

Zoning Compliance Application

Town of Biltmore Forest

Name

Carrie (Architect) McLauchlan

Address

22 Cedarcliff Road

Phone

(828) 253-1124

Email

carrie@samselarchitects.com

Parcel ID/PIN Number

9647626756

ZONING INFORMATION

Current Zoning

R-1

Lot Size

54,885.6 sf

Maximum Roof Coverage

6,100 square feet (Up to 2 acres)

Proposed Roof Coverage Total

5,393 sf

Maximum Impervious Surface Coverage

25 percent of lot area (1-3 acres)

Proposed Impervious Surface Coverage

8,370 sf

Front Yard Setback

60 feet (R-1 District)

Side Yard Setback

20 feet (R-1 District)

Rear Yard Setback

25 feet (R-1 District)

No buildings or structures may be located within these setback areas. A variance application is required if your project requires encroachment upon the setback.

Description of the Proposed Project

One and a half story single family home with unfinished basement, wood lap siding, and standing seam metal roof.

Estimated Cost of Project

\$1,500,000.00

Estimated Completion Date

6/1/2020

Applicant Signature



Supporting Documentation (Site Plan, Drawings, Other Information)

190110 Olesky Residence.pdf

VARIANCE APPLICATION

Town of Biltmore Forest

Name

Carrie McLauchlan

Address

60 Biltmore Avenue

Phone

(828) 253-1124

Email

carrie@samselarchitects.com

Current Zoning/Use

Residence

Requested Use

Residence

APPLICATION REQUIREMENTS: An application to the Board of Adjustment for a variance must be submitted to the Town of Biltmore Forest Town Manager at least 21 days prior to the meeting at which the application will be considered. A pre-application meeting with Town staff is required prior to application submittal to the Board of Adjustment.

What would you like to do with your property?

Build a single family residence, 1.5 stories with unfinished basement, detached Office and Workshop. Because of the narrow lot and dramatic slope at the back of the lot we will need a retaining wall for a turn-around space that is outside of the side setback.

What does the ordinance require?

The ordinance requires the retaining wall for the turn-around space to be within the side setback.

BOARD OF ADJUSTMENT: N.C.G.S. 160A-388(D) requires that the Board of Adjustment shall vary the provisions of the Zoning Ordinance only upon a showing of ALL the items below. The Board of Adjustment must follow strict procedure and all determinations must be decided by a concurring vote of four-fifths of the members of the Board. It is important to provide detailed supporting documentation for the Board of Adjustment to review. If necessary, additional sheets may be attached to this application.

REQUIRED FINDINGS: Please provide a thorough response to each.**Unnecessary hardship would result from the strict application of the ordinance.**

There is an existing drive and graded area for pulling into the Garage. Because of this current location, the naturally narrow lot, and dramatic slope toward the back of the lot, we will need this retaining wall to be over the side setback for a vehicle to have the appropriate radius for turning around, or to be able to park in that space.

The hardship results from conditions that are peculiar to the property, such as location, size, or topography.

Because there was an existing home on the property (since demolished) the location of the existing drive and grading from the existing home set the site up naturally for the layout of the Site Plan. The dramatic incline at the back of the property also limits the amount of flexibility that we have for a vehicle without a retaining wall.

The hardship did not result from actions taken by the applicant or the property owner.

No, the lot dimensions, natural grade and existing drive location were not driven by the Owner.

The requested variance is consistent with the spirit, purpose, and intent of the ordinance, such that public safety is secured, and substantial justice is achieved.

Yes, we will provide a vegetated buffer so that the neighbors are not disturbed by the program that is over the side setback.

I hereby certify that all of the information set forth above is true and accurate to the best of my knowledge.

Signature

Date

1/23/2019



Conditional Use Permit Application

Town of Biltmore Forest

Transaction Details

Number: F16E8T1

Date: 1/23/2019 5:46 PM

Application Fee	\$100.00
Subtotal:	\$100.00
Order Total: \$100.00	

Application Fee

\$100.00

Name

Carrie McLauchlan

Address

60 Biltmore Avenue

Phone

(828) 253-1124

Email

carrie@samselarchitects.com

Please select the type of conditional use you are applying for:

Accessory Buildings

The applicant must show that the proposed use will not materially endanger public health or safety or injure value of adjoining or abutting property. In addition, the proposed use must be in general conformity with the plan of development of the town and be in harmony with scale, bulk, height, coverage, density, and character of the neighborhood.

Please provide a description of the proposed project:

Single family residence, 1.5 stories with a full basement, detached Office and Workshop, with stone slab steps to the back of the property.

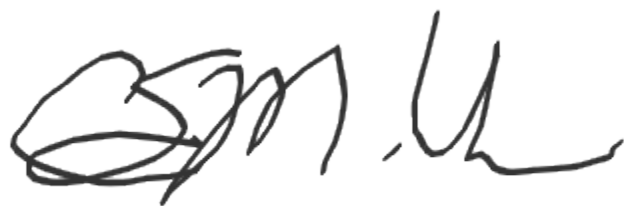
Explain why the project would not adversely affect the public interest of those living in the neighborhood:

The character of the residence is in keeping with the surrounding properties. The home Office and Workshop are tucked to the back of the property, nestled into natural grade and will be concealed from the neighbors to the side with a vegetated buffer. Natural stone pavers allow access to the back of the property which is otherwise separated by steep grade.

I hereby certify that all of the information set forth above is true and accurate to the best of my knowledge.

Signature

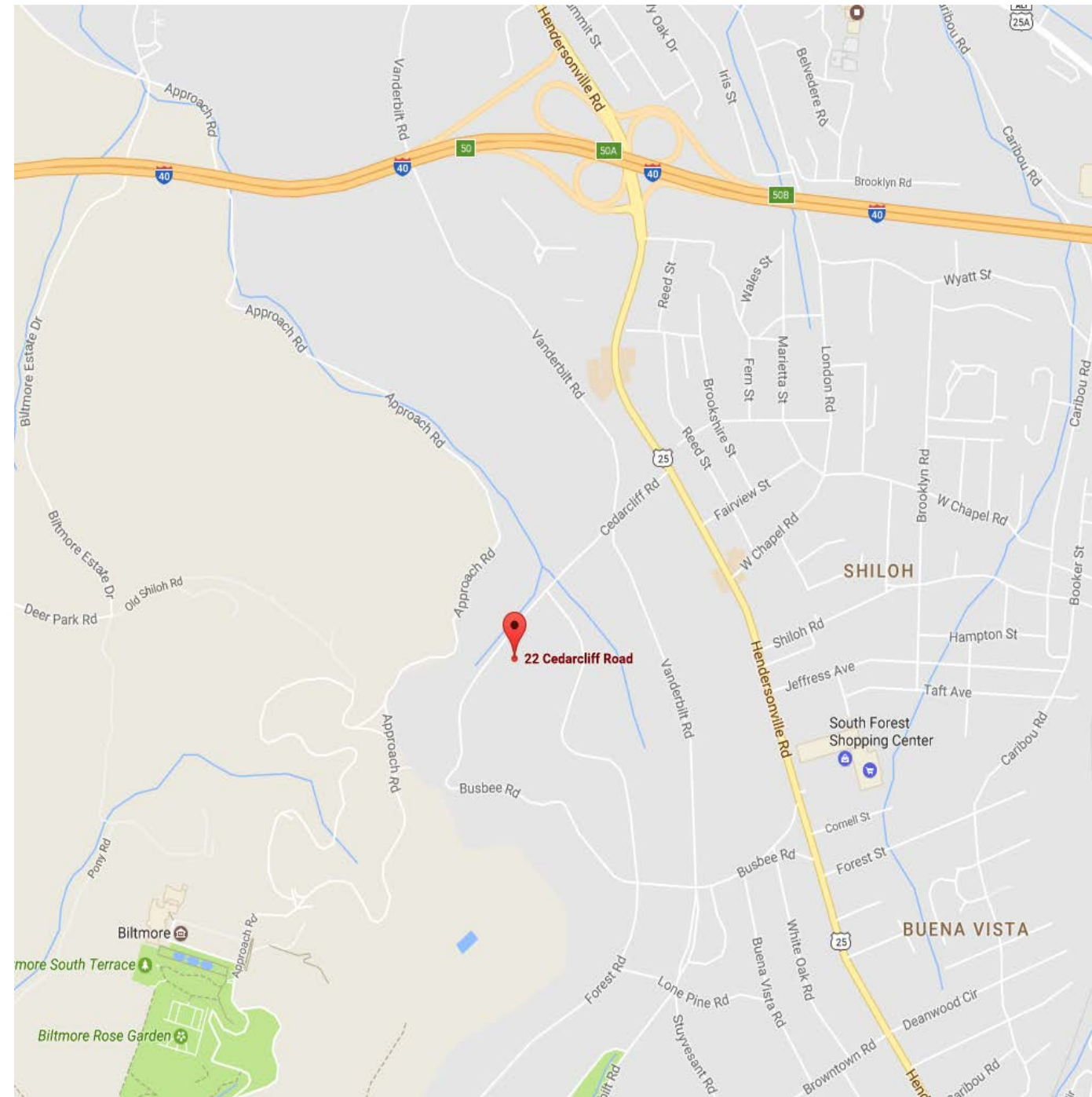
Date
1/23/2019



A handwritten signature in black ink, appearing to be 'SM. U', written above a horizontal line.

OLESKY RESIDENCE 15.50

22 CEDARCLIFF ROAD, BILTMORE FOREST, NC, 28803



ABBREVIATIONS

AC Acoustic	FO Face of	PLAM Plastic Laminate
ACT Acoustic Ceiling Tile	FOC Face of Concrete	PLBG Plumbing
AD Access Door	FOM Face of Masonry	PLY Plywood
ADJ Adjacent	FOS Face of Stud(s)	POLY Polyethylene
AFF Above Finished Floor	FOW Face of Wall	PNBD Panelboard
AHU Air Handling Unit	FP Fire Protection	PR Pair
ALT Alternate	FRGWB Fire Rated Gypsum Wallboard	PSF Pounds per Square Foot
ALUM Aluminum	FRP Fiber Reinforced Panel	PSI Pounds per Square Inch
AP Access Panel	FT Foot/Feet	PSL Parallel Strand Lumber
BEV Beveled	FTG Footing	PT Pressure Treated
BLDG Building	FUT Future	PTD Painted
BO Bottom of	GA Gage	PVC Polyvinyl Chloride
BOW Bottom of Wall	GALV Galvanized	QT Quarry Tile
BLKG Blocking	GC General Contractor	R Riser
BRD Board	GL Glass/Glazing	RAD Radius
BRG Bearing	GWB Gypsum Wallboard	REG Register
CAB Cabinet	H Height/Height	REQD Required
CER Ceramic	HD HT Head Height	RET Return
CJ Control Joint	HDWR Hardwood	REV Revised/Revision(s)
CL Closet	HM Hollow Metal	RO Rough Opening
CLG Ceiling	HORIZ Horizontal	SAN Sanitary
CLR Clear(ance)	HC Handicapped	SF Square Foot/Feet
CMU Concrete Masonry Unit	HVAC Heating, Ventilation & Air Conditioning	SIM Similar
COL Column	INSUL Insulation	SLNT Sealant
CONC Concrete	INT Interior	SPF Spruce/Pine/Fir
CONT Continuous	KD Kiln Dried	S/S Stainless Steel
DEMO Demolish/Demolition	LAV Lavatory	STD Standard
DET Detail	LCC Lead Coated Copper	SUSP Suspend(ed)
DF Drinking Foundation	LVL Laminated Veneer Lumber	SYP Southern Yellow Pine
DIM Dimension	LVR Louver	T Tread
DISP Dispenser	MAX Maximum	T&G Tongue & Groove
DMT Demountable	MDF Medium Density Fiberboard	TELE Telephone
DN Down	MDO Medium Density Overlay	THRU Though
DNBP Downspout	MECH Mechanical	TO Top of
DWG Drawing(s)	MEMB Membrane	TOB Top of Beam
DWR Drawer	MFR Manufacturer	TOD Top of Decking
EA Each	MIN Minimum	TOF Top of Footing
EJ Expansion Joint	MISC Miscellaneous	TOPL Top of Plate
EL Elevation	MO Masonry Opening	TOS Top of Slab
ELEC Electric(al)	MLDG Moulding	TOSTL Top of Steel
ELEV Elevator	MR Moisture Resistant	TOW Top of Wall
EQ Equal	MRGWB Moisture Resistant Gypsum Wallboard	TRTD Pressure Treated Lumber
EQUIP Equipment	MTD Mounted	TYP Typical
EXIST Existing	MTL Metal	UL Underwriters Laboratory
EXP Expansion	NIC Not In Contact	UNF Unfinished
EXT Exterior	NOM Nominal	UNO Unless Noted Otherwise
FD Floor Drain	NTS Not to Scale	VAR Varies
FEC Fire Extinguisher Cabinet	OC On Center(s)	VB Vapor Barrier
FF Finish Face	OD Outside Diameter	VCT Vinyl Composition Tile
FG Fixed Glass	OPNG Opening	VERT Vertical
FIN Finish(ed)	OSB Oriented Strandboard	W/ With
FIN FL Finished Floor	OPP Opposite	W/O Without
FL Floor	PAN Panel	WP Waterproofing
FLG Flooring	PART Partition	WR Water Resistant
FLSH Flashing	PERF Perforated	WRB Water-resistive Barrier
FNDN Foundation		WWF Welded Wire Fabric

PROJECT TEAM

ARCHITECT:
Samsel Architects, P.A.
60 Biltmore Avenue
Asheville, NC 28801
P: 828.253.1124

CONTRACTOR:
Jade Mountain Builders
362 Depot Street
Suite 10
Asheville, NC 28801
P: 828.216.3948

LANDSCAPE ARCHITECT:
Osgood Landscape Architecture
14 Church Street
Asheville, NC 28801
P: 828.337.7496

SQUARE FOOTAGE

CONDITIONED SPACE:
Main Level: 2,146 s.f.
Upper Level: 2,013 s.f.
Lower Level (Unfinished): 2,192 s.f.
Office: 146 s.f.
Total Heated: 6,497 s.f.

UNCONDITIONED SPACE:
Main Level Garage: 671 s.f.
Work Shop: 313 s.f.
Front Entry Porch: 250 s.f.
Screened Porch: 395 s.f.

Total Unconditioned: 1,629 s.f.

TOTAL: 8,126 s.f.

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PROJECT:
OLESKY RESIDENCE

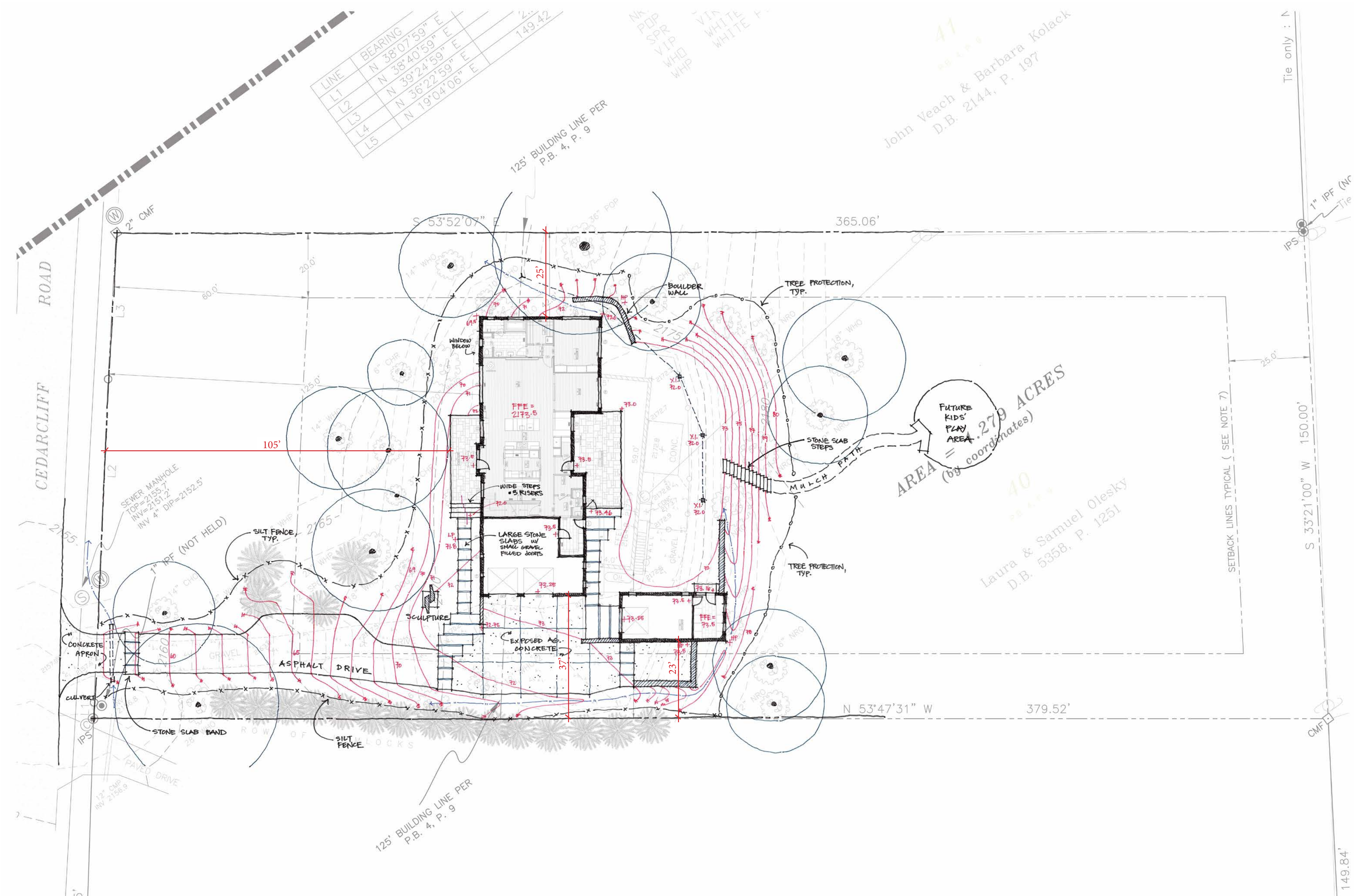
22 CEDARCLIFF ROAD
BILTMORE FOREST, NC
28803

SHEET TITLE:
COVER SHEET

DATE:	DESCRIPTION:
01.10.19	ISSUED

PROJECT #:
15.50
DRAWN BY: **CM** CHECKED BY: **NB**
SHEET #:

G-001



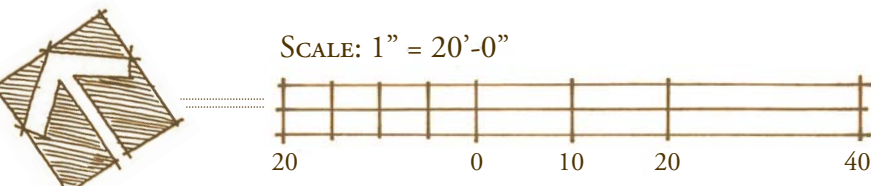
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L3	N 39°24'59" E	
L4	N 36°22'59" E	
L5	N 19°04'06" E	

John Yeach & Barbara Kolaick
D.B. 2144, P. 197

Laura & Samuel Olesky
D.B. 5358, P. 1251

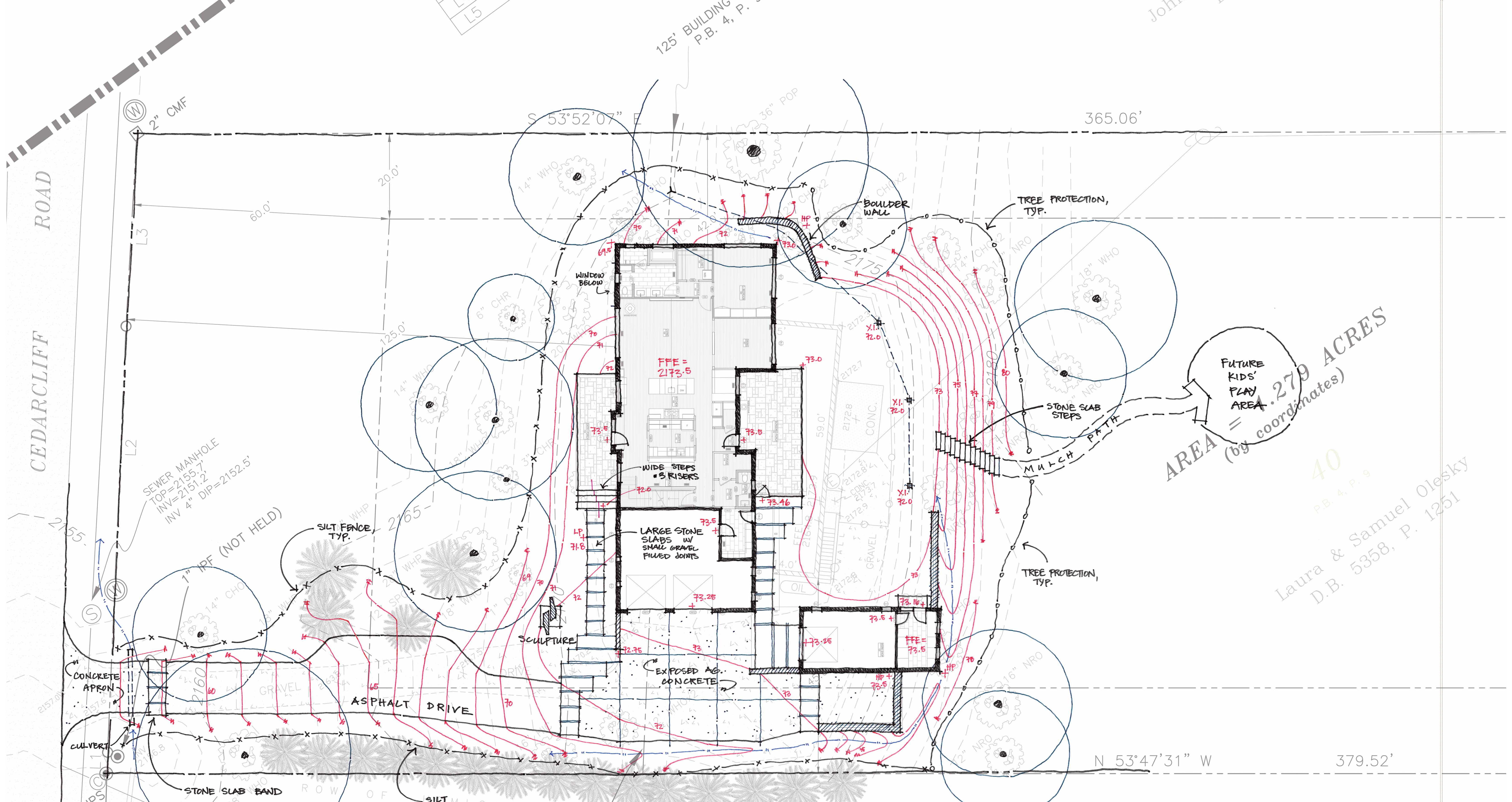
DEVELOPMENT DATA

LOCATION: 22 Cedarcliff Road
Biltmore Forest, NC 28803
PIN: 9647-62-6756
PROPERTY OWNERS: Sam and Laura Olesky
CONTACT: Joel Osgood, RLA
Osgood Landscape Architecture, Inc.
14 Church Street
Asheville, NC 28801
828.527.6566
PROPERTY SIZE: 1.26 Acres (54,885.6 SF)
AREA OF DISTURBANCE: 0.39 Acres (SF)



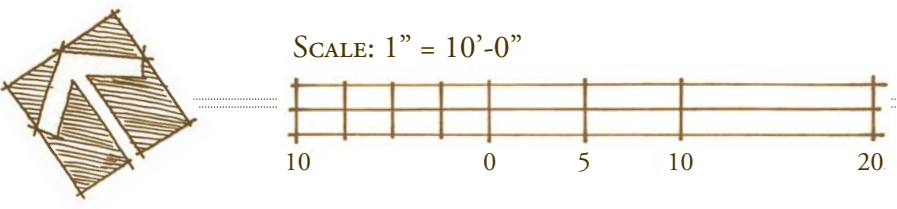
**OLESKY RESIDENCE
OVERALL SITE PLAN**

January 10, 2019
Biltmore Forest, North Carolina



DEVELOPMENT DATA

LOCATION: 22 Cedarcliff Road
 Biltmore Forest, NC 28803
 PIN: 9647-62-6756
 PROPERTY OWNERS: Sam and Laura Olesky
 CONTACT: Joel Osgood, RLA
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 14 Church Street
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 PROPERTY SIZE: 1.26 Acres (54,885.6 SF)
 AREA OF DISTURBANCE: 0.39 Acres (SF)



**OLESKY RESIDENCE
 SITE PLAN - DETAIL**

January 10, 2019
 Biltmore Forest, North Carolina

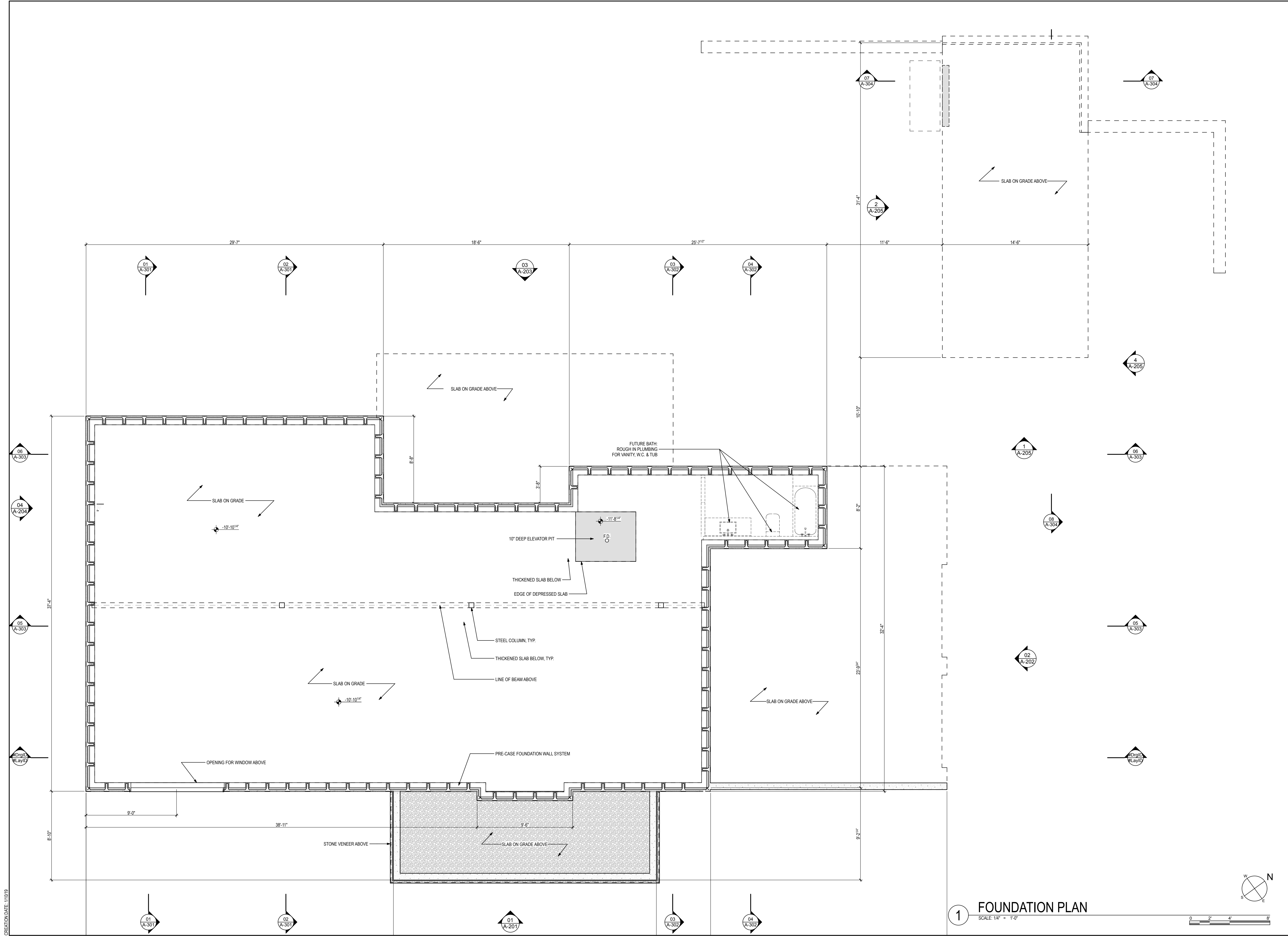
AREA = .279 ACRES
 (by coordinates)

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 P.B. 4, P. 9

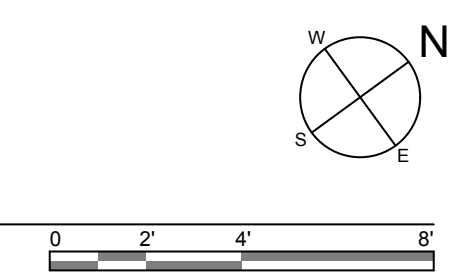
Laura & Samuel Olesky
 D.B. 5358, P. 1251

DATE:	DESCRIPTION:
01.10.19	ISSUED

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1 FOUNDATION PLAN
 SCALE: 1/4" = 1'-0"



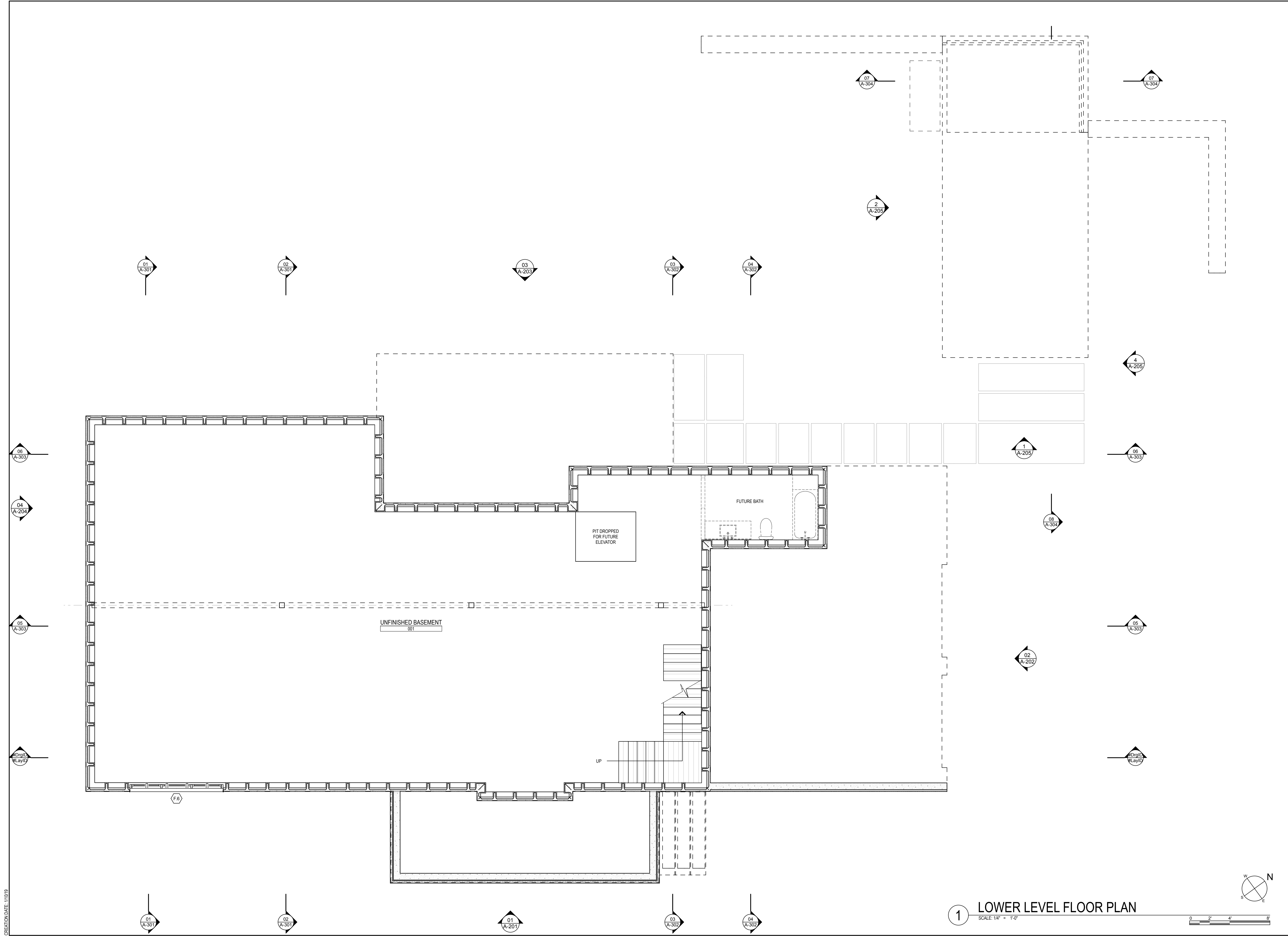
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DATE:	DESCRIPTION:
01.10.19	ISSUED

PROJECT #:
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1 LOWER LEVEL FLOOR PLAN
 SCALE: 1/4" = 1'-0"

CREATION DATE: 1/10/19

PROJECT:

OLESKY RESIDENCE

22 CEDARCLIFF ROAD
 BILTMORE FOREST, NC
 28803

SHEET TITLE:

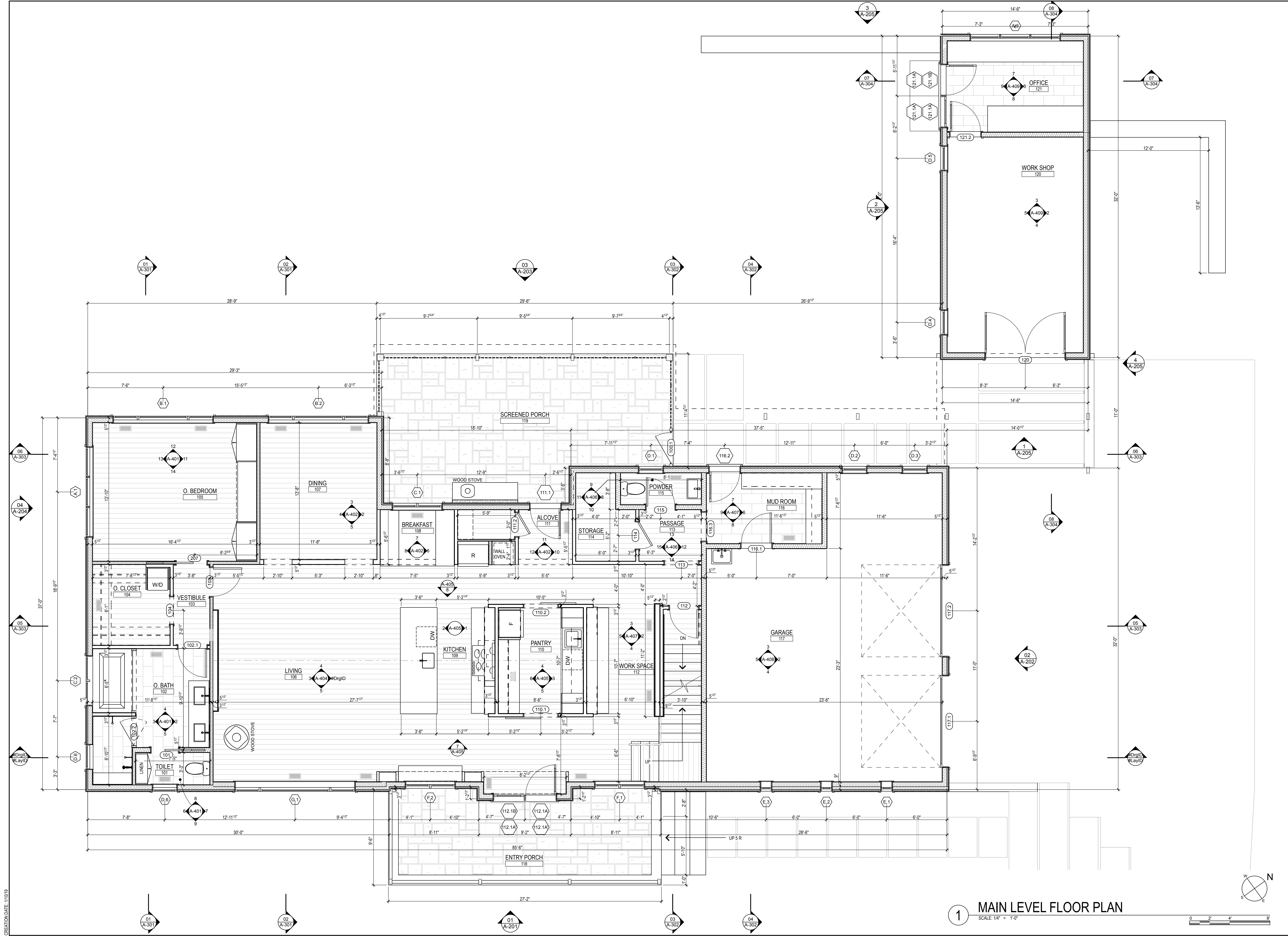
MAIN LEVEL FLOOR PLAN

DATE:	DESCRIPTION:
01.10.19	ISSUED

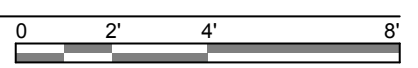
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A-103

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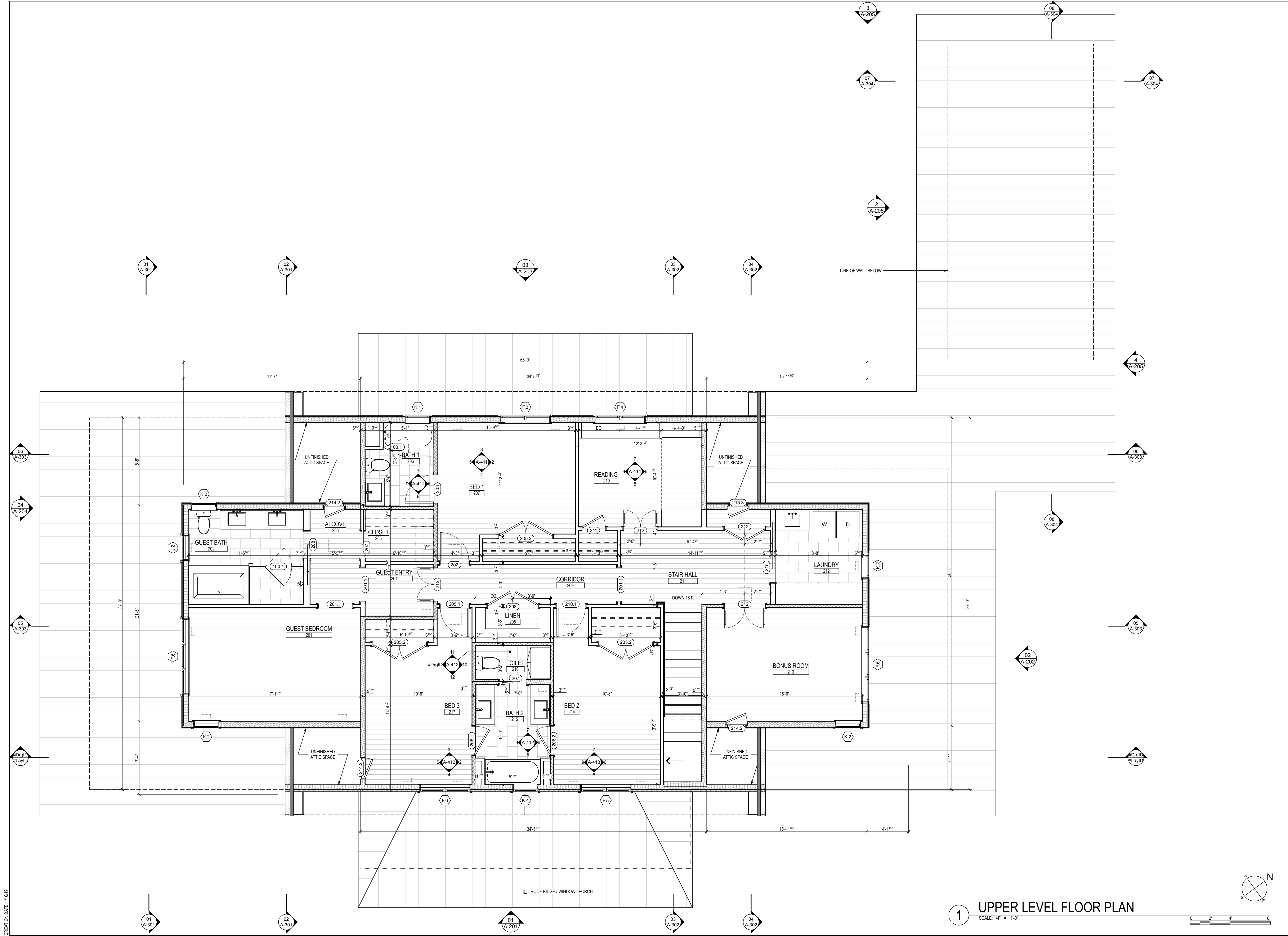
1 MAIN LEVEL FLOOR PLAN
 SCALE: 1/4" = 1'-0"



CREATION DATE: 1/10/19

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01.10.19	ISSUED

PROJECT #:	15.50
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1 UPPER LEVEL FLOOR PLAN
 SCALE: 1/4" = 1'-0"

CREATION DATE: 11/01/19

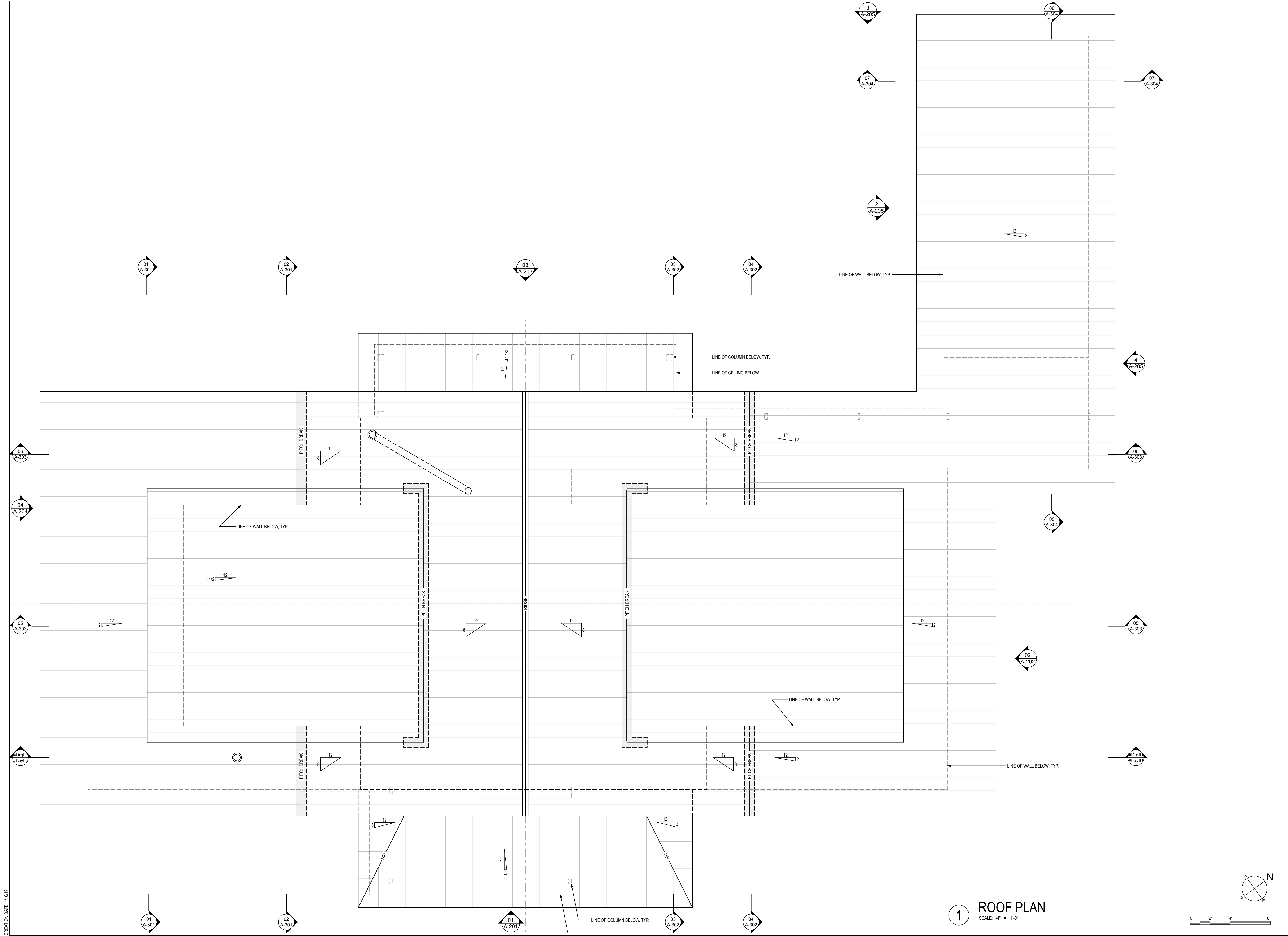
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OLESKY RESIDENCE
 22 CEDARCLIFF ROAD
 BILTMORE FOREST, NC
 28803

SHEET TITLE:
ROOF PLAN

DATE:	DESCRIPTION:
01.10.19	ISSUED

PROJECT #:
15.50
 DRAWN BY:
CM
 CHECKED BY:
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 SHEET #:

A-105
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1 ROOF PLAN
 SCALE: 1/4" = 1'-0"

CREATION DATE: 1/10/19

PROJECT:

OLESKY RESIDENCE

22 CEDARCLIFF ROAD
BILTMORE FOREST, NC
28803

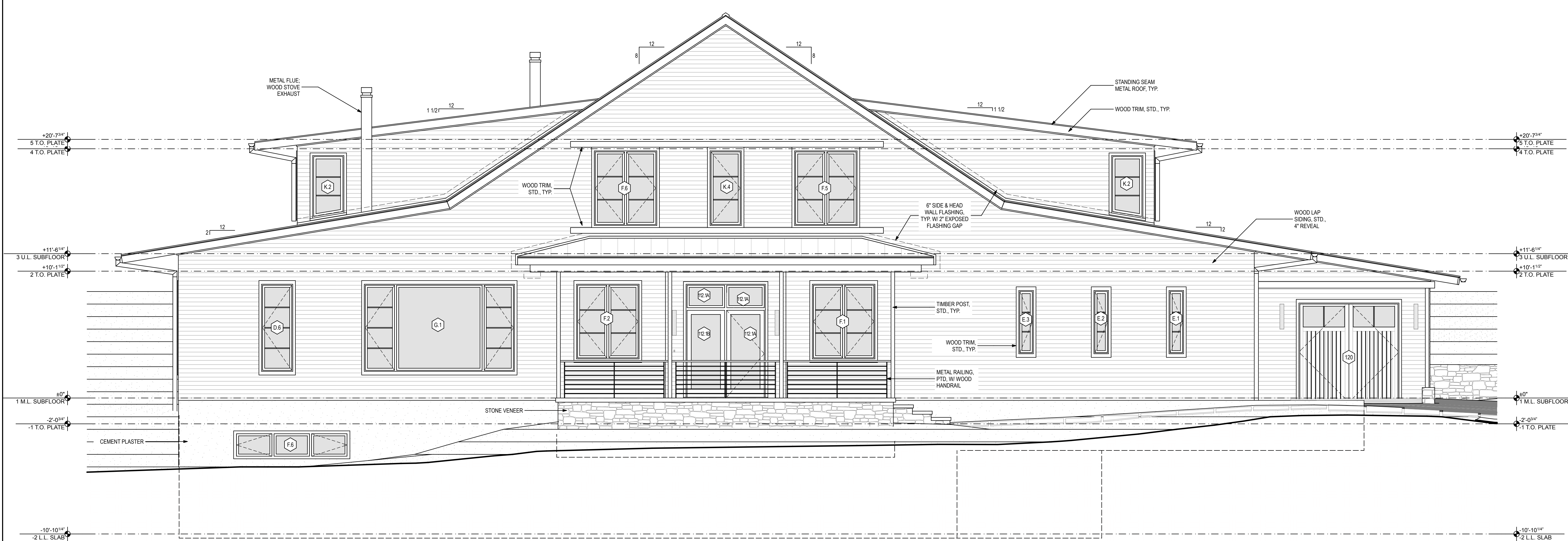
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EXTERIOR ELEVATIONS

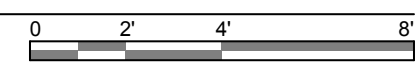
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01.10.19	ISSUED

PROJECT #:	15.50
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SHEET #:	

A-201



01 NORTHWEST ELEVATION
SCALE: 1/4" = 1'-0"



CREATION DATE: 11/01/19

PROJECT:

OLESKY RESIDENCE

22 CEDARCLIFF ROAD
BILTMORE FOREST, NC
28803

SHEET TITLE:

EXTERIOR ELEVATIONS

DATE:	DESCRIPTION:
01.10.19	ISSUED

PROJECT #:

15.50

DRAWN BY: **CM** CHECKED BY: **NB**

SHEET #:

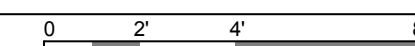
A-202

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02 **SOUTHWEST ELEVATION**

SCALE: 1/4" = 1'-0"



CREATION DATE: 11/01/19



PROJECT:

OLESKY RESIDENCE

22 CEDARCLIFF ROAD
BILTMORE FOREST, NC
28803

SHEET TITLE:

EXTERIOR ELEVATIONS

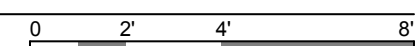
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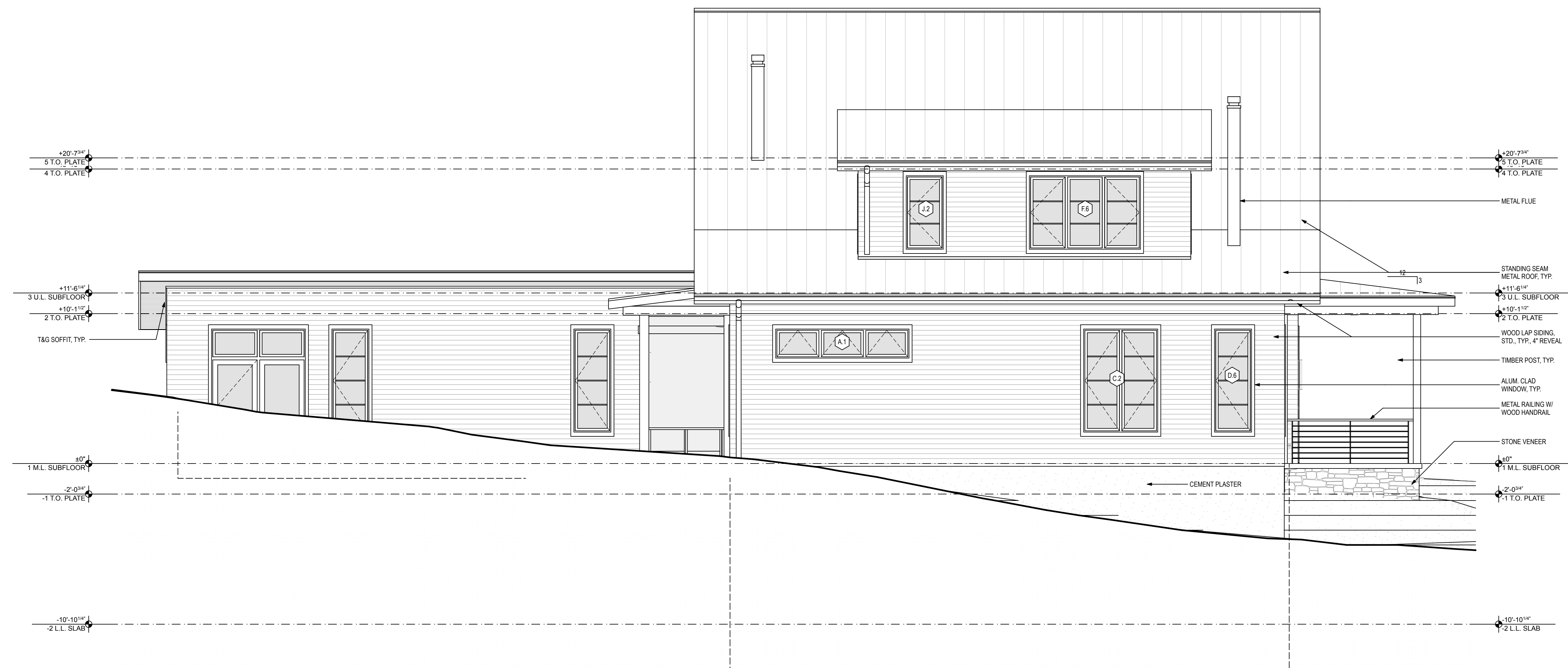
A-203

03 **SOUTHEAST ELEVATION**

SCALE: 1/4" = 1'-0"



CREATION DATE: 11/01/19



PROJECT:
OLESKY RESIDENCE

22 CEDARCLIFF ROAD
BILTMORE FOREST, NC
28803

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EXTERIOR ELEVATIONS

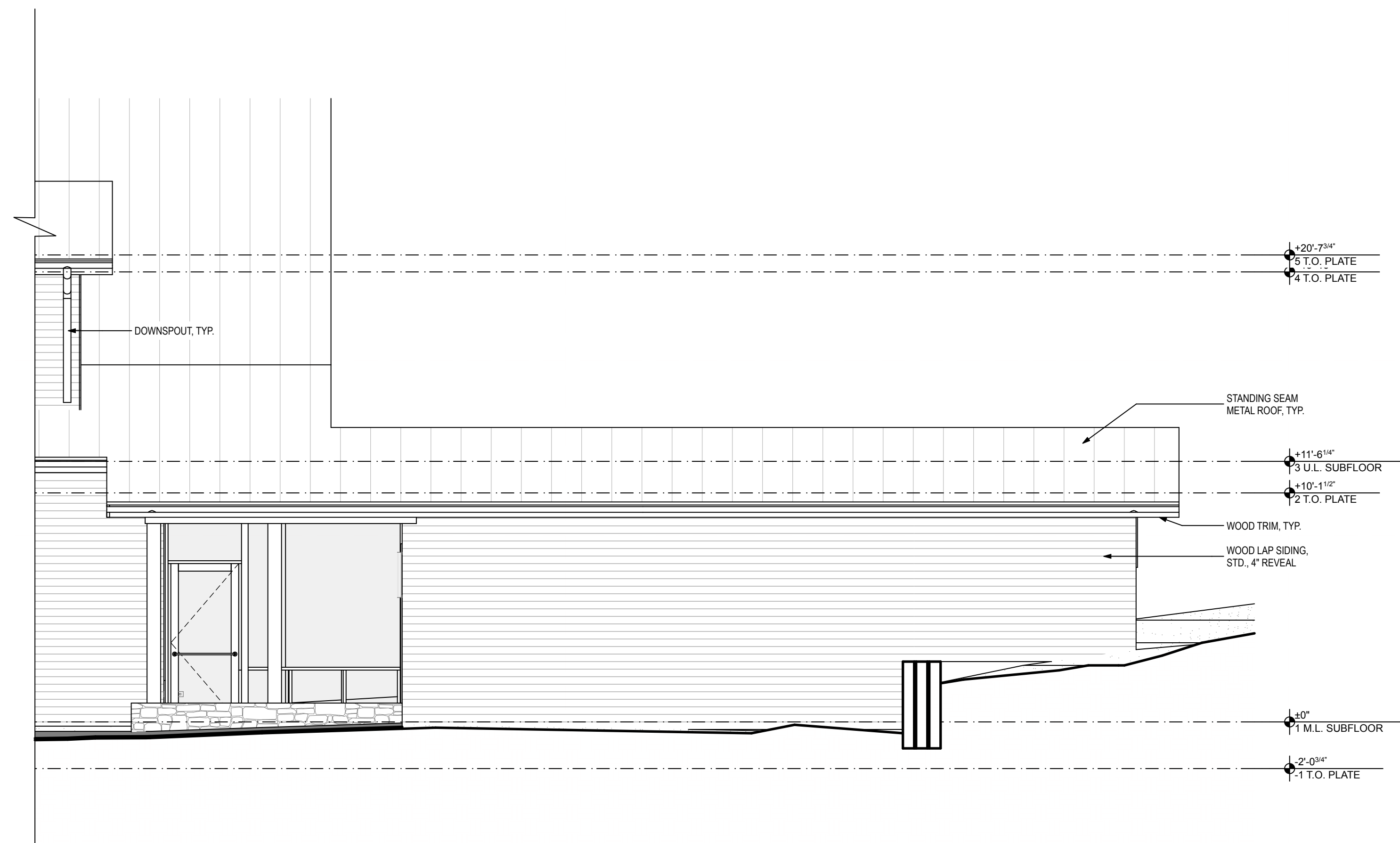
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PROJECT #:	15.50
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SHEET #:	

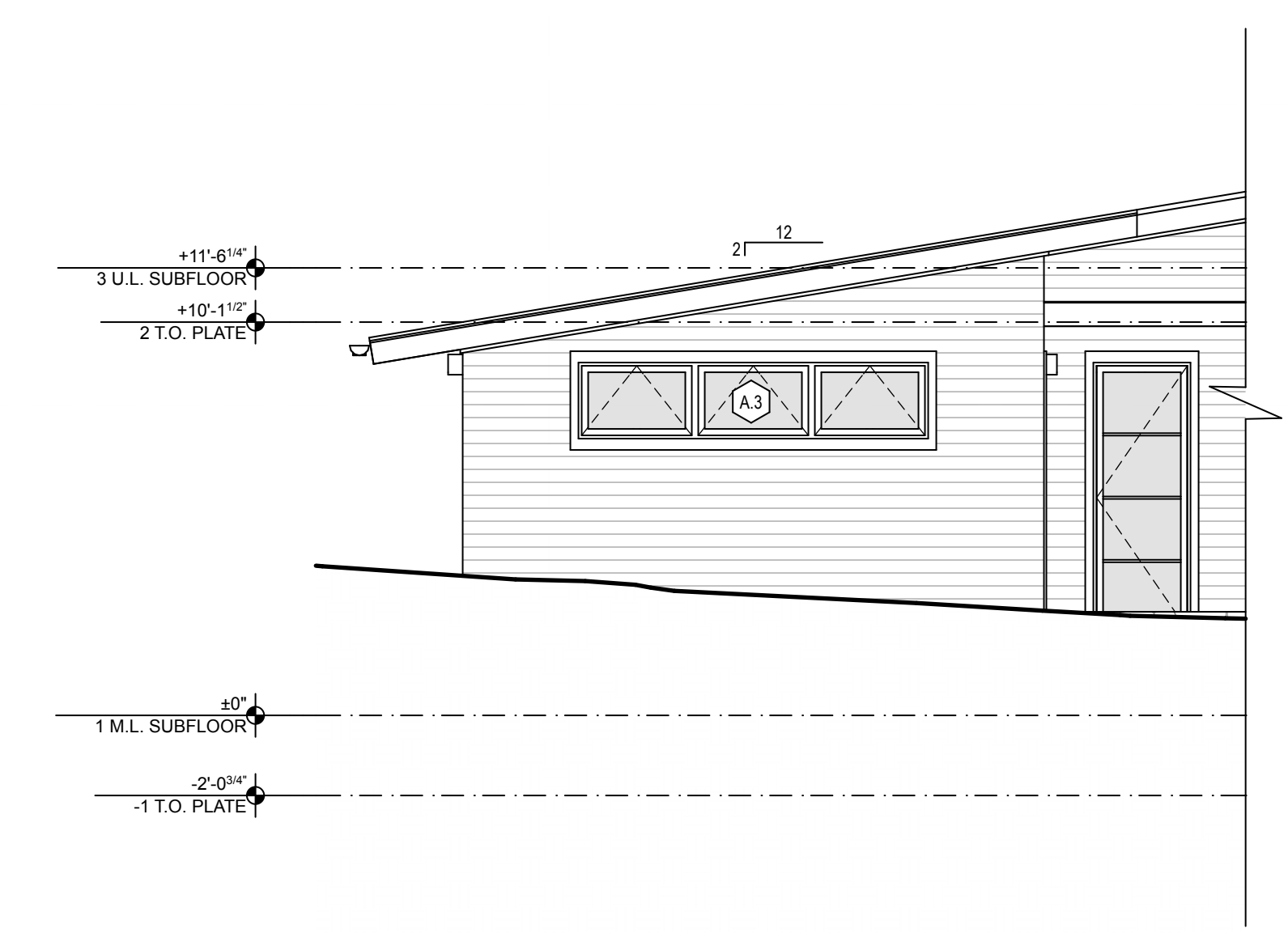
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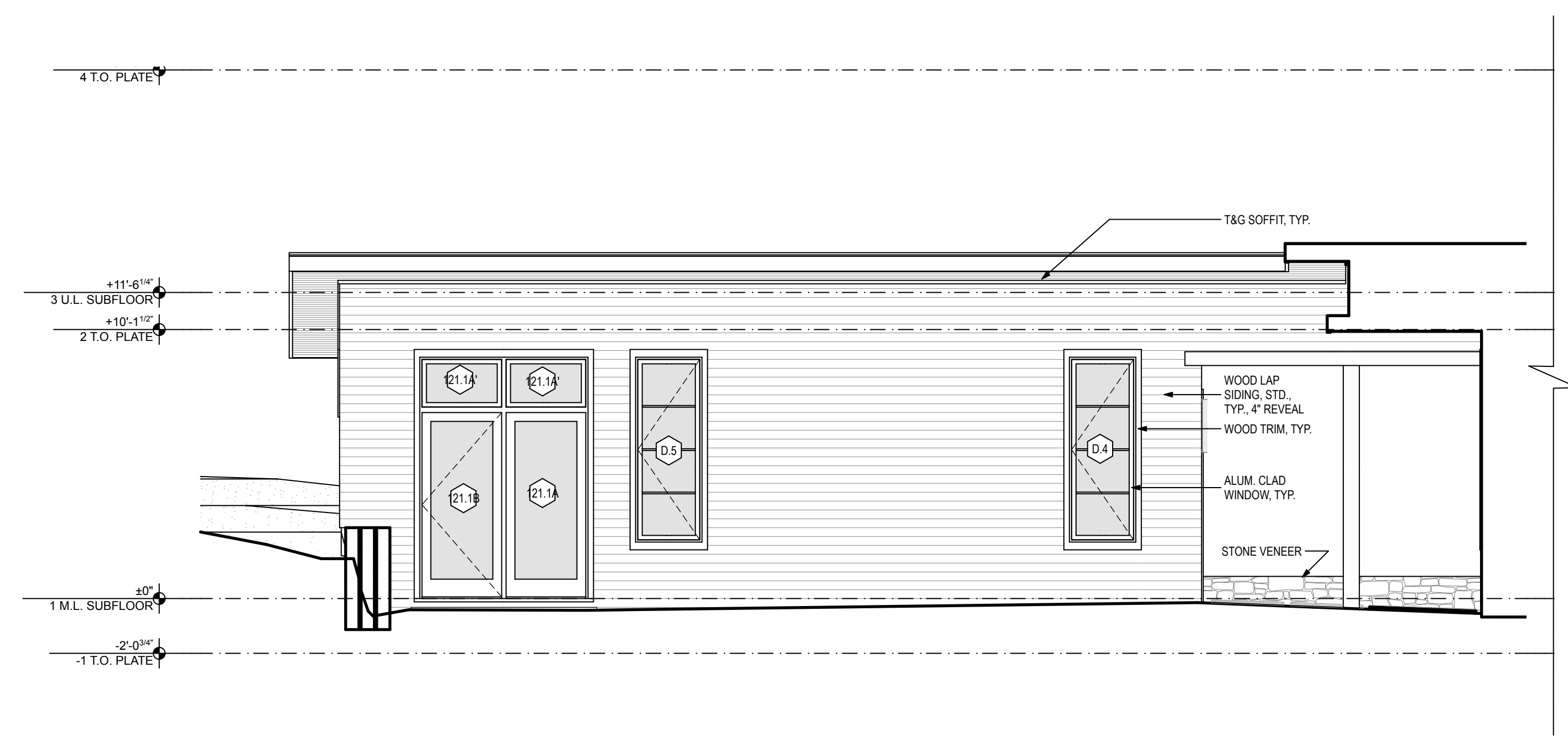
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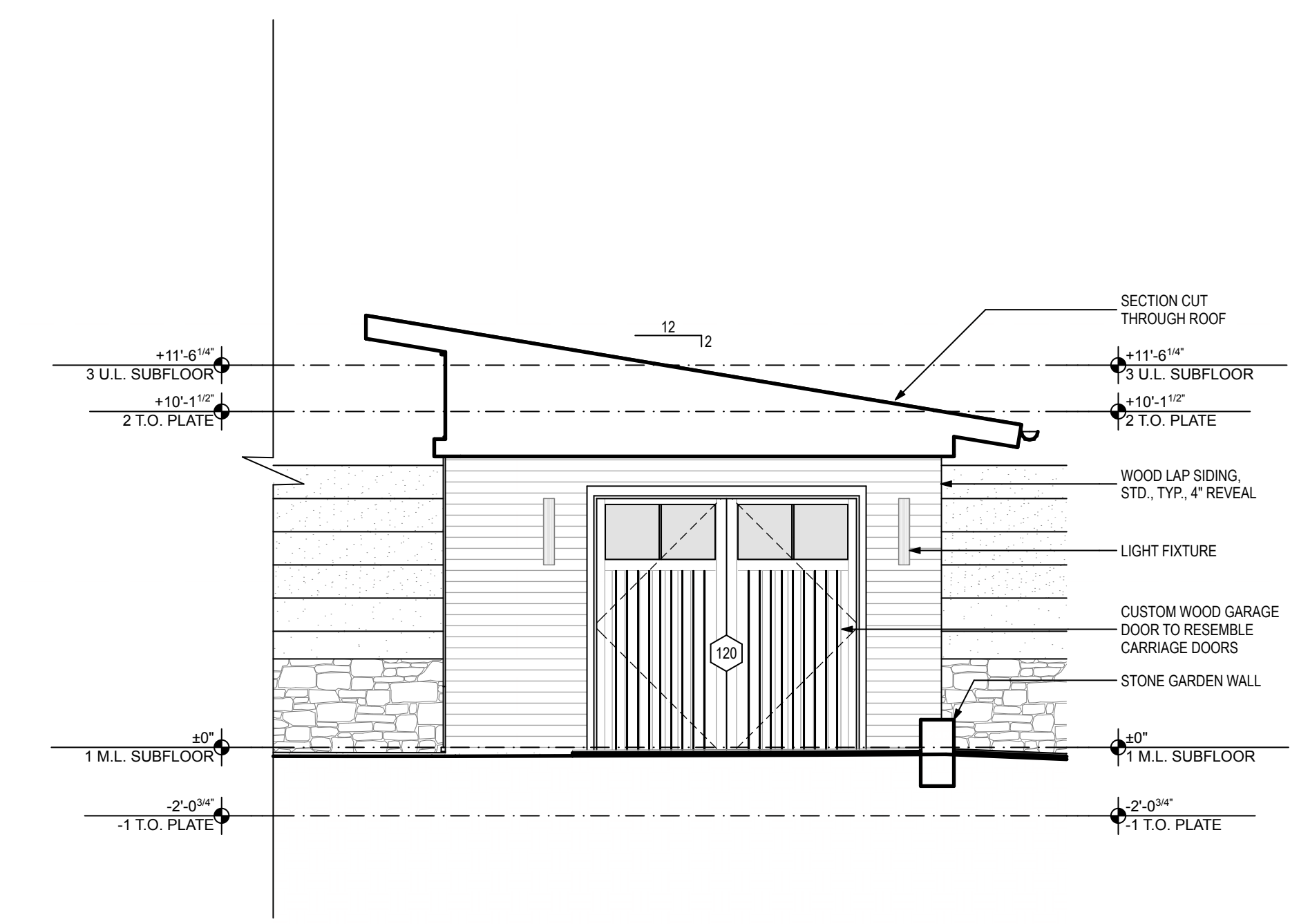
4 **SOUTHWEST ELEVATION**
SCALE: 1/4" = 1'-0"



3 **SOUTHEAST ELEVATION**
SCALE: 1/4" = 1'-0"



2 **NORTHEAST ELEVATION**
SCALE: 1/4" = 1'-0"



1 **NORTHWEST ELEVATION**
SCALE: 1/4" = 1'-0"

PROJECT:

OLESKY RESIDENCE

22 CEDARCLIFF ROAD
BILTMORE FOREST, NC
28803

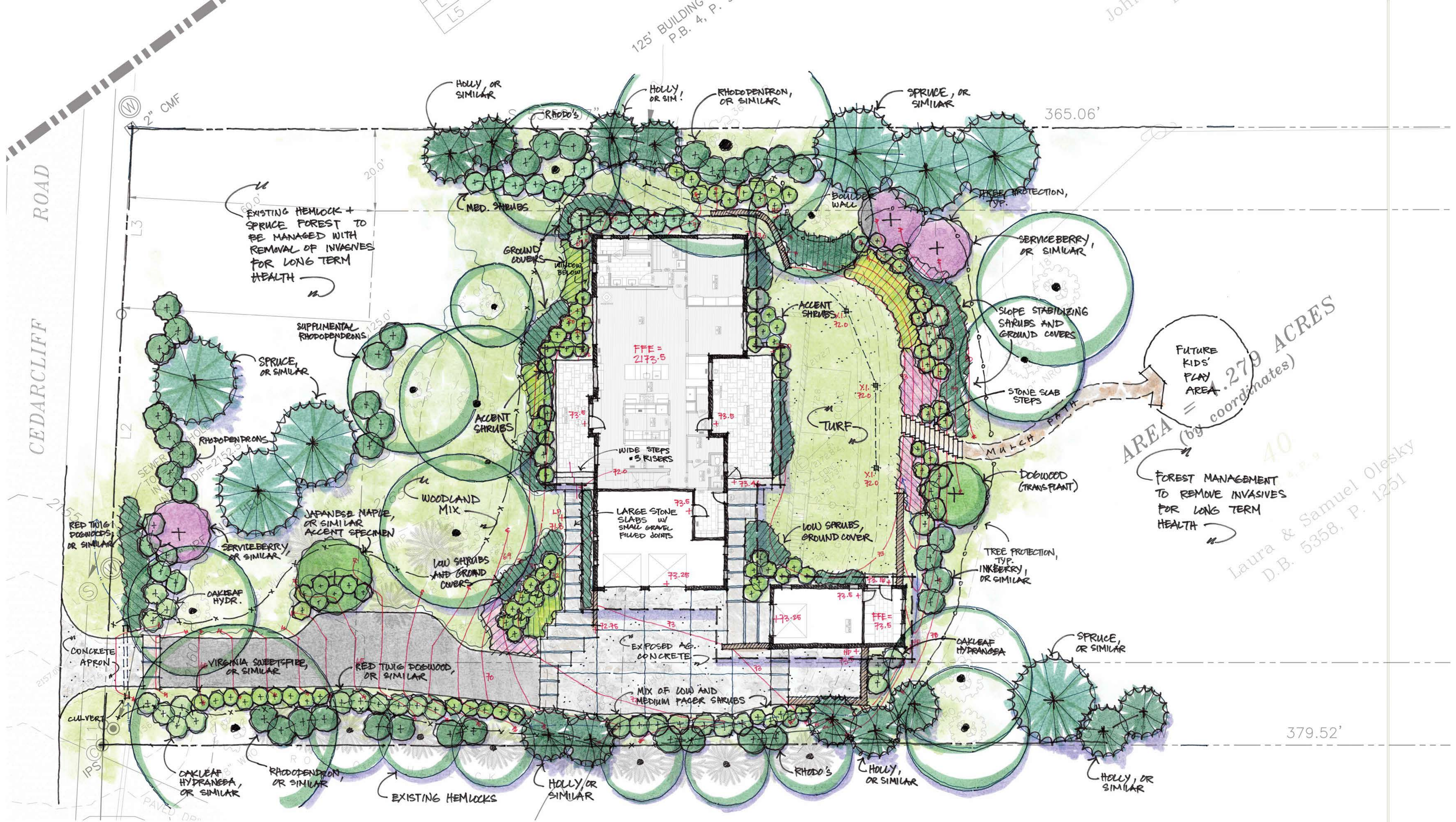
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EXTERIOR ELEVATIONS

DATE:	DESCRIPTION:
01.10.19	ISSUED

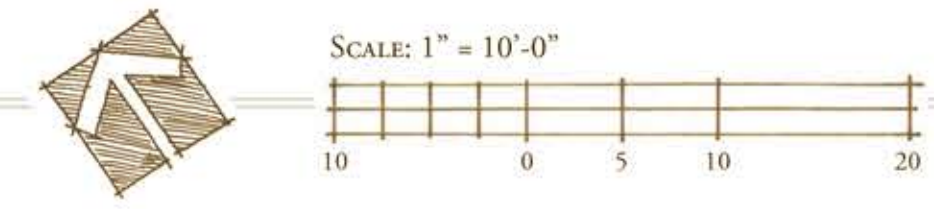
PROJECT #:	15.50
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SHEET #:	

A-205



OLESKY RESIDENCE
LANDSCAPE PLAN

January 23, 2019
Biltmore Forest, North Carolina



FUTURE KIDS' PLAY AREA .279 ACRES (by coordinates)

FOREST MANAGEMENT TO REMOVE INVASIVES FOR LONG TERM HEALTH

40
Laura & Samuel Olesky
D.B. 5358, P. 1251