

Zoning Compliance Application

Town of Biltmore Forest

Name

Tom Roberts

Address

Southwood Road

Phone

(828) 225-4945

Email

sljohnson@siteworkstudios.com

Parcel ID/PIN Number

9646851887

ZONING INFORMATION

Current Zoning

R-1

Lot Size

3.109 acres

Maximum Roof Coverage

8,200 square feet (Up to 3.5 acres)

Proposed Roof Coverage Total

7800 sf

Maximum Impervious Surface Coverage

20 percent of lot area (3-6 acres)

Proposed Impervious Surface Coverage

25433 sf

Front Yard Setback

60 feet (R-1 District)

Side Yard Setback

20 feet (R-1 District)

Rear Yard Setback

25 feet (R-1 District)

No buildings or structures may be located within these setback areas. A variance application is required if your project requires encroachment upon the setback.

Description of the Proposed Project

The project consists of new construction of a single family home with attached garage, patios and a pool area. The sloping lot will require retaining walls for driveway access.

Estimated Cost of Project

\$0.00

Estimated Completion Date

12/31/2020

Applicant Signature

Supporting Documentation (Site Plan, Drawings, Other Information)

Roberts Residence BOA Submittal.pdf

Conditional Use Permit Application

Town of Biltmore Forest

Transaction Details

Number: F16E6T1

Date: 12/21/2018 5:57 PM

Application Fee	\$100.00
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Subtotal:	\$100.00
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Order Total:	\$100.00
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Application Fee

\$100.00

Name

Tom Roberts

Address

Southwood Road

Phone

(828) 225-4945

Email

sljohnson@siteworkstudios.com

Please select the type of conditional use you are applying for:

Accessory Structures

The applicant must show that the proposed use will not materially endanger public health or safety or injure value of adjoining or abutting property. In addition, the proposed use must be in general conformity with the plan of development of the town and be in harmony with scale, bulk, height, coverage, density, and character of the neighborhood.

Please provide a description of the proposed project:

The project consists of new construction of a single family home with attached garage/ guest house, patios, a pool area with required fencing. The sloping lot will require retaining walls for driveway access.

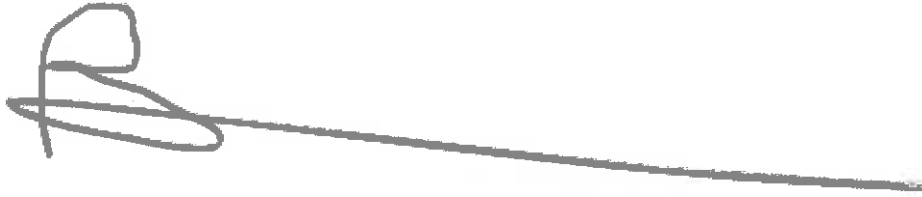
Explain why the project would not adversely affect the public interest of those living in the neighborhood:

The home will not adversely affect the neighborhood in that the home will be sited on the lot in an attractive manner with the pool and fencing at the rear of the lot. The topography slopes away from the adjacent property to the west which will eliminate views of the pool and reduce views of the house. The adjacent property to the east will have a new vegetative buffer to screen them from the pool, garage and rear of house.

I hereby certify that all of the information set forth above is true and accurate to the best of my knowledge.

Signature

Date
12/21/2018

A handwritten signature in black ink, consisting of a stylized initial 'P' followed by a long horizontal line extending to the right.

VARIANCE APPLICATION

Town of Biltmore Forest

Name

Tom Roberts

Address

Southwood Road

Phone

(828) 225-4945

Email

sljohnson@siteworkstudios.com

Current Zoning/Use

vacant

Requested Use

Single Family Dwelling

APPLICATION REQUIREMENTS: An application to the Board of Adjustment for a variance must be submitted to the Town of Biltmore Forest Town Manager at least 21 days prior to the meeting at which the application will be considered. A pre-application meeting with Town staff is required prior to application submittal to the Board of Adjustment.

What would you like to do with your property?

The property request consists of new construction of a single family home with attached garage, patios and a pool area. The sloping lot will require retaining walls for driveway access.

What does the ordinance require?

The variance request to the board is to allow Southwood Road to be considered the front yard. By the Zoning Ordinance definition, front yards for corner lots are determined by the side of the lot with greater frontage. This would be Stuyvesant Road. The request would allow the drive to access off Southwood and walls to be within the setback to facilitate the driveway.

BOARD OF ADJUSTMENT: N.C.G.S. 160A-388(D) requires that the Board of Adjustment shall vary the provisions of the Zoning Ordinance only upon a showing of ALL the items below. The Board of Adjustment must follow strict procedure and all determinations must be decided by a concurring vote of four-fifths of the members of the Board. It is important to provide detailed supporting documentation for the Board of Adjustment to review. If necessary, additional sheets may be attached to this application.

REQUIRED FINDINGS: Please provide a thorough response to each.

Unnecessary hardship would result from the strict application of the ordinance.

The Property owners would like to utilize Southwood Road as their front yard instead of Stuyvesant Road. The two road frontages differ in length by only 34 feet. Stuyvesant Road frontage is 315 feet and Southwood Road frontage is 281 feet.

The hardship results from conditions that are peculiar to the property, such as location, size, or topography.

The properties shape and similar road frontages are unique in that as a corner lot, the front of the lot can be considered Southwood, particularly based on traffic flow and views of the golf course.

The hardship did not result from actions taken by the applicant or the property owner.

The owners have purchased the existing platted property and plan to make significant improvements to the property to make the lot viable. Plans call for relocating a power line and a sanitary sewer line to make the

lot a useable building site.

The requested variance is consistent with the spirit, purpose, and intent of the ordinance, such that public safety is secured, and substantial justice is achieved.

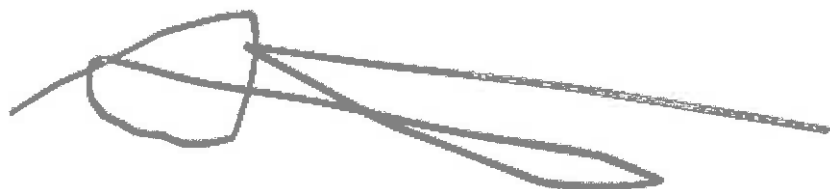
The variance is consistent with the spirit of the ordinance in that the home will blend nicely into the neighborhood with frontage from Southwood and its size, bulk and scale are appropriate with the neighborhood.

I hereby certify that all of the information set forth above is true and accurate to the best of my knowledge.

Signature

Date

12/21/2018

A handwritten signature in black ink, consisting of a large, stylized initial 'S' followed by a long, horizontal stroke that tapers to a point.



SITE DEVELOPMENT PLANS FOR ROBERTS RESIDENCE

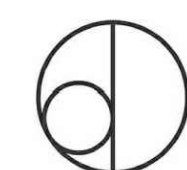
PREPARED FOR:
EMILY AND TOM ROBERTS

SOUTHWOOD ROAD
BILTMORE FOREST, NORTH CAROLINA

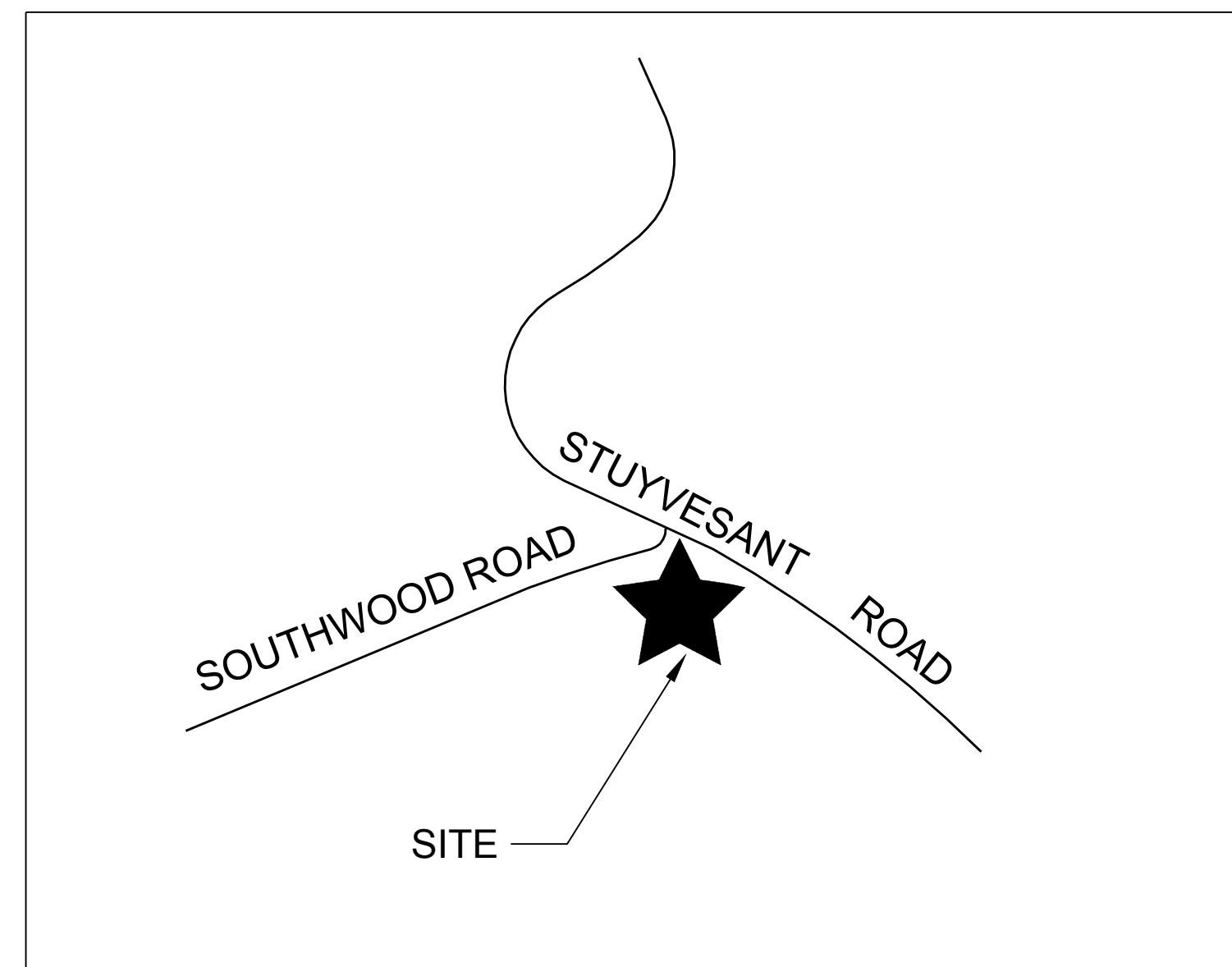
DECEMBER 21, 2018



LANDSCAPE ARCHITECTURE
352 Depot Street | Suite 120 | Asheville, NC 28801 | 828.225.4945 | siteworkstudios.com

 CHAD DORSEY DESIGN
www.chaddorseydesign.com
214.217.0704
6060 N. Central Expressway #105
Dallas, TX 75206

VICINITY MAP



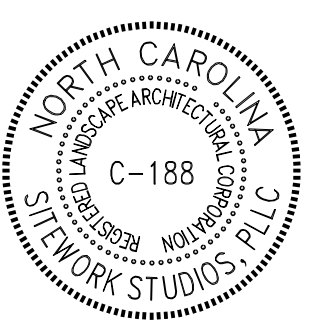
DRAWING INDEX

SHEET NUMBER	SHEET TITLE
L-0	COVER SHEET
LANDSCAPE ARCHITECTURE	
L-100	Existing Conditions, Demolition and Tree Removal Plan
L-200	Site Development Plan
L-300	Grading Plan
L-400	Preliminary Landscape Plan
ARCHITECTURE	
A0.01	Site Plan
A3.01	Building Elevations
A3.02	Building Elevations

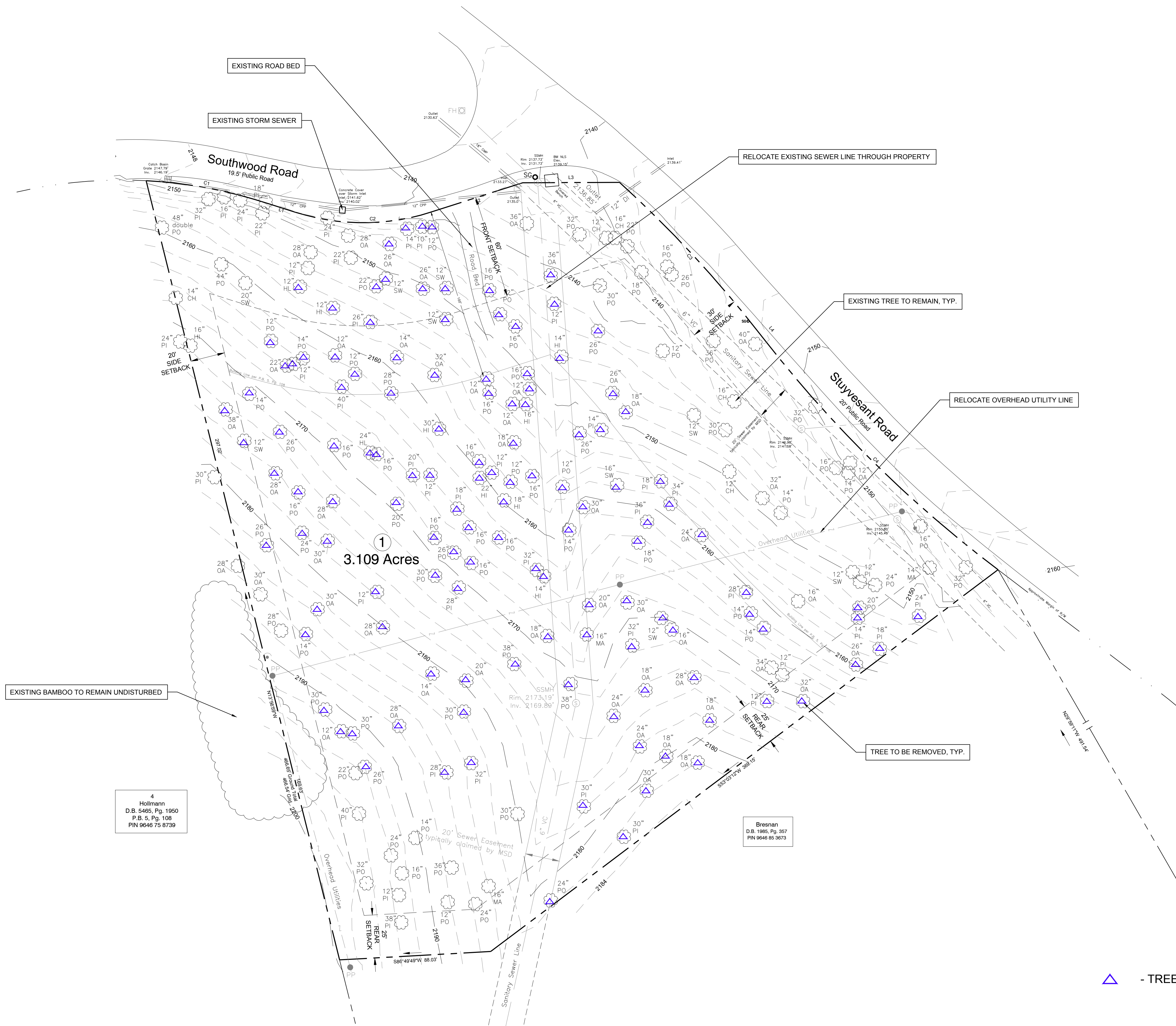
ROBERTS RESIDENCE

REVISIONS

DATE	REVISION DESCRIPTION	SHEET



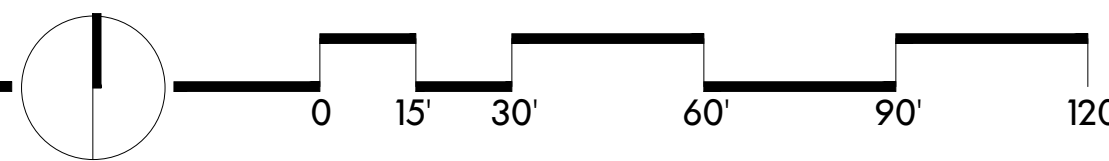
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4
Hollmann
D.B. 5465, Pg. 1950
P.B. 5, Pg. 108
PIN 9646 75 9739

Bresnan
D.B. 1985, Pg. 357
PIN 9646 85 3673

△ - TREE TO BE REMOVED



CONSULTANT

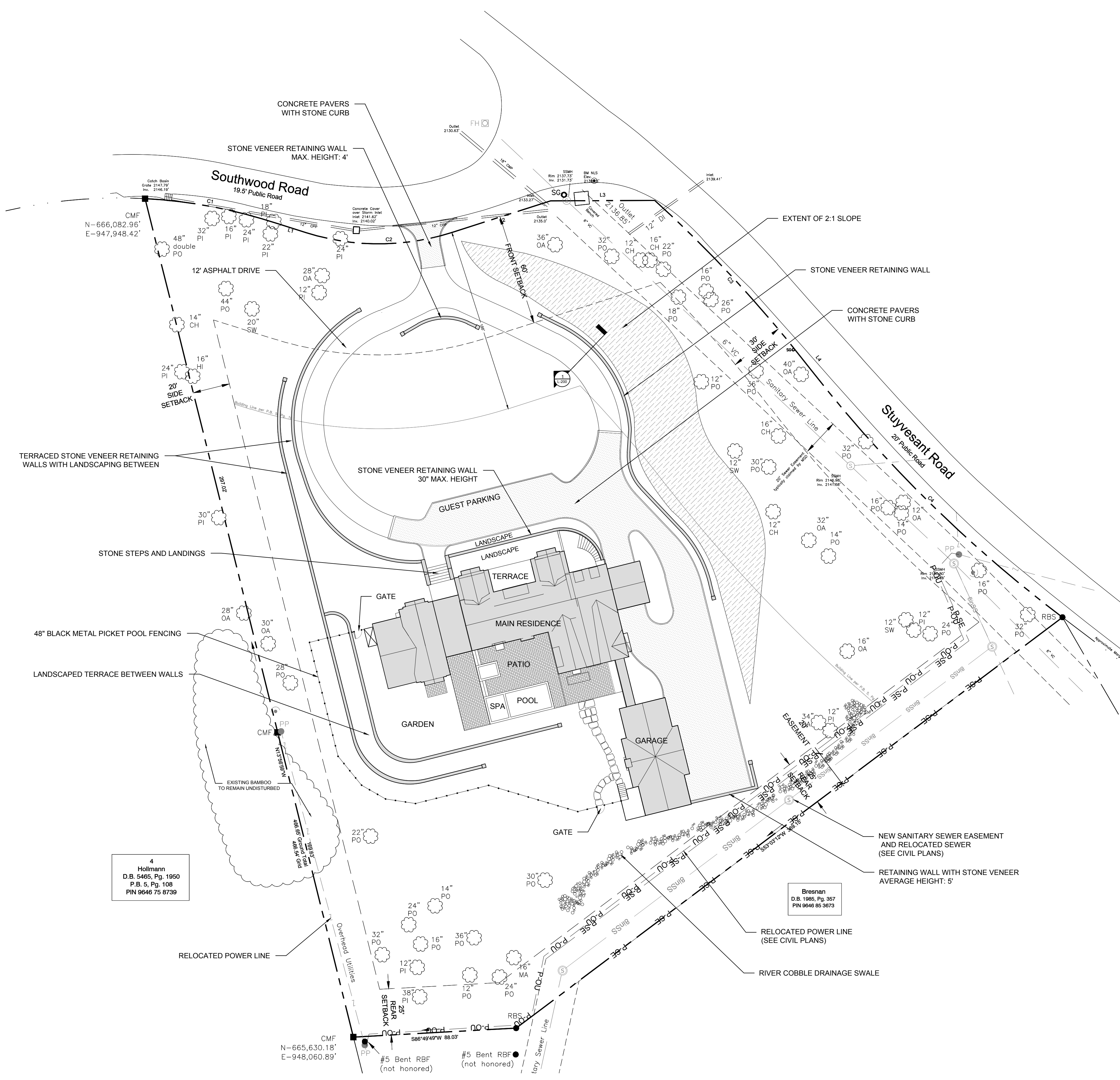
ROBERTS RESIDENCE
BILTMORE FOREST
NORTH CAROLINA

NO.	REVISIONS	DATE



DATE:
12.21.2018
SHEET TITLE:
**EXISTING
CONDITIONS,
DEMOLITION
AND TREE
REMOVAL PLAN**

SHEET NO.
L-100



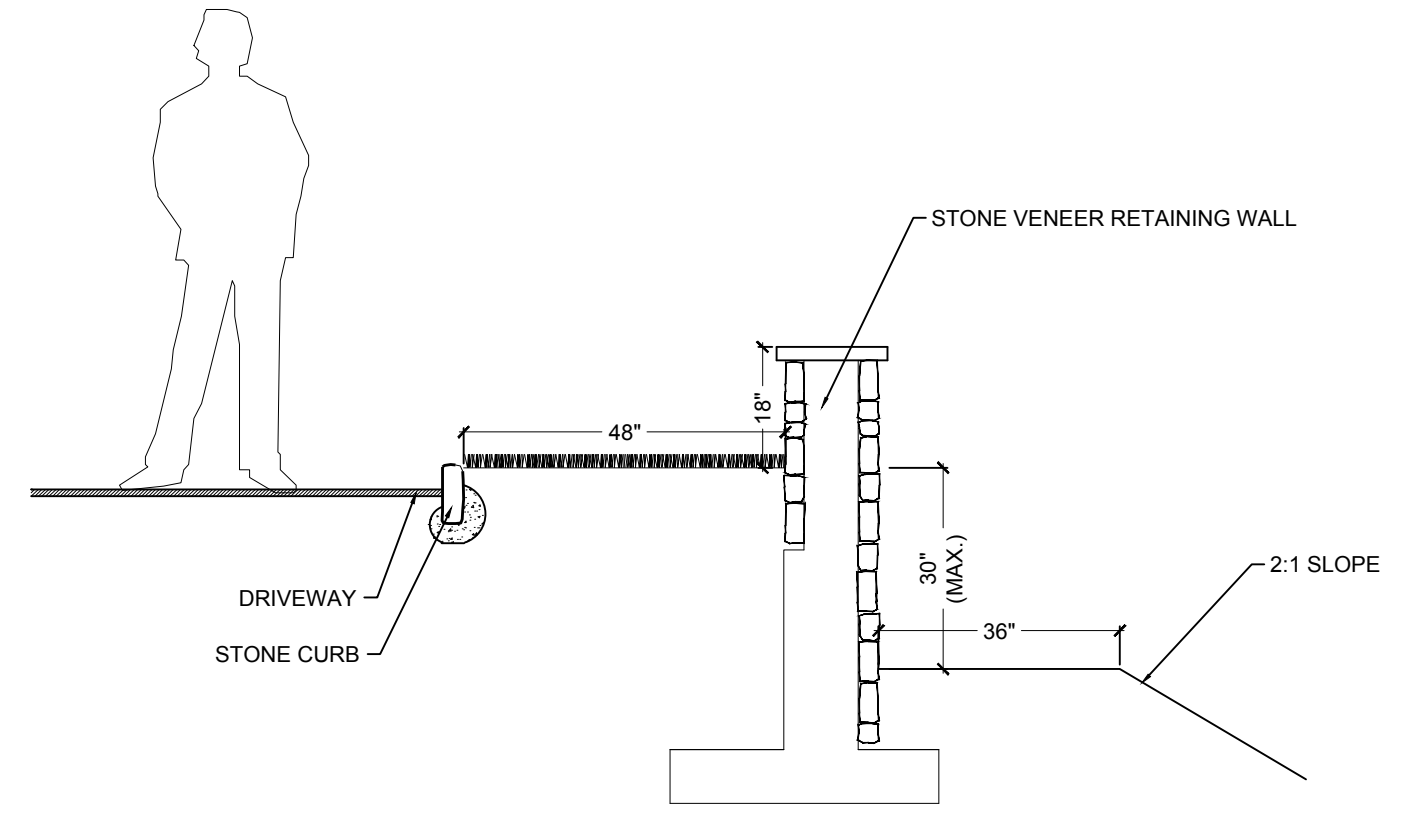
IMPERVIOUS AREA CALCULATIONS	
TOTAL LOT SIZE:	3.109 ACRES (135,428.04 SF)
ALLOWABLE IMPERVIOUS SURFACE AREA:	0.78 ACRES (33,857.01 SF)
ALLOWABLE ROOF AREA:	8,200 SF
PROPOSED IMPERVIOUS SURFACE AREA:	ASPHALT DRIVEWAY: 13,835 SF PATIOS & TERRACES: 3,798 SF TOTAL: 17,633 SF
PROPOSED ROOF AREA:	7,800 SF
TOTAL PROPOSED IMPERVIOUS AREA WITH ROOF AREA:	25,433 SF

PROPERTY OWNER:
EMILY AND TOMMY ROBERTS

CONTACT PERSON:
STEVEN LEE JOHNSON, ASLA
SITWORK STUDIOS, PLLC
352 DEPOT STREET, SUITE 120
ASHEVILLE, NC 28801
828.225.4945

ZONING DISTRICT: R-1
SIZE OF PROPERTY: 3.109 ACRES

SETBACKS
FRONT: 60'
SIDE (CORNER LOT): 30'
SIDE: 20'
REAR: 25'



1 DRIVEWAY SECTION



48" METAL BLACK PICKET POOL FENCE



STONE VENEER RETAINING WALL

4
Hollmann
D.B. 5465, Pg. 1950
P.B. 5, Pg. 108
PIN 6646 75 8739

Bresnan
D.B. 1985, Pg. 357
PIN 6646 85 5673

CONSULTANT

ROBERTS RESIDENCE
BILTMORE FOREST
NORTH CAROLINA

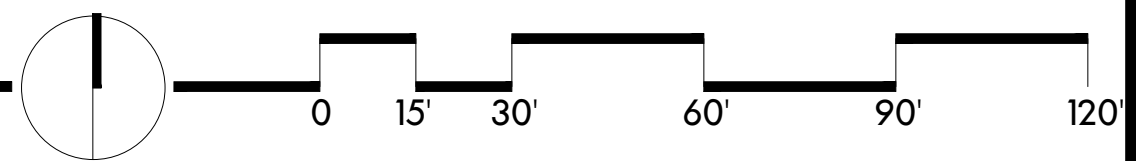
REVISIONS		
NO.	REMARKS	DATE

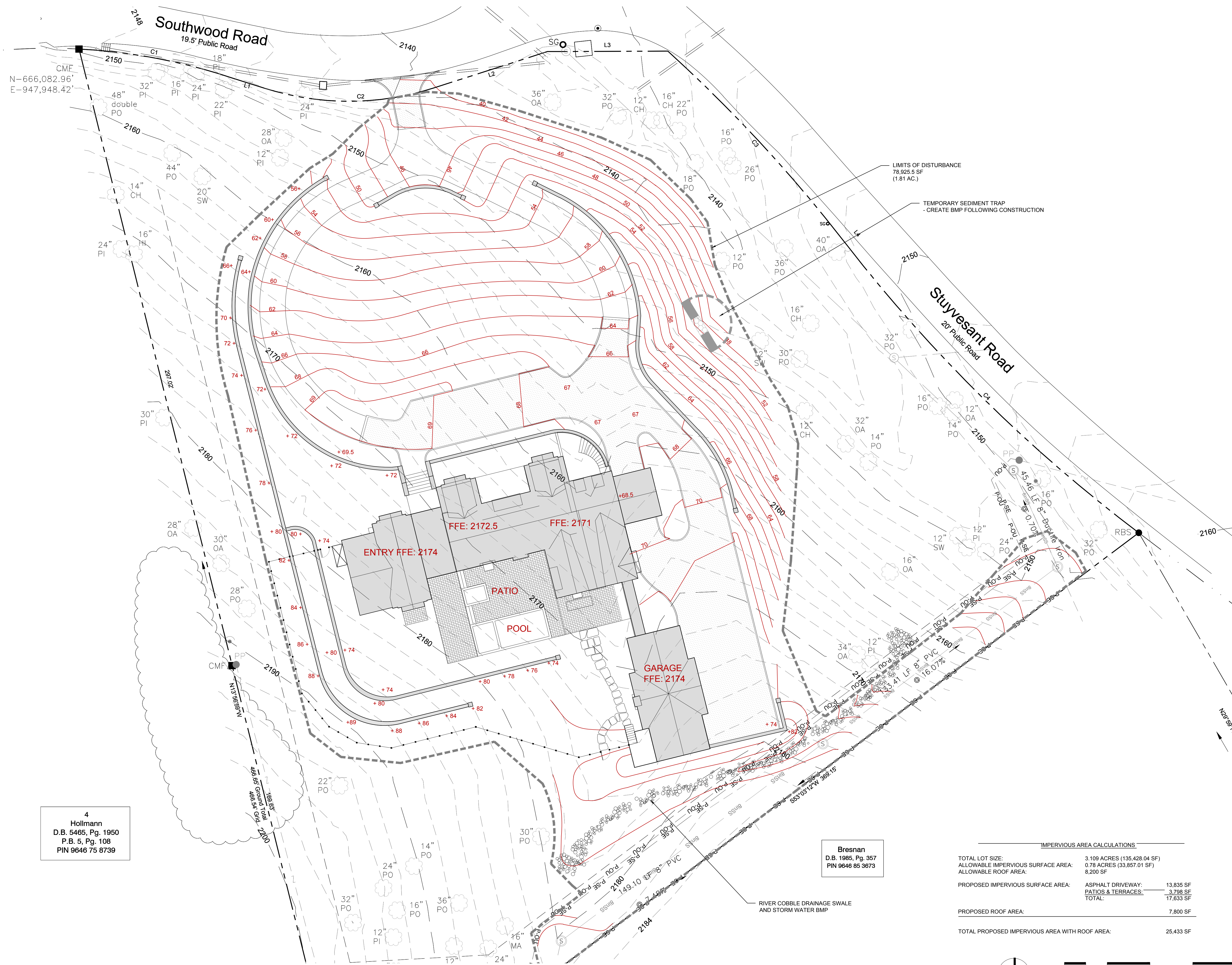


DATE:
12.21.2018
SHEET TITLE:

SITE
DEVELOPMENT
PLAN

SHEET NO.
L-200





N-666,082.96'
E-947,948.42'

4
Hollmann
D.B. 5465, Pg. 1950
P.B. 5, Pg. 108
PIN 9646 75 8739

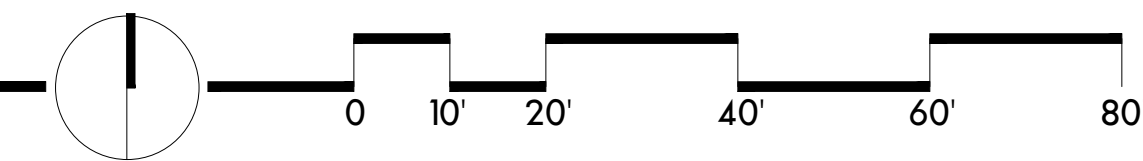
Bresnan
D.B. 1985, Pg. 357
PIN 9646 85 3673

LIMITS OF DISTURBANCE
78,925.5 SF
(1.81 AC.)

TEMPORARY SEDIMENT TRAP
- CREATE BMP FOLLOWING CONSTRUCTION

IMPERVIOUS AREA CALCULATIONS

TOTAL LOT SIZE:	3.109 ACRES (135,428.04 SF)
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ROBERTS RESIDENCE
BILTMORE FOREST
NORTH CAROLINA

REVISIONS		
NO.	REMARKS	DATE



DATE:
12.21.2018
SHEET TITLE:

GRADING
PLAN

SHEET NO.
L-300



CMF
N-666,082.96'
E-947,948.42'

LANDSCAPING BETWEEN RETAINING WALLS

NATIVE PLANTINGS TO MITIGATE DISTURBED AREAS AND SOFTEN VIEWS OF HOME FROM STREET
- SHADE TREES
- UNDERSTORY TREES
- EVERGREEN TREES AND SHRUBS
- NATIVE GRASSES AND FERNS

LANDSCAPING BETWEEN RETAINING WALLS

EXTENSIVE BAMBOO SCREENING TO REMAIN UNDISTURBED

4
Hollmann
D.B. 5465, Pg. 1950
P.B. 5, Pg. 108
PIN 9646 75 8739

EXISTING UNDISTURBED WOODLAND

REMOVE INVASIVE SPECIES FROM WOODLANDS

SLOPE PLANTINGS
- NATIVE DECIDUOUS SHADE AND FLOWERING UNDERSTORY TREES
- NATIVE EVERGREEN TREES
- NATIVE SHRUBS AND GROUNDCOVER
- NO-MOW FESCUE BLEND "LIVING MULCH"

EDGE OF WOODLAND

EXISTING TREES (TYP.)

LARGE EVERGREEN TREES (TYP.)

Bresnan
D.B. 1985, Pg. 357
PIN 9646 85 3673

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BILTMORE FOREST
NORTH CAROLINA

NO.	REVISIONS	DATE



DATE:
12.21.2018
SHEET TITLE:

PRELIMINARY
LANDSCAPE
PLAN

SHEET NO.
L-400



SHUMARD RED OAK - 4" CALIPER



OVERCUP OAK - 3.5" CALIPER



FLOWERING DOGWOOD - 8' HT.



REDBUD - 8'-10' HT.

NATIVE SHADE TREES

NATIVE UNDERSTORY FLOWERING TREES



SOUTHERN MAGNOLIA - 10'-12' HT.



MARY NELL HOLLY - 10'-12' HT.



HEMLOCK - 10'-12' HT.



SPRUCE - 10'-12' HT.

LARGE EVERGREEN TREES

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ROBERTS RESIDENCE

BILTMORE FOREST
 NORTH CAROLINA

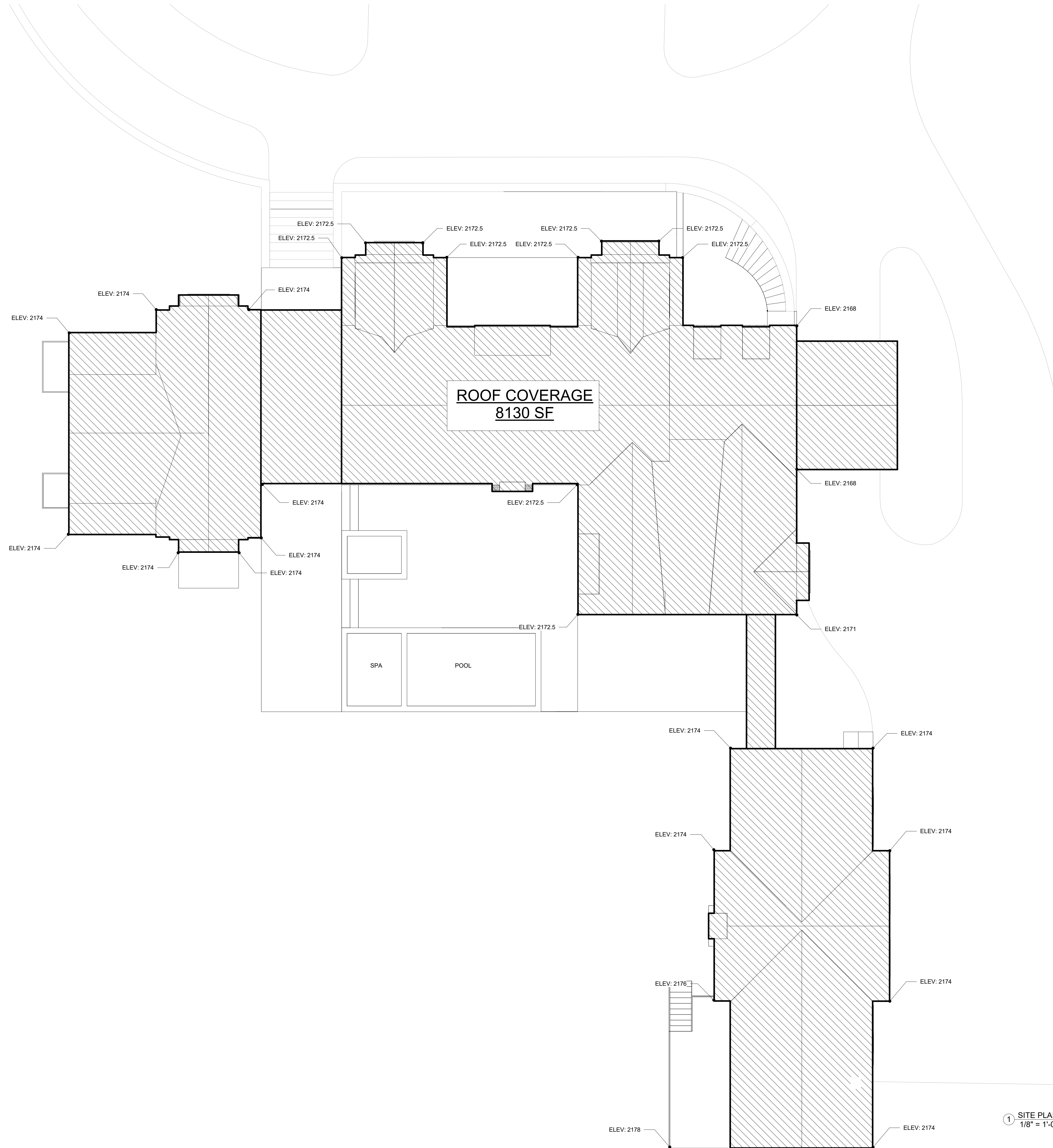
NO.	REVISIONS	REMARKS	DATE



DATE:
1.23.19
SHEET TITLE:

PROPOSED TREES

SHEET NO.
L-402



1 SITE PLAN (Permit)
1/8" = 1'-0"

ROOF AREA CALCULATIONS
TOTAL LOT SIZE : 3.109 ACRES
ALLOWABLE MAX ROOF COVERAGE : 8200 SF
PROPOSED ROOF AREA : 8130 SF

BUILDING HEIGHT CALCULATIONS
ALLOWABLE MAX BUILDING HEIGHT : 40'
AVERAGE GRADE ELEVATION : 2173

DISTANCE FROM THE AVERAGE GRADE TO THE HIGHEST POINT OF ROOF : 32'-1" (REFER TO 3/A3.01)

PROJECT

**EMILY + TOM ROBERTS
RESIDENCE**

Southwood Rd. Biltmore Forest NC 28803

CONSULTANTS

NO.	DATE	REVISION

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SHEET TITLE

SITE PLAN

DRAWN:

SCALE:

STATUS: Project Status

DATE: Issue Date

FILE:

JOB: Project Number

SHEET NUMBER:

A0.01

MATERIAL LEGEND

- BRICK: PAINTED WHITE BRICK
- FC-1: 4" FIBER CEMENT FASCIA
- FC-2: PAINTED (WHITE) FIBER CEMENT BOARD
- MTL-1: METAL FASCIA
- TRIM-1: 1x4 WOOD TRIM
- WOOD-1: WOOD SHINGLE
- WOOD-2: WOOD FENCE
- ROOF: COMPOSITE ROOF SHINGLE

www.chaddorseydesign.com
214.217.0704
6060 N. Central Expressway #1105
Dallas, TX 75206

PROJECT

**EMILY + TOM ROBERTS
RESIDENCE**

Southwood Rd. Biltmore Forest NC 28803

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SHEET TITLE

**BUILDING
ELEVATIONS**

DRAWN:

SCALE:

STATUS: Project Status

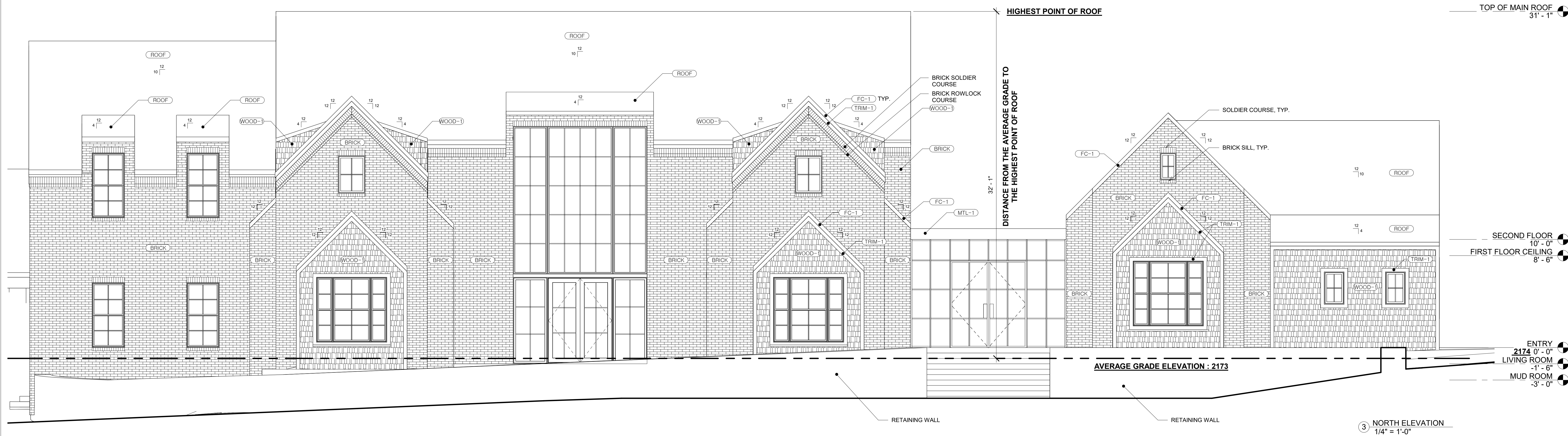
DATE: Issue Date

FILE:

JOB: Project Number

SHEET NUMBER:

A3.01



3 NORTH ELEVATION
1/4" = 1'-0"



1 SOUTH ELEVATION
1/4" = 1'-0"

TOP OF MAIN ROOF
31' - 1"

MATERIAL LEGEND

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- WOOD-1: WOOD SHINGLE
- WOOD-2: WOOD FENCE
- ROOF: COMPOSITE ROOF SHINGLE

SECOND FLOOR
10' - 0"
FIRST FLOOR CEILING
8' - 6"

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6060 N. Central Expressway #105
Dallas, TX 75206

PROJECT

**EMILY + TOM ROBERTS
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Southwood Rd. Biltmore Forest NC 28803

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SHEET TITLE

BUILDING ELEVATIONS

DRAWN:

SCALE:

STATUS: Project Status

DATE: Issue Date

FILE:

JOB: Project Number

SHEET NUMBER:

A3.02

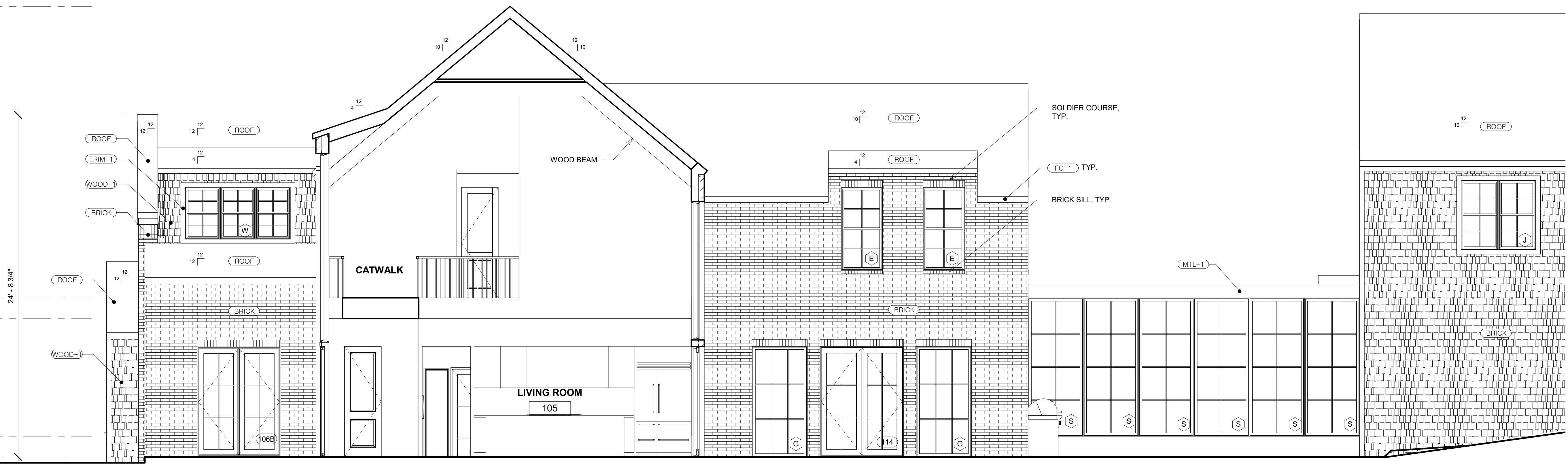


1 EAST ELEVATION 01
1/4" = 1'-0"

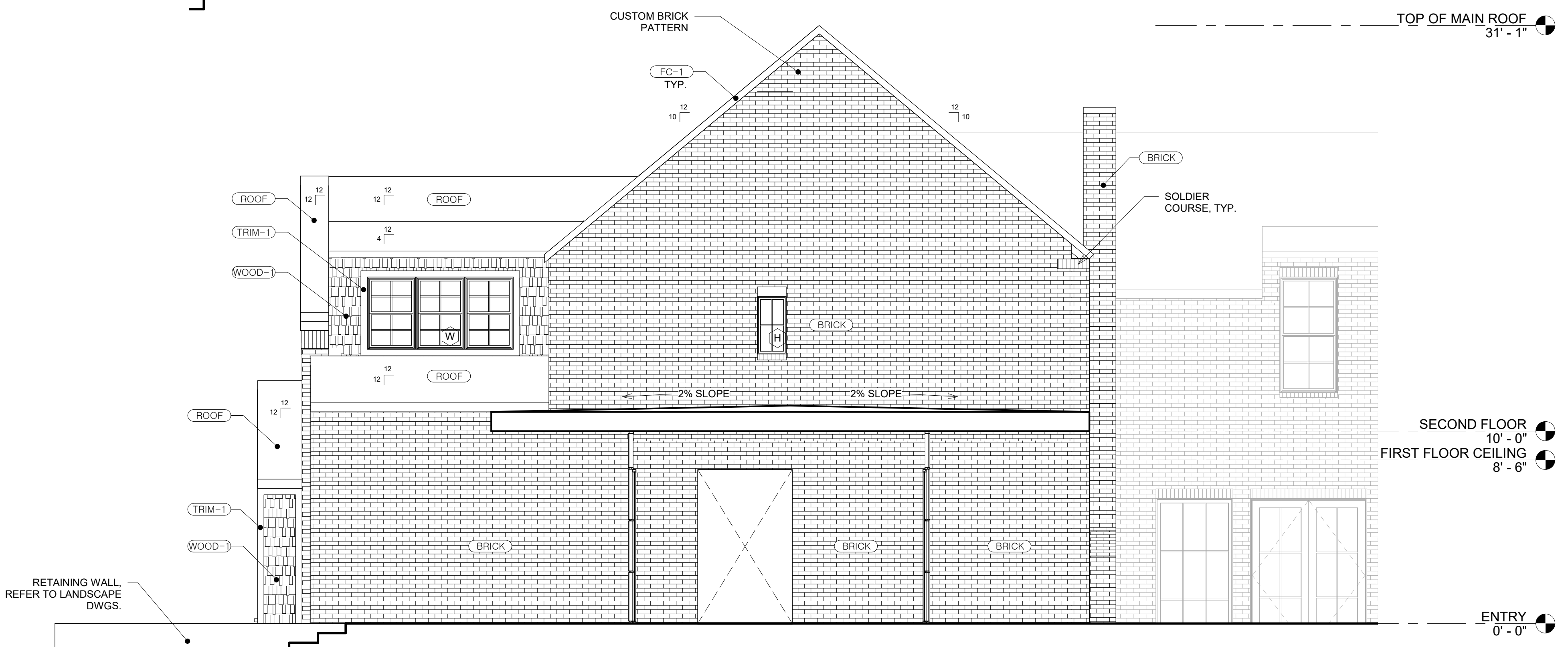
TOP OF MAIN ROOF
31' - 1"

SECOND FLOOR
10' - 0"
FIRST FLOOR CEILING
8' - 6"

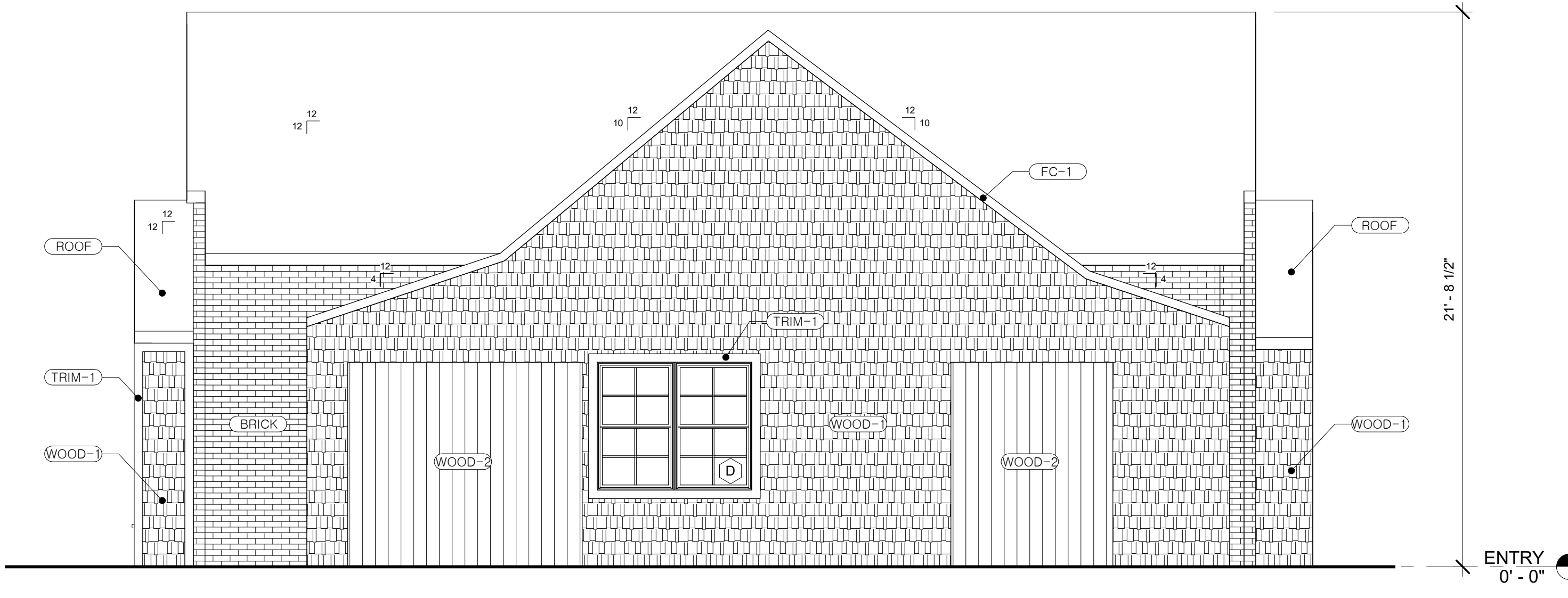
ENTRY
0' - 0"
LIVING ROOM
-1' - 6"



3 SECTION ELEVATION
1/4" = 1'-0"



4 SECTION ELEVATION
1/4" = 1'-0"



2 MASTER BED WING - WEST
1/4" = 1'-0"

MATERIAL LEGEND

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- MTL-1 : METAL FASCIA
- TRIM-1 : 1X4 WOOD TRIM
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- ROOF : COMPOSITE ROOF SHINGLE

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SHEET TITLE

BUILDING ELEVATIONS

DRAWN:

SCALE:

STATUS: Project Status

DATE: Issue Date

FILE:

JOB: Project Number

SHEET NUMBER:

A3.03

