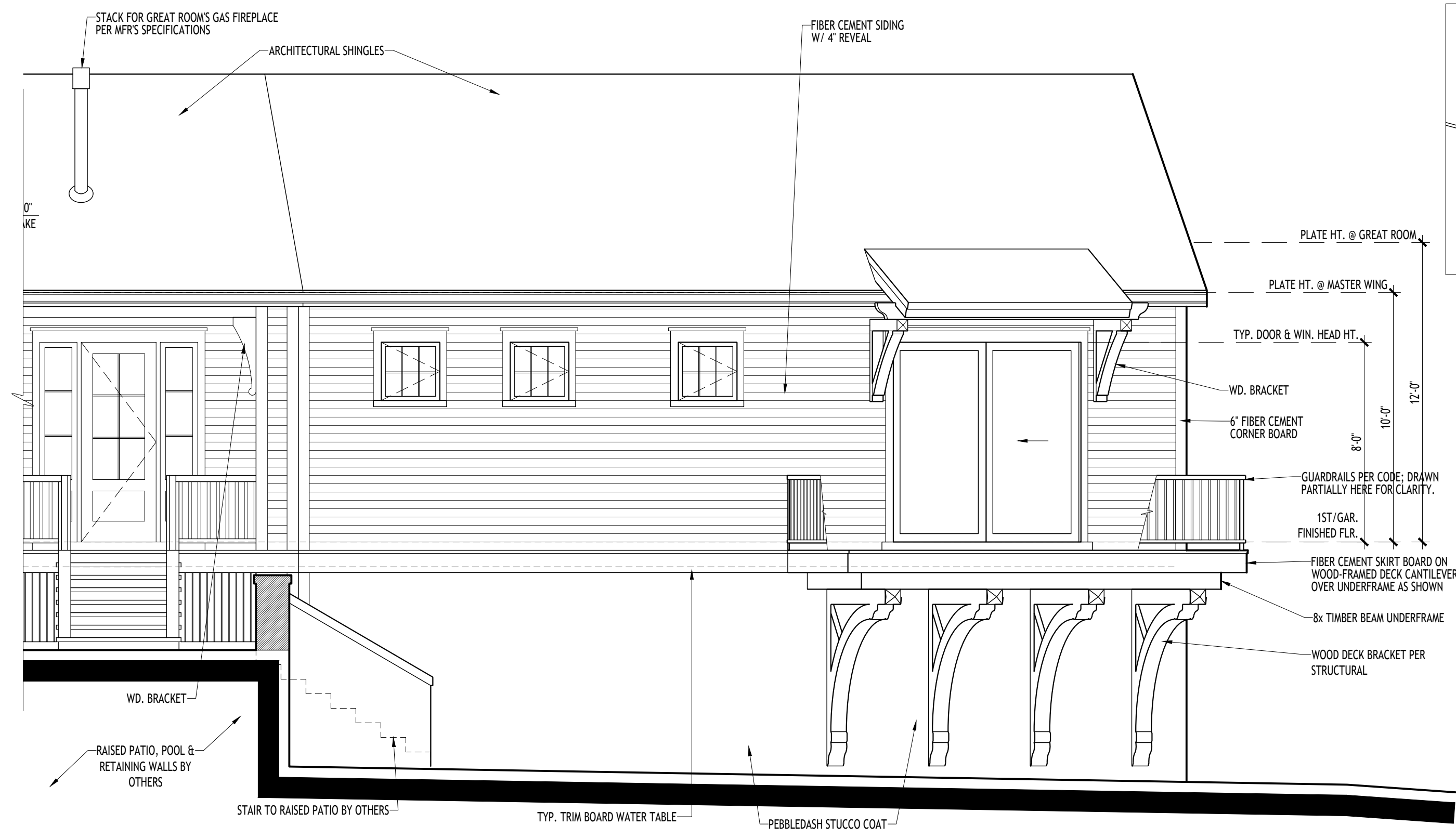
2 FRONT ELEVATION (CONTINUED)  
1/4" = 1'-0"



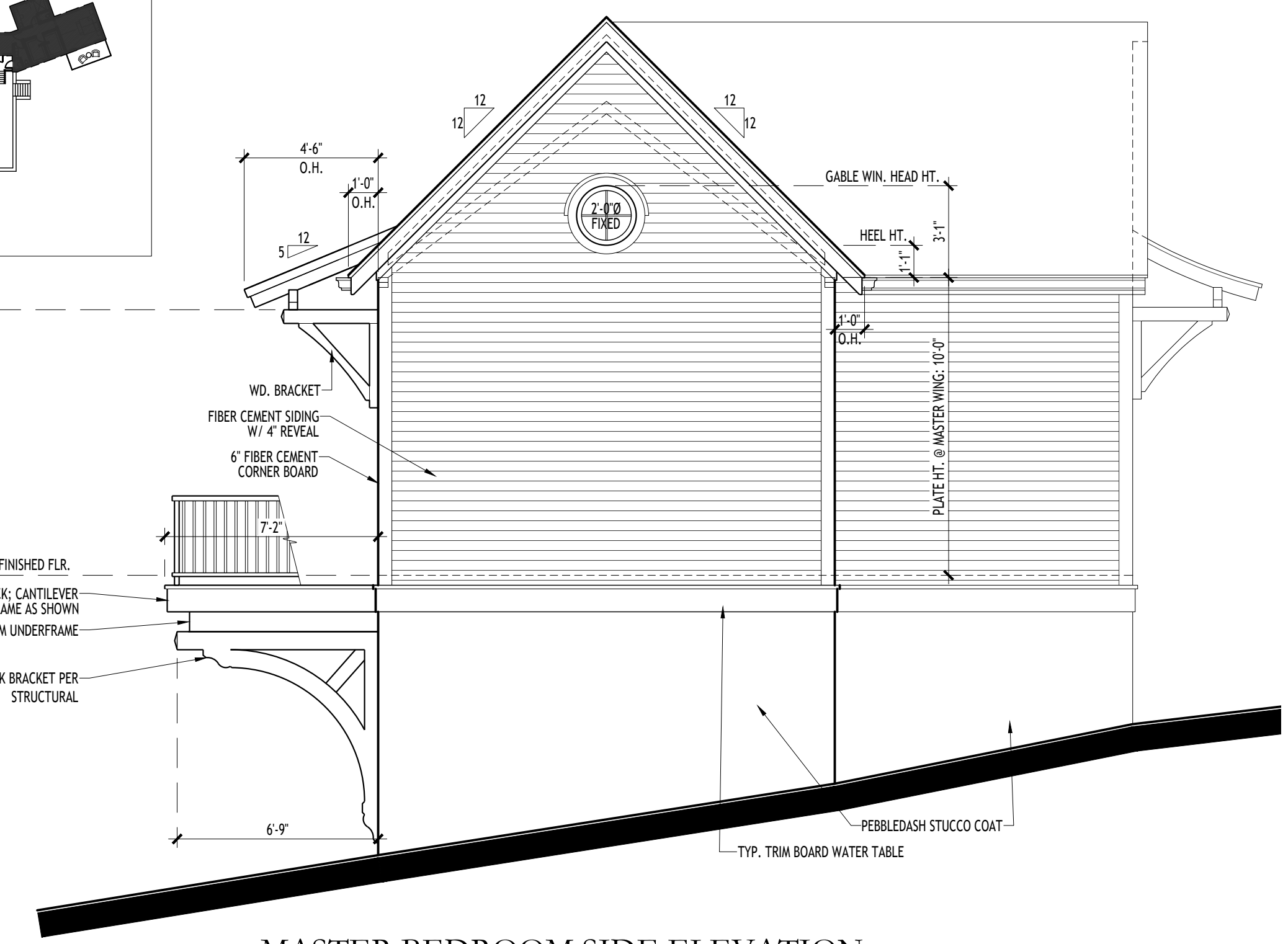
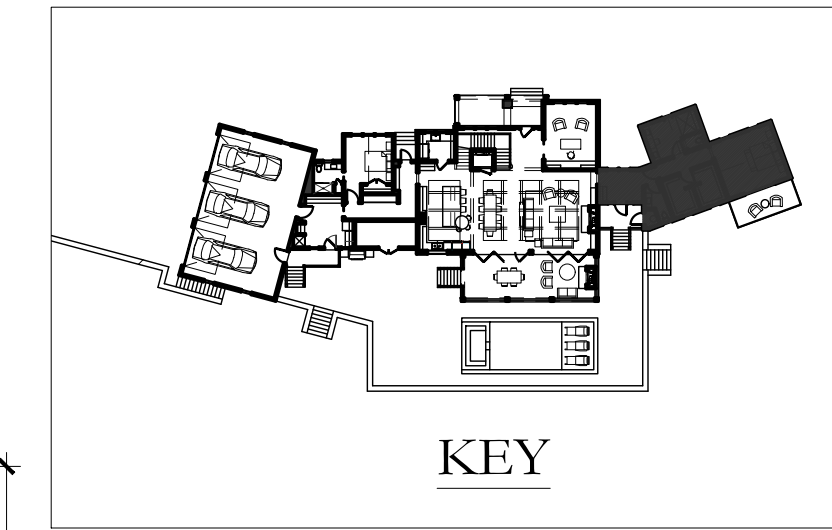
1 FRONT ELEVATION  
1/4" = 1'-0"



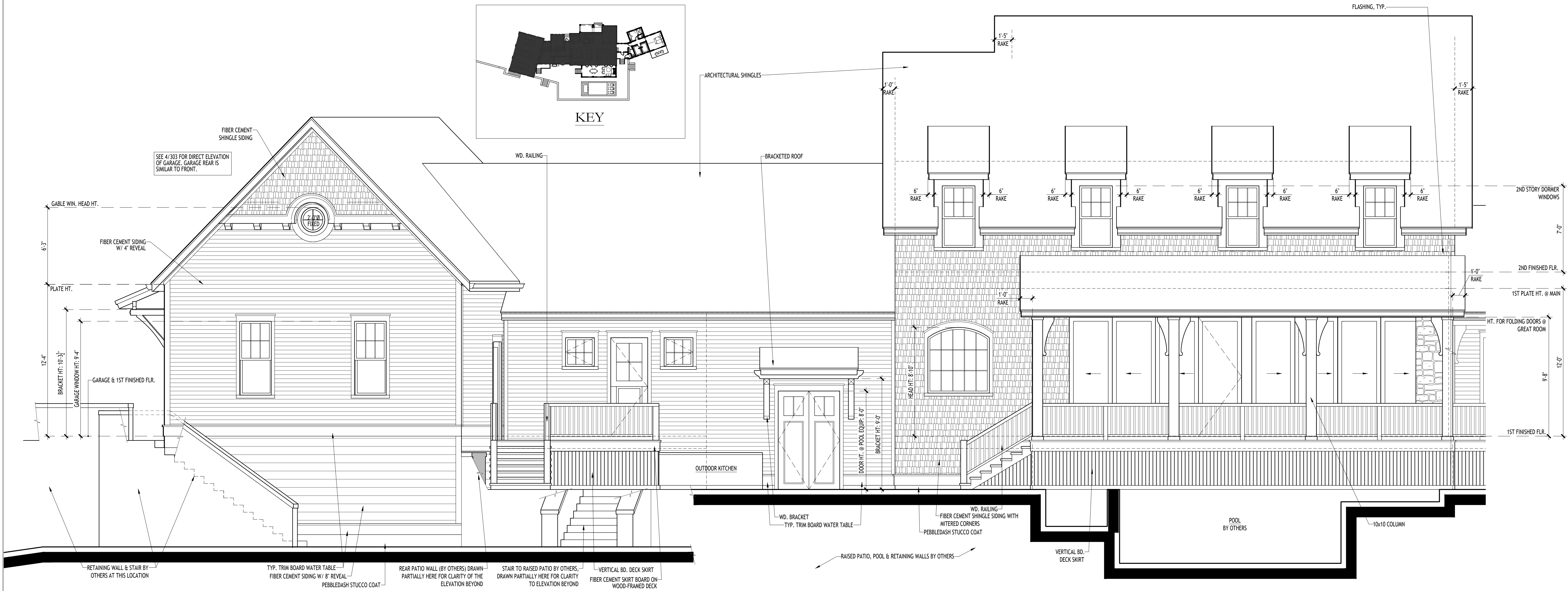
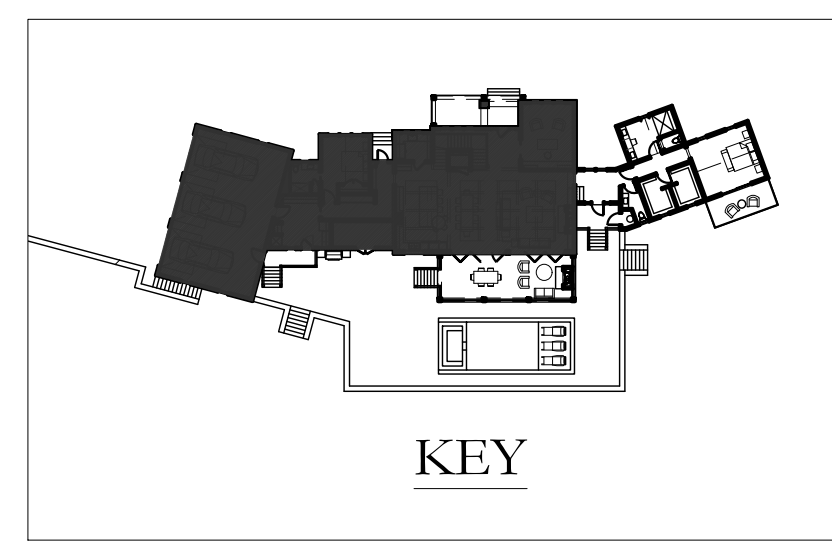
**ROSS RESIDENCE**  
BILTMORE FOREST, NC



2 REAR ELEVATION - MASTER WING  
1/4" = 1'-0"



3 MASTER BEDROOM SIDE ELEVATION  
1/4" = 1'-0"



1 REAR ELEVATION - GARAGE TO MAIN  
1/4" = 1'-0"

REVISIONS

NO.	DATE	DESCRIPTION

DATE Pricing Set  
April 15, 2022

PROJECT  
2101025

DRAWN JDD / CR  
CHECKED BML



Name/Notes	Date
Site Plan for Submittal to the DRB	11/17/2021
Site Plan Revisions for Re-submittal to the DRB	01/10/2022
Final Plans for submittal to the DRB	05/31/2022

**ROSS RESIDENCE**  
Town of Biltmore Forest, NC 28803  
Cedar Hill Drive, PIN# 9646-43-5152

Sheet Title:


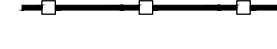





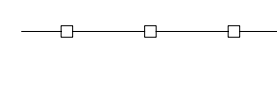


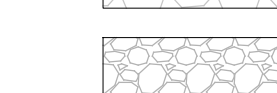
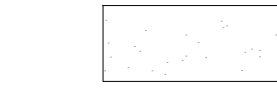


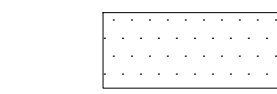







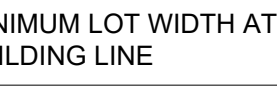
**SITE &  
GRADING PLAN**

Sheet Number:

**L-1.0**

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**LEGEND**

-  APPROXIMATE LIMIT OF DISTURBANCE (29,098 SF)
-  SILT FENCE PER TOWN OF BILTMORE FOREST STANDARDS
-  TREE PROTECTION FENCE PER TOWN OF BILTMORE FOREST STANDARDS
-  DRAINAGE FLOW DIRECTION
-  EXISTING CONTOUR
-  PROPOSED CONTOUR
-  PROPOSED SPOT GRADE  
TOP OF WALL (TW)  
BOTTOM OF WALL (BW)
-  LANDSCAPE BOULDERS
-  STONE FACED WALL
-  GUARDRAIL TO COMPLIMENT ARCHITECTURE
-  PATIO DRAIN
-  CULVERT
-  PATIO DRAIN COLLECTION PIPE
-  SHOVEL DUG LANDSCAPE EDGE
-  TEMPORARY CONSTRUCTION MUD MAT PER STATE OF NORTH CAROLINA STANDARDS
-  4"-6" DIA. RIVER COBBLE OVER FILTER FABRIC
-  ASPHALT
-  INTEGRALLY COLORED CONCRETE, COLOR TO BE CHOSEN BY OWNER
-  PAVERS TO COMPLIMENT THE ARCHITECTURE
-  WOOD MULCH PLANTING BED OR PATH
-  SOD
-  EXISTING TREES TO BE SAVED & PROTECTED & COUNTED TOWARDS STREET TREE REQUIREMENT
-  EXISTING TREES TO BE SAVED

**R1 DISTRICT DIMENSIONAL REQUIREMENT CHART**

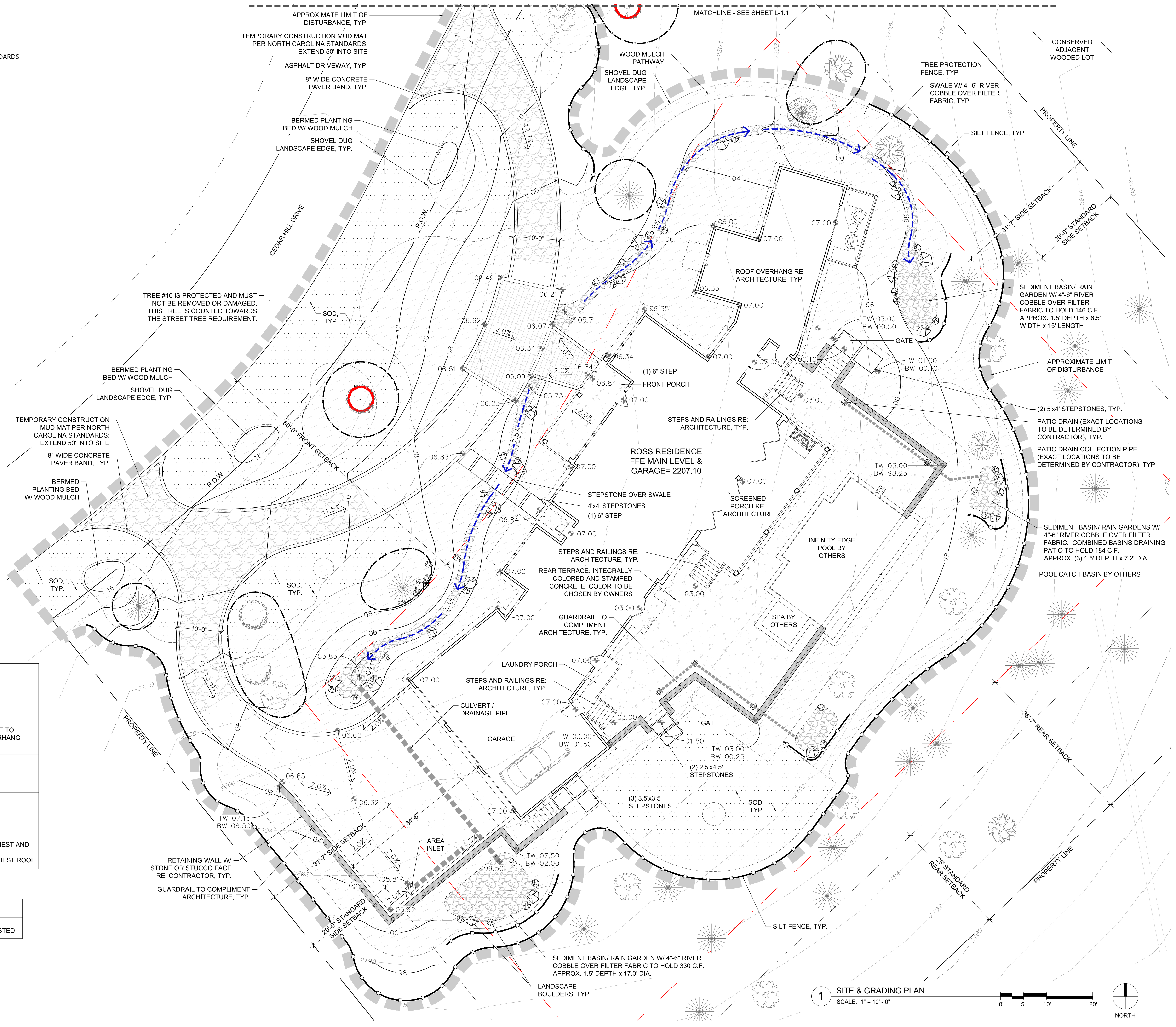
REQUIREMENT	PROVIDED
MINIMUM LOT AREA	43,560 SQ. FT. (1.00 ACRE) / 47,480 SQ. FT. (1.09 ACRES)
MINIMUM LOT WIDTH AT BUILDING LINE	150 L.F. / 240 L.F.
FRONT YARD SETBACK (FROM STREET)	60' / 60' FROM PROPERTY LINE TO CLOSEST ROOF OVERHANG
SIDE YARD SETBACK	20'-0" + 1'-6" FOR EVERY 1'-0" THE BUILDING HEIGHT IS OVER 25'-0" = 31'-7" / 40'-4" FROM PROPERTY LINE TO CLOSEST ROOF OVERHANG
REAR YARD SETBACK	25'-0" + 1'-6" FOR EVERY 1'-0" THE BUILDING HEIGHT IS OVER 25'-0" = 36'-7" / 84'-10" FROM PROPERTY LINE TO CLOSEST ROOF OVERHANG
HOUSE HEIGHT	40' OR LESS / 36'-7" AVERAGE FROM HIGHEST AND LOWEST GRADES AT FOUNDATION TO HIGHEST ROOF

**ROOF COVERAGE COMPLIANCE**


MAX. COVERAGE ALLOWED	PROVIDED
LOT SIZE CATEGORY: UP TO 1.2 ACRES	5,060 SQ. FT. / 5,393 SQ. FT. VARIANCE REQUESTED

**IMPERVIOUS SURFACE COVERAGE COMPLIANCE**

MAX. COVERAGE ALLOWED	PROVIDED
LOT SIZE CATEGORY: OVER 1 ACRE TO 3 ACRES	11,979 SQ. FT. OR 25% OF LOT AREA / 11,733 SQ. FT.



**1 SITE & GRADING PLAN**  
SCALE: 1" = 10' - 0"






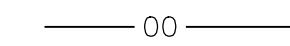





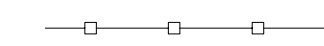





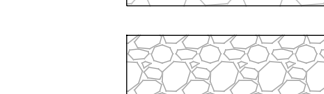
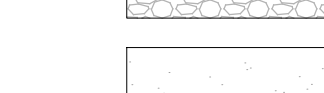
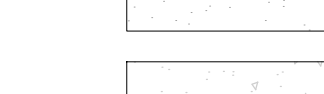

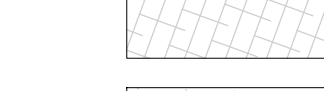

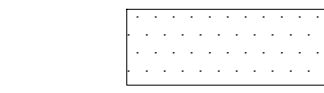



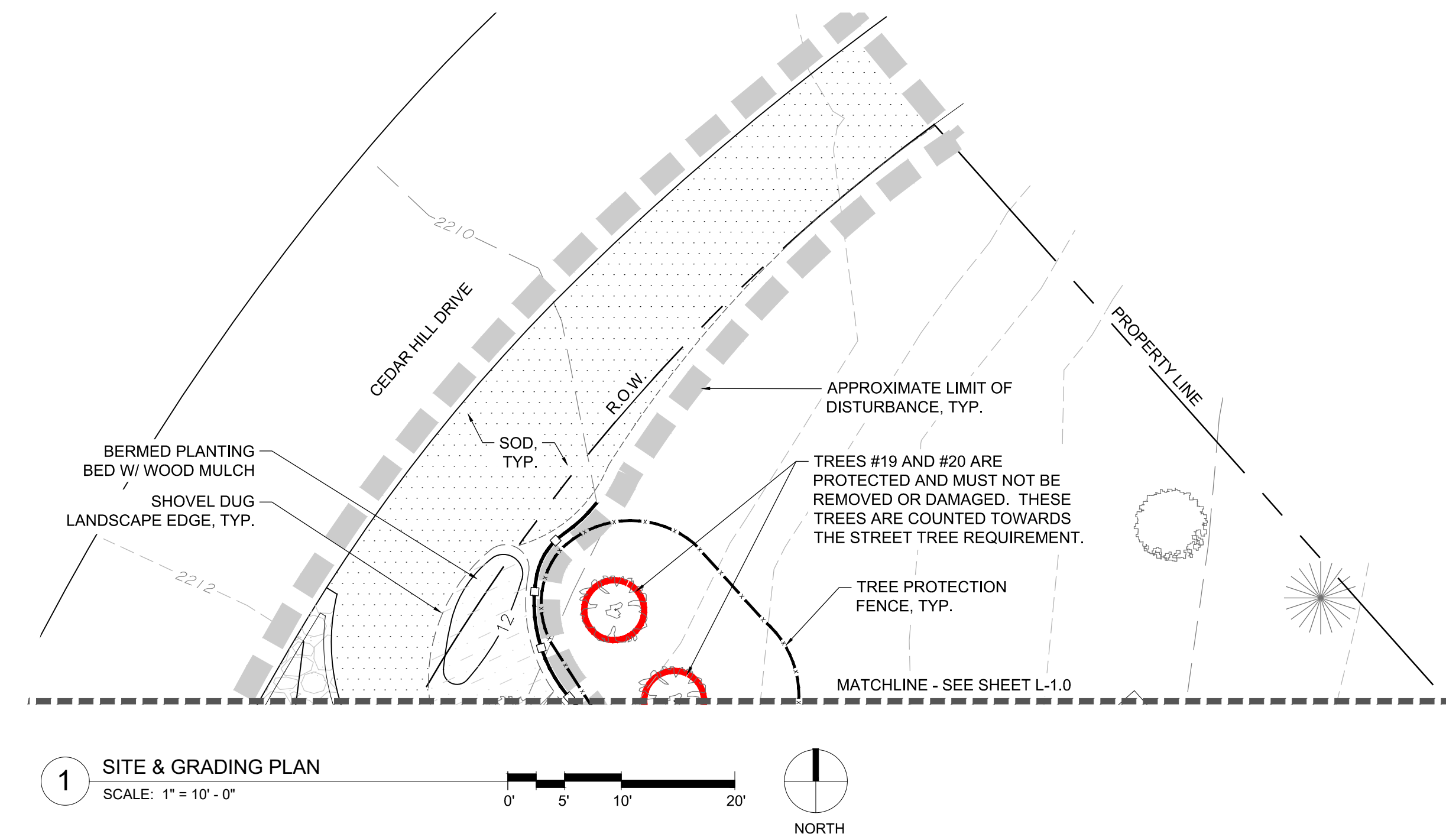


**SITE AND GRADING NOTES**

1. THE SURVEY FOR THIS WORK HAS BEEN PROVIDED BY OTHERS FOR USE IN THE DESIGN OF THIS PROJECT. THE LANDSCAPE ARCHITECT IS NOT RESPONSIBLE FOR THE ACCURACY OR COMPLETENESS OF THE SURVEY.
2. CONTRACTOR SHALL CONTACT THE NORTH CAROLINA 811 UTILITIES NOTIFICATION CALL CENTER TO DETERMINE THE LOCATIONS OF ALL UTILITIES. CONTRACTOR IS RESPONSIBLE FOR VERIFYING THE EXACT LOCATIONS AND DEPTH OF ALL EXISTING UTILITIES PRIOR TO BEGINNING WORK.
3. CONTRACTOR SHALL BECOME FAMILIAR WITH THE EXISTING SITE CONDITIONS PRIOR TO COMMENCING WORK.
4. ANY MISCELLANEOUS ITEMS AND MATERIALS NOT SPECIFICALLY NOTED, BUT REQUIRED FOR THE PROPER EXECUTION, INSTALLATION, AND PERFORMANCE OF THIS WORK SHALL BE PROVIDED BY THE CONTRACTOR.
5. CONTRACTOR SHALL MINIMIZE DISTURBANCE OUTSIDE THE SCOPE OF WORK. ANY DISTURBANCE OUTSIDE THE SCOPE OF WORK SHALL BE REPAIRED BY THE CONTRACTOR TO, AT A MINIMUM, ITS CONDITION PRIOR TO BEGINNING WORK.
6. ALL CONNECTIONS TO EXISTING WORK SHALL BE SMOOTH AND CONTINUOUS.
7. CONTRACTOR SHALL PROVIDE PROTECTION FOR NEWLY INSTALLED WORK AND FINISHES.
8. CONSTRUCTION DEBRIS SHALL BE REMOVED AT THE END OF EACH WORK DAY AND THE SITE SHALL BE MAINTAINED IN A NEAT, CLEAN CONDITION. CONTRACTOR IS RESPONSIBLE FOR ALL PHASES OF HANDLING, TRANSPORTING, AND DISPOSING OF TRASH AND DEBRIS.
9. CONTRACTOR SHALL INSTALL AND MAINTAIN EROSION CONTROL MEASURES IN ACCORDANCE WITH ALL APPLICABLE TOWN OF BILTMORE FOREST STANDARDS AND SPECIFICATIONS. REFER TO THE TOWN OF BILTMORE FOREST BUILDING REGULATIONS.
10. CONTRACTOR SHALL ASSURE POSITIVE DRAINAGE, AT A MINIMUM SLOPE OF 2%, AWAY FROM ALL BUILDING FOUNDATIONS, WALLS, AND OTHER STRUCTURES.
11. CONTRACTOR SHALL CONFINE ALL EARTHWORK AND GRADING ACTIVITIES TO PRIVATE PROPERTY WITH THE EXCEPTION OF THE DRIVEWAY CONSTRUCTION.
12. CONTRACTOR SHALL ROUTE ALL GUTTER DOWNSPOUTS VIA SUBSURFACE PIPES TO THE PROPOSED SWALES AND/OR RAIN GARDENS SHOWN ON THE PLANS.
13. SEDIMENT BASINS / RAIN GARDENS ARE SIZED TO HOLD THE FIRST FLUSH (FIRST 15 MINUTES) OF A 25 YEAR STORM EVENT.
14. CONTRACTOR SHALL STOCKPILE BOULDERS UNCOVERED DURING EXCAVATION FOR POTENTIAL USE AS LANDSCAPE ACCENT BOULDERS.

**LEGEND**

-  APPROXIMATE LIMIT OF DISTURBANCE (29,098 SF)
-  SILT FENCE PER TOWN OF BILTMORE FOREST STANDARDS
-  TREE PROTECTION FENCE PER TOWN OF BILTMORE FOREST STANDARDS
-  DRAINAGE FLOW DIRECTION
-  EXISTING CONTOUR
-  PROPOSED CONTOUR
-  00.00 PROPOSED SPOT GRADE
-  TW TOP OF WALL
-  BW BOTTOM OF WALL
-  LANDSCAPE BOULDERS
-  STONE FACED WALL
-  GUARDRAIL TO COMPLIMENT ARCHITECTURE
-  PATIO DRAIN
-  CULVERT
-  PATIO DRAIN COLLECTION PIPE
-  SHOVEL DUG LANDSCAPE EDGE
-  TEMPORARY CONSTRUCTION MUD MAT PER STATE OF NORTH CAROLINA STANDARDS
-  4"-6" DIA. RIVER COBBLE OVER FILTER FABRIC
-  ASPHALT
-  INTEGRALLY COLORED CONCRETE; COLOR TO BE CHOSEN BY OWNER
-  PAVERS TO COMPLIMENT THE ARCHITECTURE
-  WOOD MULCH PLANTING BED OR PATH
-  SOD
-  EXISTING TREES TO BE SAVED & PROTECTED & COUNTED TOWARDS STREET TREE REQUIREMENT
-  EXISTING TREES TO BE SAVED



Date	Name/ Notes
11/17/2021	Site Plan for Submittal to the DRB
01/10/2022	Site Plan Revisions for Re-submittal to the DRB
05/31/2022	Final Plans for submittal to the DRB

**ROSS RESIDENCE**  
Town of Biltmore Forest, NC 28803  
Cedar Hill Drive, PIN# 9646-43-5152

Sheet Title:

**SITE & GRADING PLAN**

Sheet Number:

**L-1.1**

EXISTING TREE SCHEDULE

TREE #	CALIPER	SPECIES	TREES TO BE SAVED CREDITS		TREES TO BE REMOVED EQUIVALENTS	
			PROTECTED	UN-PROTECTED	PROTECTED	UN-PROTECTED
1	12"	Hickory	-	1	-	-
2	24"	Oak	-	2	-	-
3	24"	Oak	-	2	-	-
4	20"	Pine	-	2	-	-
5	10"	Sourwood	-	-	-	1
6	24"	Pine	-	2	-	-
7	18"	Pine	-	-	-	1
8	24"	Pine	-	-	-	2
9	10"	Hickory	-	-	-	1
10	24"	Oak	4	-	-	-
11	12"	Pine	-	-	-	1
12	24"	Pine	-	-	-	2
13	20"	Pine	-	-	-	2
14	12"	Sourwood	-	-	-	1
15	15"	Pine	-	-	-	1
16	15"	Pine	-	-	-	1
17	20"	Pine	-	2	-	-
18	10"	Poplar	-	1	-	-
19	10"	Poplar	2	-	-	-
20	10"	Poplar	2	-	-	-
21	15"	Oak	3	-	-	-
22	24"	Pine	4	-	-	-
23	10"	Sourwood	2	-	-	-
24	10"	Holly	-	1	-	-
25	24"	Maple	-	2	-	-
26	18"	Pine	-	1	-	-
27	24"	Pine	4	-	-	-
28	15"	Poplar	3	-	-	-
29	18"	Pine	3	-	-	-
30	20"	Pine	4	-	-	-
31	20"	Pine	4	-	-	-
32	15"	Poplar	3	-	-	-
33	20"	Pine	4	-	-	-
34	24"	Poplar	4	-	-	-
35	20"	Pine	4	-	-	-
36	15"	Pine	3	-	-	-
37	15"	Poplar	3	-	-	-
38	15"	Pine	3	-	-	-
39	15"	Pine	3	-	-	-
40	12"	Pine	2	-	-	-
41	24"	Pine	4	-	-	-
42	20"	Pine	4	-	-	-
43	20"	Pine	4	-	-	-
44	12"	Pine	2	-	-	-
45	12"	Sourwood	2	-	-	-
46	12"	Poplar	2	-	-	-
47	15"	Poplar	3	-	-	-
48	20"	Pine	4	-	-	-
49	24"	Pine	4	-	-	-
50	18"	Pine	3	-	-	-
51	20"	Poplar	4	-	-	-
52	18"	Poplar	3	-	-	-
53	24"	Pine	4	-	-	-
54	18"	Poplar	3	-	-	-
55	10"	Sourwood	2	-	-	-
56	18"	Pine	3	-	-	-
57	24"	Pine	4	-	-	-
58	24"	Pine	-	-	-	2
59	10"	Sourwood	-	-	-	1
60	15"	Pine	-	-	-	1
61	24"	Pine	4	-	-	-
62	15"	Pine	-	-	-	1
63	18"	Pine	-	-	-	1
64	18"	Oak	3	-	-	-
65	12"	Poplar	2	-	-	-
66	12"	Pine	2	-	-	-
67	15"	Pine	-	1	-	1
68	10"	Oak	-	1	-	-
69	10"	Oak	-	-	-	1
70	12"	Pine	-	-	-	1
71	12"	Sourwood	-	-	-	1
72	24"	Poplar	-	2	-	-
73	18"	Pine	-	-	-	1
74	18"	Pine	-	-	-	1
75	24"	Pine	-	-	-	2
76	20"	Pine	-	-	-	2
77	20"	Pine	-	2	-	-
78	24"	Maple	-	2	-	-
79	24"	Pine	-	-	-	2
80	20"	Pine	-	-	-	2
81	18"	Poplar	-	-	-	1
82	24"	Pine	-	-	-	2
83	30"	Pine	-	-	-	2
84	24"	Pine	-	-	-	2
85	24"	Pine	-	-	-	2
86	20"	Pine	-	-	-	2
87	15"	Pine	-	-	-	1
88	24"	Pine	-	-	-	2
89	12"	Poplar	-	-	-	1
90	24"	Pine	-	-	-	2
91	24"	Pine	-	-	-	2
92	15"	Poplar	-	-	-	1
93	15"	Sourwood	-	-	-	1
94	30"	Pine	-	-	-	3
95	10"	Sourwood	-	-	-	1
96	12"	Sourwood	-	-	-	1
97	10"	Holly	-	-	-	1
98	24"	Pine	-	-	-	2
99	12"	Pine	-	-	-	1
100	10"	Pine	-	-	-	1
101	10"	Pine	-	-	-	1
102	10"	Oak	-	-	-	1
103	24"	Pine	-	-	-	2
TOTALS:			130	24	0	67

LEGEND

- ■ ■ ■ ■ APPROXIMATE LIMIT OF DISTURBANCE (29,098 SF)
- SILT FENCE PER TOWN OF BILTMORE FOREST STANDARDS
- TREE PROTECTION FENCE PER TOWN OF BILTMORE FOREST STANDARDS
- - - - - EXISTING CONTOUR
- - - - - PROPOSED CONTOUR
- ⊗ EXISTING TREES TO BE SAVED & PROTECTED & COUNTED TOWARDS STREET TREE REQUIREMENT
- ⊗ EXISTING TREES TO BE SAVED
- ⊗ EXISTING TREES TO BE REMOVED
- PROPOSED NEW TREES
- OAK
- MAPLE
- POPLAR
- SOURWOOD
- HICKORY
- PINE
- HOLLY

TREE SUMMARY CHART

PROTECTED TREES TO BE PRESERVED CREDITS	UNPROTECTED TREES TO BE PRESERVED CREDITS	PROTECTED TREES TO BE REMOVED	UNPROTECTED TREES TO BE REMOVED EQUIVALENTS	NEW TREES TO BE ADDED
130	24	0	67	*27

NOTES:

- \*REFER TO THE LANDSCAPE PLAN (SHEETS L-3.0 & L-3.1) FOR PROPOSED NEW TREES SPECIES AND SIZES.
- PER DISCUSSION WITH THE DRB, 'UNPROTECTED' TREES ARE THOSE INSIDE THE LIMIT OF DISTURBANCE AND 'PROTECTED' TREES ARE THOSE OUTSIDE THE LIMIT OF DISTURBANCE.

STREET TREE REQUIREMENT CHART

CODE	REQUIREMENT	PROVIDED
(1) LARGE-MATURING TREE FOR EVERY 40 L.F. OF PROPERTY ABUTTING A STREET WITHIN THE 50' PLANTING STRIP	240 L.F. / 40 L.F. = (6) LARGE MATURING TREES OR TREE CREDITS	(0) NEW LARGE MATURING TREES (2) EXISTING 10" CALIPER LARGE MATURING TREES = 4 NEW TREES (1) EXISTING 24" CALIPER LARGE MATURING TREE = 4 NEW TREES  (8) TREE CREDITS PROVIDED

NOTES:

- LANDSCAPE BUFFER REQUIREMENTS AND PARKING LOT SCREENING REQUIREMENTS ARE NOT APPLICABLE TO THIS PROJECT.
- PER CODE SECTION 153.062, TREES DESIGNATED FOR PRESERVATION MAY BE CREDITED AT THE FOLLOWING RATES:  
EXISTING 2"-6" CALIPER TREE = 1 NEW TREE  
EXISTING 7"-12" CALIPER TREE = 2 NEW TREES  
EXISTING 19"-24" CALIPER TREE = 4 NEW TREES  
EXISTING 25" CALIPER AND GREATER TREE = 5 NEW TREES



TREE PRESERVATION NOTES

- CONTRACTOR SHALL ADHERE TO THE TOWN OF BILTMORE FOREST BUILDING REGULATIONS: SECTION 153.062 EXISTING VEGETATION FOR PRESERVING AND PROTECTING EXISTING TREES
- NO PERSON SHALL REMOVE OR IN ANY WAY DAMAGE ANY TREES MARKED AS 'PROTECTED' WITHOUT FIRST FILING AN APPLICATION FOR SAID REMOVAL AND RECEIVING A PERMIT FROM THE TOWN MANAGER.
- CONTRACTOR SHALL MAKE EVERY REASONABLE EFFORT TO PRESERVE ALL TREES MARKED 'TO BE SAVED'.
- ANY TREE MARKED 'TO BE SAVED' THAT IS REMOVED SHALL BE REPLACED PER TOWN OF BILTMORE FOREST BUILDING REGULATIONS.

1 TREE PRESERVATION PLAN  
SCALE: 1" = 20' - 0"

Date	Name/ Notes
11/17/2021	Site Plan for Submittal to the DRB
01/10/2022	Site Plan Revisions for Re-submittal to the DRB
05/31/2022	Final Plans for submittal to the DRB

PLANT SCHEDULE

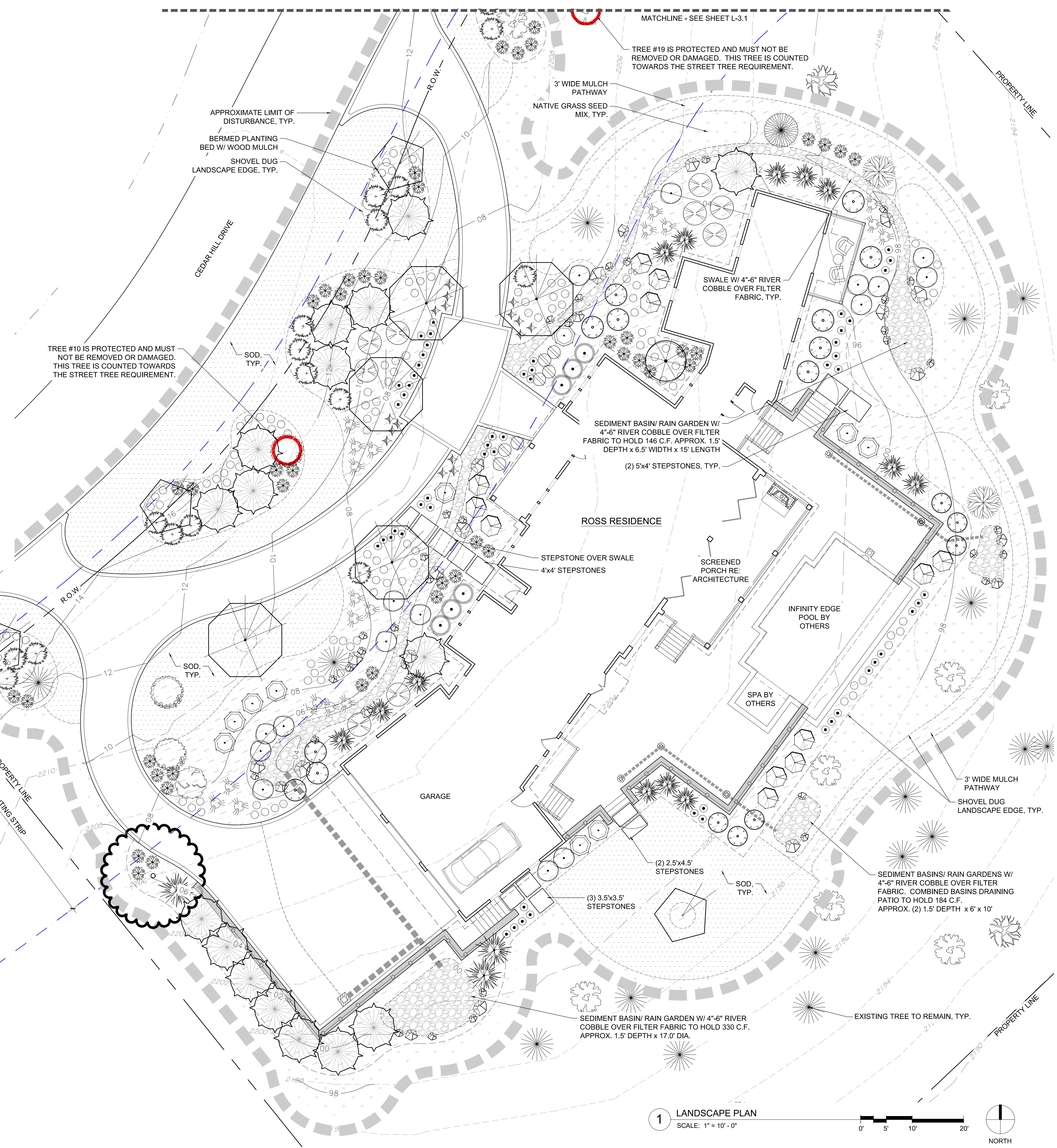
Sym.	Botanical Name	Common Name	Size	Condition
<b>Deciduous Trees</b>				
AP	Acer palmatum 'Orangeola'	Orangeola Japanese Maple	10 Gal.; 4' Height min.	Cont.
CF	Cornus florida 'Princess White'	Princess White Dogwood	15 Gal.	Cont.
LS	Liquidambar styraciflua 'Burgundy Blush'	Burgundy Blush Sweetgum	2" Caliper	B&B
MV	Magnolia 'Vulcan'	Vulcan Magnolia (Deciduous)	15 Gal.	Cont.
<b>Evergreen Trees</b>				
IM	Ilex 'Magiana'	Acadiana Holly	10 Gal.; 4' Height min.	Cont.
<b>Deciduous Shrubs</b>				
CAT	Cotoneaster apiculatus 'Tom Thumb'	Tom Thumb Cotoneaster	3 Gal.	Cont.
FMD	Fothergilla 'Mount Airy'	Dwarf Fothergilla	3 Gal.	Cont.
HQR	Hydrangea quercifolia 'Ruby Slippers'	Ruby Slippers Oakleaf Hydrangea	3 Gal.	Cont.
POG	Physocarpus opulifolius 'Ginger Wine'	Ginger Wine Ninebark	5 Gal.	Cont.
<b>Evergreen Shrubs</b>				
BSE	Buxus sempervirens 'Elegantissima'	Variiegated Boxwood	5 Gal.	Cont.
CPV	Chamaecyparis pisifera 'Vintage Gold'	Vintage Gold False Cypress	3 Gal.	Cont.
JSB	Juniperus scopulorum 'Blue Arrow'	Blue Arrow Juniper	5' Min.	Cont.
NDF	Nandina domestica 'Firepower'	Firepower Heavenly Bamboo	3 Gal.	Cont.
RNZ	Rhododendron 'Nova Zembla'	Nova Zembla Rhododendron	5 Gal.	Cont.
<b>Ornamental Grasses and Sedges</b>				
PVS	Panicum virgatum 'Shenandoah'	Shenandoah Switch Grass	1 Gal.	Cont.
<b>Groundcovers and Perennials</b>				
CVG	Chrysogonum virginianum	Green and Gold	4" Pot	Cont.
GIJ	Geranium ibericum 'Johnson's Blue'	Johnson's Blue Geranium	4" Pot	Cont.
HGP	Heuchera 'Georgia Peach'	Georgia Peach Heuchera	4" Pot	Cont.
PAC	Polystichum acrostichoides	Christmas Fern	4" Pot	Cont.

LEGEND

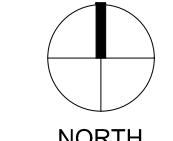
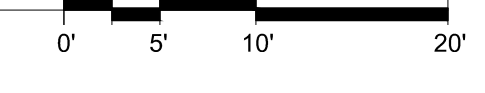
- APPROXIMATE LIMIT OF DISTURBANCE (29,098 SF)
- EXISTING CONTOUR
- PROPOSED CONTOUR
- LANDSCAPE BOULDERS
- CULVERT
- PATIO DRAIN COLLECTION PIPE
- SHOVEL DUG LANDSCAPE EDGE
- EXISTING TREES TO BE SAVED & PROTECTED & COUNTED TOWARDS STREET TREE REQUIREMENT
- EXISTING TREES TO BE SAVED
- 4"-6" DIA. RIVER COBBLE OVER FILTER FABRIC
- WOOD MULCH PLANTING BED OR PATH
- SOD
- NATIVE GRASS SEED MIX

LANDSCAPE NOTES:

- CONTRACTOR SHALL SUPPLY ALL PLANT MATERIAL IN QUANTITIES SUFFICIENT TO COMPLETE THE PLANTING SHOWN ON THE DRAWINGS.
- ALL MATERIAL SHALL CONFORM TO THE GUIDELINES ESTABLISHED BY THE CURRENT AMERICAN STANDARD FOR NURSERY STOCK, PUBLISHED BY THE AMERICAN ASSOCIATION OF NURSERMEN, OR EQUIVALENT. PLANT MATERIAL DEEMED INFERIOR BY THE PROJECT MANAGER AND/OR LANDSCAPE ARCHITECT SHALL BE REPLACED AT CONTRACTOR'S EXPENSE.
- AREAS TO BE PLANTED SHALL BE TILLED TO A MINIMUM DEPTH OF 12-INCHES. CONTRACTOR SHALL THEN APPLY SOIL AMENDMENT OVER SURFACE AT MANUFACTURER'S SPECIFIED RATE. CONTRACTOR SHALL THEN TILL LANDSCAPE AREAS AGAIN TO A MINIMUM DEPTH OF 8-INCHES PRIOR TO ANY PLANTING. TILL AND AMEND WITHIN: 4' OF NEW TREE TRUNKS, 2' OF NEW SHRUB CENTERS, AND 1' OF NEW GRASS AND PERENNIAL CENTERS. WHERE PLANTING OCCURS UNDER EXISTING TREE CANOPIES THE CONTRACTOR SHALL CAREFULLY HAND DIG INDIVIDUAL PLANTING PITS AVOIDING MAJOR TREE ROOTS.
- AREAS TO BE SODDED THAT ARE NOT WITHIN AN EXISTING TREE DRIP LINE (ROOT ZONE) SHALL BE TILLED TO A MINIMUM DEPTH OF 4-INCHES. CONTRACTOR SHALL THEN APPLY SOIL AMENDMENT OVER SURFACE AT MANUFACTURER'S SPECIFIED RATE. CONTRACTOR SHALL THEN RE-TILL TO A DEPTH OF 4-INCHES.
- AREAS TO BE SODDED THAT ARE WITHIN AN EXISTING TREE DRIP LINE (ROOT ZONE) SHALL BE CAREFULLY ROUGHENED WITH A GARDEN RAKE, AVOIDING UNEARTHING ROOTS. CONTRACTOR SHALL THEN APPLY SOIL AMENDMENT OVER SURFACE AT MANUFACTURER'S SPECIFIED RATE AND RAKE IN PRIOR TO SODDING.
- NO LANDSCAPING SHALL BE INSTALLED BEFORE FINE GRADING HAS BEEN COMPLETED AND ITS CONDITION APPROVED BY THE PROJECT MANAGER OR LANDSCAPE ARCHITECT. ANY AREAS NOT PROPERLY TILLED, AMENDED, OR FINE-GRADED WILL NEED TO BE RE-DONE AT THE CONTRACTOR'S EXPENSE.
- PROPOSED PLANT SUBSTITUTIONS MUST BE REVIEWED AND APPROVED BY THE LANDSCAPE ARCHITECT PRIOR TO TRANSPORT TO THE PROJECT SITE. PLANT MATERIAL SUBSTITUTED AND INSTALLED WITHOUT APPROVAL MAY REQUIRE REMOVAL AND REPLACEMENT AT THE DISCRETION OF THE LANDSCAPE ARCHITECT. PLANT MATERIAL REQUIRING REPLACEMENT SHALL BE DONE AT THE CONTRACTOR'S EXPENSE.
- ALL PLANTS SHALL BE BALLED AND BURLAPPED OR CONTAINER GROWN AS SPECIFIED ON THE PLANT LIST. NO CONTAINER GROWN STOCK WILL BE ACCEPTED IF IT'S ROOT BOUND. ALL ROOT WRAPPING MATERIAL SHALL BE REMOVED COMPLETELY AT TIME OF PLANTING AND PROPERLY DISCARDED.
- ALL PLANTS SHALL HAVE THE SAME RELATIONSHIP TO FINISHED GRADE AS THE PLANT'S ORIGINAL GRADE BEFORE DIGGING, UNLESS OTHERWISE SPECIFIED OR DETAILED.
- AFTER PLANTING, WOOD MULCH SHALL BE APPLIED TO ALL PLANTING AREAS AT A DEPTH OF 3" OVER WEED CONTROL FABRIC.
- CONTRACTOR SHALL BE RESPONSIBLE FOR WATERING AND OTHER MAINTENANCE NECESSARY FOR INITIAL ESTABLISHMENT OF PLANTINGS. PLANT MATERIAL NEEDING REPLACEMENT WITHIN ONE YEAR OF PLANTING SHALL BE DONE AT CONTRACTOR'S EXPENSE.
- IN NATIVE SEED AREAS, CONTRACTOR SHALL BE RESPONSIBLE FOR ESTABLISHING A CONTINUOUS, CLOSE STAND OF GRASS THAT IS FREE OF SIGNIFICANT BARE SPOTS, GAPS, AND WEEDS. CONTRACTOR SHALL WATER AND OVERSEED AS NEEDED TO ESTABLISH AN ACCEPTABLE STAND OF NATIVE GRASS.



1 LANDSCAPE PLAN  
SCALE: 1" = 10' - 0"



Name/Notes	Date
Site Plan for Submittal to the DRB	11/17/2021
Site Plan Revisions for Re-submittal to the DRB	01/10/2022
Final Plans for submittal to the DRB	05/31/2022

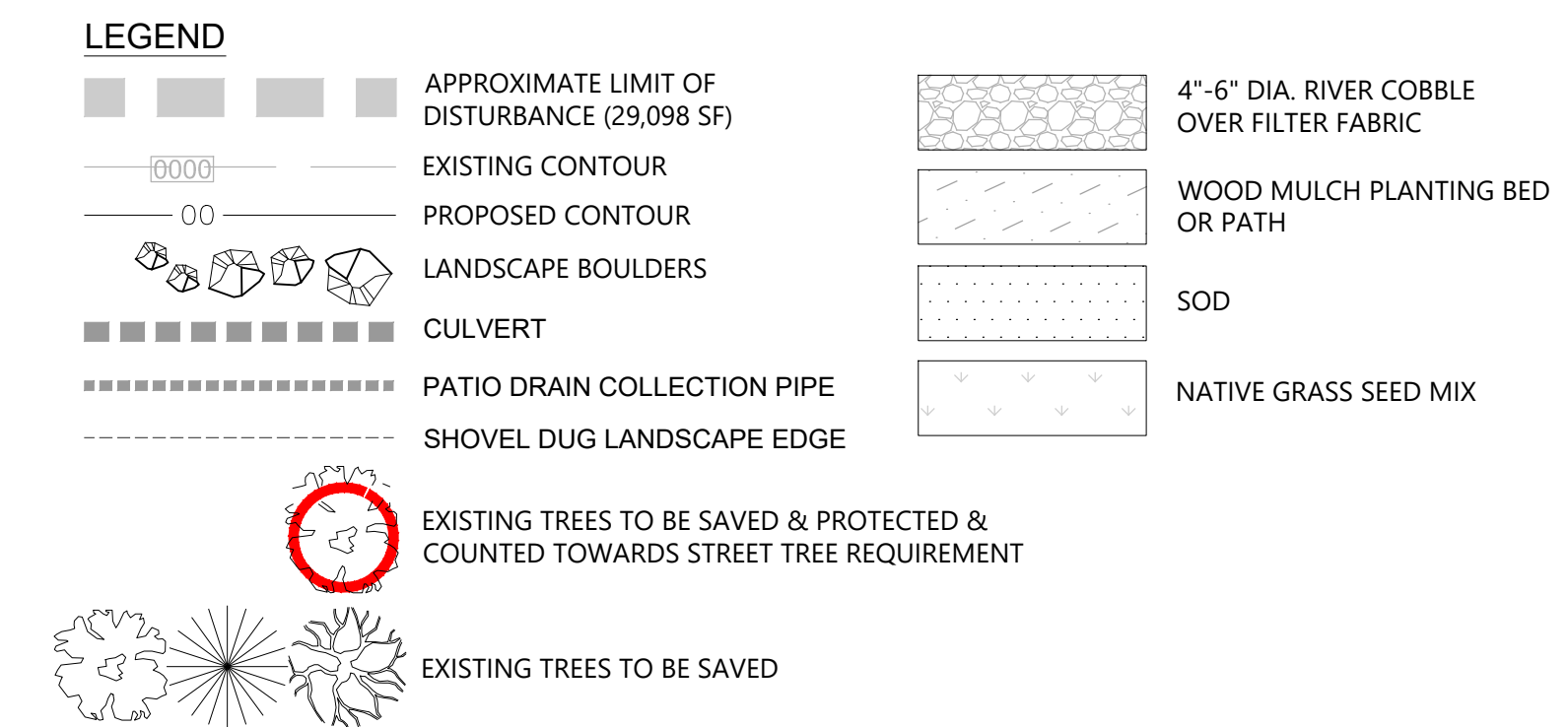
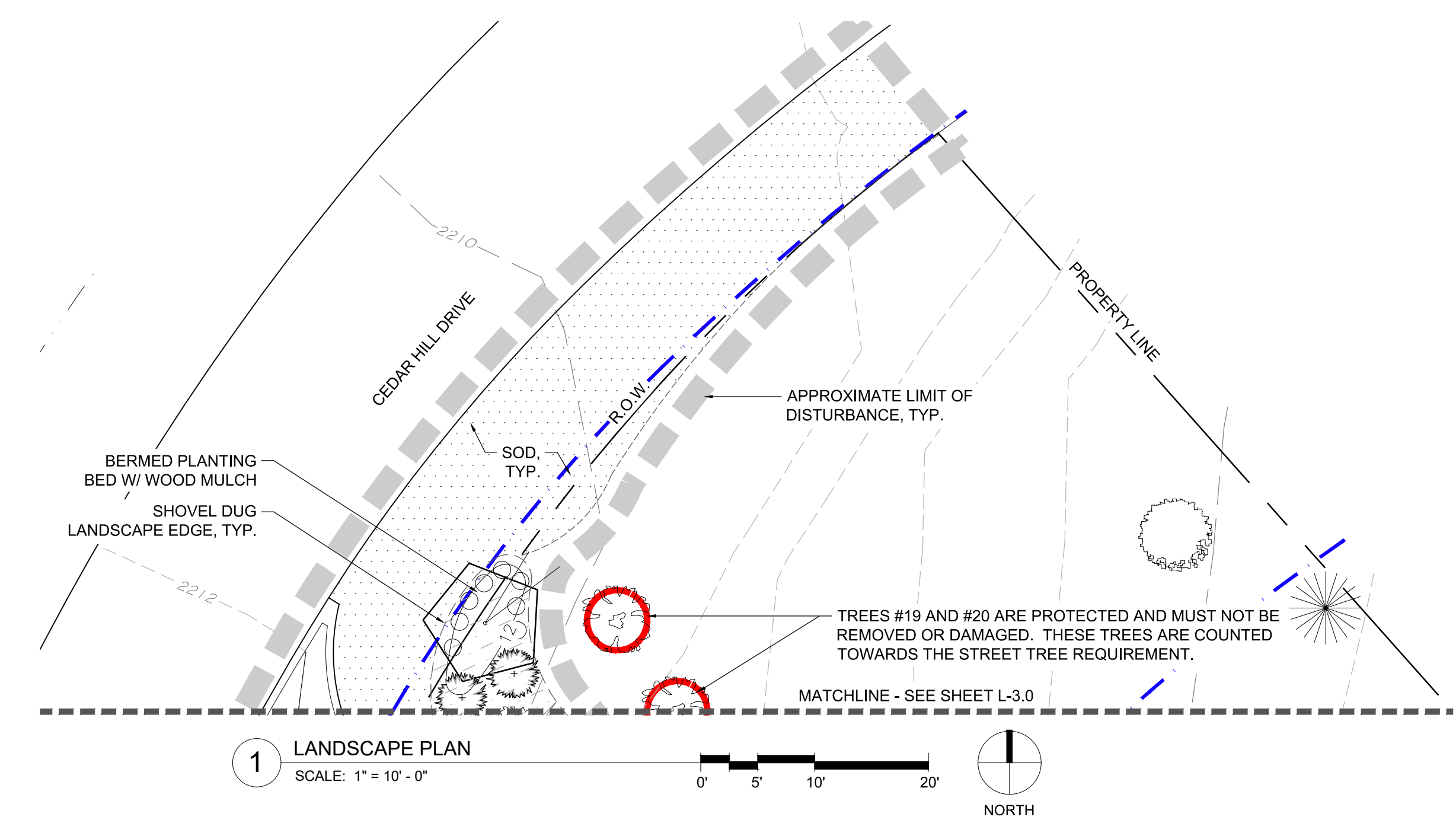
**ROSS RESIDENCE**  
Town of Biltmore Forest, NC 28803  
Cedar Hill Drive, PIN# 9646-43-5152

Sheet Title:  
**LANDSCAPE PLAN**

Sheet Number:  
**L-3.0**

PLANT SCHEDULE

Sym.	Botanical Name	Common Name	Size	Condition
<b>Deciduous Trees</b>				
AP	Acer palmatum 'Orangeola'	Orangeola Japanese Maple	10 Gal.; 4' Height min.	Cont.
CF	Cornus florida 'Princess White'	Princess White Dogwood	15 Gal.	Cont.
LS	Liquidambar styraciflua 'Burgundy Blush'	Burgundy Blush Sweetgum	2" Caliper	B&B
MV	Magnolia 'Vulcan'	Vulcan Magnolia (Deciduous)	15 Gal.	Cont.
<b>Evergreen Trees</b>				
IM	Ilex 'Magiana'	Acadiana Holly	10 Gal.; 4' Height min.	Cont.
<b>Deciduous Shrubs</b>				
CAT	Cotoneaster apiculatus 'Tom Thumb'	Tom Thumb Cotoneaster	3 Gal.	Cont.
FMD	Fothergilla 'Mount Airy'	Dwarf Fothergilla	3 Gal.	Cont.
HQR	Hydrangea quercifolia 'Ruby Slippers'	Ruby Slippers Oakleaf Hydrangea	3 Gal.	Cont.
POG	Physocarpus opulifolius 'Ginger Wine'	Ginger Wine Ninebark	5 Gal.	Cont.
<b>Evergreen Shrubs</b>				
BSE	Buxus sempervirens 'Elegantissima'	Variegated Boxwood	5 Gal.	Cont.
CPV	Chamaecyparis pisifera 'Vintage Gold'	Vintage Gold False Cypress	3 Gal.	Cont.
JSB	Juniperus scopulorum 'Blue Arrow'	Blue Arrow Juniper	5' Min.	Cont.
NDF	Nandina domestica 'Firepower'	Firepower Heavenly Bamboo	3 Gal.	Cont.
RNZ	Rhododendron 'Nova Zembla'	Nova Zembla Rhododendron	5 Gal.	Cont.
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HGP	Heuchera 'Georgia Peach'	Georgia Peach Heuchera	4" Pot	Cont.
PAC	Polystichum acrostichoides	Christmas Fern	4" Pot	Cont.



Name/Notes	Date
Site Plan for Submittal to the DRB	11/17/2021
Site Plan Revisions for Re-submittal to the DRB	01/10/2022
Final Plans for submittal to the DRB	05/31/2022

**ROSS RESIDENCE**  
Town of Biltmore Forest, NC 28803  
Cedar Hill Drive, PIN# 9646-43-5152

Sheet Title:  
**LANDSCAPE PLAN**

Sheet Number:  
**L-3.1**

## Project Material Selections

Project Name: Ross

This document serves as our **exclusive** source regarding the materials you, the Customer, have officially selected for your project. To avoid confusion, *all material selections must be documented here*, regardless of whether they were expressed verbally, in an email, or some other way. And to avoid unnecessary delays, *these selections need to be made as early in the process as possible*, preferably before breaking ground. This is especially important as some materials require several weeks to arrive once ordered.

Please note your selections for the following materials and *write your initials and date beside each one*. Then sign at the bottom of the page to acknowledge your agreement with these selections. Your Sales Representative will guide you through this process.

*This is a working document*, so if any additional selections need to be made, they will be appended to this list and will require your initials and the date of the selection.

Item	Selection	Amt.	Ordered/ Received	Customer Approval
Coping	Silver Travertine		/	
Mortar	Light Grey Amerimix		/	
Tile	Crossville - Notorious - <sup>6x24</sup> Leading Man - <sup>NTK05</sup> UPS		/	
Grout - WLT	Laticrete - Natural Grey - 24		/	
Plaster	QPG - Black Diamond - Hybrid		/	
<del>                    </del>			/	
V.E. Cap	Uba Tuba Granite		/	
VE Veneer	LANDMARK - Infinity - Absolute - <sup>VERT.</sup> 12x24		/	
Grout - VE	Laticrete - Sterling Silver - 78		/	
			/	

By initialing the selections above and signing below, you, the Customer, approve these materials to be used on your project. You also acknowledge that any changes you request regarding these approved selections *could result in delays to your project and/or a potential increase in the price of the project*, even if the materials have not yet been used on your project or delivered to the project site. Of course, any increase in the price of the project would be clearly communicated in a Change Order that requires your signature before any changes are finalized.

\_\_\_\_\_  
Signature LLC Representative

\_\_\_\_\_  
Date

\_\_\_\_\_  
Customer

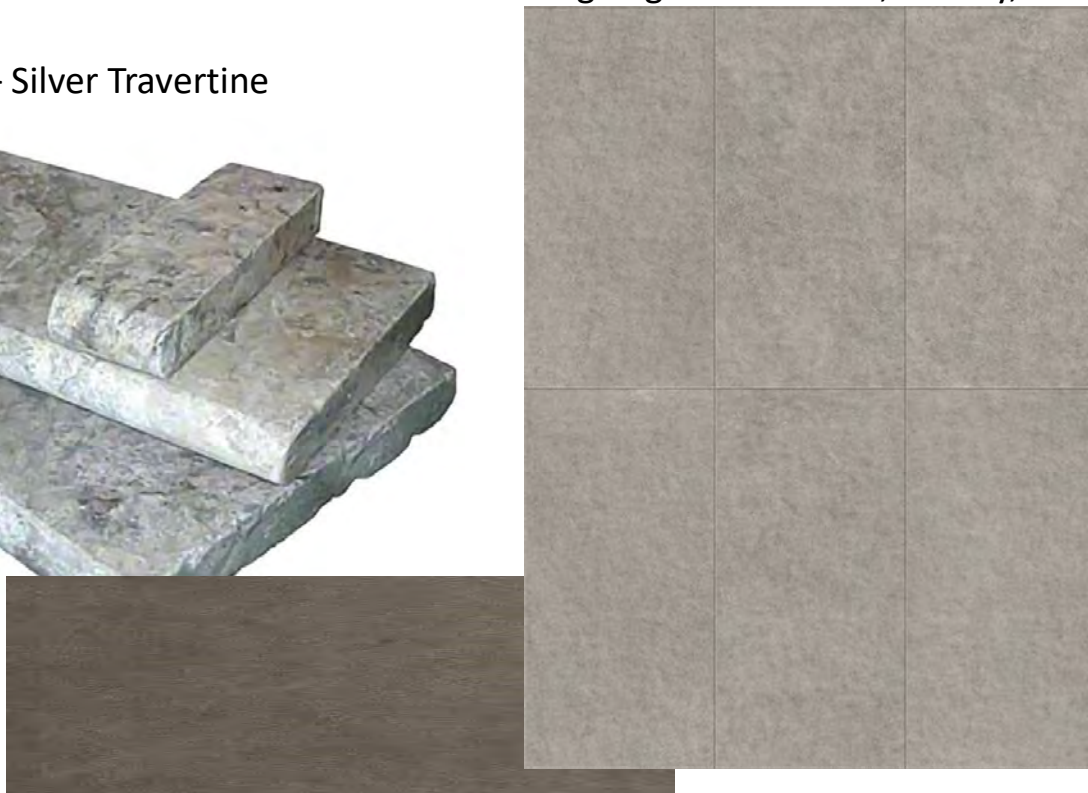
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Date

Ross Pool Selections

Coping – Silver Travertine



Vanishing Edge – Landmark, Infinity, Absolute



Tile – Crossville, Notorious, Leading Man, 6x24



Plaster – QPG Black Diamond

# Relaxing Backyard Retreat with Pool, Spa, & Infinity Edge

PREPARED FOR  
Bill & Hope Ross

PROJECT LOCATION  
Lot 16 Cedar Hill Road  
Biltmore Forest, NC 28803

## SIGNATURE

Signature, LLC. 1 (864) 991.8020 Office  
781 Congaree Rd. 1 (864) 551.2421 Fax  
Greenville, SC 29607  
office@Signature-LLC.com www.Signature-LLC.com

### REVISIONS

#	DATE	DESCRIPTION	BY
A	05/04/2022	Rough Draft Presentation	CD
B	06/07/2022	Final Design Presentation	CD
C			
D			
E			
F			
G			
H			
I			
J			
K			
L			
M			
N			

CLIENT PROJECT #: 1  
FIRM PROJECT #: 220419

DR BY: CD RELEASE DATE: 05/04/2022  
AP BY: CD REVISION DATE: 06/07/2022

Call 811 at least 72 hours prior to breaking ground, excluding weekends and legal holidays to connect you to the correct local "Call Before You Dig" Center.

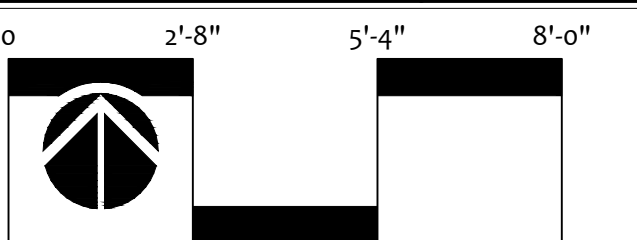


below.  
Call before you dig.

Concept Plan

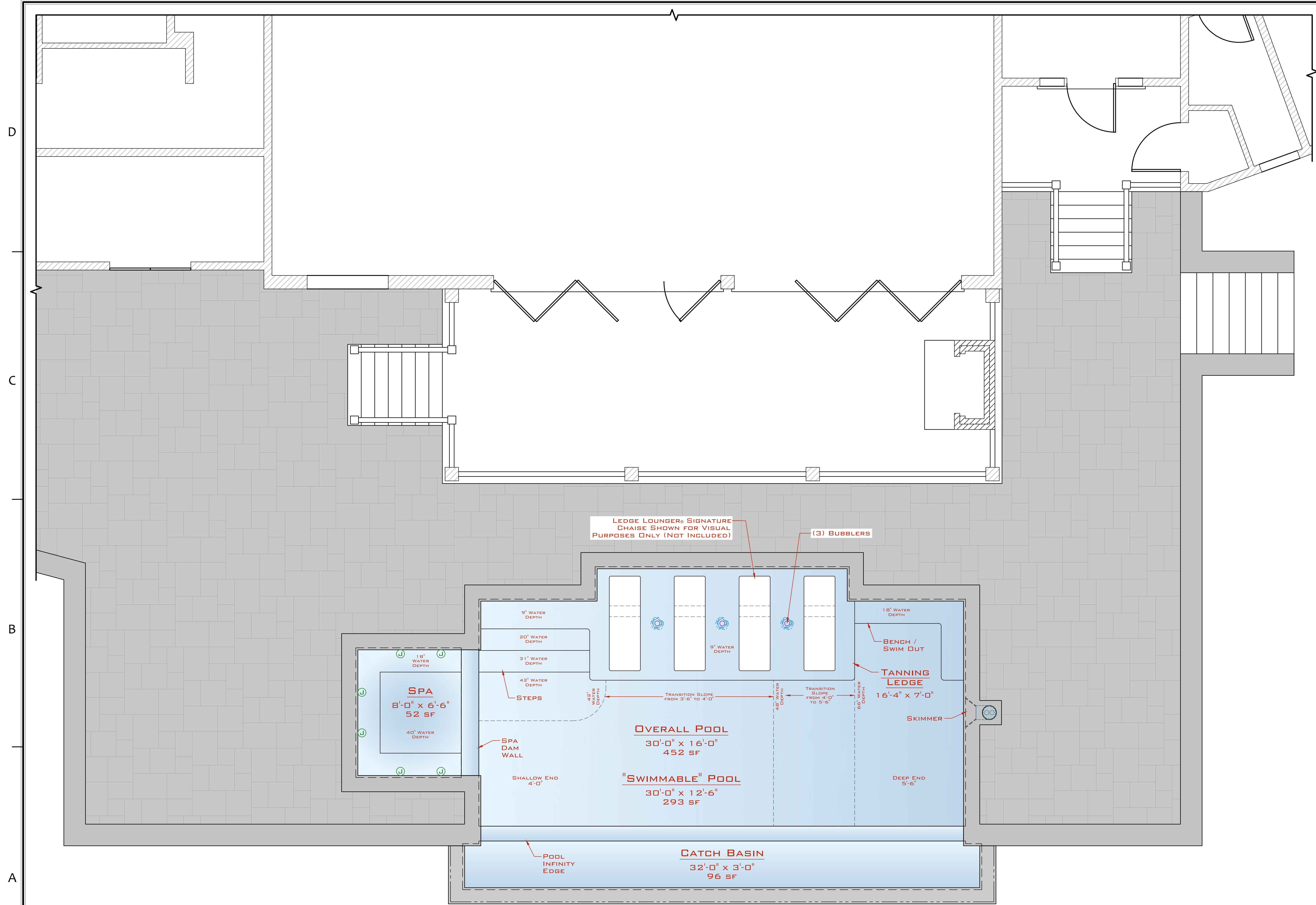
C1

Page 1 of 1



SCALE: 3/8" = 1'-0" (UNLESS OTHERWISE NOTED)

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**01 CONCEPT PLAN**  
3/8" = 1'-0"

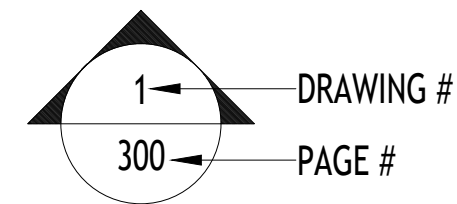


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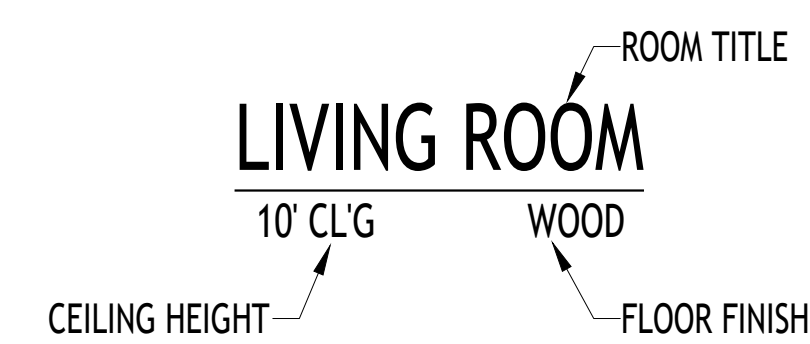
### WINDOW / DOOR SIZING

2856 = 2'-8" WIDE x 5'-6" TALL OPENING SIZE  
SEE ELEVATIONS FOR HEAD HEIGHT, HANDING  
AND GRILL PATTERN

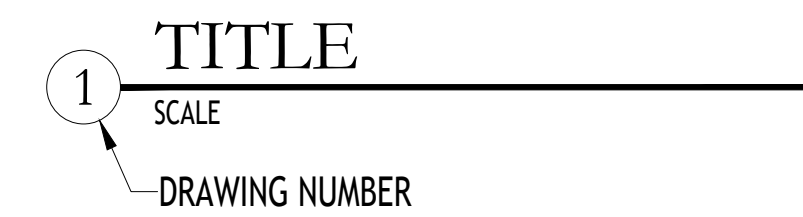
### ELEVATION / SECTION BUBBLE



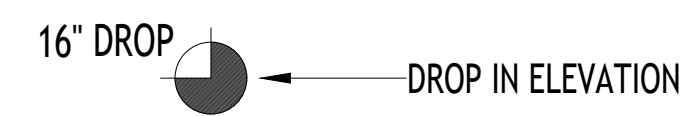
### ROOM NAMES



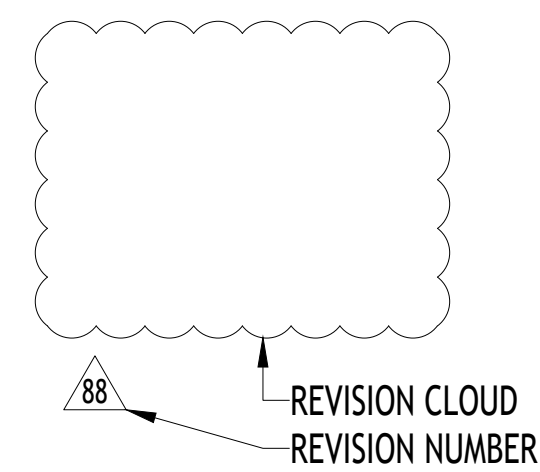
### DRAWING TITLE



### ELEVATION MARKERS



### REVISION NOTES



# ROSS RESIDENCE

BILTMORE FOREST, NC

## DRAWING INDEX

000	TITLE SHEET / DRAWING INDEX / KEY
100	FOUNDATION PLAN / ROOF PLAN
201	OVERALL FIRST FLOOR PLAN
201.1	PARTIAL FIRST FLOOR PLAN
201.2	PARTIAL FIRST FLOOR PLAN
202	SECOND FLOOR PLAN
300	OVERALL ELEVATIONS
301	PARTIAL ELEVATIONS
302	PARTIAL ELEVATIONS
303	PARTIAL ELEVATIONS

## SQUARE FOOTAGE

FIRST FLOOR HEATED:	2,960 sq. ft.
SECOND FLOOR HEATED:	1,206 sq. ft.
TOTAL HEATED:	4,166 sq. ft.
POOL STORAGE:	107 sq. ft.
FRONT PORCH:	175 sq. ft.
REAR PORCH:	414 sq. ft.
FAMILY ENTRY:	22 sq. ft.
LAUNDRY DECK:	60 sq. ft.
MASTER DECK:	122 sq. ft.
GARAGE:	964 sq. ft.
TOTAL CUMULATIVE:	6,030 sq. ft.

REVISIONS

DATE Pricing Set  
April 15, 2022

PROJECT  
2101025

DRAWN	CHECKED
JDD / CR	BML

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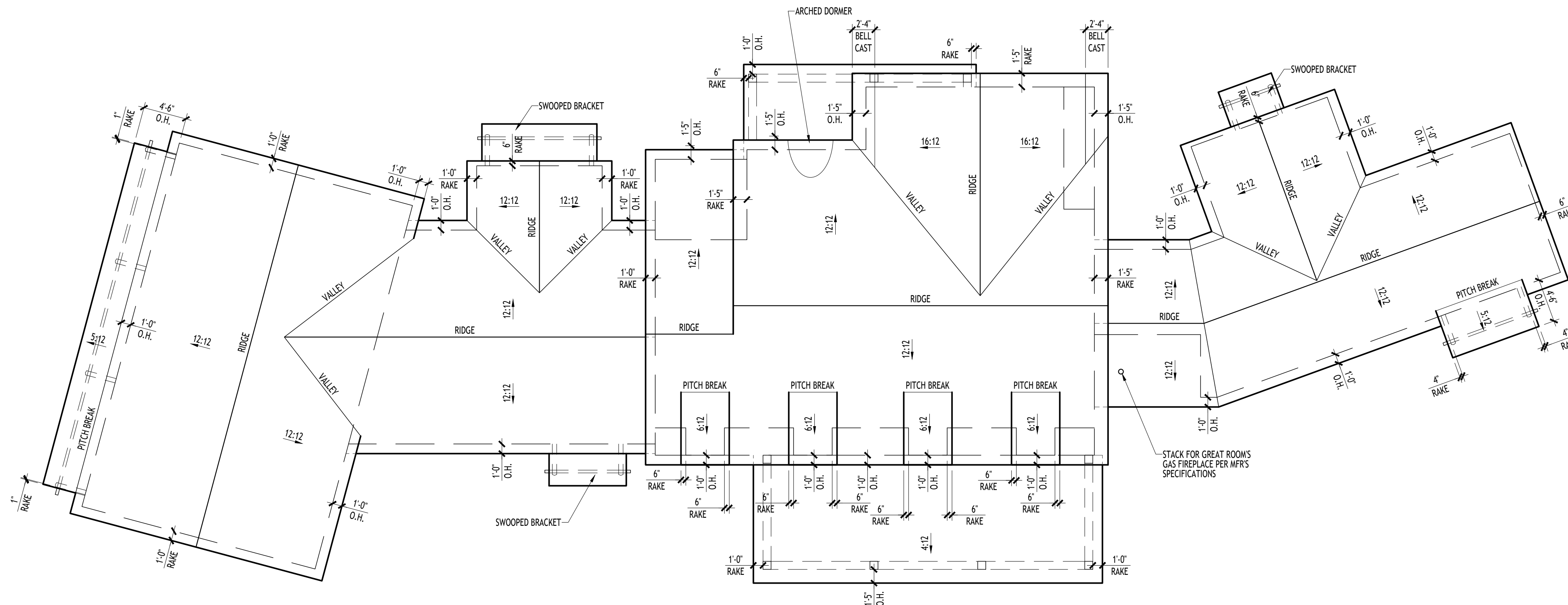
ROSS RESIDENCE  
BILTMORE FOREST, NC





# ROSS RESIDENCE

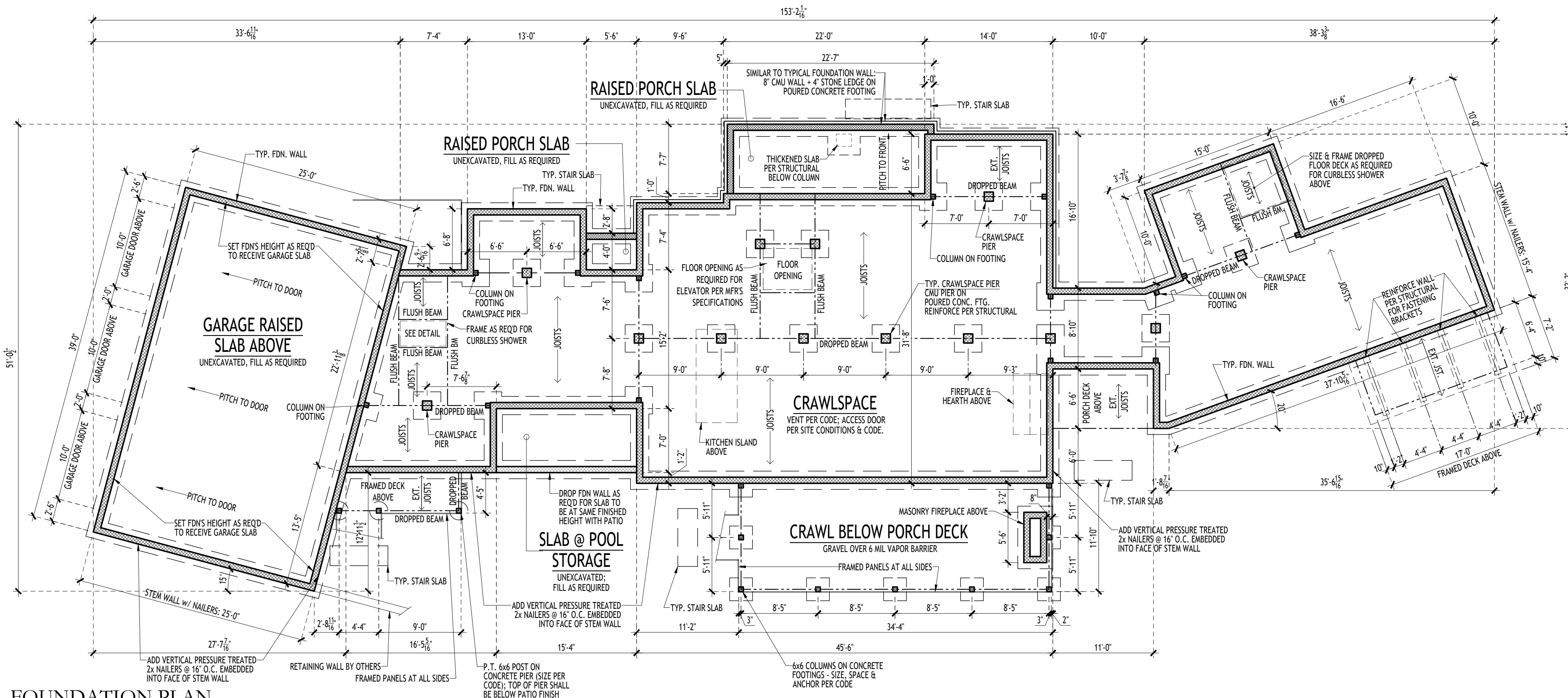
BILTMORE FOREST, NC



- ROOF NOTES:
1. ROOF EAVE DIMENSIONS ARE GENERALLY (UNLESS NOTED OTHERWISE) FROM EXTERIOR SIDE OF BEARING WALL/BEAM TO FINISHED FACE OF EAVE. SEE SECTION FOR CLARIFICATION.
  2. EXHAUST VENTS (PLUMBING, HVAC OR OTHERWISE) SHALL BE GROUPED IN ATTIC TO LIMIT THE NUMBER OF ROOF PENETRATIONS.
  3. ALL ROOF PENETRATIONS SHALL BE HIDDEN FROM VIEW, LOCATED TOWARD THE REAR OF THE HOUSE, AND BE PAINTED TO MATCH ROOF COLOR.

ROOF PLAN

1/8" = 1'-0"



- CRAWLSPACE FOUNDATION & FRAMING GENERAL NOTES:
1. TYPICAL FOUNDATION SHALL BE 8" CMU OR POURED CONCRETE WALL ON POURED CONCRETE FOOTING. REINFORCED PER CODE OR STRUCTURAL BOTTOM OF FOOTING AT OF BELOW LOCAL FROST DEPTH REQUIREMENT.
  2. 4" MASONRY LEDGE AS SHOWN.
  3. VERIFY ALL INTERIOR AND EXTERIOR FRAMING WITH CODE OR STRUCTURAL PLANS.
  4. ALL FRAMING COMPONENTS EXPOSED TO THE EXTERIOR OR IN CONTACT WITH MASONRY / CONCRETE SHALL BE PRESURE TREATED (U.N.D.) AND FASTENED MEETING REQUIREMENTS OF CODE OR STRUCTURAL.
  5. ALL STRUCTURAL SYSTEMS AND COMPONENTS SHALL COMPLY WITH LOCAL CODES AND INTERNATIONAL RESIDENTIAL CODE (IRC), OR BE SPECIFIED SEPARATELY ON STRUCTURAL PLANS BY AN ENGINEER PER BUDGET AND SITE CONDITIONS. APPROVED ENGINEERED LUMBER & COMPONENTS SHALL BE INSTALLED PER MANUFACTURERS SPECIFICATIONS.
  6. ADD SUPPORT WITHIN FLOOR SYSTEM PER CODE OR STRUCTURAL BELOW TUBS, LARGE SHOWERS WITH HUD BASE, KITCHEN ISLANDS, AND WALLS PARALLEL TO JOISTS.
  7. TYPICAL STAIR PAD: 4" CONCRETE SLAB TO RECEIVE STAIR STRINGERS - FIELD LOCATE AT BASE OF STAIRS.
  8. CRAWLSPACE SHALL BE VENTED PER CODE. VENTS NOT SHOWN ON PLAN.
  9. ALL SLABS SHALL HAVE CONTROL JOINTS SPACED EVERY 12'-15' APART, MIN. EXPANSION JOINT PER CODE.
  10. VENT SLABS FOR RADON PER CODE.

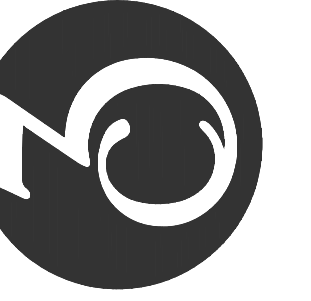
FOUNDATION PLAN

1/8" = 1'-0"

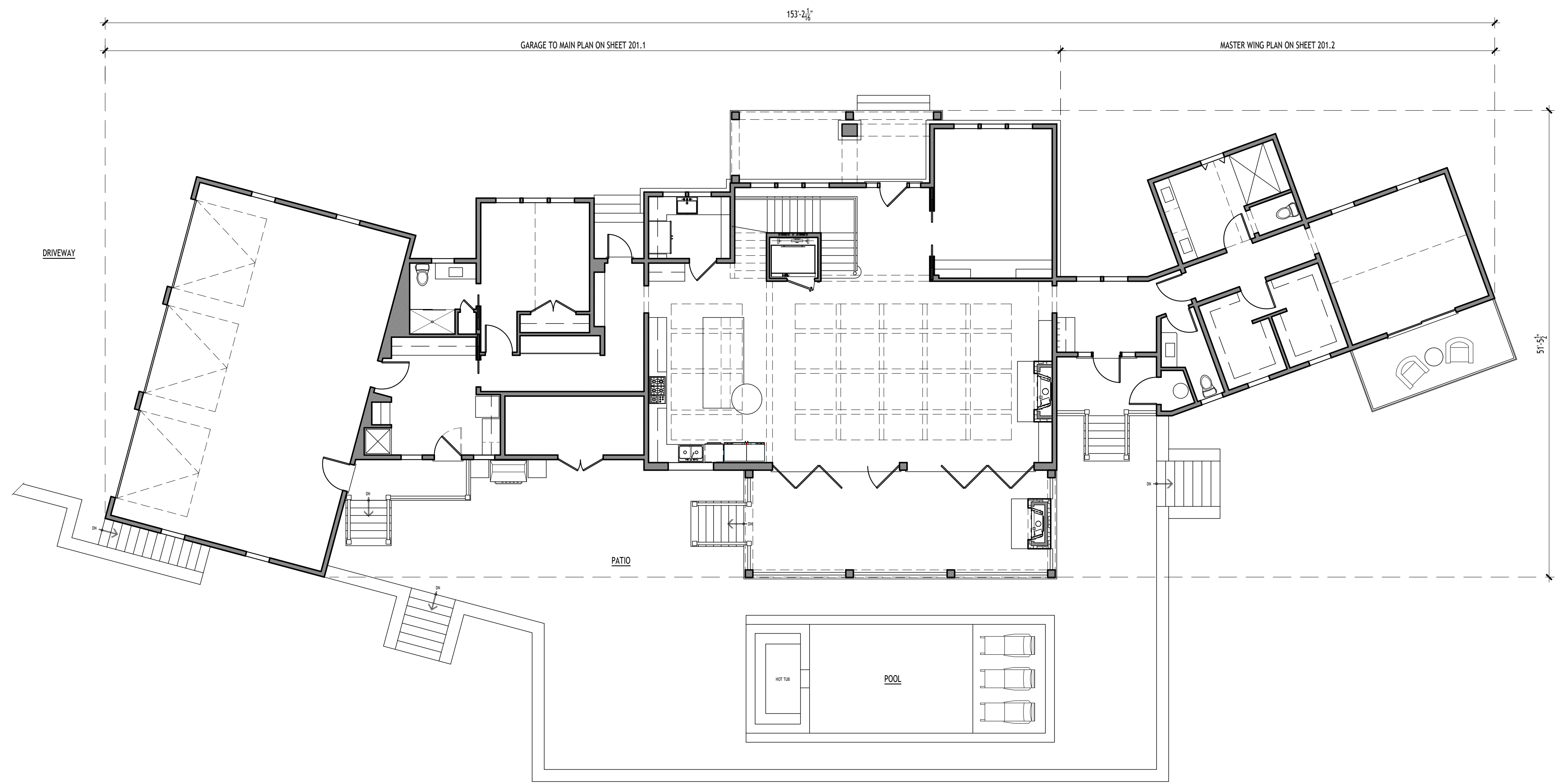
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ROSS RESIDENCE  
BILTMORE FOREST, NC



FIRST FLOOR FULL PLAN  
1/8" = 1'-0"

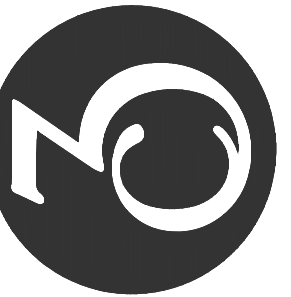
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BILTMORE FOREST, NC

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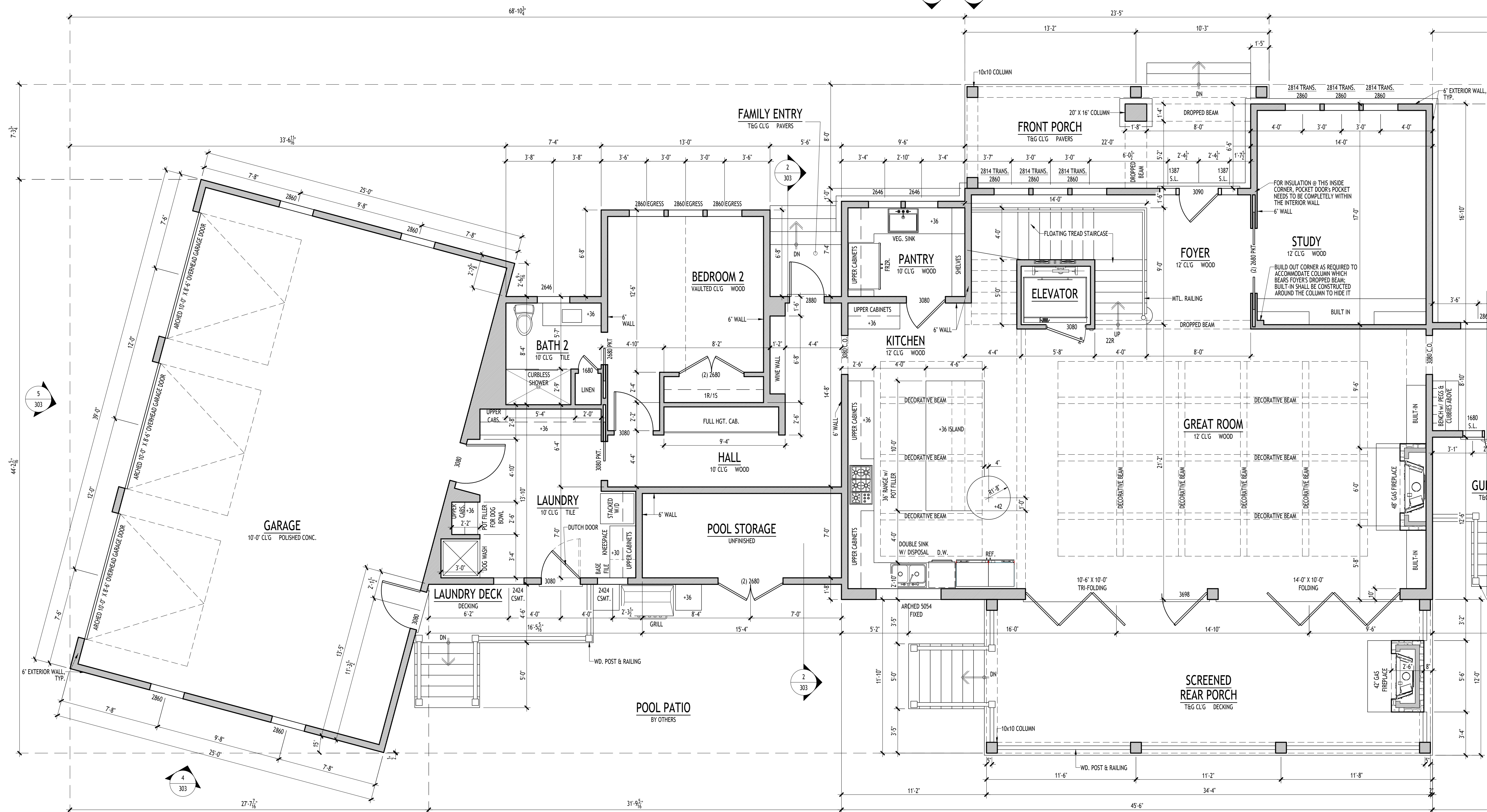
PROJECT 2101025

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**201.1**

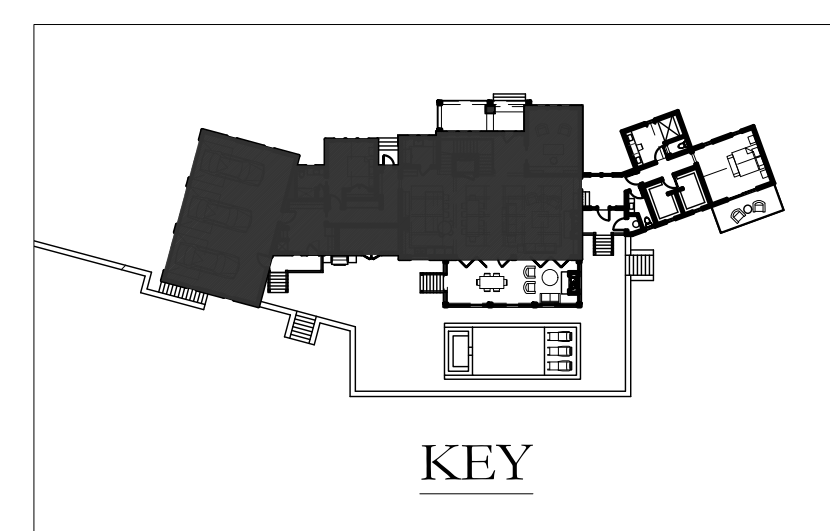
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  - VERIFY ALL INTERIOR AND EXTERIOR FRAMING WITH CODE OR STRUCTURAL PLANS. ALL FRAMING COMPONENTS EXPOSED TO THE EXTERIOR OR IN CONTACT WITH MASONRY / CONCRETE SHALL BE PRESSURE TREATED (U.S.A.) AND FASTENED MEETING REQUIREMENTS OF CODE AND STRUCTURAL.
  - STRUCTURAL BEAM/GRIDDERS AT PORCHES SHALL STRUCTURALLY CONNECT TO FRAMED WALL PER CODE OR STRUCTURAL.
  - ADD SUPPORT WITHIN FLOOR SYSTEM PER CODE OR STRUCTURAL BELOW TUBS, LARGE SHOWERS WITH MUD BASE, AND WALLS PARALLEL TO JOISTS.
  - WINDOW & DOOR HEIGHTS ARE FROM TOP OF FINISHED FLOOR. FRAMING CONTRACTOR SHALL COORDINATE WITH BUILDER TO DETERMINE ROUGH OPENING HEIGHTS.
  - ATTIC ACCESSES NOT SHOWN. PROVIDE PER CODE.

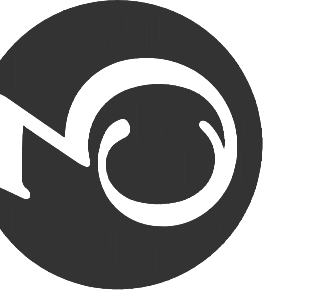
- WINDOW NOTES:**
- ALL WINDOWS ARE DOUBLE HUNG UNLESS NOTED OTHERWISE.
  - CONTRACTOR SHALL VERIFY WITH SELECTED WINDOW MANUFACTURER. BEDROOM WINDOWS MEET LOCAL WIND AND EGRESS REQUIREMENTS.
  - WINDOW MANUFACTURER SHALL VERIFY ALL WINDOW LOCATIONS WHERE SAFETY GLAZING IS REQUIRED AND PROVIDE AS NEEDED.
  - ALL WINDOW UNITS SHALL MEET WIND AND ENERGY REQUIREMENTS AS SPECIFIED BY LOCAL OR NATIONAL REQUIREMENTS.
  - WINDOW HEIGHTS ARE FROM FINISHED FLOOR. WINDOW INSTALLER SHALL COORDINATE WITH BUILDER TO DETERMINE INSTALLATION HEIGHTS.



**PARTIAL FIRST FLOOR PLAN - GARAGE & MAIN**

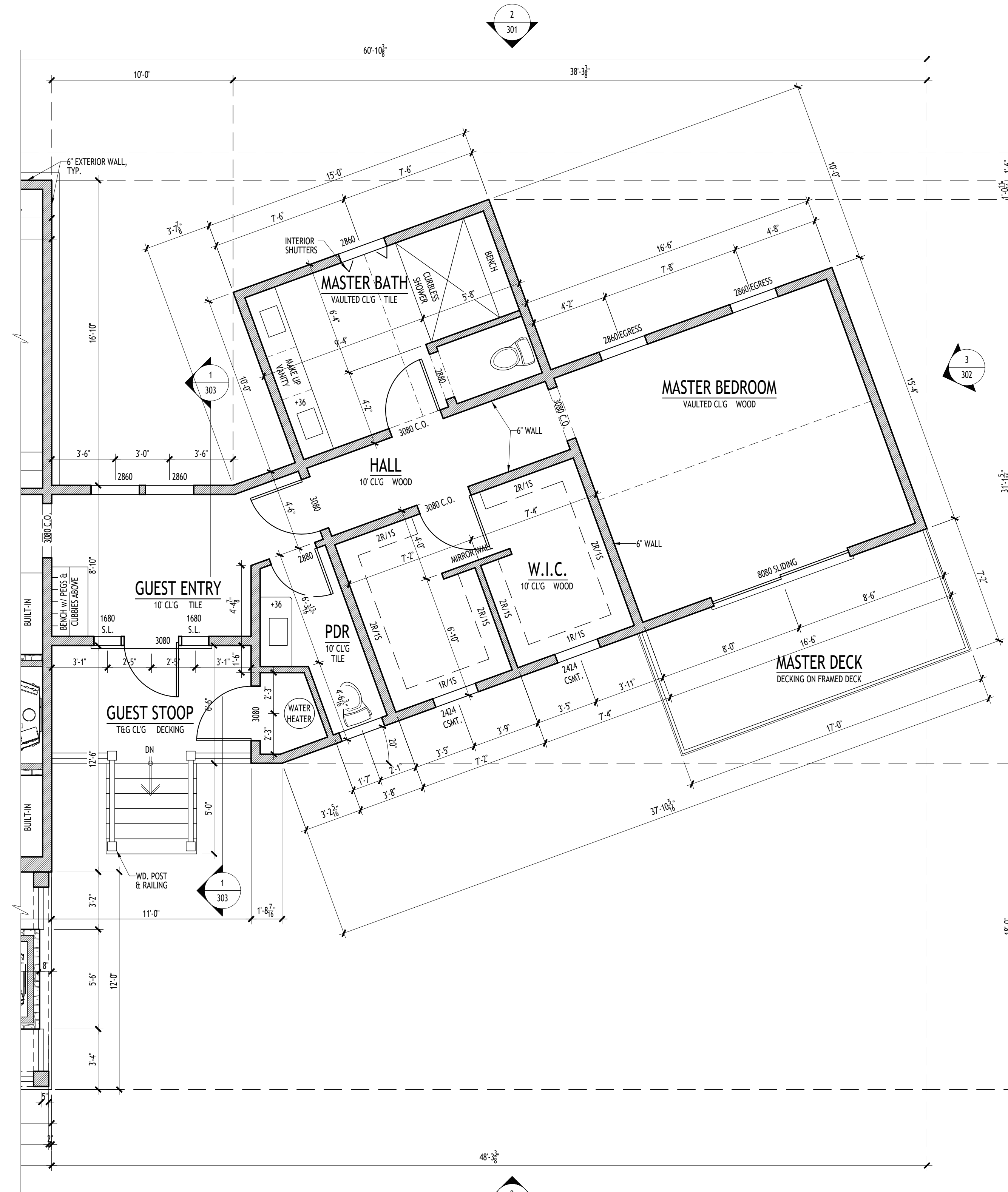
1/4" = 1'-0"



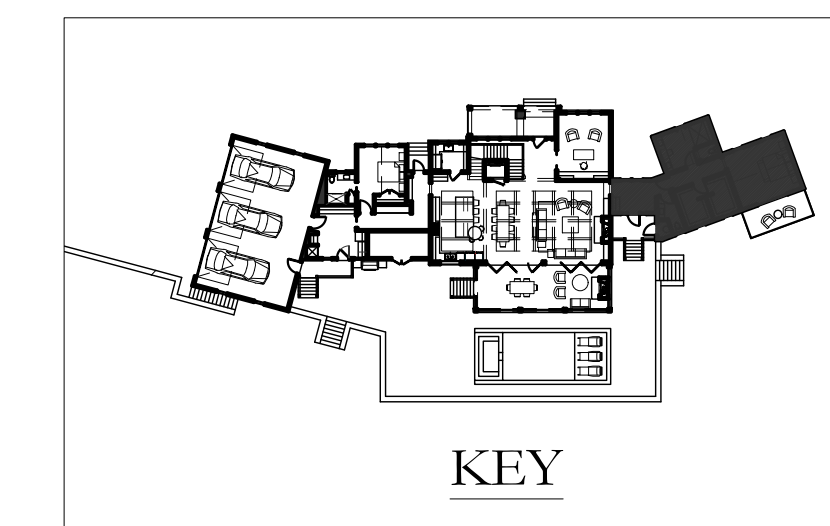


**ROSS RESIDENCE**  
BILTMORE FOREST, NC

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  - STRUCTURAL BEAM/GIRDERS AT PORCHES SHALL STRUCTURALLY CONNECT TO FRAMED WALL PER CODE OR STRUCTURAL.
  - ADD SUPPORT WITHIN FLOOR SYSTEM PER CODE OR STRUCTURAL BELOW TUBS, LARGE SHOWERS WITH AID BASE, AND WALLS PARALLEL TO JOISTS.
  - WINDOW & DOOR HEIGHTS ARE FROM TOP OF FINISHED FLOOR. FRAMING CONTRACTOR SHALL COORDINATE WITH BUILDER TO DETERMINE ROUGH OPENING HEIGHTS.
  - ATTIC ACCESSES NOT SHOWN. PROVIDE PER CODE.
- WINDOW NOTES:**
- ALL WINDOWS ARE DOUBLE HUNG UNLESS NOTED OTHERWISE.
  - CONTRACTOR SHALL VERIFY WITH SELECTED WINDOW MANUFACTURER BEDROOM WINDOWS MEET LOCAL WIND AND EGRESS REQUIREMENTS.
  - WINDOW MANUFACTURER SHALL VERIFY ALL WINDOW LOCATIONS WHERE SAFETY GLAZING IS REQUIRED AND PROVIDE AS NEEDED.
  - ALL WINDOW UNITS SHALL MEET WIND AND ENERGY REQUIREMENTS AS SPECIFIED BY LOCAL OR NATIONAL REQUIREMENTS.
  - WINDOW HEIGHTS ARE FROM FINISHED FLOOR. WINDOW INSTALLER SHALL COORDINATE WITH BUILDER TO DETERMINE INSTALLATION HEIGHTS.



PARTIAL FIRST FLOOR PLAN - MASTER WING  
1/4" = 1'-0"



REVISIONS

DATE  
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April 15, 2022

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**201.2**



# ROSS RESIDENCE

BILTMORE FOREST, NC

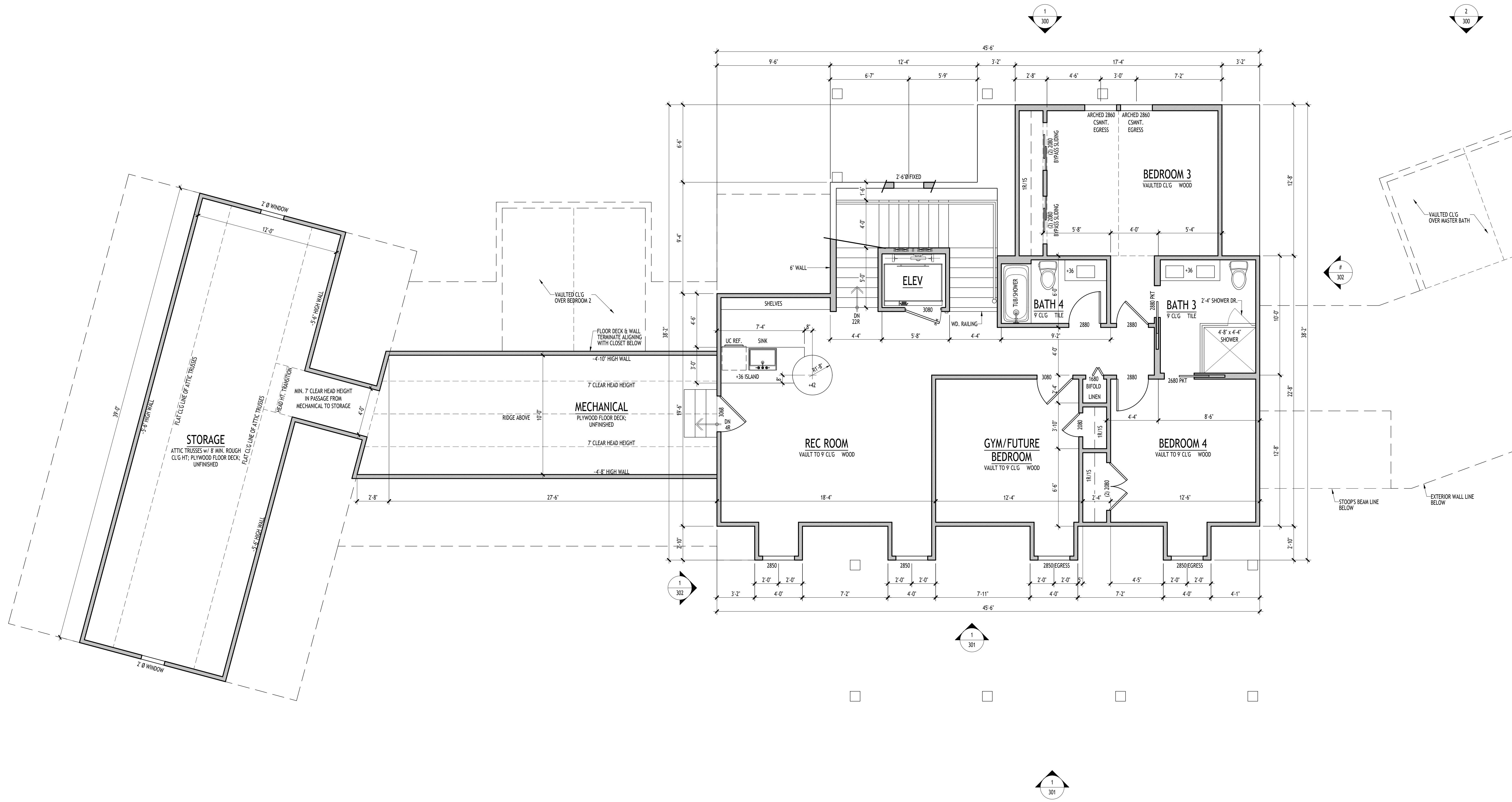
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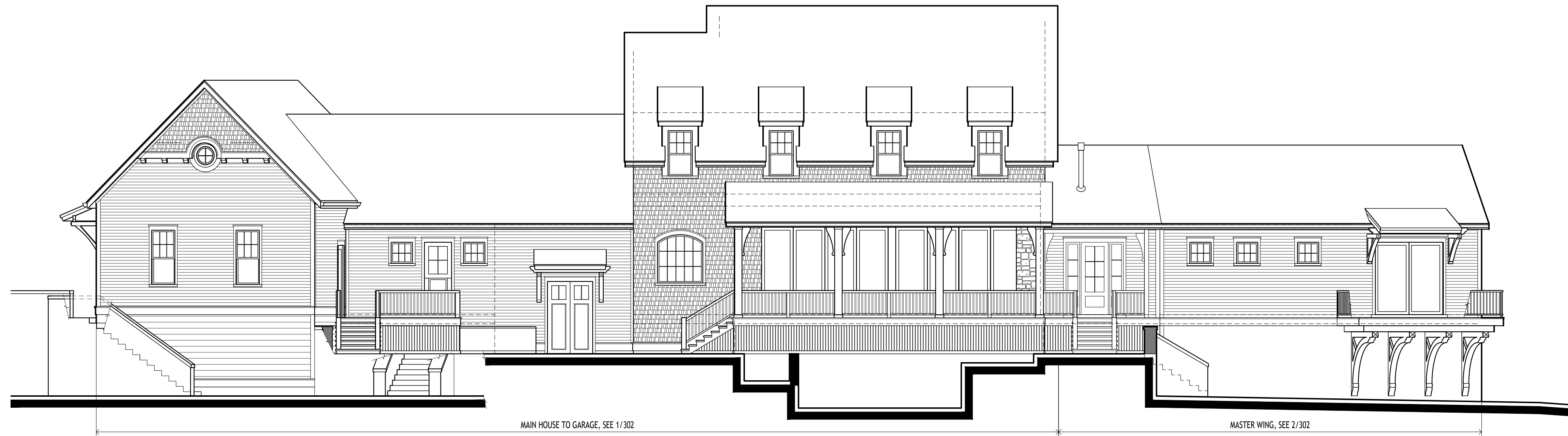
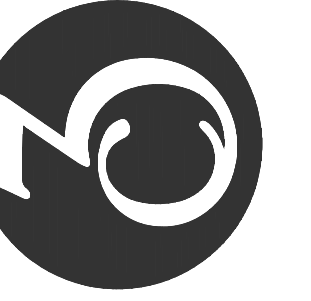
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- GENERAL NOTES:
- ALL STRUCTURAL SYSTEMS AND COMPONENTS SHALL COMPLY WITH LOCAL CODES AND INTERNATIONAL RESIDENTIAL CODE (IRC), OR BE SPECIFIED SEPARATELY ON STRUCTURAL PLANS BY AN ENGINEER PER BUDGET AND SITE CONDITIONS. APPROVED ENGINEERED LUMBER & COMPONENTS SHALL BE INSTALLED PER MANUFACTURERS SPECIFICATIONS.
  - VERIFY ALL INTERIOR AND EXTERIOR FRAMING WITH CODE OR STRUCTURAL PLANS. ALL FRAMING COMPONENTS EXPOSED TO THE EXTERIOR OR IN CONTACT WITH MASONRY / CONCRETE SHALL BE PRESSURE TREATED (U.N.O.) AND FASTENED MEETING REQUIREMENTS OF CODE AND STRUCTURAL.
  - STRUCTURAL BEAM / GRIDDERS AT PORCHES SHALL STRUCTURALLY CONNECT TO FRAMED WALL PER CODE OR STRUCTURAL.
  - ADD SUPPORT WITHIN FLOOR SYSTEM PER CODE OR STRUCTURAL. BELOW TUBS, LARGE SHOWERS WITH MUD BASE, AND WALLS PARALLEL TO JOISTS.
  - WINDOW & DOOR HEIGHTS ARE FROM TOP OF FINISHED FLOOR. FRAMING CONTRACTOR SHALL COORDINATE WITH BUILDER TO DETERMINE ROUGH OPENING HEIGHTS.
  - ATTIC ACCESSES NOT SHOWN. PROVIDE PER CODE.
- WINDOW NOTES:
- ALL WINDOWS ARE DOUBLE HUNG UNLESS NOTED OTHERWISE.
  - CONTRACTOR SHALL VERIFY WITH SELECTED WINDOW MANUFACTURER. BEDROOM WINDOWS MEET LOCAL WIND AND EGRESS REQUIREMENTS.
  - WINDOW MANUFACTURER SHALL VERIFY ALL WINDOW LOCATIONS WHERE SAFETY GLAZING IS REQUIRED AND PROVIDE AS NEEDED.
  - ALL WINDOW UNITS SHALL MEET WIND AND ENERGY REQUIREMENTS AS SPECIFIED BY LOCAL OR NATIONAL REQUIREMENTS.
  - WINDOW HEIGHTS ARE FROM FINISHED FLOOR. WINDOW INSTALLER SHALL COORDINATE WITH BUILDER TO DETERMINE INSTALLATION HEIGHTS.



SECOND FLOOR PLAN  
1/4" = 1'-0"



② REAR ELEVATION  
 1/8" = 1'-0"



① FRONT ELEVATION  
 1/8" = 1'-0"

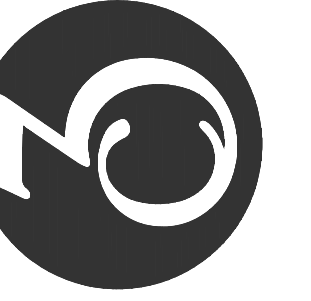
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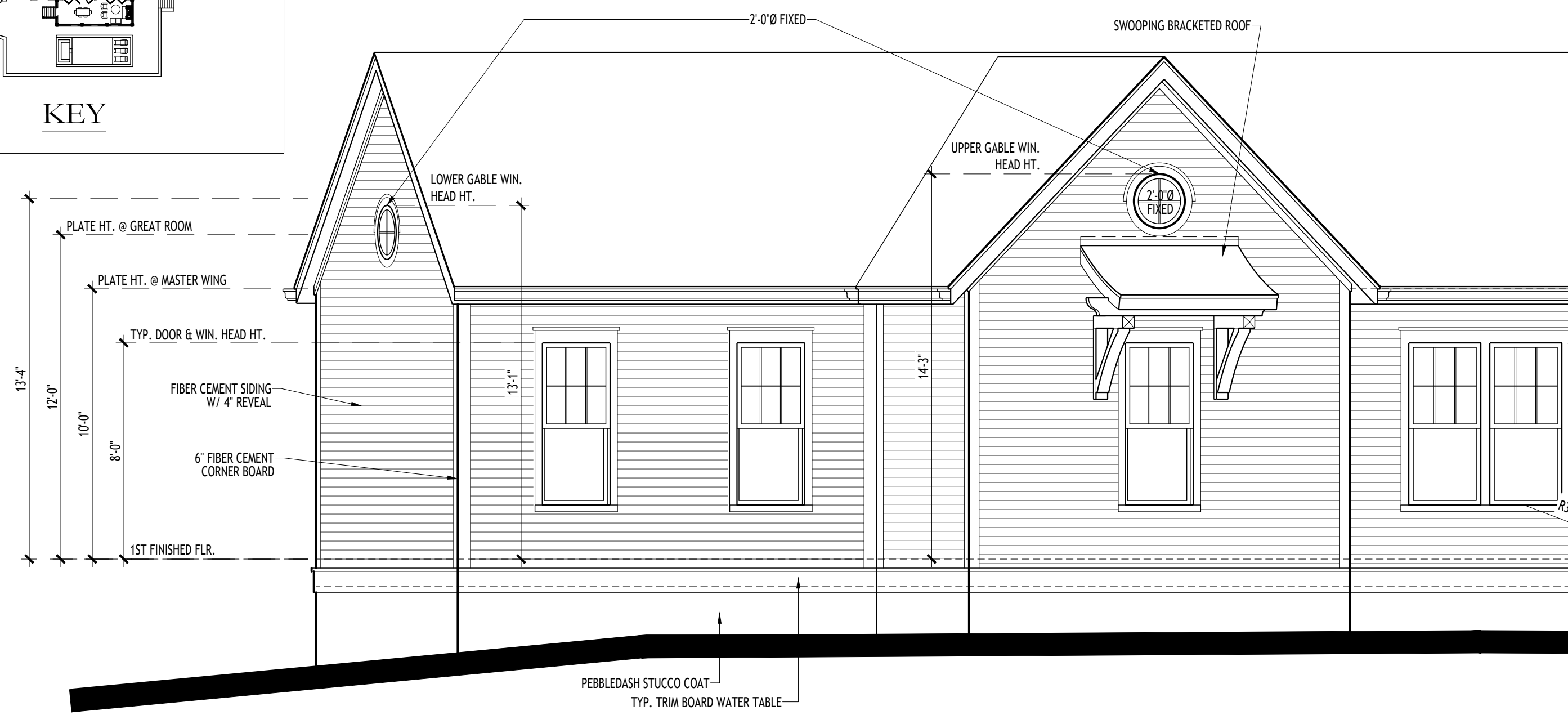
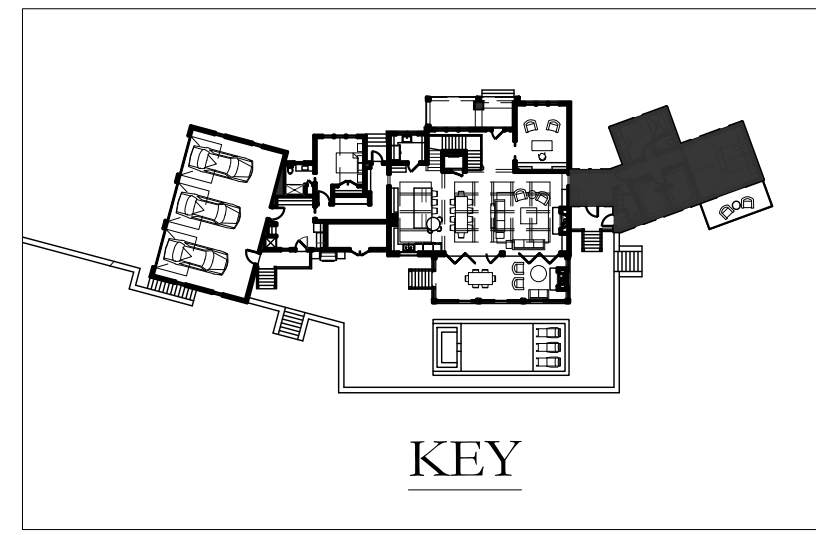
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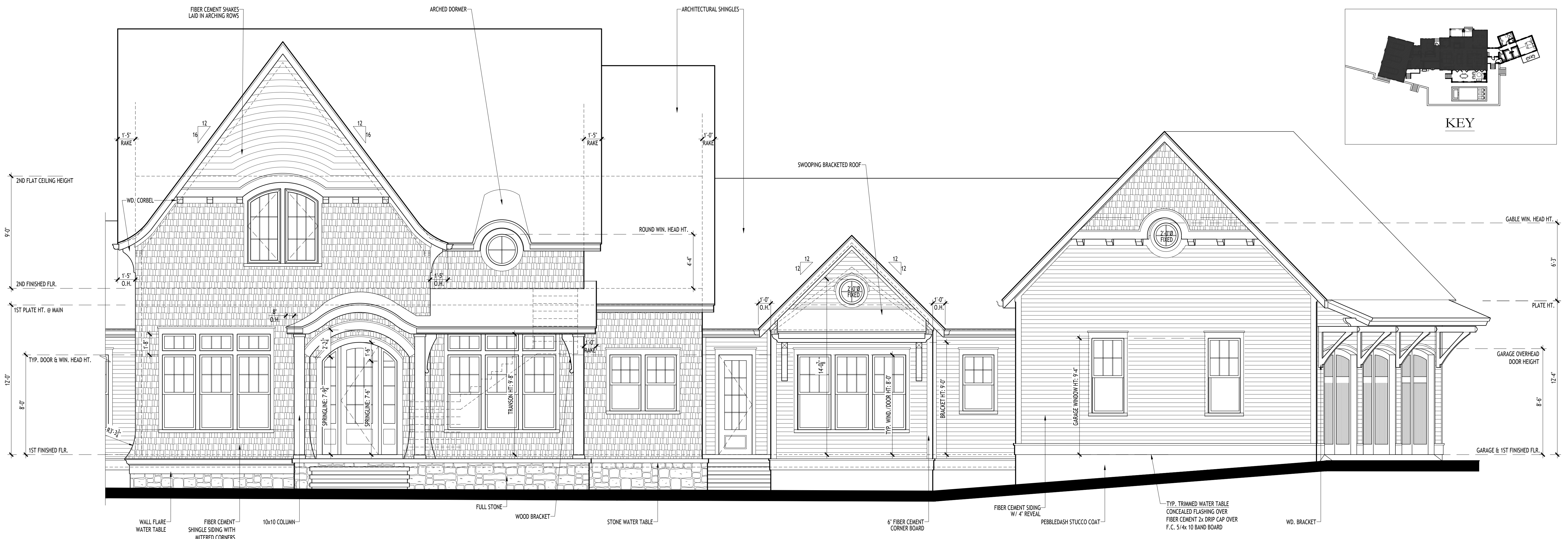
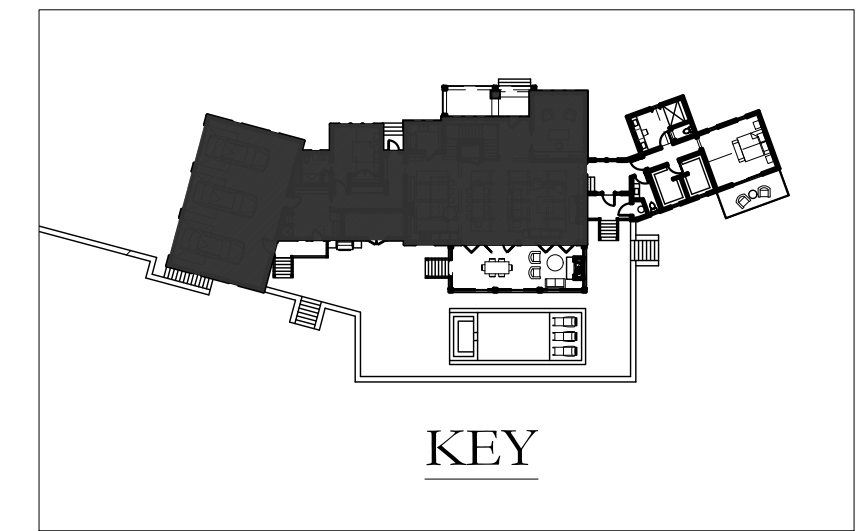
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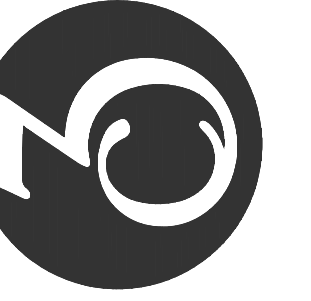
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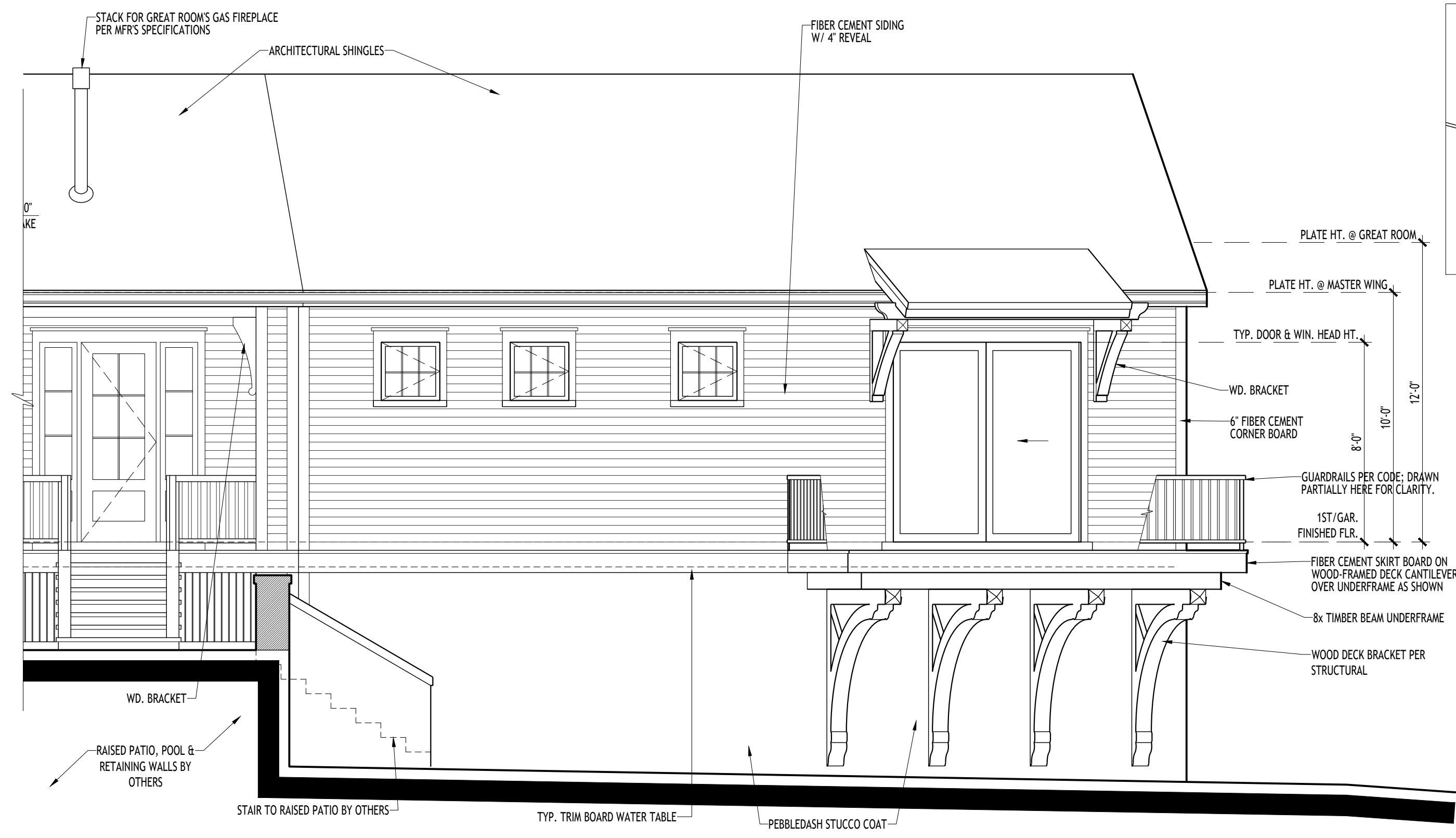
2 FRONT ELEVATION (CONTINUED)  
1/4" = 1'-0"



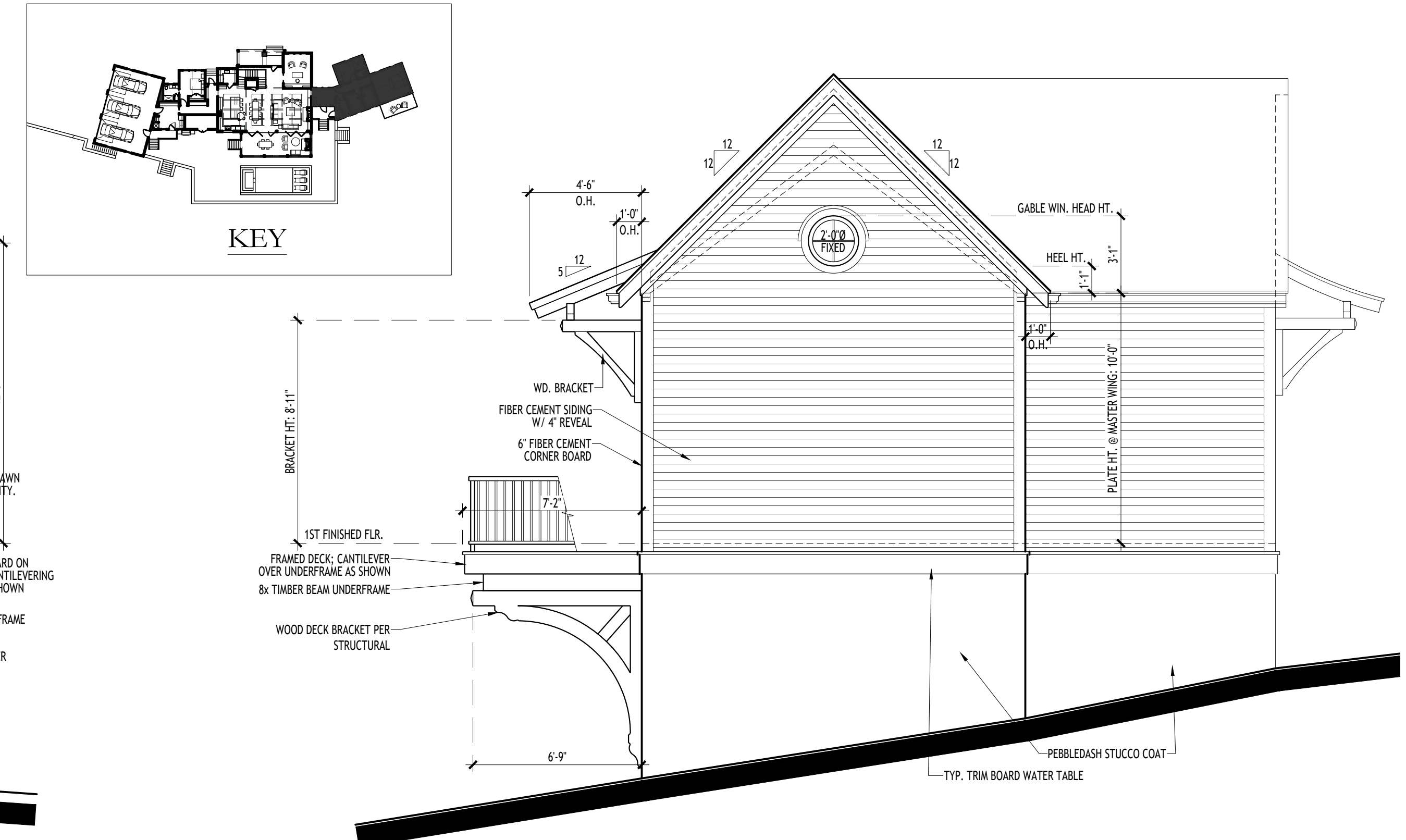
1 FRONT ELEVATION  
1/4" = 1'-0"



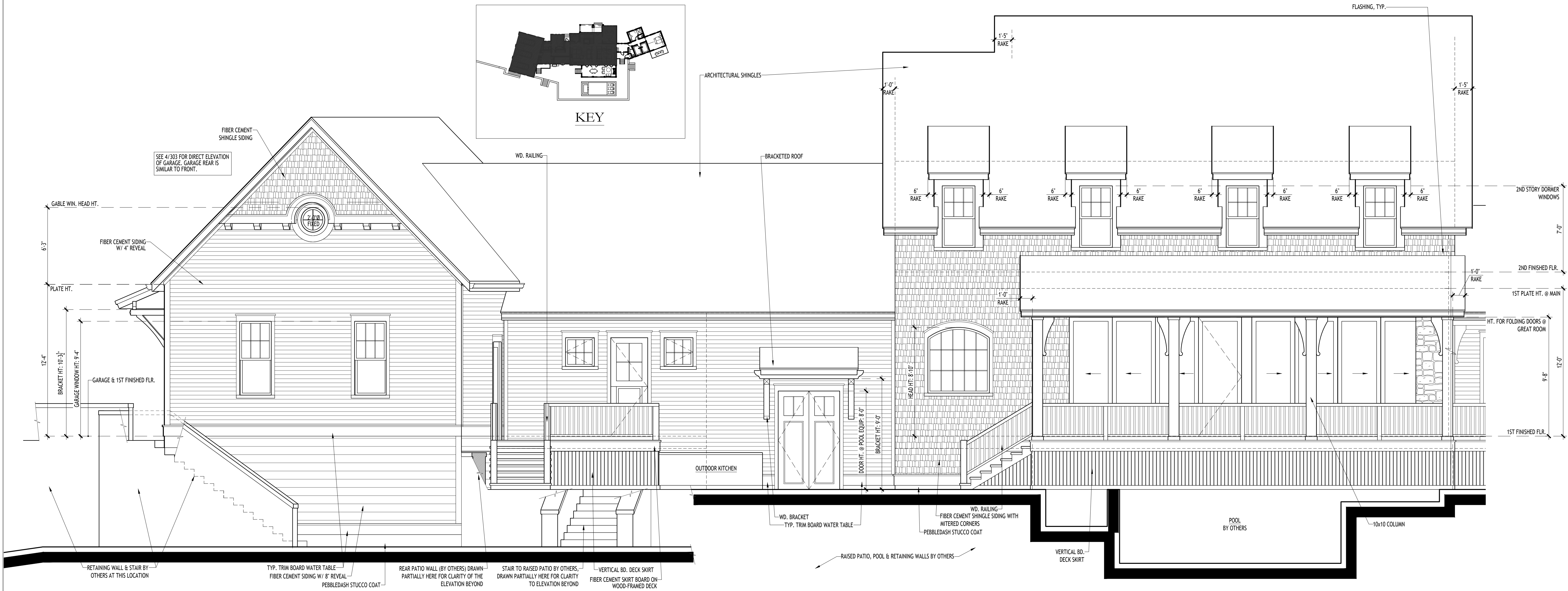
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2 REAR ELEVATION - MASTER WING  
1/4" = 1'-0"



3 MASTER BEDROOM SIDE ELEVATION  
1/4" = 1'-0"



1 REAR ELEVATION - GARAGE TO MAIN  
1/4" = 1'-0"

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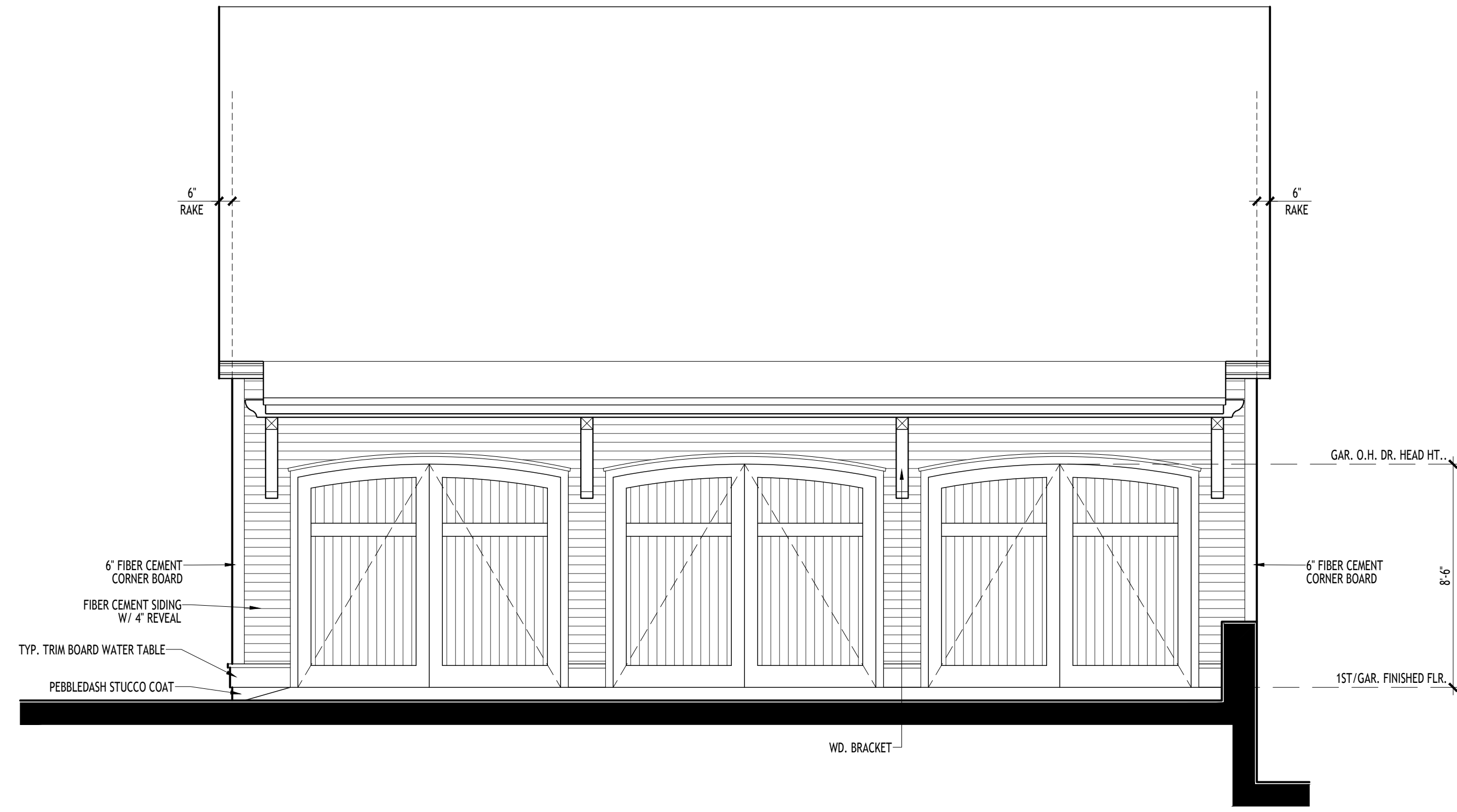
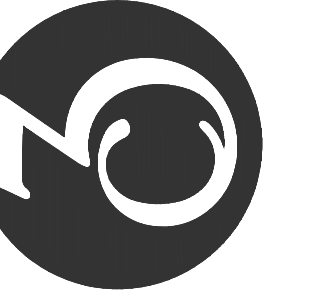
NO.	DATE	DESCRIPTION

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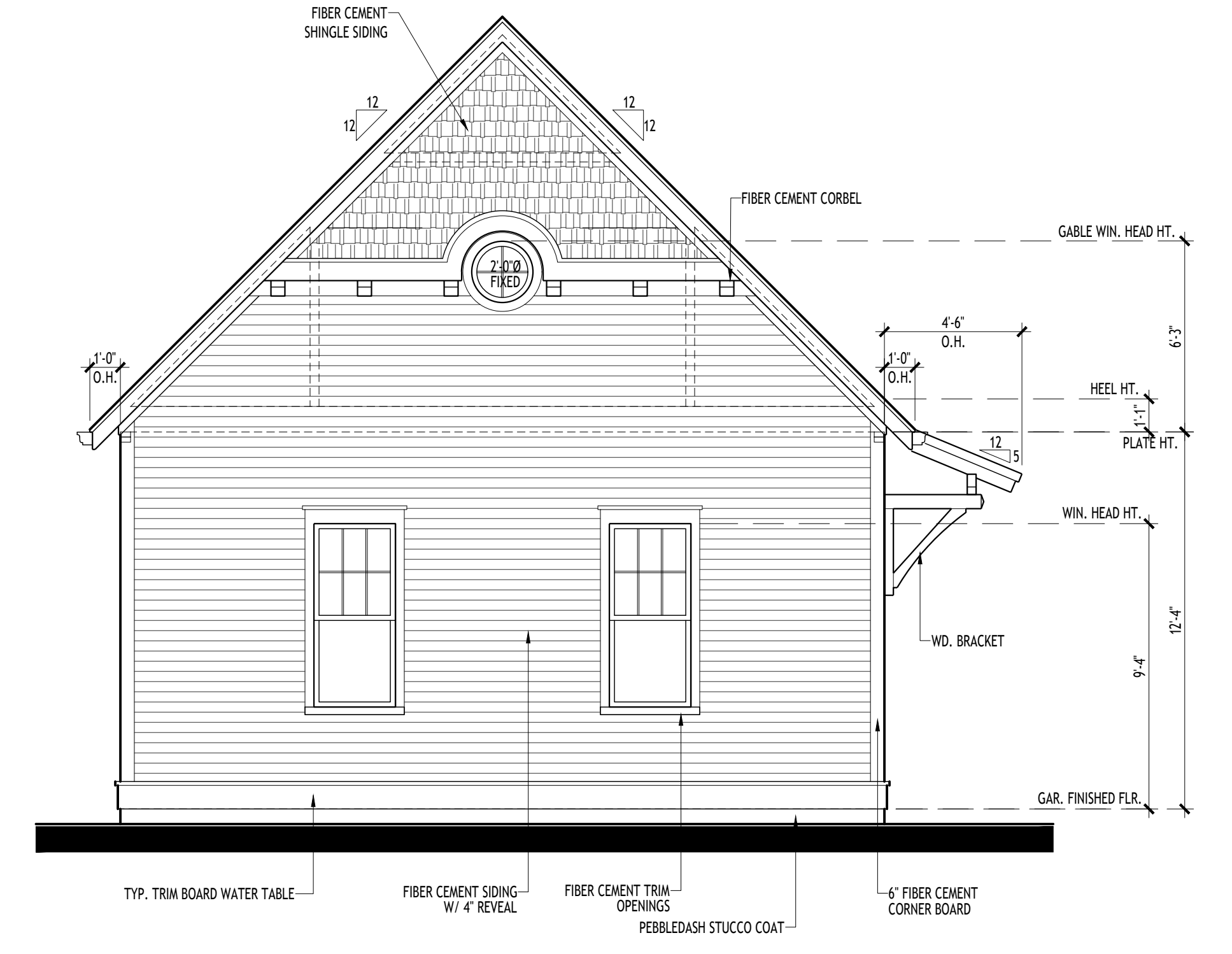
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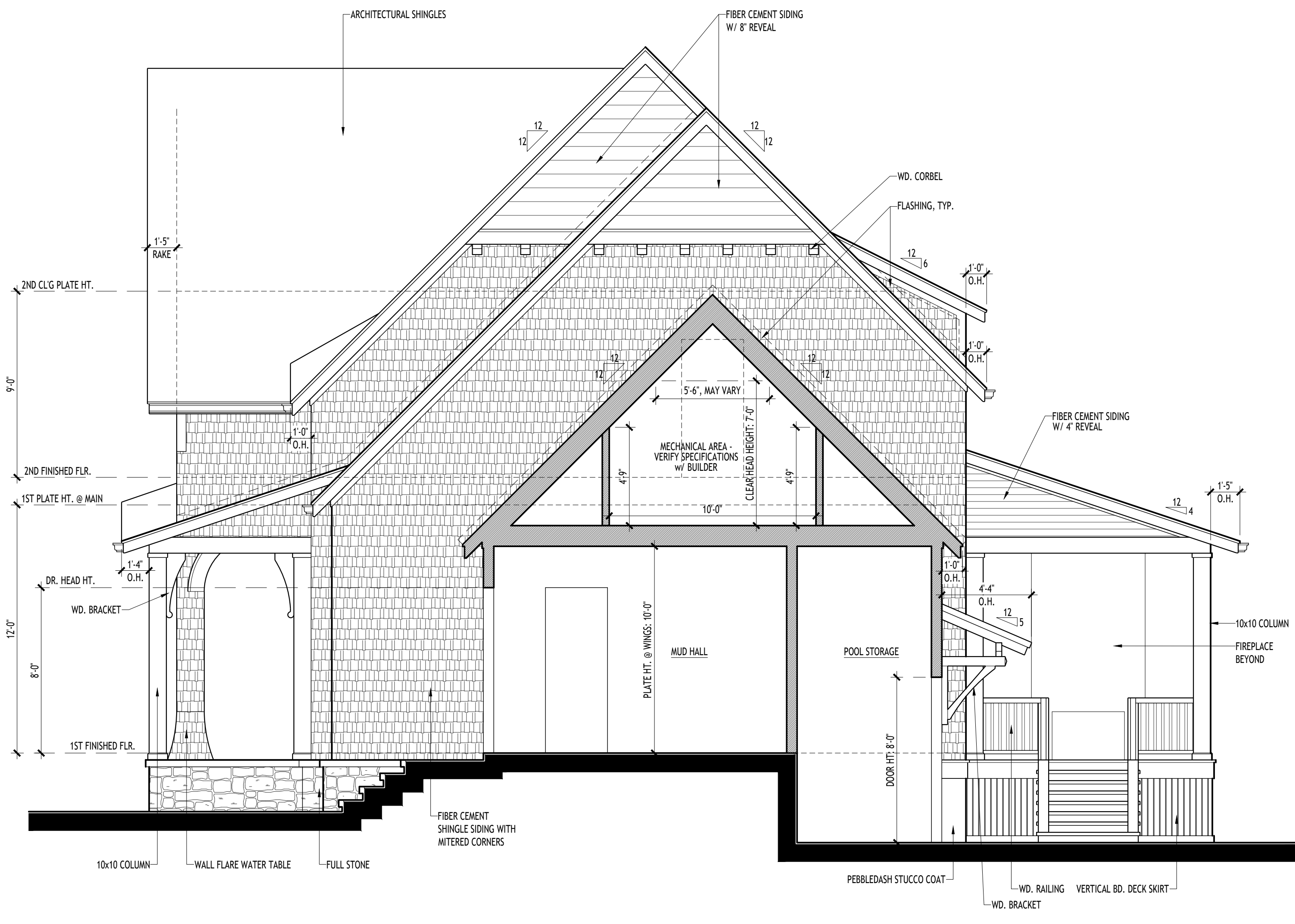




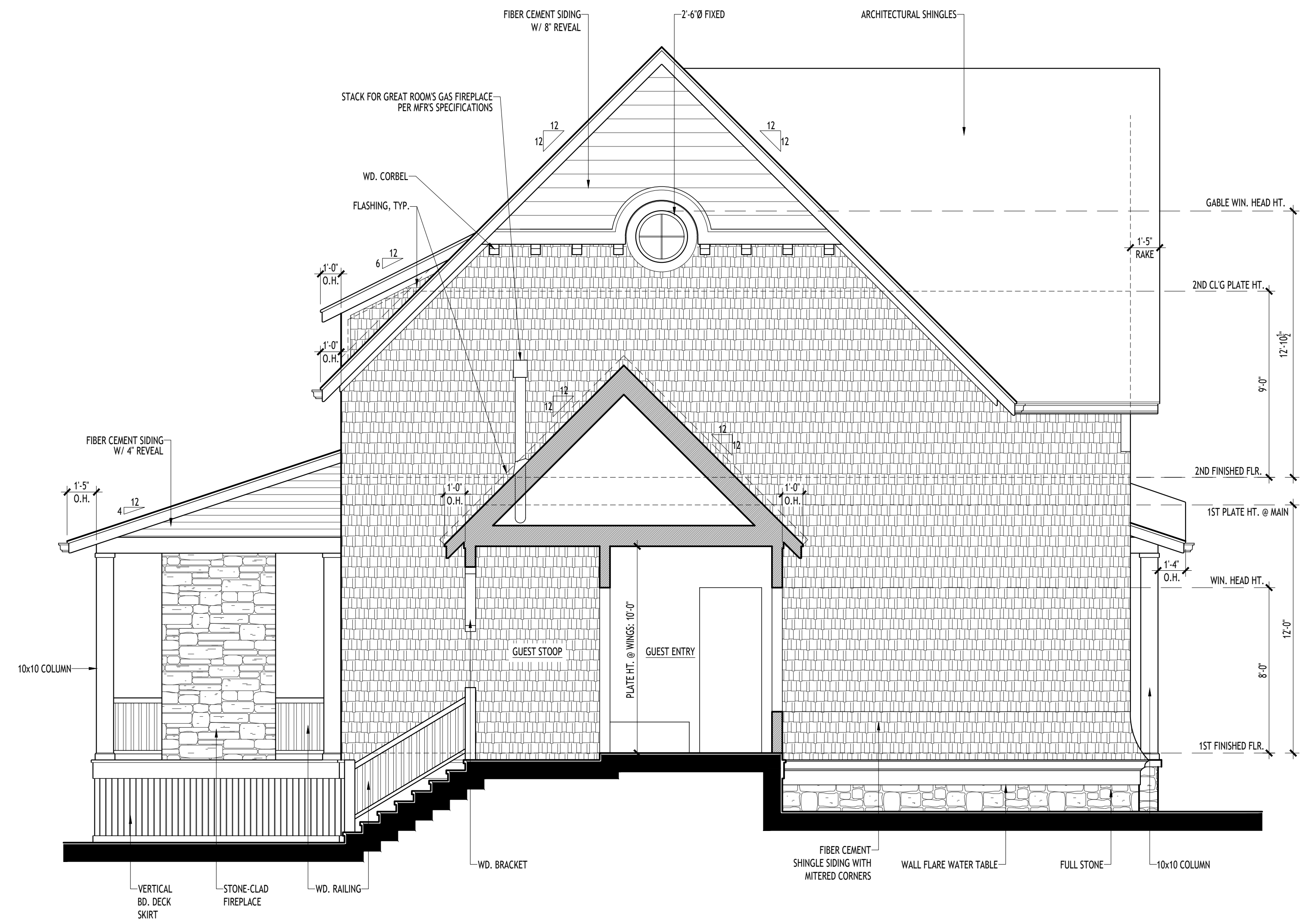
5 GARAGE DOOR SIDE ELEVATION  
 1/4" = 1'-0"



4 GARAGE FRONT ELEVATION  
 1/4" = 1'-0"



2 MAIN RIGHT ELEVATION  
 1/4" = 1'-0"



1 MAIN LEFT ELEVATION  
 1/4" = 1'-0"

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