



To: Members of the Board of Adjustment, Applicants & Neighboring Property Owners
From: Jonathan B. Kanipe, Zoning Administrator
Date: May 10th, 2018
Re: **Board of Adjustment Meeting – May 21st, 2018**

Applicants:

You or your representative **must** be present at this meeting or your application will not be reviewed.

Members of the Board of Adjustment & the Zoning Administrator may visit the property prior to the meeting.

You or your representative **must** also attend the Design Review Board meeting on **Thursday, May 24th, 2018 at 5:30pm** to complete the approval process.

Certificates of Zoning Compliance will be issued after review and approval from the Board of Adjustment & Design Review Board.

Neighbors:

You are receiving this notice because your property is adjacent to an applicant on this month's agenda.

You may review applications & plans for the projects on this agenda at Town Hall M-F 9am-5pm or online at <http://www.biltmoreforest.org/board-of-adjustments>.

You are invited to attend the scheduled meeting and make comment.

The following items of business are scheduled to be addressed by the Biltmore Forest Board of Adjustment on Monday, May 21st, 2018 at 4:00 pm in the Town Hall Board Room.

- 1) The meeting will be called to order and roll call will be taken.
- 2) The minutes of the March 19, 2018 regular meeting will be considered.
- 3) Hearing of Cases (Evidentiary Hearings, Deliberations & Determinations):

Case 1: Ms. Christina Strickland, 65 Forest Road, requests a conditional use permit for construction of a deer fence in the rear yard.

Case 2: Mr. James and Mrs. Julie Rose, 31 Busbee Road, requests a variance for relocation of an existing deer fence in the rear yard setback.

Case 3: Mr. Ben and Mrs. Christie Lehman, 9 Holly Hill Road, present plans for backyard improvements including pool replacement with addition of a fence, construction of a fire pit and retaining wall improvements. A conditional use permit is requested for detached accessory structures.

Case 4: Mr. Rob Moody (representative), 54 Forest Road, presents plans for pool renovation with addition of a fence and construction of an accessory outbuilding. A conditional use permit is requested for the detached accessory building and a variance is requested for fence addition.

- 4) Adjourn

MINUTES OF THE BOARD OF ADJUSTMENT MEETING
HELD MONDAY, MARCH 19, 2018

The Board of Adjustment met at 4:00 p.m. on Monday, March 19, 2018.

Members present: Goosmann, Pearlman, Landau, Kieffer, and Groce. Mr. Jonathan Kanipe, Town Manager, Mr. William Clarke, Town Attorney, and Ms. Adrienne Isenhower, Town Planner, were also present.

Chairman Greg Goosmann called the meeting to order at 4:00 p.m.

Chairman Goosmann swore in the following:

Mr. Perry Fisher, II representing Jay Stingel
Mr. Robert Griffin
Mr. Doug Mullins

Lynn Kieffer made a motion to approve the minutes from the January 22, 2018 meetings. Richard Landau seconded the motion. The motion was unanimously approved.

HEARING (Evidentiary):

Mr. Perry Fisher, representing Jay and Janet Stingel, 21 Cedar Hill Drive, requested four (4) driveway columns that would be located outside of the front yard setback. Mrs. Rhoda Groce shepherded the discussion. Mr. Fisher reviewed the request from the Stingels and specified the type and size of the columns that would be constructed. There will be four 32"x32" square stone columns. They would be 72" tall and 14' across at the driveway. Mrs. Lynn Kieffer confirmed this was in compliance with the setback. Mr. Fisher said it will be beyond the front setback line.

Chairman Goosmann asked if there were any further comments or questions regarding this matter. There were no additions to the facts by Mr. Fisher.

Mrs. Groce recited the facts of the case. Mr. Jay Stingel and Mrs. Janet Stingel of 21 Cedar Hill Drive are requesting a Conditional Use Permit to construct four stone columns in the front driveway. The columns will be 72" in height with a 32"x32" base. They will be placed 10' from the driveway with two on each side located 14' apart. The setbacks requirements will be met and the columns will be placed 60' from the edge of the road.

Mrs. Kieffer moved that a Conditional Use Permit be granted to Mr. Jay Stingel and Mrs. Janet Stingel of 21 Cedar Hill Drive to construct four stone columns and the facts as recited by Mrs. Rhoda Groce and her summation be accepted as findings and facts to support this grant. The Board has inspected the site numerous times and no neighboring property owner has objected.

Mrs. Kieffer further moved that granting this Conditional Use Permit (a) would not materially endanger the public health or safety if located where proposed and developed according to the plans as submitted and improved, (b) met all required conditions and specifications of the Town of Biltmore Forest Zoning Ordinance, (c) would not substantially injure the value of adjoining or abutting property, and (d) would be in general conformity with the plan of development of the Town of Biltmore Forest and its environs as set forth in Sections 1005.03 (2) and (3) of the above ordinance. The applicant has been informed that he is to report to the Zoning Administrator within seven (7) days of completion of the project in order that the Zoning Administrator can determine that the project has been completed in accordance with plans submitted to the Town.

Mr. Pearlman seconded the motion. Mr. Kanipe specifically noted that the Board of Adjustments was allowed to consider this matter as a Conditional Use Permit application and not as a Variance. Mr. Goosmann thanked Mr. Kanipe for this clarification for the record.

The motion was approved unanimously.

HEARING (Evidentiary):

Mr. Goosmann asked to change the order of the agenda and called forward the Mr. Ron and Mrs. Linda Carlson of 11 White Oak Road. They are requesting a Variance for construction of a driveway in the front yard setback. Dr. Richard Landau shepherded the discussion.

Mr. Robert Griffin, architect, represented the applicants and provided the specific details regarding the project.

Mr. Griffin said the applicants are requesting a Y-shaped turnout in lieu of a circular drive to be able to park two cars via one driveway cut. It will be landscaped with evergreen parking buffer from the adjacent properties and the paving surface will be permeable pavers. The approximate size of each parking area will be 10x18. The curb cut is about 10' wide.

Dr. Landau confirmed this was through the front yard setback. Mr. Griffin agreed and said it does not infringe with the side yard setback.

Mr. Goosmann asked for clarification about the trees in the front yard. Mr. Griffin said there will be a landscape plan but the existing diseased, "ratty" hemlocks will be removed. The reason they are not having a circular drive constructed is to preserve the beech trees currently on the property.

Dr. Landau asked for clarification on the hardship demonstrated for this Variance to be considered. Mr. Griffin indicated the existing driveway was very narrow and provided a difficult method for exiting out of the property.

Mr. Billy Clarke asked for information about the size of the lot and Mr. Griffin indicated the lot was just over ½ acre in size (.504 acres). Mr. Clarke noted this was important for the impervious surface allowance.

DELIBERATION AND DETERMINATION:

Dr. Landau reviewed the facts of the case. Mr. Ron and Mrs. Linda Carlson at 11 White Oak Road are requesting a Variance of construction of a Y-shaped turnout driveway in the front yard. It will accommodate two cars. It will be approximately 10x18. The turnout will be pavers which are made permeable. The turnout will also be landscaped. They are asking for a Variance

because the existing driveway is very narrow. This will also alleviate the parking problem. No neighbors have objected to the project.

Mrs. Groce made a motion to approve the Variance as requested be granted to Mr. Ron and Mrs. Linda Carlson of 11 White Oak Road for the construction of a Y-shaped turnout. The facts as recited by Rich Landau and his summation be accepted as findings and facts to support this grant. The Board has inspected this site and no neighboring property owner has objected.

Further, Mrs. Groce moved that granting this Variance satisfies the applicable Sections of 153.110(d) and paragraphs one through four, and would not be contrary to the public interest where, owing to special conditions, a literal enforcement of the provisions of this Ordinance would, in this case, result in a practical difficulty or unnecessary hardship. She further moved the Board to find that the spirit of the ordinance would be observed, public safety and welfare secured and substantial justice done. The applicant has been informed that he/she is to report to the Zoning Administrator within seven (7) days of completion of the project in order that the Zoning Administrator can determine that the project has been completed in accordance with plans submitted to the Town.

Dr. Landau seconded the motion. The motion was approved unanimously.

HEARING (Evidentiary):

Mr. James Mullins, 12 Cedar Hill Drive, was called forward to present his request for a Variance to allow an accessory structure in the front yard. Mrs. Kieffer shepherded the discussion and asked Mr. Mullins for some more background on the project and request.

Mr. Mullins has requested a Variance in order to use firewood in the winter. He indicated that the location was the only location on the property where the wood would be serviceable for delivery and retrieval due to topographical features. Mr. Mullins did not believe it was visible to the street or neighbors and meets the intent of the variance language to accommodate certain

uniqueness, including his handicap requirements and not creating visual issues with the neighborhood.

Mr. Goosmann indicated that a complaint had arisen from the shed being placed in its current location. He asked whether there was any one who could retrieve the wood for them and bring the wood through to the home. Mr. Mullins indicated that the yard person was not there frequently enough to bring in the 6-8 chords of wood that they utilize on a yearly basis. Mr. Mullins said they are willing to add additional landscaping to the shed if needed.

Mr. Clarke reviewed the requirements for a Variance to be approved by the Board. The Town Zoning Ordinance says there shall be no accessory structure or building shall be constructed in the front yard or with any side yard or rear yard setback. Mr. Mullins is asking for a Variance. In order to get a Variance, unnecessary hardship has to be demonstrated.

Mrs. Kieffer stated that when Mr. Mullins moved in, he did not have the health issues at that time. Mr. Mullins said, over the past few years, his health issues have gotten much worse with numerous operations.

Dr. Landau asked Mr. Mullins if it is possible to move the storage area to the rear of the house. Mr. Mullins said the only problem with that is they would have to build a ramp going up to the side door because that area is not level. Mr. Mullins is not permitted to walk on uneven surfaces.

Mrs. Groce asked if Mr. Mullins heated the house with wood exclusively. Mr. Mullins said not exclusively but they use it as a supplement but they burn 6-8 chords of wood.

Mr. Pearlman said we are bound and limited to certain rules and this type of structure is not allowed in the front yard.

Mr. Mullins asked if the purpose of the Variance request is to justly recognize certain unusual situations.

Mr. Clarke said they really want to discourage front yard structures since they are not allowed. Playhouses, treehouses are also not allowed in the front yard. Mr. Clarke added, almost nothing is allowed in the front yard.

Mr. Goosmann said wood can be put in that location with a tarp over it but no structure is allowed. Mr. Goosmann suggested moving the structure to the rear of the yard to a more accessible location.

Mr. Mullins said his situation is not like a playhouse or a treehouse. Mr. Mullins believes stacking wood with a tarp over it would look much less desirable than what is there now. Mr. Mullins is willing to add landscaping to shield the shed and reduce any possible view.

Mrs. Kieffer indicated her belief that there should be some flexibility with an issue such as this request due to Mr. Mullins health issues.

Mr. Mullins asked what a hardship would be. Mr. Clarke said it has to do with the condition of the property.

Dr. Landau said the structure is there in the front yard. No one is saying the wood can't be there but the structure cannot be there.

Mrs. Kieffer asked if some of the wood could be stored in the garage. Mr. Mullins said it could be possible but the risk of termites could be there.

Mr. Mullins said he would like to come up with certain alternatives to present to the Board.

The matter was tabled until a later meeting.

April 23rd at 4pm will be the joint meeting with the Board of Commissioners and Board of Adjustment.

The meeting was adjourned at 4:37 p.m.

The next Board of Adjustment meeting is scheduled for Monday, April 16, 2018 at 4:00pm.

ATTEST:

Greg Goosmann
Chairman

Jonathan B. Kanipe
Town Manager

355 Vanderbilt Rd | Biltmore Forest, NC
Po Box 5352 | Biltmore Forest, NC 28803
P (828) 274-0824 | F (828) 274-8131

www.biltmoreforest.org



George F. Goosmann, III, Mayor
Fran G. Cogburn, Mayor-Pro Tem
E. Glenn Kelly, Commissioner
Doris P. Loomis, Commissioner

Jonathan B. Kanipe,
Town Manager

MEMORANDUM

To: Board of Adjustments Members
From: Jonathan Kanipe, Town Manager
Re: Board of Adjustments Case Number 1 (65 Forest Road)
Date: May 10, 2018

Request for a Conditional Use Permit for Deer Fencing in Rear Yard

The applicant requests a Conditional Use Permit from the Board of Adjustments in regards to Section 153.029 of the Town Zoning Ordinance. This ordinance defines where accessory structures and buildings may be constructed on a lot. The request is for deer fencing in the backyard of the property at 65 Forest Road for protection of flowers and plants. The conditional use permit is allowed for fencing on this property, as long as it meets the setback requirements as noted in the ordinance provision above, because the property abuts the Biltmore Estate. The specific language of the ordinance is as follows:

§ 153.029 ACCESSORY STRUCTURES AND BUILDINGS.

- (A) Accessory structures and/or necessary buildings shall not detract from nor interfere with adjacent properties. No accessory structure or building shall be constructed, erected, or located within any front yard or within any side yard or rear yard setback.**

This section of the ordinance continues to provide language allowing deer fencing on certain properties with Board of Adjustment approval. The language is as follows:

- (3) As of the effective date of this section, construction of new fences or walls is allowed only as follows:**

(d) Properties abutting the Blue Ridge Parkway and the Biltmore Estate shall be allowed to construct appropriate fencing to protect the property from deer. Such fencing shall be subject to review and approval by the Board of Adjustment.

An image of the proposed location of the deer fencing is included with this memo.

Zoning Application

Property Identification

Name

Christina Strickland

Address

65 Forest Road, Biltmore Forest, North Carolina 28803

Phone

(828) 230-3193

Email

chris2str@gmail.com

Zoning

R-1

Lot Size (Acres)

Email -Submission Verification

chris2str@gmail.com

Scope of Project-Roof Coverage

Does the project include increasing roof coverage?

No

Is the proposed roof coverage greater than the permitted maximum roof coverage?

No

Scope of Project-Impervious Surface

Does the project include increasing the impervious surface coverage?

No

Scope of Project-Setbacks

Does any part of the project fall within the front yard?

No

Does any part of the project fall within the side/rear yard setback(s)s?

No

Scope of Project-Accessory Structures

Does the project include a detached structure or building?

No

Will there be more than the approved number of

accessory structures/buildings?

No

Project Description

Brief Description of Project

Deer fence construction to protect a small rose garden area in the back of the house. The fence will not be visible to neighbors or street traffic. Asheville Fence was here to prepare plans and estimate on April 23. I expect the estimate to arrive in another day or so. I estimate the total linear feet of the fence to be approx. 110 ft, including a gate. The fence will be 8" high metal (similar to chain link) secured to wooden posts imbedded in concrete. The Permit manager from the Town has been out to the house to see the proposed project. The photo has the proposed lines of the fence indicated.

Estimated Cost of Project

2,500

Estimated Completion Date

5/31/2018

Please attach any drawings, renderings, photographs or other supporting documentation.

IMG_0676.jpg

Conditional Use Permit Application

I hereby petition the Board of Adjustment to issue a Conditional Use Permit for:

Name

Christina Strickland

Property Address

65 Forest Rd

Phone

(828) 230-3193

Email

chris2str@gmail.com

Type of Conditional Use

802.07 Accessory Buildings

Email-Submission Verification

chris2str@gmail.com

Description of Project

Install approximately 127 linear feet of 8' tall post and wire fence, with galvanized wrap joint wire(4" x 4" mesh). Fence is to help prevent Deer from getting into the rose garden.

-Install (1) 4' wire filled walk gate.

-All posts and bracing will be pressure treated rounds set in concrete (from proposal by Asheville Fence)

Explain why the project would not adversely affect the public interest of those living in the neighborhood:

This fence would not be visible from the street or another property adjacent to ours. The area contained is small, forms a rectangle immediately adjacent to the garage and completely behind the house. Deer, turkeys, bears, and all other wild animals would continue to pass through our property unobstructed or hindered.

I certify that the information presented by the undersigned in this application is accurate to the best of my knowledge, information and belief.

Signature

Date

5/8/2018





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www.biltmoreforest.org



George F. Goosmann, III, Mayor
Fran G. Cogburn, Mayor-Pro Tem
E. Glenn Kelly, Commissioner
Doris P. Loomis, Commissioner

Jonathan B. Kanipe,
Town Manager

MEMORANDUM

To: Board of Adjustments Members
From: Jonathan Kanipe, Town Manager
Re: Board of Adjustments Case Number 2 (31 Busbee Road)
Date: May 14, 2018

Request for Variance to Allow Deer Fencing in Side Yard Setback

The applicant requests a variance from the Board of Adjustments in regards to Section 153.029 of the Town Zoning Ordinance. This ordinance defines where accessory structures and buildings, including fences, may be constructed on a lot. The specific language of the ordinance is as follows:

§ 153.029 ACCESSORY STRUCTURES AND BUILDINGS.

- (A) Accessory structures and/or necessary buildings shall not detract from nor interfere with adjacent properties. No accessory structure or building shall be constructed, erected, or located within any front yard or within any side yard or rear yard setback.**

This particular section of the ordinance provides detailed language in regards to fencing. The language regarding the basic premise for the fencing regulations reads as follows:

- (C) (1) The town is a unique community concerned with historic continuity. The town, originally part of the Vanderbilt Estate, was established 100 years ago. Since its establishment, Biltmore Forest has been a forested residential community with substantial open space. Preservation of the forest environment requires substantial open space for trees, plants and wildlife.**

More specifically, **Section 153.029 (C) 3a-f** provides that fences are only allowed when **“necessary for safety, the protection of public health, or is required as a condition of obtaining homeowner’s insurance”**, for properties along Hendersonville Road where **“a fence or wall is necessary to provide projection from pedestrians and motorists on Hendersonville Road”**, or for properties **abutting the Blue Ridge Parkway and the Biltmore Estate.**

The property owner at 31 Busbee Road is requesting relocation of existing deer fencing based on a recent survey of the abutting property. Based on those survey results and a new survey of the property in question, it was realized the fence needed to be realigned with the current survey markers. The variance is necessary since the fence, both in its current location and the requested

location, is located in the setback. The property does not meet any of the exceptions of the current fence ordinance, listed above.

The property owner was initially granted permission to move the fence from its current location to be realigned with the newly realized property lines, but after further consideration and current discussions regarding the fence ordinance with the Board of Commissions and Board of Adjustment, the property owner was informed that a variance would be required from the Board of Adjustments for this particular request.

Zoning Application

Property Identification

Name

Julie and James Rose

Address

31 Busbee Road, Asheville, North Carolina 28803

Phone

(307) 752-5605

Email

jsrhappygirl@yahoo.com

Zoning

R-1

Lot Size (Acres)

3.282

Email -Submission Verification

jsrhappygirl@yahoo.com

Scope of Project-Roof Coverage

Does the project include increasing roof coverage?

No

Is the proposed roof coverage greater than the permitted maximum roof coverage?

No

Scope of Project-Impervious Surface

Does the project include increasing the impervious surface coverage?

No

Scope of Project-Setbacks

Does any part of the project fall within the front yard?

No

Does any part of the project fall within the side/rear yard setback(s)s?

No

Scope of Project-Accessory Structures

Does the project include a detached structure or building?

Yes

An application for a conditional use permit will be required in addition to this zoning application.

Will there be more than the approved number of

accessory structures/buildings?

No

Project Description

Brief Description of Project

We plan to move our existing deer fence so that it is more closely aligned with our property line in our back yard. The previous owners installed the deer fence, and we recently discovered that it is not close to the property line, and in fact has crossed over into the property line of our back yard neighbors (13 Forest).

We first noticed the discrepancy when our neighbor at 33 Busbee had a survey done of her property. We contacted Jonathan Kanipe in mid-February to discuss this issue and ascertain what steps needed to be taken to move the fence line. We specifically asked at that time if any paperwork needed to be completed and were told that no paperwork was necessary. Jonathan Kanipe sent Adrienne Eisenhower out to our property on February 26, 2018 to visually review the fence line and discuss our plans. At this time, we were told that we could go ahead and proceed with moving the fence. As a result of obtaining permission from the Town at this time, we ordered the necessary supplies and contracted our own surveyor. Through the work recently completed by our surveyor, we discovered the back fence was also misaligned.

Estimated Cost of Project

4,700

Estimated Completion Date

6/1/2018

Please attach any drawings, renderings, photographs or other supporting documentation.

Conditional Use Permit Application

I hereby petition the Board of Adjustment to issue a Conditional Use Permit for:

Name

Julie and James Rose

Property Address

31 Busbee Road

Phone

(307) 752-5605

Email

jsrhappygirl@yahoo.com

Type of Conditional Use

802.07 Accessory Buildings

Email-Submission Verification

jsrhappygirl@yahoo.com

Description of Project

We plan to move our existing deer fence so that it is more closely aligned with our property line in our back yard. The previous owners installed the deer fence, and we recently discovered that it is not close to the property line, and in fact has crossed over into the property line of our back yard neighbors (13 Forest).

Explain why the project would not adversely affect the public interest of those living in the neighborhood:

By moving our fence line, we would be able to better care for the yard, trees and landscaping that have been neglected, have not been cared for and are below Biltmore Forest standards. We will be able to improve the quality of landscaping which will improve the neighborhood. The fence is the the backyard and is not visible from the street.

I certify that the information presented by the undersigned in this application is accurate to the best of my knowledge, information and belief.

Signature

Date

5/4/2018



Variance Application

I hereby petition the Board of Adjustment for a variance(s) from the provisions of the Zoning Ordinance for the real property stated below.

Name

Julie and James Rose

Property Address

31 Busbee Road

Email

jsrhappygirl@yahoo.com

Phone

(307) 752-5605

Email-Submission Verification

jsrhappygirl@yahoo.com

Variance to Zoning Ordinance Section(s) (Select all that apply)

1104 Accessory Structures & Accessory Buildings

N.C.G.S. 160A-388(D) requires that the Board of Adjustments shall vary the provisions of the Zoning Ordinance only upon a showing of ALL the following:

- 1) Unnecessary hardship would result from the strict application of the ordinance.
- 2) The hardship results from conditions that are peculiar to the property, such as location, size, or topography. Hardships resulting from conditions that are common to the neighborhood or the general public, may not be the basis for granting a variance.
- 3) The hardship did not result from actions taken by the applicant or the property owner. The act of purchasing property with knowledge that circumstances exist that may justify the granting of a variance shall not be regarded as a self-created hardship.
- 4) The requested variance is consistent with the spirit, purpose, and intent of the ordinance, such that public safety is secured, and substantial justice is achieved.

State specific hardship that results in variance request to not comply with the Zoning Ordinance

Our property lies at the edge of Biltmore Forest; it is across the street from the Biltmore Estate. Our street does not have very much traffic. As a result, we have a large number of deer that reside in our area.

State what conditions are peculiar to the property that require a variance.

The current deer fence was erected by the previous owners; it is not located in the correct place.

Did the hardship result from actions taken by the applicant or property owner?

no

State how the requested variance is consistent with the spirit, purpose, and intent of the ordinance.

By moving our fence line, we would be able to better care for the yard, trees and landscaping that have been neglected, have not been cared for and are below Biltmore Forest standards. We will be able to improve the quality of landscaping which will improve the neighborhood. The fence is in the backyard and is not visible from the street.

In granting any variance, the Board of Adjustment may prescribe appropriate conditions and safeguards in

conformity with the Zoning Ordinance. Violations of the provisions of the variance granted including any conditions or safeguards which are part of the granting of the variance, shall be deemed a violation of the Zoning Ordinance. I hereby certify that the information set forth above is true and accurate to the best of my knowledge.

Signature

Date

5/4/2018

A handwritten signature in black ink, appearing to read "M. J. [unclear]", written over a horizontal line. The signature is stylized and cursive.

CENTRAL UNITED METHODIST
CHURCH OF ASHEVILLE INC.
D.B. 4417 Pg. 1158

CHARLES NESBITT
D.B. 5246 Pg. 1277

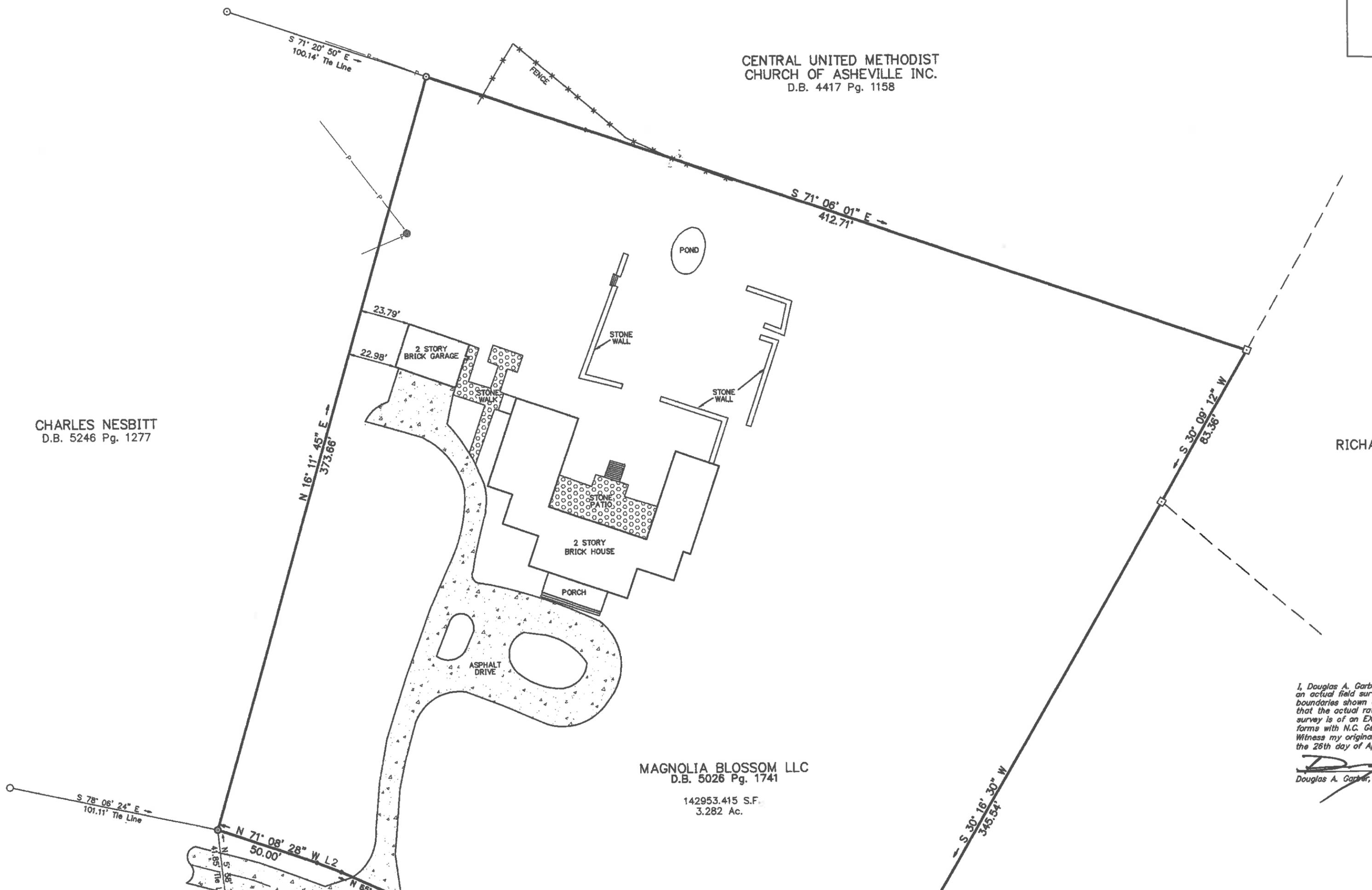
RICHARD

MAGNOLIA BLOSSOM LLC
D.B. 5026 Pg. 1741

142953.415 S.F.
3.282 Ac.

I, Douglas A. Garber,
an actual field survey
boundaries shown are
that the actual ratio
survey is of an EXISTING
forms with N.C. Gen.
Witness my original si
the 26th day of April,

Douglas A. Garber, PL



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www.biltmoreforest.org



George F. Goosmann, III, Mayor
Fran G. Cogburn, Mayor-Pro Tem
E. Glenn Kelly, Commissioner
Doris P. Loomis, Commissioner

Jonathan B. Kanipe,
Town Manager

MEMORANDUM

To: Board of Adjustments Members
From: Jonathan Kanipe, Town Manager
Re: Board of Adjustments Case Number 3 (9 Holly Hill Road)
Date: May 10, 2018

The applicants request a conditional use permit to allow the construction of a detached accessory structure as part of an overall improvement plan for the pool area in the backyard. The requested accessory structure is a fire pit/entertainment area which is part of a project to replace the existing pool, upgrade an existing retaining wall, and landscaping improvements. The retaining wall will be replaced with a stone wall and the fire pit will be 48” in diameter and 18” in height, also made of stone. The project also includes an addition of a 4 foot aluminum fence around the pool area. The project will increase impervious surface coverage by approximately 2,500 square feet, but will still be in compliance with the Ordinance requirements.

The detached accessory building is in compliance with the setbacks and the roof coverage and height requirements for detached buildings. The requirements for accessory buildings as a conditional use are found below.

§ 153.008 CONDITIONAL USES.

(8) Accessory buildings.

(a) All accessory buildings shall meet the standards of the State Building Code where applicable.

(b) All accessory buildings shall be of a design compatible with the principal building on the lot and with the structures in the neighborhood.

(c) An additional parking space shall be required when an accessory building is permitted for use as a dwelling by a family member.

(d) Accessory buildings shall comply with the district’s setback requirements.

The Board must also find that the conditional use request for an accessory building meets the following requirements, as established in the Zoning Ordinance’s General Regulations.

§ 153.029 ACCESSORY STRUCTURES AND BUILDINGS.

(A) Accessory structures and/or necessary buildings shall not detract from nor interfere with adjacent properties. No accessory structure or building shall be

constructed, erected, or located within any front yard or within any side yard or rear yard setback.

(B) (1) In addition, the following standards are established for accessory structures and accessory buildings:

- (a) The maximum number of accessory buildings permitted on a lot shall be one;*
- (b) The maximum roof coverage area for accessory buildings shall be 750 square feet;*
- (c) The maximum height for accessory buildings shall be 25 feet;*
- (d) The accessory building must be screened by vegetation or other buffer as set forth in § 153.008;*
- (e) The accessory building must be located behind a line parallel to the rear of the principal structure on the lot;*
- (f) The accessory building must be designed in the same architectural style as the principal structure;*
- (g) Any accessory structure and/or accessory building shall be included in the calculation of allowable roof coverage and allowable impervious surface coverage on the lot pursuant to §§ 153.043 and 153.048.*

The landscaping plan includes tree removal which will be discussed with this review and the proposed conditions.

Zoning Application

Property Identification

Name

Ben and Christie Lehman

Address

9 Holly Hill Road, 28804, Biltmore Forest, North Carolina 28803

Phone

(828) 458-7690

Email

riphooker@gmail.com

Zoning

R-1

Lot Size (Acres)

1.571

Email -Submission Verification

riphooker@gmail.com

Scope of Project-Roof Coverage

Does the project include increasing roof coverage?

No

Is the proposed roof coverage greater than the permitted maximum roof coverage?

No

Scope of Project-Impervious Surface

Does the project include increasing the impervious surface coverage?

Yes

What is the proposed impervious surface coverage?

12,756

Is the proposed impervious surface coverage greater than the permitted maximum impervious surface coverage?

No

Scope of Project-Setbacks

Does any part of the project fall within the front yard?

No

Does any part of the project fall within the side/rear yard setback(s)?

No

Scope of Project-Accessory Structures

Does the project include a detached structure or building?

No

Will there be more than the approved number of accessory structures/buildings?

No

Project Description

Brief Description of Project

Upgrading Pool patio and bring pool up to code. Removing hot tub. Removing failing brick retaining wall at end of driveway. Adding Fire Pit and terrace. Adding Fencing (required for pool code). Replacing brick wall with poured foundation wall, engineered for future house addition. Landscaping within scope. Remove existing wooded deck and replacing with new wooden deck.

Estimated Cost of Project

200,000

Estimated Completion Date

8/30/2018

Please attach any drawings, renderings, photographs or other supporting documentation.

Lehman_Renovation_006.jpg

Lehman_Renovation_009.jpg

Permit Binder 1.pdf

Drawing-Echelon Majestic.pdf

lehman -Landscaping 7.0.pdf

lehman -Master Plan 1.0.pdf

lehman scope 4.27.18.pdf

Conditional Use Permit Application

I hereby petition the Board of Adjustment to issue a Conditional Use Permit for:

Name

Ben and Christie Lehman

Property Address

9 holly hill road

Phone

(828) 458-7690

Email

Riphooker@gmail.com

Type of Conditional Use

802.07 Accessory Buildings

Email-Submission Verification

Riphooker@gmail.com

Description of Project

Replacing damaged retaining wall. Upgrading pool area. Expanding lawn for child play. Adding a stone fire pit as an adult oriented outdoor space.

Explain why the project would not adversely affect the public interest of those living in the neighborhood:

Retaining wall is an upgrade to existong detoriated wall. Pool is a safety hazard and needs to be brought up to code. Landscaping is minimal but certainly an enhancement. A fire pit and entertainment area is a wholesome family activity that inspires a closer community.

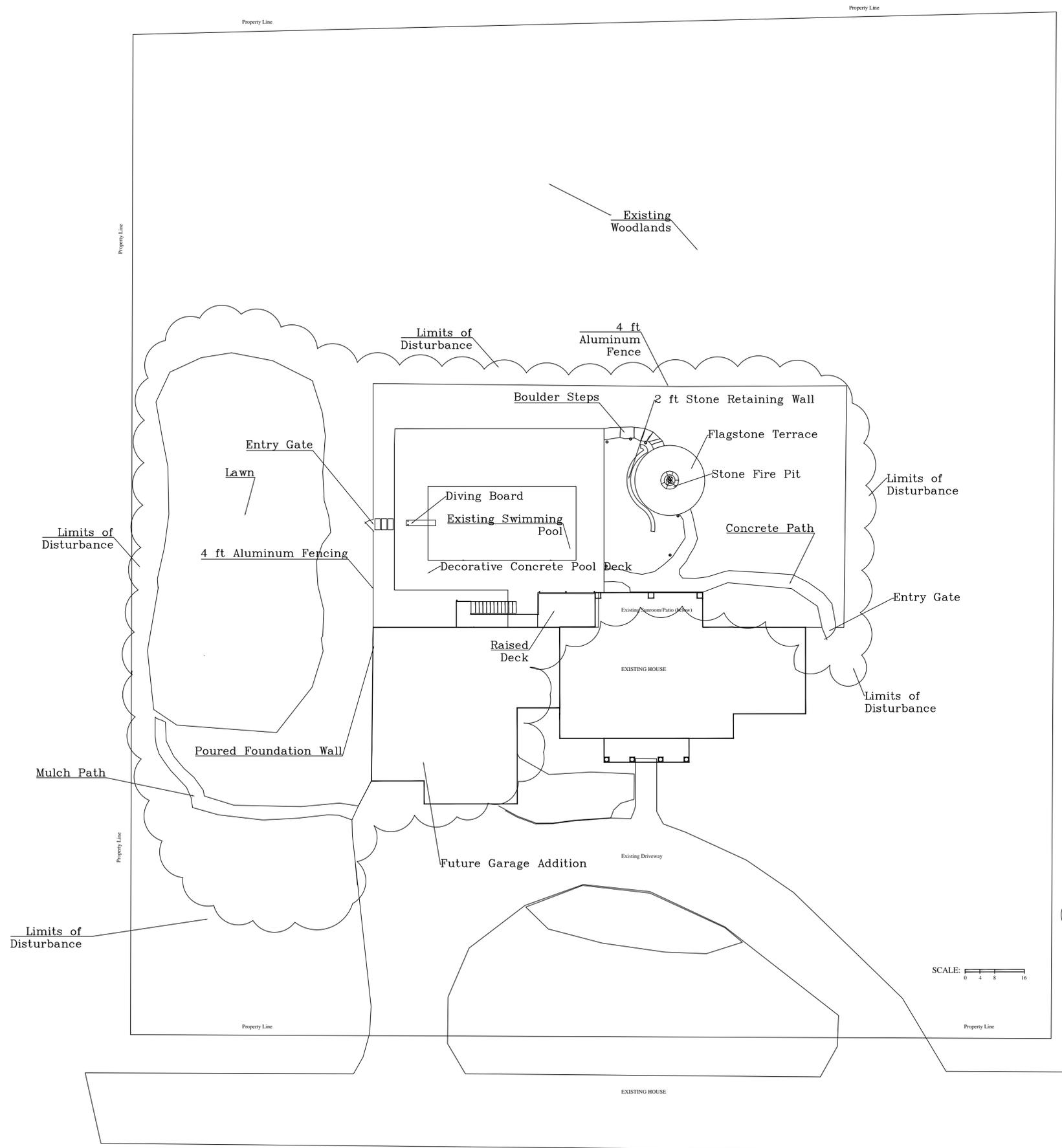
I certify that the information presented by the undersigned in this application is accurate to the best of my knowledge, information and belief.

Signature



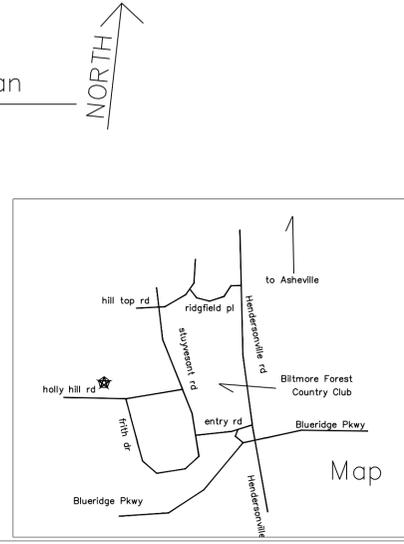
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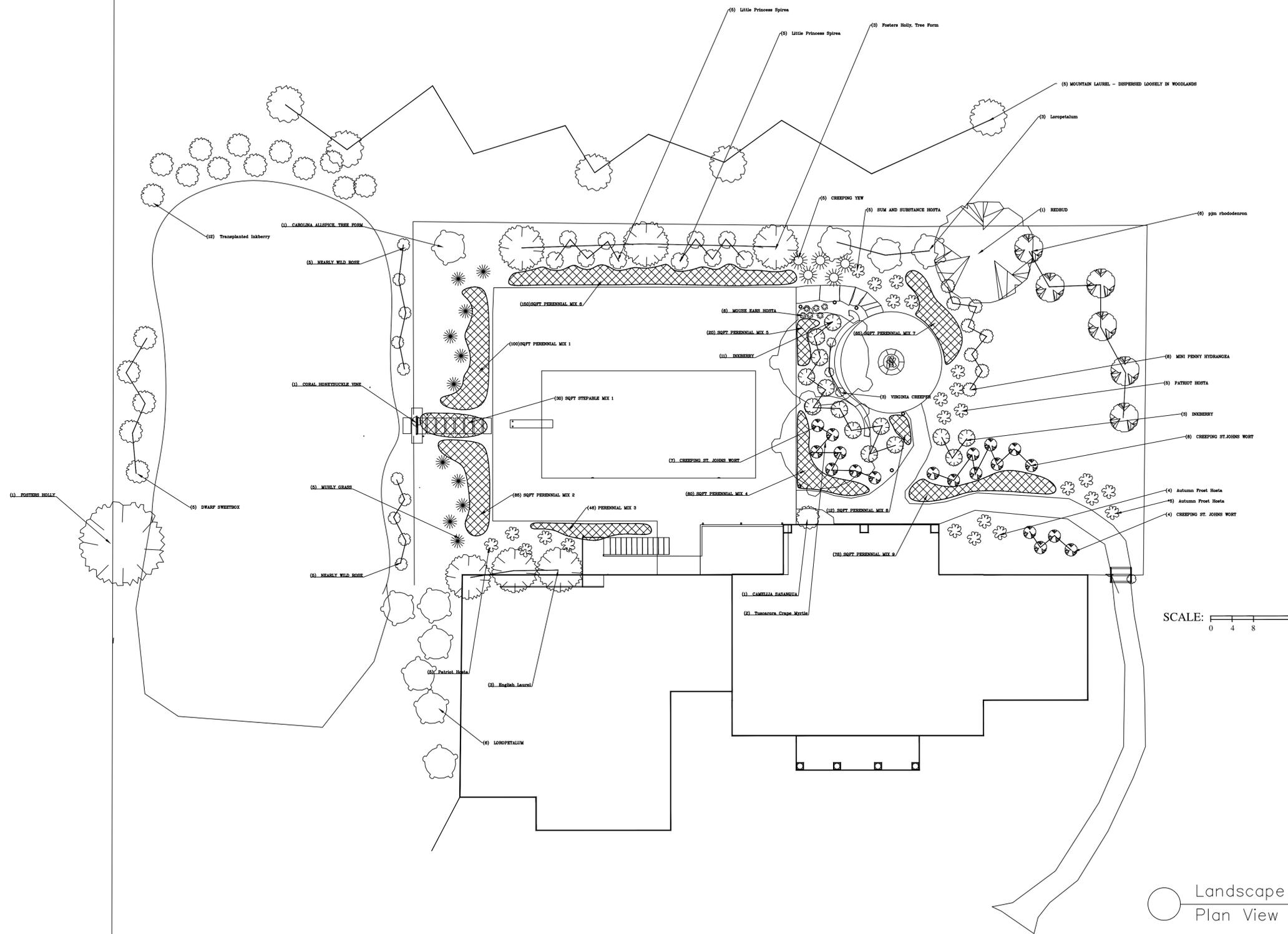
5/8/2018



Note:

1. 1.571 acres
2. Existing Imperviuos: 10,158 sqft
3. Proposed Imperviuos: 12,756 sqft
4. Pool brought up to code





○ Landscape Plan View



SCALE: 0 4 8 16

- Perennial Mixes:
- Mix 1:
Aster (5)
Blackeyed Susan (3)
Iris - Caesar's Brother (5)
Dianthus Baths Pink (10)
 - Mix 2:
Aster (5)
Iris - Caesar's Brother (5)
Dianthus Baths Pink (7)
 - Mix 3:
Muhly Grass (3)
Dianthus Baths Pink (7)
 - Mix 4:
Candytuft (7)
Variegated Sweet Iris (5)
Daylily Happy Returns (7)
Aster (3)
 - Mix 5:
Candytuft (3)
Daylily Happy Returns (3)
Aster (3)
 - Mix 6:
Russian Sage (3)
Muhly Grass (5)
Dianthus Baths Pink (5)
Daylily Happy Returns (7)
Iris Caesar's Brother (7)
 - Mix 7:
Golden Japanese Forest Grass (3)
Lenten Rose (9)
Creeping Jenny (18)
 - Mix 8:
Astilbe (3)
 - Mix 9:
Astilbe (7)
Golden Japanese Forest Grass (3)
Ajuga (7)
Lenten Rose (9)
- Steppable Mix:
Dwarf Mondo Grass (7)
Dianthus Bath's Pink (5)

- NOT USED
- NOT USED
- ALL WORK SHALL COMPLY WITH ALL STATE AND LOCAL CODES AND ORDINANCES AND SHALL BE PERFORMED TO THE HIGHEST STANDARDS OF CRAFTSMANSHIP BY JOURNEYMEN OF THE APPROPRIATE TRADES.
- THESE DOCUMENTS ARE INTENDED TO INCLUDE ALL LABOR, MATERIALS, EQUIPMENT AND SERVICES REQUIRED TO COMPLETE ALL WORK DESCRIBED HEREIN. IT IS THE RESPONSIBILITY OF THE CONTRACTOR TO BRING TO THE ATTENTION OF THE ARCHITECT ANY CONDITIONS WHICH WILL NOT PERMIT CONSTRUCTION ACCORDING TO THE INTENTIONS OF THESE DOCUMENTS. IT IS THE RESPONSIBILITY OF THE ARCHITECT TO PROVIDE DETAILS AND/OR DIRECTIONS REGARDING DESIGN INTENT WHERE IT IS ALTERED BY EXISTING CONDITIONS OR WHERE NEGLECTED IN THE DOCUMENTS.
- ANY MATERIALS PROPOSED FOR SUBSTITUTION OF THOSE SPECIFIED OR CALLED OUT BY TRADE NAME IN THESE DOCUMENTS SHALL BE PRESENTED TO THE ARCHITECT FOR REVIEW. THE CONTRACTOR SHALL SUBMIT SAMPLES WHEN REQUIRED BY THE ARCHITECT AND ALL SUCH SAMPLES SHALL BE REVIEWED BY THE ARCHITECT BEFORE THE WORK IS TO BE PERFORMED. WORK MUST CONFORM TO THE REVIEWED SAMPLES. ANY WHICH DOES NOT CONFORM TO THE REVIEWED SAMPLES SHALL BE REMOVED AND REPLACED WITH WORK WHICH CONFORMS AT THE EXPENSE OF THE CONTRACTOR. SUBCONTRACTORS SHALL SUBMIT REQUESTS AND SAMPLES FOR REVIEW THROUGH THE GENERAL CONTRACTOR. REQUIRED VERIFICATIONS AND SUBMITTALS ARE TO BE MADE IN ADEQUATE TIME AS TO NOT DELAY WORK IN PROGRESS.
- SHOP DRAWINGS SHALL BE SUBMITTED TO THE ARCHITECT FOR REVIEW WHERE CALLED FOR ANYWHERE WITHIN THESE CONTRACT DOCUMENTS. REVIEW SHALL BE MADE BY THE ARCHITECT BEFORE THE WORK IS BEGUN AND WORK SHALL CONFORM TO THE REVIEWED SHOP DRAWINGS AND IS SUBJECT TO REPLACEMENT AS SET FORTH IN PARAGRAPH #5 ABOVE.
- THE BUILDING INSPECTOR SHALL BE NOTIFIED BY THE CONTRACTOR WHEN THERE IS A NEED FOR INSPECTION AS REQUIRED BY STATE AND LOCAL CODES OR ORDINANCES.
- THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE SAFETY AND CARE OF ADJACENT PROPERTIES DURING CONSTRUCTION, FOR COMPLIANCE WITH FEDERAL AND STATE O.S.H.A. REGULATIONS AND FOR THE PROTECTION OF ALL WORK UNTIL IT HAS BEEN DELIVERED TO THE OWNER AND THE CONTRACTOR HAS VACATED THE PROPERTY.
- ALL DIMENSIONS NOTED TAKE PRECEDENCE OVER SCALED DIMENSIONS. DIMENSIONS WITH "N.T.S." INDICATES THAT THE DRAWING IS NOT TO SCALE.
- CONTRACTOR SHALL VERIFY AND COORDINATE ALL OPENINGS THROUGH FLOORS, CEILING, AND WALLS WITH ALL ARCHITECTURAL, STRUCTURAL, MECHANICAL, PLUMBING, AND ELECTRICAL DRAWINGS.
- CONTRACTOR WILL ASSUME RESPONSIBILITY OF ITEMS REQUIRING COORDINATION AND RESOLUTION DURING THE BIDDING PROCESS.

- DO NOT SCALE DRAWINGS. IF DIMENSIONS ARE IN QUESTION, OBTAIN CLARIFICATION FROM ARCHITECT.
- ANY UNAUTHORIZED CHANGES FROM THESE DRAWINGS FOR ANY REASON ARE AT THE SOLE RISK AND RESPONSIBILITY OF THE BUILDER.
- PRIOR TO BEGINNING CONSTRUCTION, BUILDER SHALL FIELD VERIFY ALL DIMENSIONS AND ALL SITE CONDITIONS PRIOR TO PROCEEDING WITH CONSTRUCTION.
- THE CONTRACTOR SHALL COORDINATE ALL DIMENSIONS, DETAILS, SIDDING, SPECIFICATIONS, AND SHOP DRAWINGS BETWEEN TRADES.
- BEFORE FRAMING WALLS, CHECK FOR LOCATIONS OF ALL ELECTRICAL SWITCHES, RECESSED MEDICINE CABINETS, ACCESSORIES, ETC.
- ALL FOOTINGS SHALL BE FOUNDED ON UNDISTURBED SOIL OR CONTROLLED FILL HAVING A BEARING CAPACITY OF 2500 PSF MINIMUM.
- ALL STRUCTURAL LUMBER SHALL CONFORM TO THE MOST CURRENT APPLICABLE SPECIFICATIONS OF THE AMERICAN INSTITUTE OF TIMBER CONSTRUCTION.
- ALL STRUCTURAL LUMBER SHALL BE MINIMUM NO. 2 SOUTHERN YELLOW PINE WITH MAXIMUM MOISTURE CONTENT OF 18%.
- ALL LUMBER NOTED AS P.T. (PRESSURE TREATED) SHALL BE PRESSURE TREATED WITH WATER-BORNE PRESERVATIVES. PRESSURE TREATMENT SHALL COMPLY WITH REQUIREMENTS OF ANPB STANDARDS C2 AND LP-22.
- GENERAL CONTRACTOR IS RESPONSIBLE FOR OBTAINING ALL LOCAL, STATE, AND FEDERAL PERMITS. IN NO WAY IS THE INFORMATION IN THESE DRAWINGS TO BE CONSTRUED TO RELIEVE THE G.C. FROM CONFORMING TO APPLICABLE CODES, WHICHEVER IS MOST RESTRICTIVE.
- NO STRUCTURAL CHANGES FROM THE APPROVED PLANS SHALL BE MADE IN THE FIELD UNLESS WRITTEN APPROVAL IS OBTAINED FROM ARCHITECT. IF CHANGES ARE MADE WITHOUT SUCH APPROVAL, SUCH CHANGES SHALL BE THE LEGAL AND FINANCIAL RESPONSIBILITY OF THE CONTRACTOR OR SUB-CONTRACTOR INVOLVED, AND IT SHALL BE THEIR RESPONSIBILITY TO REPLACE AND REPAIR THE CONDITION AS DIRECTED BY THE ARCHITECT.

IMPORTANT NOTES:

- THESE DRAWINGS ARE PROVIDED BY THE ARCHITECT TO THE OWNER WHO WILL BE WORKING CLOSELY WITH A BUILDER. THEY ARE LIMITED IN SCOPE AND DETAIL TO ONLY THE NECESSARY INFORMATION REQUIRED TO SECURE A BUILDING PERMIT. THE OWNER AND BUILDER ARE RESPONSIBLE FOR ALL PORTIONS OF THE DESIGN NOT SPECIFICALLY DESIGNED, DETAILED, OR CALLED FOR IN THESE DRAWINGS, AND FOR OBSERVATION AND ADMINISTRATION OF THE CONSTRUCTION CONTRACT. THE OWNER AND BUILDER ARE RESPONSIBLE FOR ANY COORDINATION AND/OR MODIFICATIONS NECESSARY TO MEET THE REQUIREMENTS OF ANY GOVERNMENT AGENCY HAVING JURISDICTION OVER ANY PORTION OF THE PROJECT. THE WORK OF ANY DESIGN PROFESSIONALS AND/OR SUBCONTRACTORS WHICH ARE OR SHOULD BE INVOLVED IN THE PROJECT, AND SOUND CODE-COMPLIANT CONSTRUCTION PRACTICES.
- IT IS UNDERSTOOD AND AGREED THAT YURKO DESIGN & ARCHITECTURE'S BASIC SERVICES UNDER OUR AGREEMENT DO NOT INCLUDE FULL-TIME CONSTRUCTION OBSERVATION OR REVIEW OF THE OWNER/ CONTRACTOR'S GENERAL CONTRACTOR'S OR ANY SUBCONTRACTOR'S PERFORMANCE. CLIENT ACKNOWLEDGES THE IMPORTANCE OF SUCH SERVICES AND SHOULD THE CLIENT HAVE SUCH SERVICES PERFORMED BY A PARTY OTHER THAN YURKO DESIGN AND ARCHITECTURE, THEN CLIENT SHALL ASSUME FULL RESPONSIBILITY FOR INTERPRETATION OF THE CONTRACT DOCUMENTS AND FOR CONSTRUCTION OBSERVATION AND SHALL WAIVE ANY CLAIMS AGAINST YURKO DESIGN & ARCHITECTURE THAT MAY BE IN ANY WAY CONNECTED THERETO.
- IN ADDITION IF YURKO DESIGN & ARCHITECTURE DOES NOT PERFORM FULL-TIME CONSTRUCTION OBSERVATION, CLIENT SHALL TO THE FULLEST EXTENT PERMITTED BY LAW, INDEMNIFY AND HOLD DESIGN PROFESSIONAL HARMLESS FROM ANY LOSS, CLAIM, OR COST, INCLUDING REASONABLE ATTORNEY'S FEES AND COSTS OF DEFENSE ARISING OR RESULTING FROM THE PERFORMANCE OF SUCH SERVICES BY OTHER PERSONS OR ENTITIES AND FROM ANY AND ALL CLAIMS ARISING FROM MODIFICATIONS, CLARIFICATIONS, INTERPRETATIONS, ADJUSTMENTS, OR CHANGES MADE TO THE CONTRACT DOCUMENTS TO REFLECT CHANGED FIELD OR OTHER CONDITIONS.

A. GENERAL

- THE STRUCTURE HAS BEEN DESIGNED TO WITHSTAND IN-SERVICE LOADS ONLY. METHODS, PROCEDURES, AND SEQUENCES OF CONSTRUCTION ARE THE RESPONSIBILITY OF THE CONTRACTOR. THE CONTRACTOR SHALL TAKE ALL NECESSARY PRECAUTIONS TO MAINTAIN AND INSURE THE INTEGRITY OF THE STRUCTURE AT ALL STAGES OF CONSTRUCTION.
- WHERE CONFLICTS OCCUR BETWEEN NOTES, DRAWINGS, OR SPECIFICATIONS, THE CONTRACTOR SHALL NOT PROCEED WITH THE AFFECTED WORK UNTIL THE STRUCTURAL ENGINEER ISSUES A CLARIFICATION.
- STRUCTURAL DRAWINGS SHALL BE USED IN CONJUNCTION WITH ARCHITECTURAL, CIVIL, MECHANICAL, PLUMBING, AND ELECTRICAL DRAWINGS.
- WHERE A DETAIL OR SECTION IS SHOWN FOR ONE CONDITION IT SHALL APPLY TO LIKE OR SIMILAR CONDITIONS.
- THE STRUCTURAL CONTRACT DRAWINGS SHALL NOT BE USED AS TEMPLATES FOR SHOP DRAWINGS UNLESS EXPLICIT APPROVAL IS PROVIDED BY THE STRUCTURAL ENGINEER. IN ADVANCE OF ANY SUBMITTALS, SUBMITTALS RECEIVED THAT HAVE USED THE DRAWINGS WITHOUT APPROVAL WILL BE REJECTED WITHOUT REVIEW.
- DO NOT SCALE DRAWINGS; FOLLOW DIMENSIONS ON THE PLANS.
- CONTRACTOR SHALL BE RESPONSIBLE FOR FURNISHING AND INSTALLING ANCHOR BOLTS, CLIPS, INSERTS, CONNECTION PLATES, SLEEVES, SLOTS, AND OTHER REQUIRED ITEMS IN ACCORDANCE WITH THE DRAWINGS, AND IN COOPERATION WITH OTHER TRADES PRIOR TO PLACING CONCRETE.
- PROVIDE 3" CONCRETE COVERAGE, SIDES AND BOTTOM, FOR FOOTING REINFORCING BARS.
- OVERLAP ALL SPLICES IN CONTINUOUS REINFORCING BARS 1'-8" MINIMUM.
- THICKENED SLAB, WHERE INDICATED, TO BE 12" DEEP X 1'-4" WIDE (U.O.) AT BOTTOM WITH (3) #4 BARS, CONTINUOUS.
- PROVIDE FOUNDATION DAMPPROOFING PER SPECIFICATION SECTION 01150 "DAMPPROOFING" AND THE N.C. BUILDING CODE.
- FOUNDATION WALL DETAILS REFERENCED ARE BASED ON HEIGHTS AND UNBALANCED FILL CONDITIONS INTERPRETED FROM SITE PLAN AND AVAILABLE SITE SURVEY INFORMATION. CONTRACTOR SHALL VERIFY FIELD CONDITIONS OF BOTH WALL HEIGHTS AND HEIGHT OF UNBALANCED FILL AND COORDINATE REQUIRED DETAILS. LIMITS OF MAXIMUM WALL HEIGHT AND MAXIMUM UNBALANCED FILL SHOWN AT EACH DETAIL SHALL BE STRICTLY OBSERVED.
- WHERE SOLID ROCK PROHIBITS EXCAVATION FOR FOOTINGS, A LEVEL SURFACE MUST BE PROVIDED AND FOOTINGS MUST BE FINED TO THE LEVELED SOLID ROCK. SEE FINED FOOTING DETAIL.
- CRAWLSPACE AREAS TO BE EXCAVATED ONLY TO PROVIDE 24" MINIMUM CLEARANCE BETWEEN WOOD FRAMING AND GROUND.
- CUT FOOTINGS INTO UNDISTURBED EARTH 1'-0" MIN. BEAR FOOTINGS ON UNDISTURBED EARTH. PLACE BOTTOM OF EXTERIOR FOOTINGS 2'-0" MIN. AND INTERIOR FOOTINGS 1'-4" MIN. BELOW FIN. GRADE.
- STEP FOOTINGS WHERE REQUIRED IN RATIO OF TWO HORIZONTAL TO ONE VERTICAL; MAX. VERTICAL STEP: 4"; FORM SO FOOTINGS ARE CONTINUOUS.
- FOUNDATION WALLS, PIERS, AND PILASTERS TO BE CONSTRUCTED OF CONCRETE UNLESS NOTED OTHERWISE.
- CONSTRUCT CONCRETE SLAB(S)-ON-GRADE 4" THICK, REINFORCED W/ 6X6 W/4 X W/4 WAF OVER 6 MIL POLYETHYLENE OVER 4" CRUSHED STONE BASE.
- ALL CONCRETE REINFORCEMENT BARS AND WAF SHALL BE ACCURATELY AND SECURELY TIED AND ANCHORED IN PLACE TO PREVENT DISLOCATION DURING THE CONCRETE PLACEMENT OPERATION. PROVIDE CORNER REINFORCEMENT 3/8 BAR DIAMETERS X 3/8 BAR DIAMETERS AT EACH CONTINUOUS FOOTING CHANGE IN DIRECTION.
- MINIMUM CONCRETE COVER PROTECTION FOR REINFORCEMENT BARS SHALL CONFORM TO THE AMERICAN CONCRETE INSTITUTE COMMITTEE 318, SECTION 7.7 U.O.N. (3" TYPICAL)
- WELDED WIRE MESH SHALL CONFORM TO ASTM A185. MESH SHALL BE FURNISHED IN FLAT SHEETS. LAP ONE FULL MESH.

B. FOUNDATION

- FOUNDATION DESIGN IS BASED ON A PRESUMPTIVE ALLOWABLE SOIL BEARING PRESSURE OF 3000 PSF.
- ALL FOOTINGS SHALL BE FOUNDED ON UNDISTURBED SOIL OR A CONTROLLED FILL HAVING A BEARING CAPACITY OF 3000 PSF, AT THE ELEVATIONS SHOWN ON THE STRUCTURAL DRAWINGS.
- SLABS ON GRADES SHALL BEAR ON A 6 MIL POLY VAPOR BARRIER ON TOP OF A 4" LAYER OF NO. 57 WASHED STONE ON SOIL PREPARED PER GEOTECHNICAL REPORT.
- FOUNDATION CONDITIONS NOTED DURING CONSTRUCTION, WHICH DIFFER FROM THOSE DESCRIBED IN THE GEOTECHNICAL REPORT SHALL BE REPORTED TO THE STRUCTURAL AND GEOTECHNICAL ENGINEER BEFORE FURTHER CONSTRUCTION IS ATTEMPTED.

C. CONCRETE

- CONCRETE IN THE FOLLOWING AREAS SHALL HAVE NATURAL SAND FINE AGGREGATE AND NORMAL WEIGHT COARSE AGGREGATES CONFORMING TO ASTM C39, TYPE I PORTLAND CEMENT CONFORMING TO ASTM C150, AND SHALL HAVE THE FOLLOWING MINIMUM COMPRESSIVE STRENGTH (FC) AT 28 DAYS:

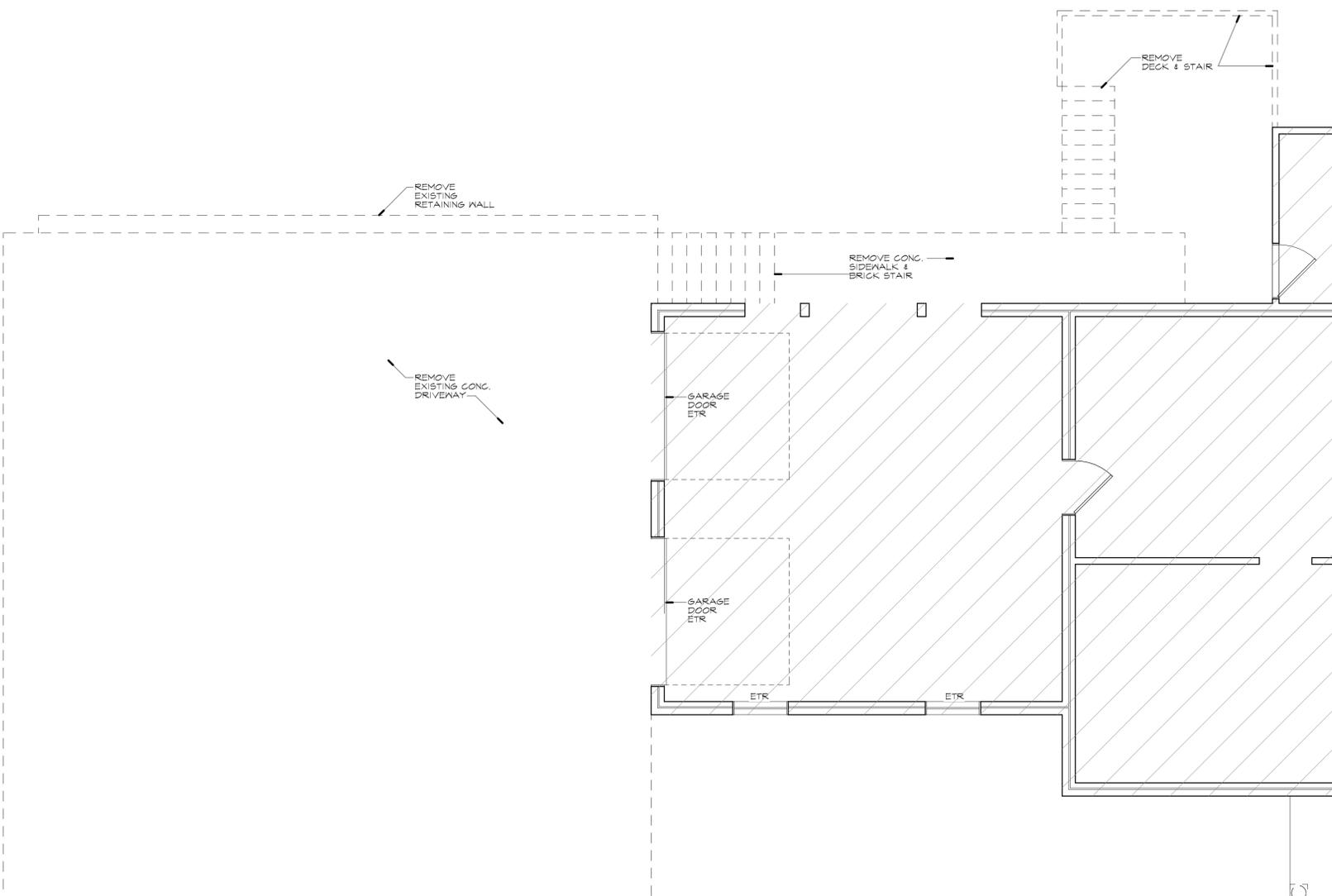
FOOTINGS	3000 PSI
INTERIOR SLAB ON GRADE	3000 PSI
EXTERIOR SLABS & WALKS	4000 PSI
PATIO /DECK SLABS	4000 PSI
- EXTERIOR SLABS EXPOSED TO DE-ICING SALTS, INCLUDING ROOFED OUTDOOR AREAS SHALL HAVE A MAXIMUM WATER-CEMENTITIOUS MATERIALS RATIO OF 0.40 AND A MINIMUM ENTRAINED AIR CONTENT OF 6%. FINISH SHALL BE BROOM-FINISHED.
- CONCRETE THAT ARRIVES AT THE JOBSITE WITH A SLUMP GREATER THAN 4 1/2" SHALL BE REJECTED. CONCRETE WITH A SLUMP LESS THAN 2 1/2" SHALL HAVE AN APPROVED SUPERPLASTICIZER ADDED SUCH THAT THE MINIMUM 2 1/2" SLUMP MAY BE ACHIEVED. THE ADDITION OF WATER AT THE JOBSITE FOR THE PURPOSE OF INCREASING THE SLUMP IS PROHIBITED.
- GRADE SLABS SHALL BE 4" THICK AND BE REINFORCED WITH A 6 X 6 - W/4 X W/4 WAF, U.O.N.
- THE CONTRACTOR SHALL BE RESPONSIBLE FOR FURNISHING AND INSTALLING ANCHOR BOLTS, CLIPS, INSERTS, CONNECTION PLATES, SLEEVES, SLOTS, AND OTHER REQUIRED ITEMS IN ACCORDANCE WITH THE CONTRACT DRAWINGS, AND IN COOPERATION WITH OTHER TRADES PRIOR TO PLACING THE CONCRETE.
- PROVIDE CHAMFER AT EXPOSED CONCRETE CORNERS PER ARCHITECT.
- COORDINATE FLOOR SLAB LAYOUT WITH THE ARCHITECTURAL DRAWINGS FOR EXACT LIMITS, EXTEND OF SLAB DEPRESSIONS, AND FOR FINISHES. SLABS SHALL MEET A FLOOR FLATNESS OF F20, F15 (MINIMUM F15, FL 15) - CONVENTIONAL.

D. CONCRETE REINFORCEMENT

- CONCRETE REINFORCEMENT BARS SHALL CONFORM TO ASTM A615, GRADE 60, REINFORCEMENT DESIGNATED AS CONTINUOUS SHALL LAP 3/8 BAR DIAMETERS AT SPLICES, UNLESS NOTED OTHERWISE. SEE MASONRY SECTION BELOW FOR LAP REQUIREMENTS IN CMU WALLS.
- WELDED WIRE FABRIC SHALL CONFORM TO ASTM A185. FABRIC SHALL BE FURNISHED IN FLAT SHEETS. LAP ONE FULL MESH.
- ALL CONCRETE REINFORCEMENT BARS AND WAF SHALL BE ACCURATELY AND SECURELY TIED AND ANCHORED IN PLACE TO PREVENT DISLOCATION DURING THE CONCRETE PLACEMENT OPERATION.
- PROVIDE CORNER REINFORCEMENT 3/8 BAR DIAMETERS X 3/8 BAR DIAMETERS, AT EACH CONTINUOUS FOOTING CHANGE IN DIRECTION.
- PROVIDE 1) #4 REINFORCEMENT BAR X 4'-0" AT RE-ENTRANT CORNERS AND AROUND THE PERIMETER OF RECTANGULAR HOLES IN THE SLAB, UNLESS OTHERWISE NOTED. PLACE BAR DIAGONAL TO THE CORNER WITH 1" CLEARANCE FROM THE TOP AND SIDE OF THE SLAB AT THE CORNER.
- MINIMUM CONCRETE COVER PROTECTION FOR REINFORCEMENT BARS SHALL CONFORM TO THE AMERICAN CONCRETE INSTITUTE COMMITTEE 318, SECTION 7.7 UNLESS NOTED OTHERWISE.

01 General Notes

02 General Notes



20 Tipton Lane
Weaverville, NC 28787
828-275-4102
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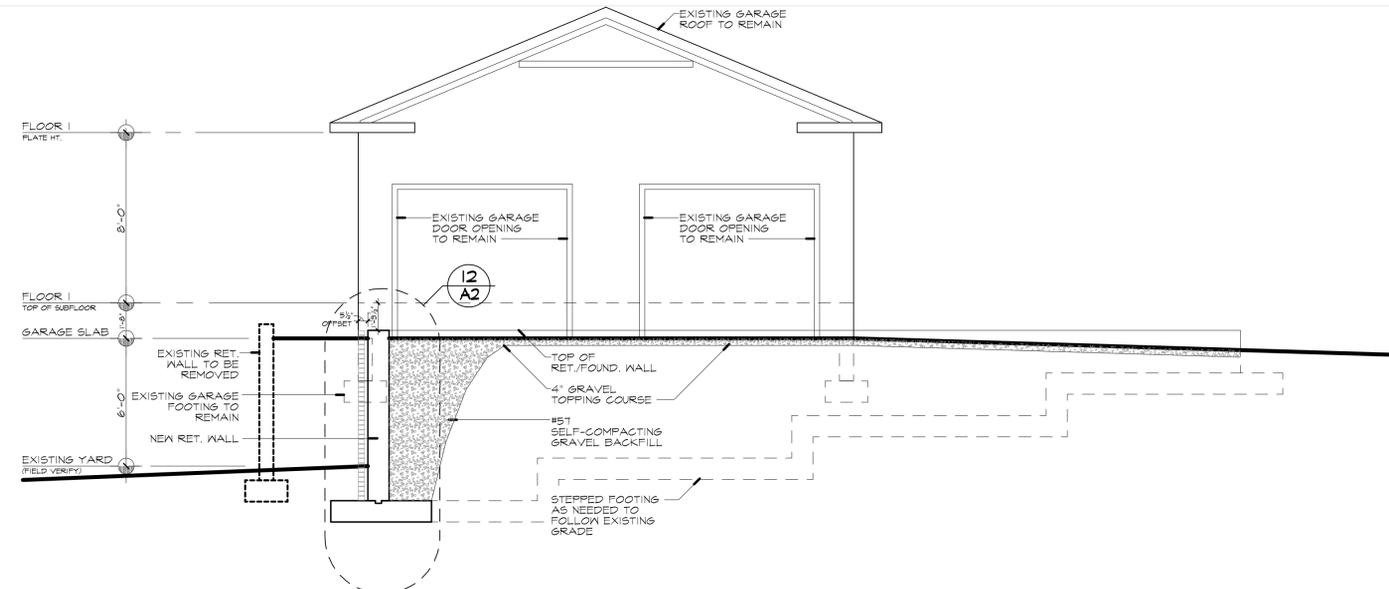
New Retaining Wall
for
Ben & Christie Lehman
9 Holly Hill rd.
Biltmore Forest, NC



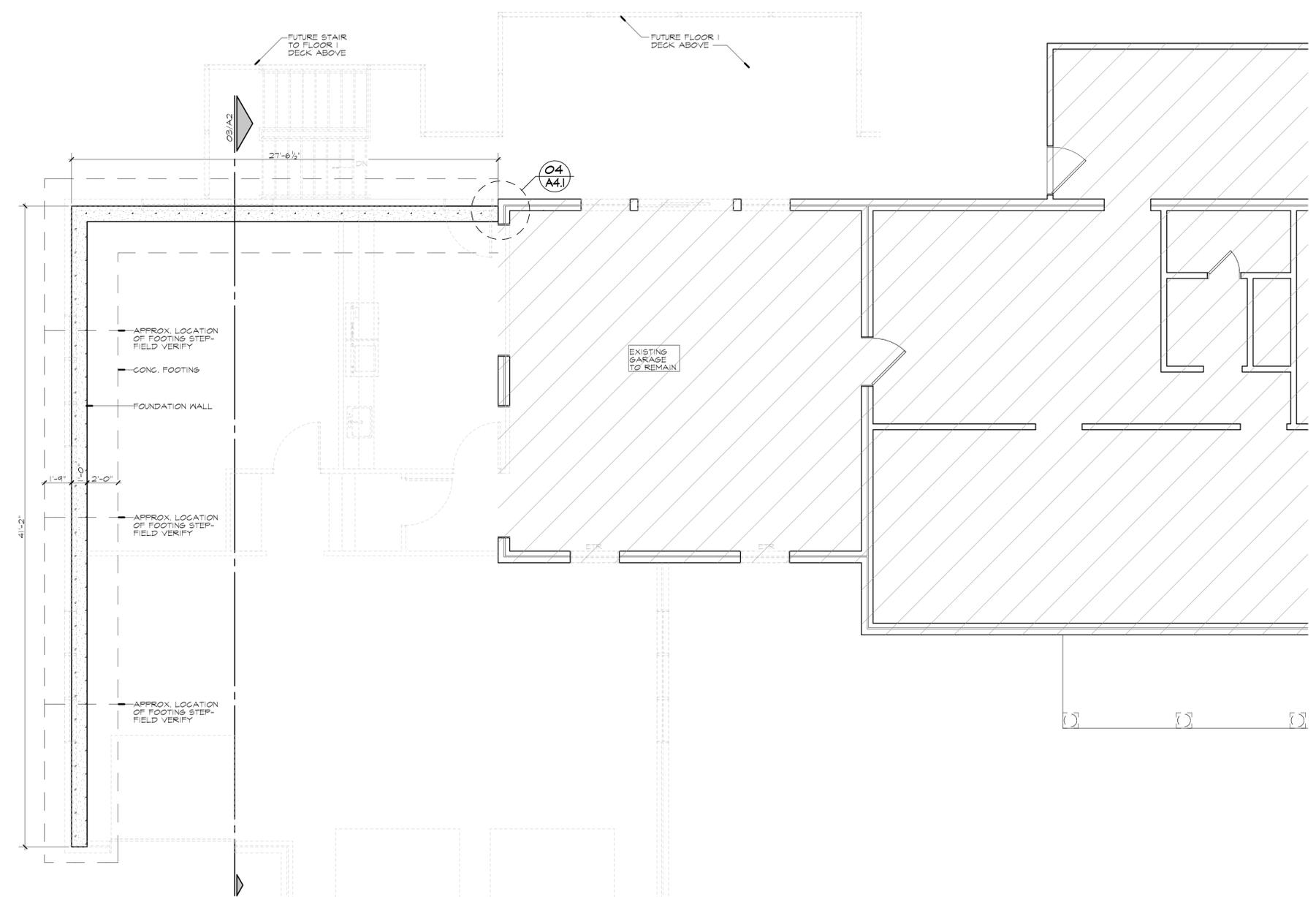
project no. 11615
designer jey
drawn by jey

date 03/16/18
scale As Shown
issued for Permit

revisions

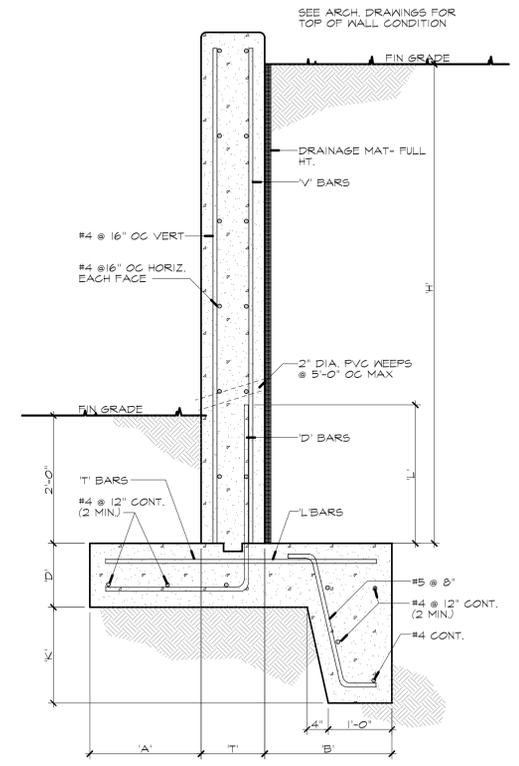


03 Section @ Retaining Wall
scale 3/4" = 1'-0"



01 Foundation Plan (partial)
scale 1/4" = 1'-0" area = 3430 sf

RETAINING WALL SCHEDULE										
DIMENSIONS							REINFORCEMENT			
H'	A'	B'	D'	L'	T'	K'	# DOWEL BARS	T BARS	L BARS	1' BARS
5'-0"	1'-3"	1'-6"	1'-0"	2'-2"	1'-0"	0	#5 @ 14"	#5 @ 14"	#5 @ 14"	3' #4
8'-0"	1'-8"	2'-0"	1'-0"	2'-2"	1'-0"	0	#5 @ 14"	#5 @ 14"	#5 @ 14"	1' #4
10'-0"	2'-3"	2'-6"	1'-0"	2'-2"	1'-0"	0	#5 @ 9"	#5 @ 9"	#5 @ 14"	8' #4
12'-0"	2'-4"	3'-0"	1'-0"	5'-4"	1'-0"	1'-6"	#5 @ 11"	#5 @ 14"	#5 @ 12"	9' #4
14'-0"	3'-3"	3'-6"	1'-0"	5'-4"	1'-0"	2'-0"	#5 @ 4"	#5 @ 4"	#5 @ 11"	10' #4
16'-0"	3'-4"	4'-3"	1'-2"	6'-0"	1'-0"	2'-0"	#6 @ 4"	#6 @ 8"	#6 @ 8"	14' #4
18'-0"	4'-3"	4'-6"	1'-4"	6'-10"	1'-2"	3'-3"	#6 @ 6"	#6 @ 12"	#6 @ 12"	18' #4
20'-0"	5'-3"	5'-6"	1'-10"	7'-4"	1'-4"	3'-3"	#6 @ 5"	#6 @ 10"	#6 @ 10"	25' #4



12 Detail at Concrete Retaining Wall
scale 3/4" = 1'-0"



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Weaverville, NC 28787
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New Retaining Wall for
Ben & Christie Lehman
9 Holly Hill rd.
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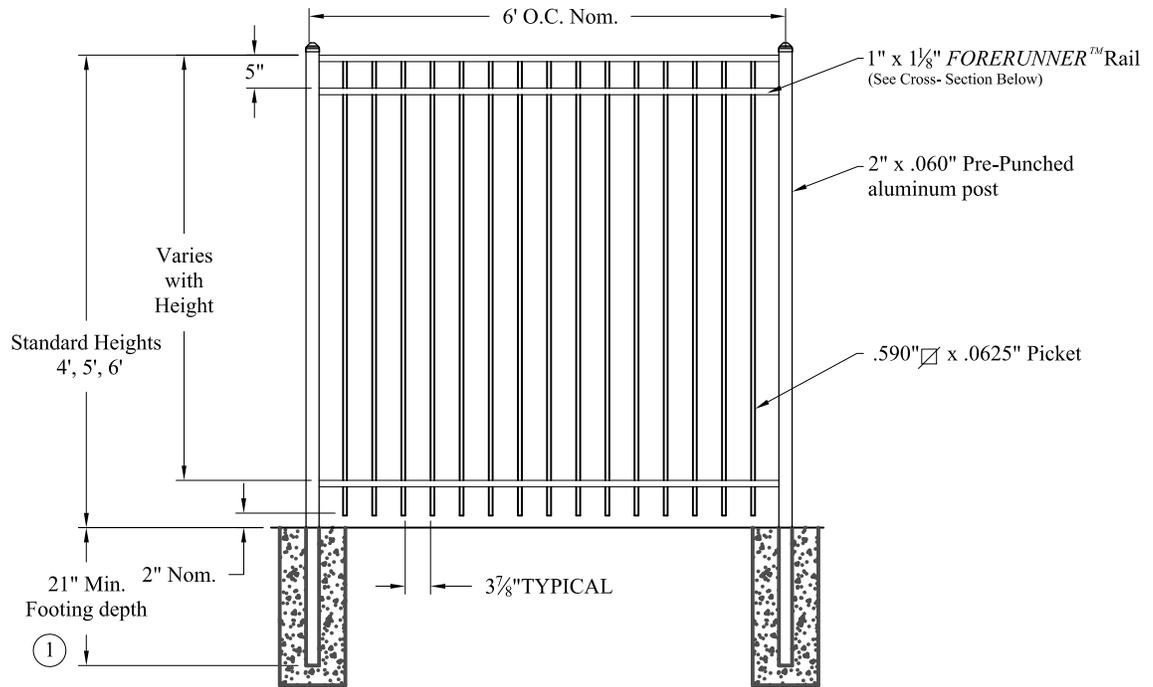


project no. 11615
designer jey
drawn by jey
date 03/16/18
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revisions

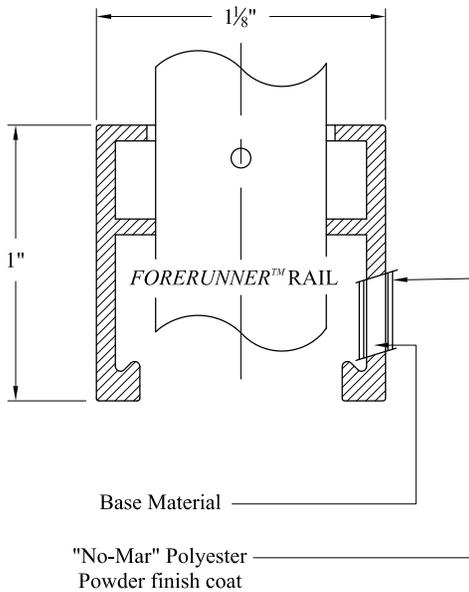
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A2
found/bsmt plan

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NOTES:

1. Post footing available in 21" or 33" depths.



INTERNAL RETAINING ROD

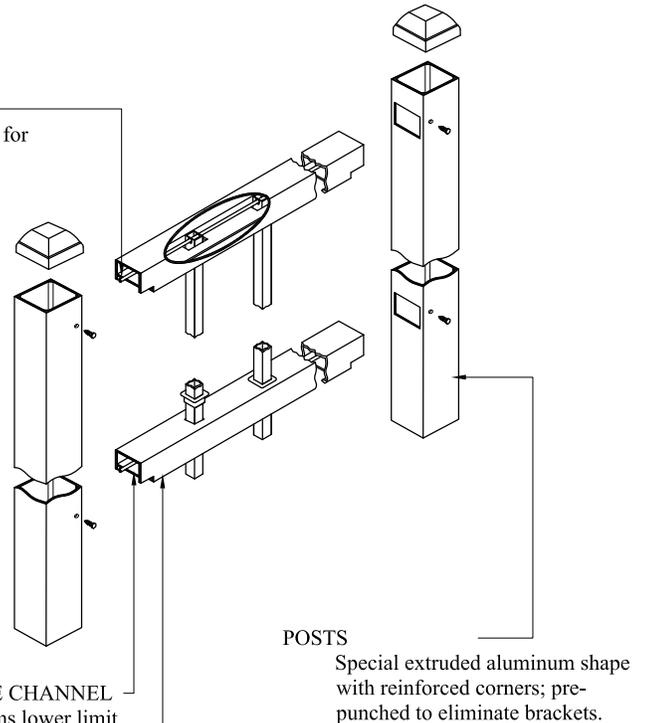
Variable pitch connection system for ease of installation, high angle bias ability and elimination of unsightly external fasteners.

INTERIOR GUIDE CHANNEL

Channel forms lower limit of raceway for retaining rod and allows for high angle bias ability.

FORERUNNER™ RAIL

"U"-Channel specially formed high strength architectural shape.



POSTS

Special extruded aluminum shape with reinforced corners; pre-punched to eliminate brackets.

Values shown are nominal and not to be used for installation purposes. See product specification for installation requirements.

MISO

Title: **ECHELON MAJESTIC 3-RAIL**

DR: CI SH . 1 of 1 SCALE: DO NOT SCALE

CK: ME Date 6/25/10 REV: b



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Outline

Client: Ben and Christie Lehman
Job Name: Lehman Pool Renovation
Job Site:
9 Holly Hill Court
Asheville, NC 28803

Date: 4/27/2018

Administrative:

- Permitting – coordination and management of permitting and inspection process
- Further designs and plans as necessary for construction
- Coordination with engineer – to review house addition retaining wall
- Management of all subcontractors contracted to complete scope
- Cleanup - All material and trash generated by Splash will be removed from site

Demolition:

- **Cut pool coping entire perimeter at 12"**
- Remove existing pool patio
- Remove brick wall and steps at driveway
- Remove up to 1800 sqft of driveway
- Remove existing raised deck
- Remove existing hot tub
- Remove existing arbor
- Up to 3 loads of debris removed – will use some for fill to expand sports lawn

Grading:

- Grade for lawn – extending out using cuts from new addition and firepit terrace, and from regrading slope from drive
- Excavate for walls and steps at firepit and pool
- Rough grade for patio
- Hand grade for pool patio and firepit terrace
- **3" gravel subbase at pool patio and fire pit**
- Hand grade pathway

Hardscaping

Flatwork-

Concrete:

- 1565 sqft ft concrete pool patio with texture and cut decorative pattern
- 280 sqft fire pit terrace subbase
- 350 sqft concrete pathway
- Driveway to be gravel, qty pending wall backfill

Flagstone:

- 280 sqft irregular flagstone with mortared joints at fire pit terrace
- (3) **36" x 18" x 2" flagstone steppers from pool patio to lawn**

Stack Stone:

- Fire pit retaining wall – 88 sqft stack stone, 35 linear feet flagstone cap
- Face foundation wall

Fire Pit:

- **48" diameter x 18" height**
- 26 square feet stack stone exterior
- 16 square feet stack stone 16 interior
- Flagstone cap
- Firebrick floor
- **3" drain**
- Gas starter
- Gas connection by addendum

Fieldstone Steps and Boulders:

- (16) fieldstone steps at fire pit terrace

House Addition Wall:

- Foundation wall **per engineer's specs**
- Approx.. 70 lft x 2 – 6ft height with step footers
- Refer to plan engineer plan for additional details

Structures

Raised Deck-

- New raised deck to connect existing sunroom to new addition
- Includes wrap-around stairway, with midpoint landing, down to pool patio
- 310 sqft trex composite decking
- Cedar posts
- Cedar skirting
- Storage shed built under steps
- Cable railing system
- **French door into sunroom (60" x 80" solid pine)**
- Stain/paint/seal all wood surfaces

Railing:

- 64 lft of cable railing at top of foundation wall
- 4 x 4 posts anchored to foundation wall
- 4 ft aluminum gate at top of steps with pool compliant latch and hinges

Fencing:

- (240) linear feet of decorative aluminum fencing
- **48", 3 rail, powder coat black**
- (2) gates w/ self-closing hinges and magna latch self-locking entry latches
- Approved pool barrier

Landscaping

Lawn:

- (3,000) sqft feet of fescue sod
- Rolled and fertilized

Perennial Mixes: 4" – 1 gallon

Mix 1:

- Aster (5)
- Iris - Caesar's Brother (5)
- Dianthus Baths Pink (10)

Mix 2:

- Aster (5)
- Iris - Caesar's Brother (5)
- Dianthus Baths Pink (7)

Mix 3:

- Muhly Grass (3)
- Dianthus Baths Pink (7)

Mix 4:

- Candytuft (7)
- Variegated Sweet Iris (5)
- Daylily Happy Returns (7)
- Aster (3)

Mix 5:

- Candytuft (3)
- Daylily Happy Returns (3)
- Aster (3)

Mix 6:

- Russian Sage (3)
- Muhly Grass (5)
- Dianthus Baths Pink (5)
- Daylily Happy Returns (7)
- Iris Caesar's Brother (7)

Mix 7:

- Golden Japanese Forest Grass (3)
- Lenten Rose (9)
- Creeping Jenny (18)

Mix 8:

- Astilbe (3)

Mix 9:

- Astilbe (7)
- Golden Japanese Forest Grass (3)
- Ajuga (7)
- Lenten Rose (9)

Steppable Mix:

- Dwarf Mondo Grass (7)
- Dianthus Bath's Pink (5)

Other:

- (15) Hosta – several varieties 1 gallon

Small Trees:

- (1) Flowering Redbud – 10-12 ft
- (1) Flowering Dogwood – 10-12 ft
- (2) Crape Myrtle – 14-16 ft, multi-trunk
- (4) Fosters Holly 8-10 ft

Shrubs:

- (11) Hydrangea, various varieties – 3 gallon
- (3) English Laurel – 7 gallon
- (10) Creeping Plum Yew 3 gallon
- (1) Camelia japonica 7 gallon
- (5) Mountain Laurel 3 gallon
- (6) Pjm Rhododendron 5 gallon
- (9) Loropetalum 3 gallon
- (7) Sweetbox 3 gallon
- (12) Nearly Wild Rose 3 gallon
- (11) Muhly Grass 3 gallon
- (11) Otto Luyken Laurel 3 gallon
- (10) Little Princess Spirea 3 gallon

Mulch:

- (40) cubic yards hardwood mulch

Planting Mix

- (15) cubic yards planting mix

Fertilizer

- Starter fertilizer for all plantings

Drainage:

- (12) area drains above sports lawn, between house and pool patio, and near fire pit
- **4" ads pipe open to daylight**

Irrigation:

- Backflow preventer and valve
- Mainline
- Digital timer
- (4) zones

Landscape Lighting:

- Not included in this agreement. Planned for Second phase

Utilities

Electrical:

- Initial overview of existing electrical system
- Bond pool per code and extend bond wire to equipment pad
- New pool electrical feed to equipment
- New pool junction box and feed
- Waterbond at pool equipment
- (1) new pool led lights with wall switch

Gasline:

- Coordination with gas company for fire pit connection

Pool

Pool:

- Repair pool plumbing
- Remove existing liner
- Clean pool cavity
- Replace liner with 28 mil liner, pattern to be determined
- Add salt system and initial salt
- Fill and balance



Splash Luxury Pools |

Ben and Christie Lehman



Splash Luxury Pools |

Ben and Christa Lehman

355 Vanderbilt Rd | Biltmore Forest, NC
Po Box 5352 | Biltmore Forest, NC 28803
P (828) 274-0824 | F (828) 274-8131

www.biltmoreforest.org



George F. Goosmann, III, Mayor
Fran G. Cogburn, Mayor-Pro Tem
E. Glenn Kelly, Commissioner
Doris P. Loomis, Commissioner

Jonathan B. Kanipe,
Town Manager

MEMORANDUM

To: Board of Adjustments Members
From: Jonathan Kanipe, Town Manager
Re: Board of Adjustments Case Number 4 (54 Forest Road)
Date: May 14, 2018

The applicants request a conditional use permit for construction of a detached accessory building and replacement of a pool. The accessory structure will be approximately 13' x 23' and will be constructed with wood shingle siding and a shake roof. An outdoor shower will be attached to the building. The pool will be relocated from its current location in the backyard, but will be within the setback requirements. Stone hardscaping will be constructed around the pool and landscaping plans are also included with this request. The applicant notes they will follow best management practices for erosion control during construction and will install the required mud mat. The detached accessory building is in compliance with the setbacks and the roof coverage and height requirements for detached buildings. The requirements for accessory buildings as a conditional use are found below.

§ 153.008 CONDITIONAL USES.

(8) Accessory buildings.

(a) All accessory buildings shall meet the standards of the State Building Code where applicable.

(b) All accessory buildings shall be of a design compatible with the principal building on the lot and with the structures in the neighborhood.

(c) An additional parking space shall be required when an accessory building is permitted for use as a dwelling by a family member.

(d) Accessory buildings shall comply with the district's setback requirements.

The Board must also find that the conditional use request for an accessory building meets the following requirements, as established in the Zoning Ordinance's General Regulations.

§ 153.029 ACCESSORY STRUCTURES AND BUILDINGS.

(A) Accessory structures and/or necessary buildings shall not detract from nor interfere with adjacent properties. No accessory structure or building shall be constructed, erected, or located within any front yard or within any side yard or rear yard setback.

(B) (1) In addition, the following standards are established for accessory structures and accessory buildings:

- (a) The maximum number of accessory buildings permitted on a lot shall be one;*
- (b) The maximum roof coverage area for accessory buildings shall be 750 square feet;*
- (c) The maximum height for accessory buildings shall be 25 feet;*
- (d) The accessory building must be screened by vegetation or other buffer as set forth in § 153.008;*
- (e) The accessory building must be located behind a line parallel to the rear of the principal structure on the lot;*
- (f) The accessory building must be designed in the same architectural style as the principal structure;*
- (g) Any accessory structure and/or accessory building shall be included in the calculation of allowable roof coverage and allowable impervious surface coverage on the lot pursuant to §§ 153.043 and 153.048.*

In addition, a variance is requested for fencing as part of the project. The plans submitted note the structure as a pool fence, but the perimeter expands beyond the vicinity of the pool. The proposed fencing will be located in the side and rear yard setbacks. In addition to the ordinance language from 153.029 noted above, the following ordinance language deems this request unallowable by current ordinance standards:

(C) (1) The town is a unique community concerned with historic continuity. The town, originally part of the Vanderbilt Estate, was established 100 years ago. Since its establishment, Biltmore Forest has been a forested residential community with substantial open space. Preservation of the forest environment requires substantial open space for trees, plants and wildlife.

More specifically, **Section 153.029 (C) 3a-f** provides that fences are only allowed when “**necessary for safety, the protection of public health, or is required as a condition of obtaining homeowner’s insurance**”, for properties along Hendersonville Road where “**a fence or wall is necessary to provide projection from pedestrians and motorists on Hendersonville Road**”, or for properties **abutting the Blue Ridge Parkway and the Biltmore Estate**.

Zoning Application

Property Identification

Name

Rob Moody

Address

54 Forest Road, Biltmore Forest, North Carolina 28801

Phone

(828) 337-0623

Email

rob@seanperryinc.com

Zoning

R-1

Lot Size (Acres)

1.04

Email -Submission Verification

rob@seanperryinc.com

Scope of Project-Roof Coverage

Does the project include increasing roof coverage?

Yes

What is the proposed roof coverage?

350

Is the proposed roof coverage greater than the permitted maximum roof coverage?

No

Scope of Project-Impervious Surface

Does the project include increasing the impervious surface coverage?

No

Scope of Project-Setbacks

Does any part of the project fall within the front yard?

No

Does any part of the project fall within the side/rear yard setback(s)s?

No

Scope of Project-Accessory Structures

Does the project include a detached structure or building?

Yes

An application for a conditional use permit will be required in addition to this zoning application.

Will there be more than the approved number of

accessory structures/buildings?

No

Project Description

Brief Description of Project

Landscaping & hardscaping installation. Demo of existing pool and installation of new pool. Construction of accessory storage building.

Impervious Surface Calculations

Home and associated wood decks:

-existing 3504 sqft

-proposed 3705 sqft

Accessory structures

-allowed 750 sqft

-proposed 360 sqft (15'x24')

Exterior hardscape, pool and drive

-existing 5786 sqft

-proposed 5765 sqft

Site information

-Size 45314 sqft (1.04 acres)

Impervious Surfaces

-existing 9290 sqft

-allowed 25% 11,328 sqft

-proposed 9830 sqft

(including all structures and hardscape)

Increasing only 540sqft currently

ROOF COVERAGE:
Upper Roof 2333 sf
Den Roof 310 sf
Porch Roof 633 sf
Bay Win Roof 56 sf
TOTAL 3332 sf

Estimated Cost of Project
467,000

Estimated Completion Date
12/31/2018

Please attach any drawings, renderings, photographs or other supporting documentation.
existing conditions.pdf

L1.01 Site Plan.pdf

L3.01 Grading Plan.pdf

L5.02 Fence Details.pdf

L5.03 Pool Area Details.pdf

L5.04 Pool Area Details.pdf

ADNC.GardenShed.2018.03.26.pdf

Conditional Use Permit Application

I hereby petition the Board of Adjustment to issue a Conditional Use Permit for:

Name

Rob Moody

Property Address

54 Forest Road

Phone

(828) 337-0623

Email

rob@seanperryinc.com

Type of Conditional Use

802.07 Accessory Buildings

Email-Submission Verification

rob@seanperryinc.com

Description of Project

Landscaping & hardscaping of site. Demo existing pool and install new pool. Construct accessory storage building.

Explain why the project would not adversely affect the public interest of those living in the neighborhood:

The plan represents an improvement upon design. We will follow best management practices for erosion control and will install the required mud mat.

I certify that the information presented by the undersigned in this application is accurate to the best of my knowledge, information and belief.

Signature



Date

3/26/2018

Variance Application

I hereby petition the Board of Adjustment for a variance(s) from the provisions of the Zoning Ordinance for the real property stated below.

Name

Rob Moody

Property Address

250 Haywood Road

Email

rob@seanperryinc.com

Phone

(828) 337-0623

Email-Submission Verification

rob@seanperryinc.com

Variance to Zoning Ordinance Section(s) (Select all that apply)

1104 Accessory Structures & Accessory Buildings

N.C.G.S. 160A-388(D) requires that the Board of Adjustments shall vary the provisions of the Zoning Ordinance only upon a showing of ALL the following:

- 1) Unnecessary hardship would result from the strict application of the ordinance.
- 2) The hardship results from conditions that are peculiar to the property, such as location, size, or topography. Hardships resulting from conditions that are common to the neighborhood or the general public, may not be the basis for granting a variance.
- 3) The hardship did not result from actions taken by the applicant or the property owner. The act of purchasing property with knowledge that circumstances exist that may justify the granting of a variance shall not be regarded as a self-created hardship.
- 4) The requested variance is consistent with the spirit, purpose, and intent of the ordinance, such that public safety is secured, and substantial justice is achieved.

State specific hardship that results in variance request to not comply with the Zoning Ordinance

The owners would like to incorporate the majority of their rear yard inside a fence for a play area for their children and to isolate the new pool from outside foot traffic. There was a fence in the rear yard in the same location as the proposed new fence.

State what conditions are peculiar to the property that require a variance.

N/A

Did the hardship result from actions taken by the applicant or property owner?

No

State how the requested variance is consistent with the spirit, purpose, and intent of the ordinance.

The rear fence will be in the same location as a previous fence. All fencing has been designed in a traditional nature.

In granting any variance, the Board of Adjustment may prescribe appropriate conditions and safeguards in conformity with the Zoning Ordinance. Violations of the provisions of the variance granted including any

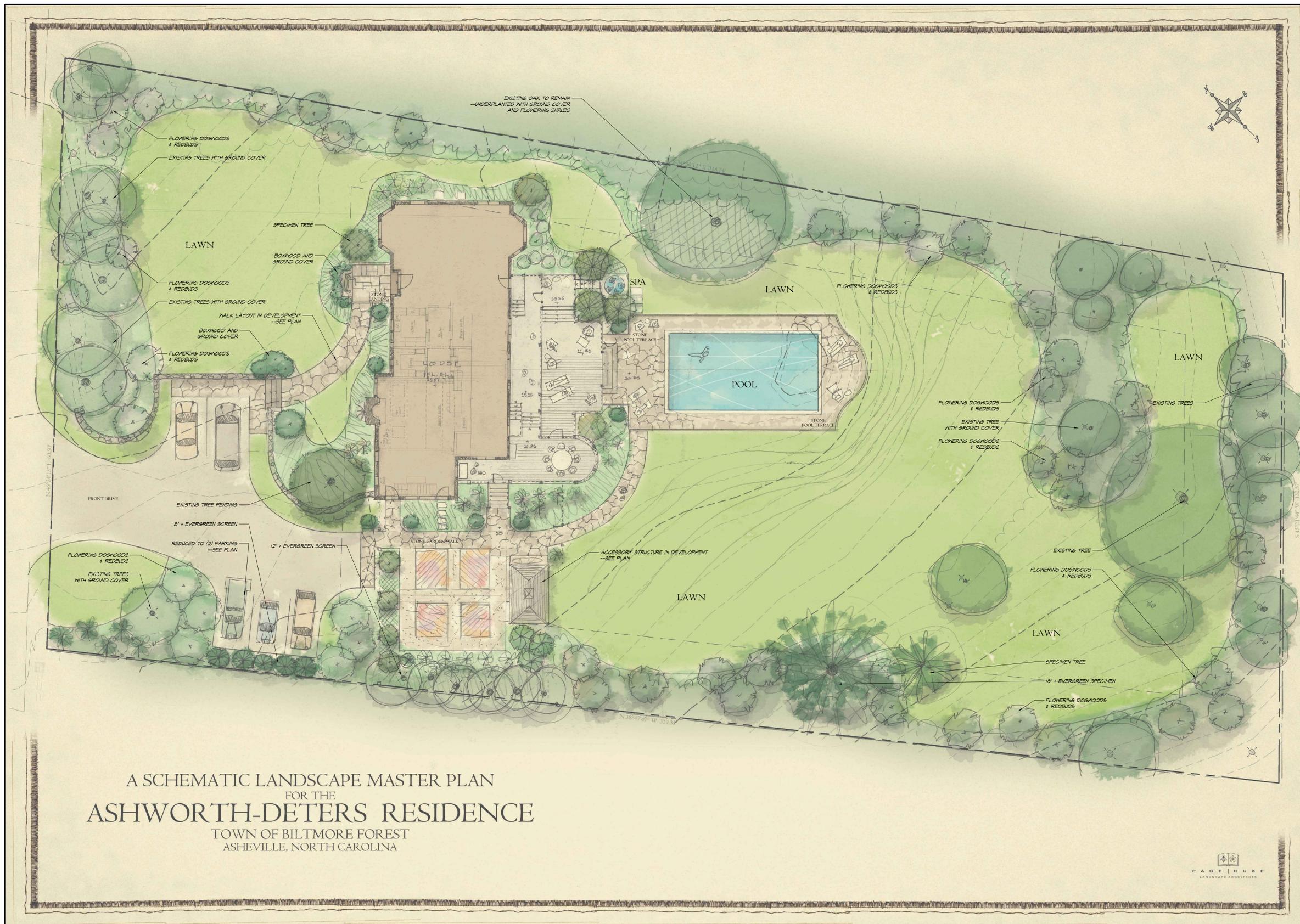
conditions or safeguards which are part of the granting of the variance, shall be deemed a violation of the Zoning Ordinance. I hereby certify that the information set forth above is true and accurate to the best of my knowledge.

Signature

Date

4/27/2018

A handwritten signature in black ink, appearing to read "D. Kelly", written over a horizontal line.



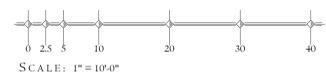
A SCHEMATIC LANDSCAPE MASTER PLAN
 FOR THE
ASHWORTH-DETERS RESIDENCE
 TOWN OF BILTMORE FOREST
 ASHEVILLE, NORTH CAROLINA

FOR COMMENT AND
 REVIEW ONLY
 NOT FOR CONSTRUCTION

A LANDSCAPE MASTERPLAN FOR THE:
**ASHWORTH
 DETERS
 RESIDENCE**
 54 FOREST ROAD
 ASHEVILLE, NORTH CAROLINA
 SHEET TITLE:
**SCHEMATIC
 PLANTING PLAN**

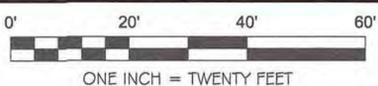
PAGE DUKE
 LANDSCAPE ARCHITECTS
 1206 17TH AVENUE SOUTH
 NASHVILLE, TENNESSEE 37212
 TEL: 615.320.0220
 FAX: 615.320.0223
 EMAIL: jason@pageduke.com

DATE: **APRIL 30, 2018**
 SCALE: **1" = 10'-0"**
 DRAWN BY: **JSG**
 SHEET NUMBER:

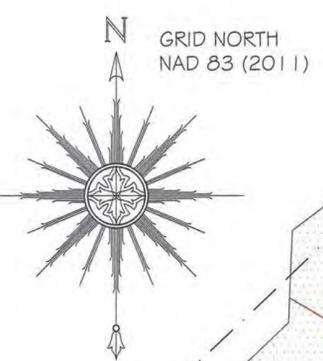


L 6.01

PROPERTY IS ZONED R-1
REFER TO THE TOWN OF BILTMORE FOREST,
NC CODE OF ORDINANCES,
SETBACKS: FRONT 60', SIDE 20', REAR 25'
FRONT SETBACK OF 75' SHOWN ON PB:10 PG:12



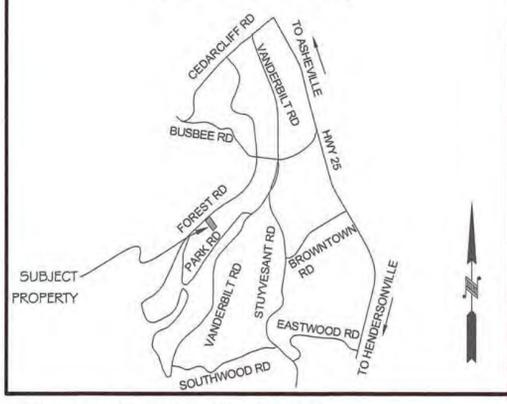
CURVE	RADIUS	CHORD BEARING	CHORD LENGTH
C1	2850.00'	N 46°31'05" E	93.32'



SURVEYOR'S NOTES:

1. ALL DISTANCES AND COORDINATES ARE GROUND MEASUREMENTS IN US SURVEY FEET UNLESS OTHERWISE NOTED.
2. AREAS CALCULATED BY THE COORDINATE METHOD.
3. PROPERTY SUBJECT TO ALL EASEMENTS, RIGHT OF WAYS AND RESTRICTIONS THAT ARE RECORDED, UNRECORDED, WRITTEN AND UNWRITTEN.
4. BUNCOMBE COUNTY GIS WEBSITE USED TO IDENTIFY ADJOINING PROPERTY OWNERS.
5. THE PROFESSIONAL SURVEYOR HAS MADE NO INVESTIGATION OR INDEPENDENT SEARCH FOR EASEMENTS, RIGHT OF WAYS, ENCUMBRANCES, RESTRICTIVE COVENANTS, CORRECT OWNERSHIP OR ANY OTHER FACTS THAT AN ACCURATE AND CURRENT TITLE SEARCH MAY DISCLOSE. A NC LICENSED ATTORNEY SHOULD BE CONSULTED.
6. BY GRAPHIC DETERMINATION, NO PORTION OF THE SUBJECT PROPERTY APPEARS TO LIE WITHIN A SPECIAL FLOOD HAZARD AREA (SFHA) AS DETERMINED BY THE F.E.M.A. MAP# 3700964800J DATED 01/06/10.
7. UTILITIES WERE LOCATED BASED ON VISIBLE ABOVE GROUND STRUCTURES, THEREFORE THE LOCATION OF UNDERGROUND UTILITIES ARE APPROXIMATE OR MAY BE PRESENT AND NOT SHOWN HEREON. CALL 1-800-632-4949 BEFORE DIGGING.

VICINITY MAP
(NOT TO SCALE)



CERTIFICATE OF SURVEY AND ACCURACY

I, KEVIN L. JONES CERTIFY THAT THE GROUND TOPOGRAPHIC SURVEY PORTION OF THIS PROJECT WAS COMPLETED UNDER MY DIRECT SUPERVISION FROM AN ACTUAL SURVEY MADE UNDER MY DIRECT SUPERVISION; THAT THIS SURVEY WAS PERFORMED AT THE 95% CONFIDENCE LEVEL TO MEET THE FEDERAL GEOGRAPHIC DATA COMMITTEE STANDARDS; THAT THIS SURVEY WAS PERFORMED TO THE CLASS A HORIZONTAL AND CLASS C VERTICAL WHERE APPLICABLE; THAT THE ORIGINAL DATA WAS OBTAIN BETWEEN THE DATES OF 06/05/17-12/19/17; THAT THE CONTOURS SHOWN AS BROKEN LINES MAY NOT MEET THE STATED STANDARD AND ALL COORDINATES ARE BASED ON NAD 83 (NSRS 2011) AND ALL ELEVATIONS ARE BASED ON NAVD 88; THAT THE GPS PORTION OF THIS PROJECT WAS TO PERFORM A GRID TIE TO THE NC STATE PLANE COORDINATE SYSTEM AND INFORMATION USED IS SHOWN & NOTED HEREON; THAT THIS MAP MEETS THE SPECIFICATIONS FOR TOPOGRAPHIC SURVEYS AS STATED IN TITLE 21, CHAPTER 56, SECTION 1606; THAT THIS MAP WAS NOT PREPARED IN ACCORDANCE WITH G.S. 47-30, AS AMENDED AND DOES NOT REPRESENT AN OFFICIAL BOUNDARY SURVEY.

GPS METADATA
CLASS OF SURVEY: HORIZONTAL: A VERTICAL: C
FIELD PROCEDURE: STATIC
DATES: 06/05/17-12/19/17
DATUM: NAD83(2011) NAVD 88
EPOCH: 2010
GEOID: 12B
AVERAGE COMBINED FACTOR: 0.999785155
POSITIONAL ACCURACY: HORIZONTAL: 0.07 VERTICAL: 0.09
UNITS: USFT
CORS USED: NCBR, NCSW, NCHE, HAYW

WITNESS MY ORIGINAL SIGNATURE, LICENSE NUMBER, AND SEAL THIS 10TH DAY OF JANUARY, 2018, A.D.

THIS DOCUMENT IS NOT VALID UNLESS SIGNED AND SEALED.

[Signature]
KEVIN L. JONES, PLS L-5016

LEGEND:

	BOUNDARY LINE
	TIE LINE ONLY
	ADJOINING DEED LINES
	RIGHT OF WAY (R/W)
	FENCE LINE
	OVERHEAD WIRE
	BUILDING SETBACKS
	MAJOR CONTOUR
	MINOR CONTOUR
	BAMBOO TREE LINE
	ROCK WALL
	ROCK PATIO
	ASPHALT
	CONCRETE
	CALCULATED POINT (NOT SET)
	SET IRON PIN (SIP) 5/8" RBR/CAP
	EXISTING 3" IP WITH TACK (UNLESS OTHERWISE NOTED)
	DECIDUOUS TREE (AS NOTED)
	CONIFEROUS TREE (AS NOTED)
	ELECTRICAL OUTLET
	UTILITY POLE
	WATER VALVE
	WATER METER
	CLEAN OUT
	HVAC
	OPEN THROAT DROP INLET
	GAS METER
	YARD HYDRANT
	NOT TO SCALE (NTS)
	PLAT BOOK
	DEED BOOK
	PAGE
	REBAR
	REBAR WITH ID CAP
	IRON PIPE
	NORTH AMERICAN DATUM 1983
	STATE PLANE COORDINATES
	NATIONAL GEODETIC SURVEY
	CONTROL CORNER
	CORRUGATED METAL PIPE
	DOUBLE
	RADIUS OF TREE DRIPLINE
	FINISHED FLOOR ELEVATION
	BENCHMARK

PAUL J. ZIMMERMAN, JR. AND WIFE, DIANE E. ZIMMERMAN
PIN: 9646-69-4035
DB: 5009 PG: 1067
PB: 10 PG: 12 LOT 22

LOT 23
TOTAL AREA
1.04 ACRES
45314.4 SQ.FT.

FENCE IS 0.61' OVER LINE
WOODEN PICKET FENCE TO THE
NORTH & CHAIN LINK FENCE TO THE
SOUTH FROM THIS POINT

WILLIAM H. WILLIAMS AND WIFE, KARI A. WILLIAMS
PIN: 9646-68-7915
DB: 4909 PG: 1069
PB: 10 PG: 12 LOT 5

ELEVATION DATUM: NAVD 88
CONTOUR INTERVAL: 1 FOOT

GRID TIE INFORMATION:

GPS #1 5/8" RBC "KEE" NAD 83 (2011) 5PCS: EPOCH DATE: 2010 GEOID: 12B N: 668652.15 FEET E: 945833.37 FEET Z: 2175.63 FEET CF: 0.99978545	GPS #2 5/8" RBC "KEE" NAD 83 (2011) 5PCS: EPOCH DATE: 2010 GEOID: 12B N: 668748.83 FEET E: 945908.66 FEET Z: 2188.30 FEET CF: 0.99978486
---	---

MICHAEL D. WREN AND WIFE, LAURA F. WREN
PIN: 9646-68-5881
DB: 4909 PG: 1069
PB: 10 PG: 12 LOT 6

A TOPOGRAPHIC SURVEY FOR:
SARAH ASHWORTH

PARCEL IDENTIFICATION #: 9646-69-5129

CURRENT OWNER LISTED AS:
SARAH P. ASHWORTH & LEONIDAS P. DETERS
SITE ADDRESS: 54 FOREST ROAD ASHEVILLE, NC 28803

DEED REFERENCE: BOOK: 5562 PAGE: 1253
BILTMORE TOWNSHIP, BUNCOMBE COUNTY, NORTH CAROLINA

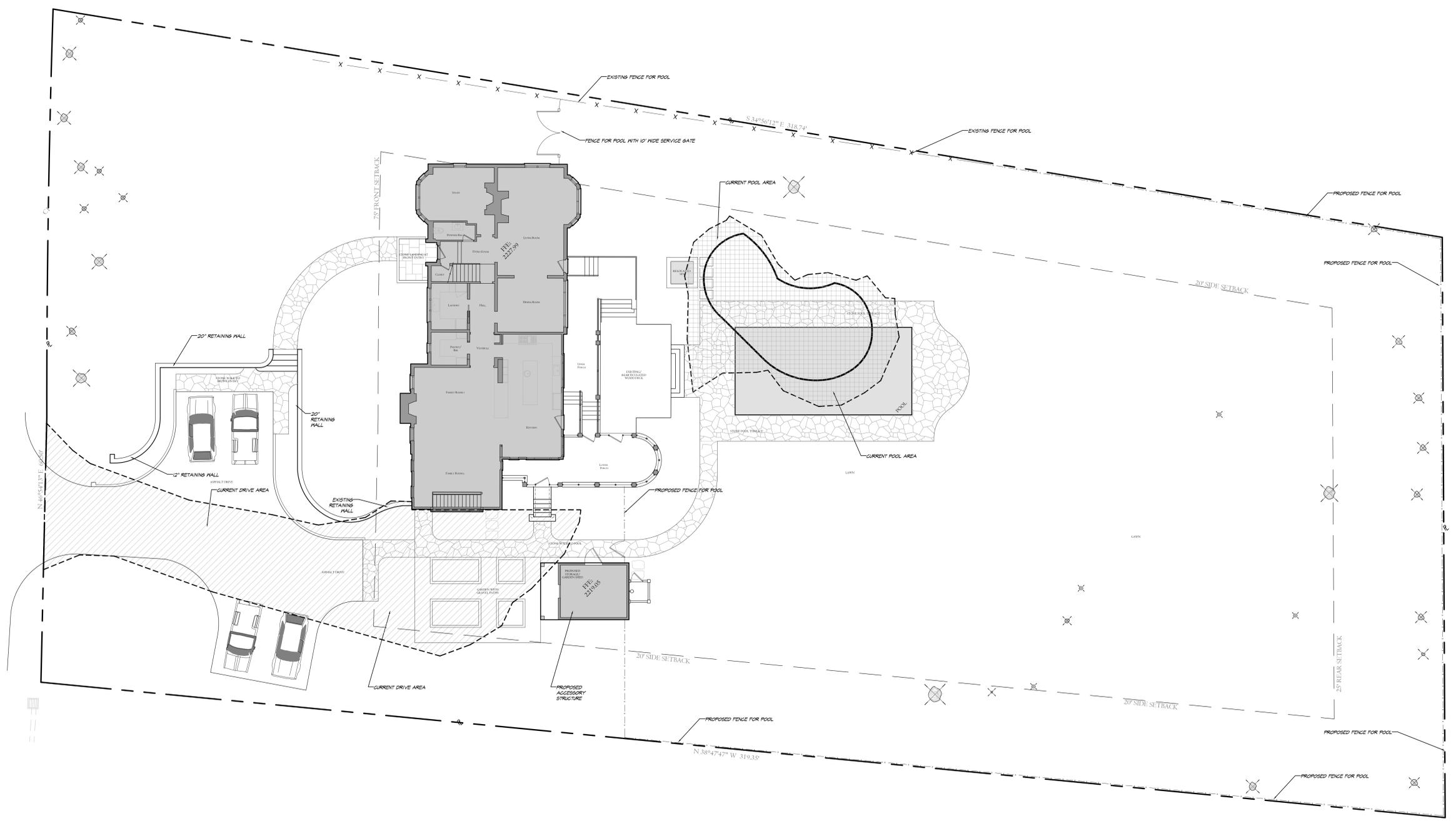
SURVEY BY: JN, WH, MK, AM DRAWN BY: KJ CHECKED BY: KJ
SURVEY DATE: 06/05/17-12/19/17 JOB #1705107

REVISIONS: ADDED 36" OAK EAST OF THE POOL DATE: 1-10-18

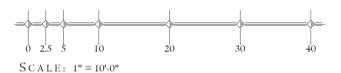
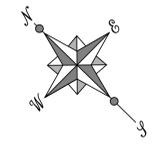
SHEET SIZE: 18"X24" SHEET #: 1 OF 1 SCALE: 1"=20'



P.O. Box 2566
Asheville, NC 28802
(828) 575-9021
www.keemap.com
License # C-3039



-  EXISTING POOL AND HARDSCAPE
-  EXISTING DRIVE AND HARDSCAPE
-  EXISTING POOL FENCE
-  PROPOSED POOL FENCE



FOR COMMENT AND REVIEW ONLY
NOT FOR CONSTRUCTION

A LANDSCAPE MASTERPLAN FOR THE
**ASHWORTH
 DETERS
 RESIDENCE**
 54 FOREST ROAD
 ASHEVILLE, NORTH CAROLINA

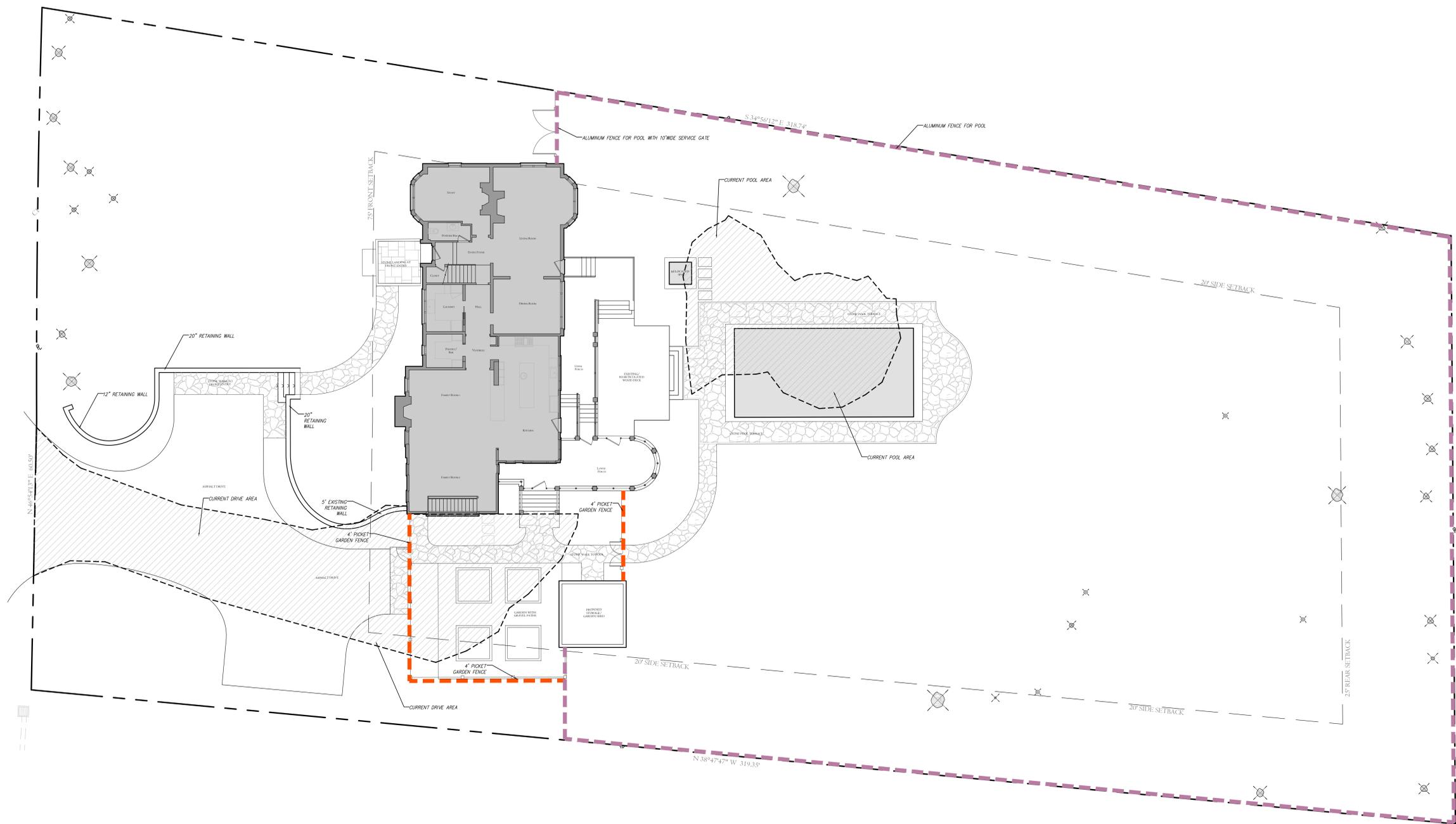
SHEET TITLE:
SITE PLAN


PAGE DUKE
 LANDSCAPE ARCHITECTS
 1206 17TH AVENUE SOUTH
 NASHVILLE, TENNESSEE 37212
 TEL: 615.320.0220
 FAX: 615.320.0223
 EMAIL: jason@pageduke.com

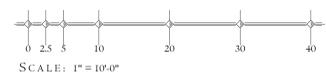
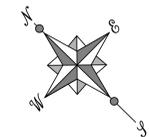
DATE: **APRIL 30, 2018**
 SCALE: **1" = 10'-0"**
 DRAWN BY: **JSG**

SHEET NUMBER:

L I.O.I



-  EXISTING DRIVE AND POOL
-  PROPOSED WOOD PICKET / GARDEN FENCE
-  PROPOSED IRON / ALUMINUM POOL FENCE



FOR COMMENT AND REVIEW ONLY
NOT FOR CONSTRUCTION

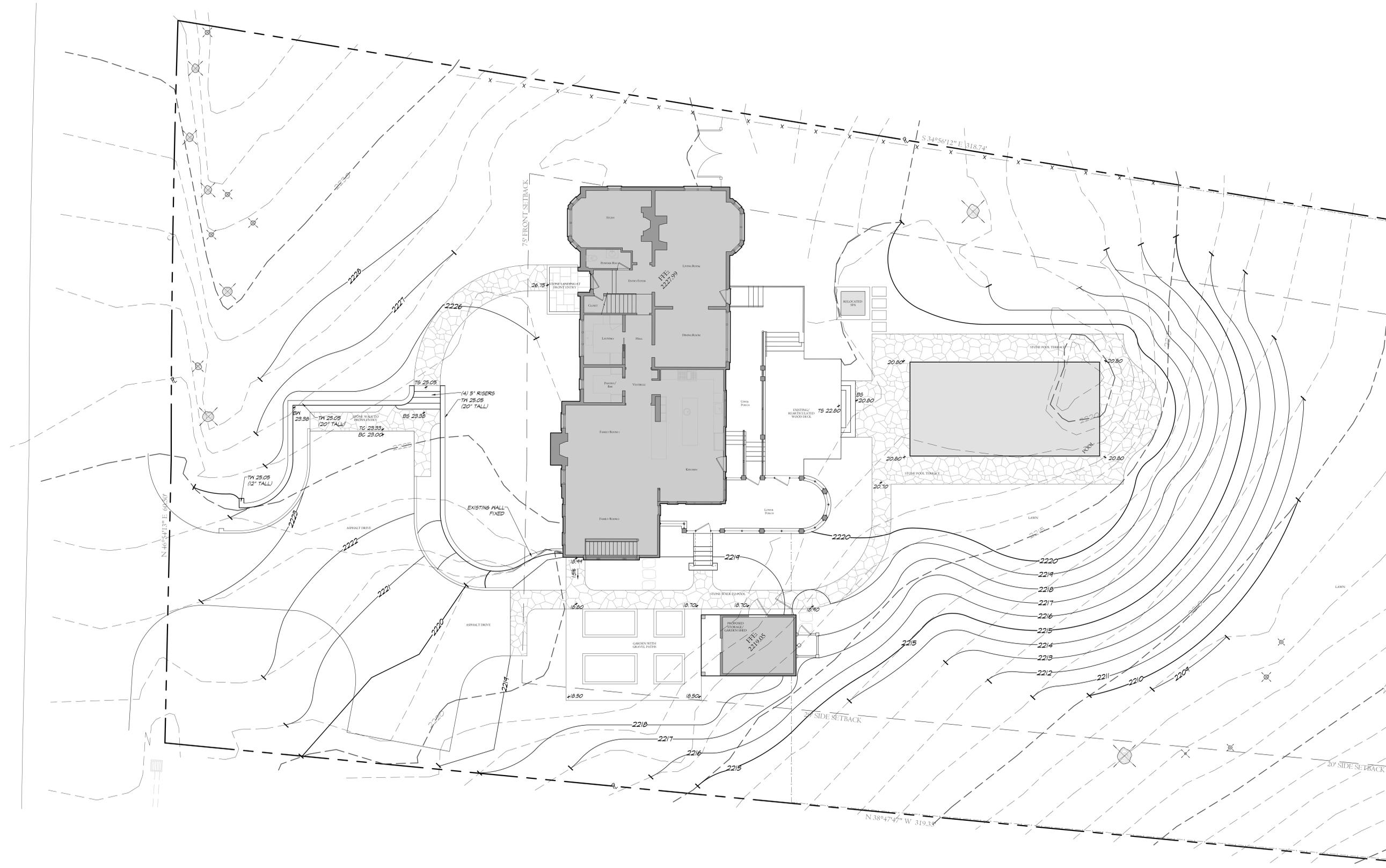
A LANDSCAPE MASTERPLAN FOR THE
**ASHWORTH
 DETERS
 RESIDENCE**
 54 FOREST ROAD
 ASHEVILLE, NORTH CAROLINA

SHEET TITLE:
SITE PLAN


PAGE DUKE
 LANDSCAPE ARCHITECTS
 1206 17TH AVENUE SOUTH
 NASHVILLE, TENNESSEE 37212
 TEL: 615.320.0220
 FAX: 615.320.0223
 EMAIL: jason@pageduke.com

DATE: **MARCH 21, 2018**
 SCALE: **1" = 10'-0"**
 DRAWN BY: **JSG**

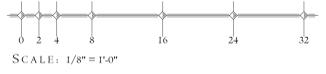
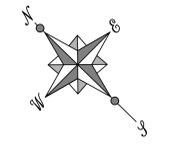
SHEET NUMBER:
L I.OI



- GRADING NOTES**
1. CONNECT ALL EXISTING DOWNSPOUTS TO THE PROPOSED SYSTEM.
 2. NO TREES AND/OR VEGETATION, UNLESS SPECIFICALLY NOTED ON THE TREE PRESERVATION DRAWINGS, SHOULD BE REMOVED OR DISTURBED.
 3. TOPSOIL IS TO BE STRIPPED FROM ALL CUT/HILL AREAS AND STOCKPILED ON SITE IN AN AREA REVIEWED BY THE LANDSCAPE ARCHITECT AND OWNER. THE SOIL SHOULD BE TESTED AS PER THE REQUIREMENTS SPECIFIED WITHIN THE SOIL DEPTHS AND TESTING NOTES.
 4. ALL GRADED AREAS, INCLUDING SLOPES, ARE TO BE MULCHED AND SODDED AS SOON AS POSSIBLE AFTER GRADING IS COMPLETE.
 5. SILT BARRIERS SHALL BE CLEANED OF ACCUMULATED SEDIMENT WHEN FILLED TO APPROXIMATELY 50% WITH RUNOFF SEDIMENT.
 6. SILT BARRIERS ARE TO BE REPLACED AS EFFECTIVENESS IS SIGNIFICANTLY REDUCED.
 7. THE CONTRACTOR IS TO PROVIDE THE NECESSARY PROTECTION, IN ACCORDANCE WITH THE SPECIFICATIONS FOR PRESERVATION AND PROTECTION OF ALL EXISTING AND PROPOSED TREES.
 8. DO NOT OPERATE OR STORE HEAVY EQUIPMENT, OR HANDLE AND/OR STORE CONSTRUCTION DEBRIS OR MATERIALS, WITHIN THE DRILLING OF EXISTING OR PROPOSED TREES.
 9. PROVIDE A SMOOTH TRANSITION BETWEEN EXISTING PAVEMENT AND NEW PAVING AT ALL TIMES. FIELD ADJUSTMENTS OF FINAL GRADES MAY BE NECESSARY.
 10. ALL SUBSURFACE DRAINAGE PIPES SHOULD BE INSTALLED AT A MINIMUM OF 1% SLOPE.
 11. THE CONTRACTOR IS TO CONFORM TO ALL CODES AND REGULATIONS AND RECEIVE APPROVAL AND/OR OBTAIN PERMITS FOR ANY CONSTRUCTION AS REQUIRED BY THE GOVERNING JURISDICTIONS OF THE PROJECT.

LEGEND

+	- SPOT ELEVATION	---	- DRAIN PIPE
TG	- TOP OF OBJECT/GRATE	---	- DRAIN PIPE FROM DS
TW	- TOP OF WALL	-----	- FRENCH DRAIN
BW	- BOTTOM OF WALL		(PERF. PVC PIPE)
TP	- TOP OF PIER	⊗	- SURFACE AREA DRAIN
BP	- BOTTOM OF PIER	○	- CLEAN OUT
TC	- TOP OF CURB	⊙	- JUNCTION BOX
BC	- BOTTOM OF CURB	●	- SUB-SURFACE DRAINAGE
TS	- TOP OF STEPS		COLLECTION POINT
BS	- BOTTOM OF STEPS		(SEE TREE PIT DETAIL)
DS	- DOWNSPOUT	---	- PROPOSED CONTOUR LINE
		---	- EXISTING CONTOUR LINE
		ⓐ	- DRAIN STRUCTURE NUMBER



FOR COMMENT AND
REVIEW ONLY
NOT FOR CONSTRUCTION

A LANDSCAPE MASTERPLAN FOR THE:

**ASHWORTH
DETERS
RESIDENCE**

54 FOREST ROAD
ASHEVILLE, NORTH CAROLINA

SHEET TITLE:
**GRADING
PLAN**

PAGE DUKE
LANDSCAPE ARCHITECTS
1206 17TH AVENUE SOUTH
NASHVILLE, TENNESSEE 37212
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FAX: 615.320.0223
EMAIL: jason@pageduke.com

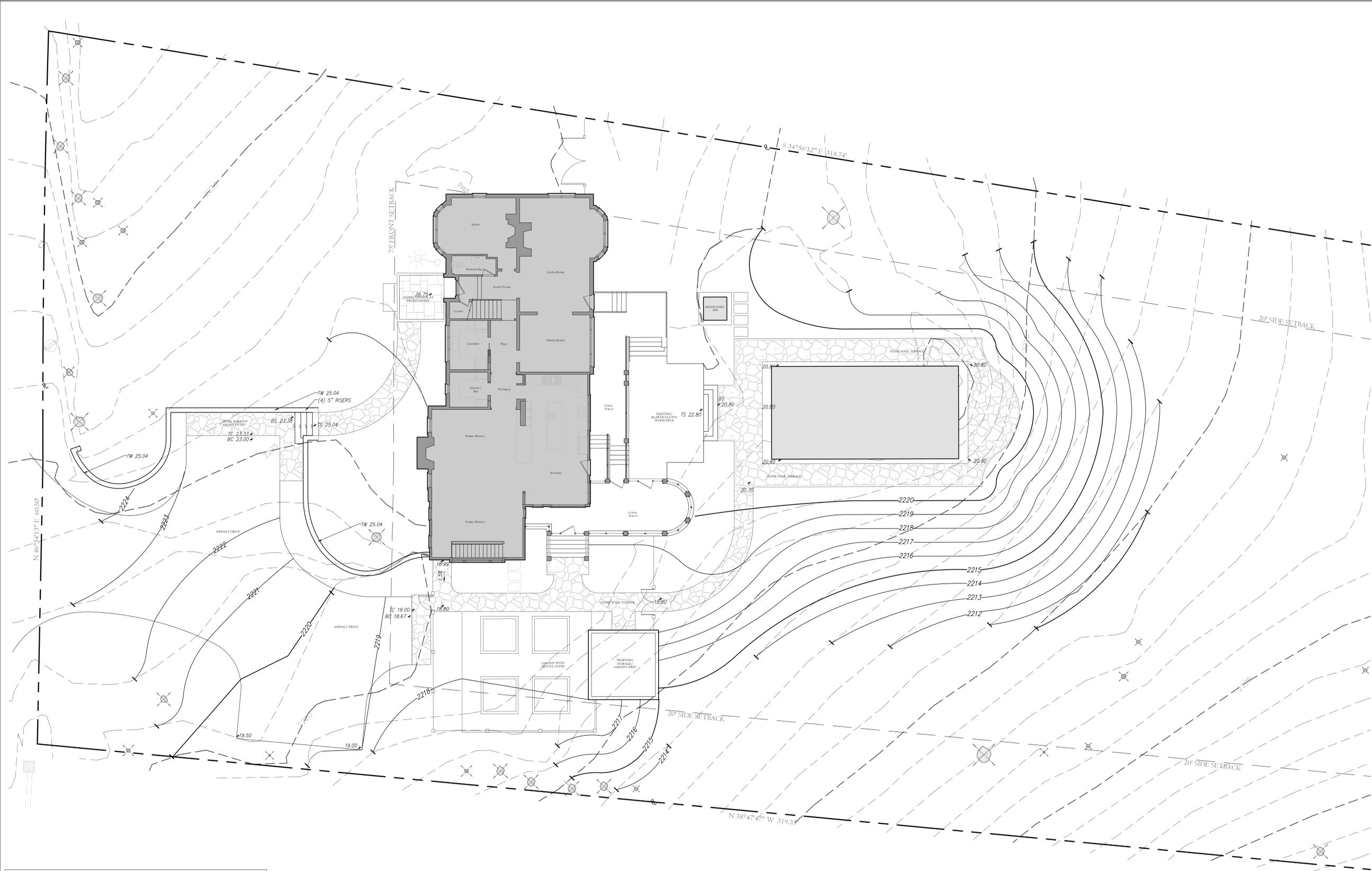
DATE: **APRIL 30, 2018**

SCALE: **1" = 8'-0"**

DRAWN BY: **JSG**

SHEET NUMBER:

L 3.01



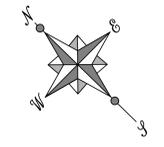
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GRADING NOTES

1. CONNECT ALL EXISTING DOWNSPOUTS TO THE PROPOSED SYSTEM.
2. NO TREES AND/OR VEGETATION, UNLESS SPECIFICALLY NOTED ON THE TREE PRESERVATION DRAWINGS, SHOULD BE REMOVED OR DISTURBED.
3. TOPSOIL IS TO BE STRIPPED FROM ALL CUT/HILL AREAS AND STOCKPILED ON SITE IN AN AREA REVIEWED BY THE LANDSCAPE ARCHITECT AND OWNER. THE SOIL SHOULD BE TESTED AS PER THE REQUIREMENTS SPECIFIED WITHIN THE SOIL DEPTHS AND TESTING NOTES.
4. ALL GRADED AREAS, INCLUDING SLOPES, ARE TO BE MULCHED AND SODDED AS SOON AS POSSIBLE AFTER GRADING IS COMPLETE.
5. SILT BARRIERS SHALL BE CLEANED OF ACCUMULATED SEDIMENT WHEN FILLED TO APPROXIMATELY 50% WITH RUNOFF SEDIMENT.
6. SILT BARRIERS ARE TO BE REPLACED AS EFFECTIVENESS IS SIGNIFICANTLY REDUCED.
7. THE CONTRACTOR IS TO PROVIDE THE NECESSARY PROTECTION, IN ACCORDANCE WITH THE SPECIFICATIONS FOR PRESERVATION AND PROTECTION OF ALL EXISTING AND PROPOSED TREES.
8. DO NOT OPERATE OR STORE HEAVY EQUIPMENT, OR HANDLE AND/OR STORE CONSTRUCTION DEBRIS OR MATERIALS, WITHIN THE DRUPLINE OF EXISTING OR PROPOSED TREES.
9. PROVIDE A SMOOTH TRANSITION BETWEEN EXISTING PAVEMENT AND NEW PAVING AT ALL TIMES. FIELD ADJUSTMENTS OF FINAL GRADES MAY BE NECESSARY.
10. ALL SUBSURFACE DRAINAGE PIPES SHOULD BE INSTALLED AT A MINIMUM OF 1% SLOPE.
11. THE CONTRACTOR IS TO CONFORM TO ALL CODES AND REGULATIONS AND RECEIVE APPROVAL AND/OR OBTAIN PERMITS FOR ANY CONSTRUCTION AS REQUIRED BY THE GOVERNING JURISDICTIONS OF THE PROJECT.

LEGEND

- - SPOT ELEVATION
- TG - TOP OF OBJECT/GRATE
- TW - TOP OF WALL
- BW - BOTTOM OF WALL
- TP - TOP OF PIER
- BP - BOTTOM OF PIER
- TC - TOP OF CURB
- BC - BOTTOM OF CURB
- TS - TOP OF STEPS
- BS - BOTTOM OF STEPS
- DS - DOWNSPOUT
- - DRAIN PIPE
- - DRAIN PIPE FROM DS
- - FRENCH DRAIN (PERF. PVC PIPE)
- ⊠ - SURFACE AREA DRAIN
- - CLEAN OUT
- ⊙ - JUNCTION BOX
- - SUB-SURFACE DRAINAGE COLLECTION POINT (SEE TREE PIT DETAIL)
- - PROPOSED CONTOUR LINE
- - - - - EXISTING CONTOUR LINE
- ⓐ - DRAIN STRUCTURE NUMBER



A LANDSCAPE MASTERPLAN FOR THE
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54 FOREST ROAD
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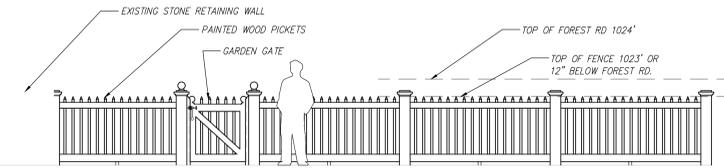
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SCALE: 1" = 8'-0"

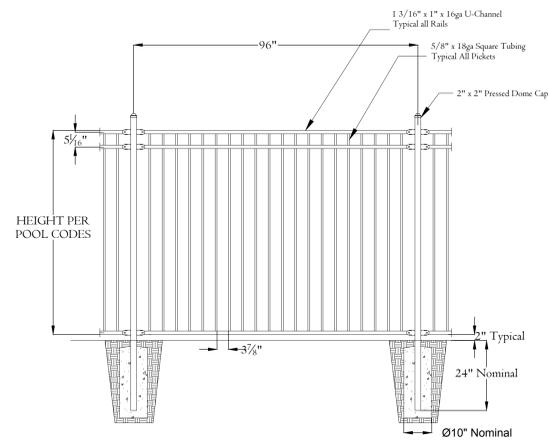
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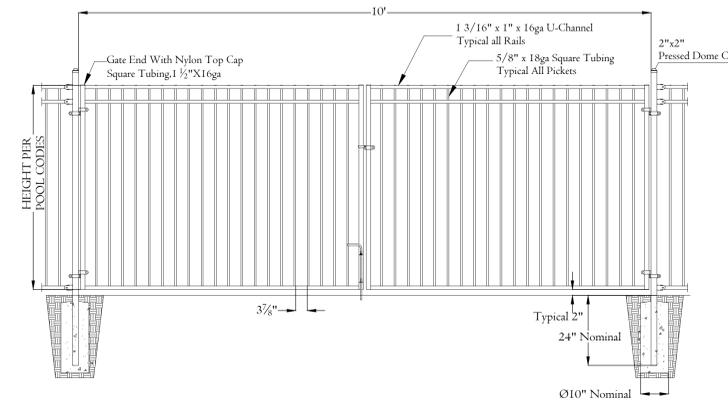
L 3.01



1 GARDEN FENCE ELEVATION
SCALE: 1"=1'-0"



2 POOL FENCE ELEVATION
SCALE: 1/2"=1'-0"



3 POOL FENCE GATE ELEVATION
SCALE: 1/2"=1'-0"

ATTENTION:
ALL MILLWORK SHOP DRAWINGS TO BE REVIEWED
BY PAGEDUKE LANDSCAPE ARCHITECTS PRIOR
TO FABRICATION.

ATTENTION:
ALL IRONWORK SHOP DRAWINGS TO BE REVIEWED
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ATTENTION:
ALL STONEMWORK SHOP DRAWINGS TO BE
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54 FOREST ROAD
ASHEVILLE, NORTH CAROLINA

SHEET TITLE:

FENCE DETAILS



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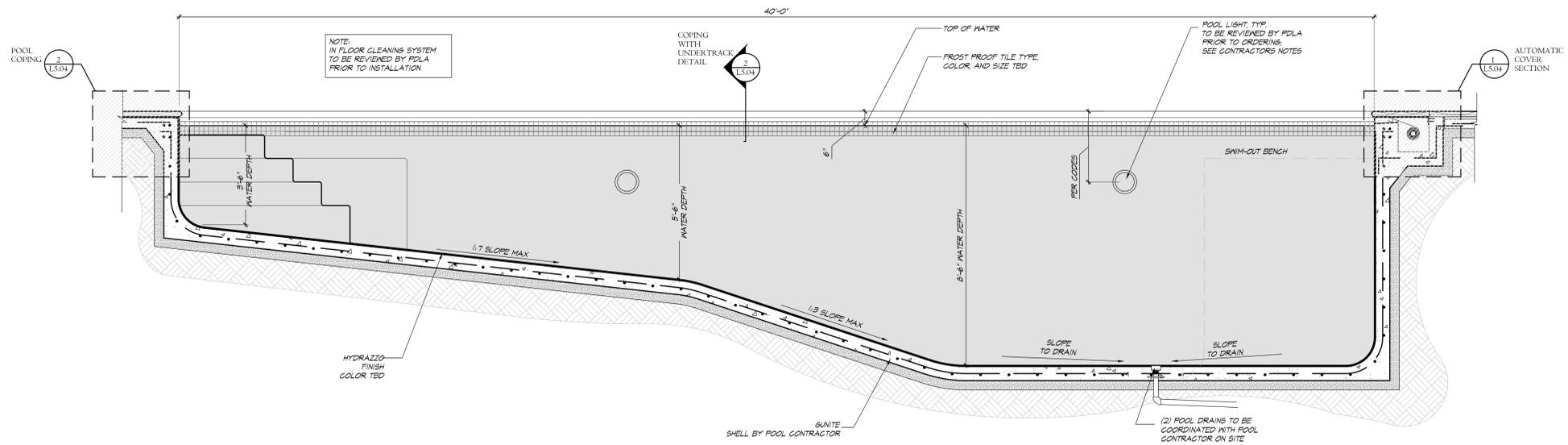
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SCALE: **AS SHOWN**

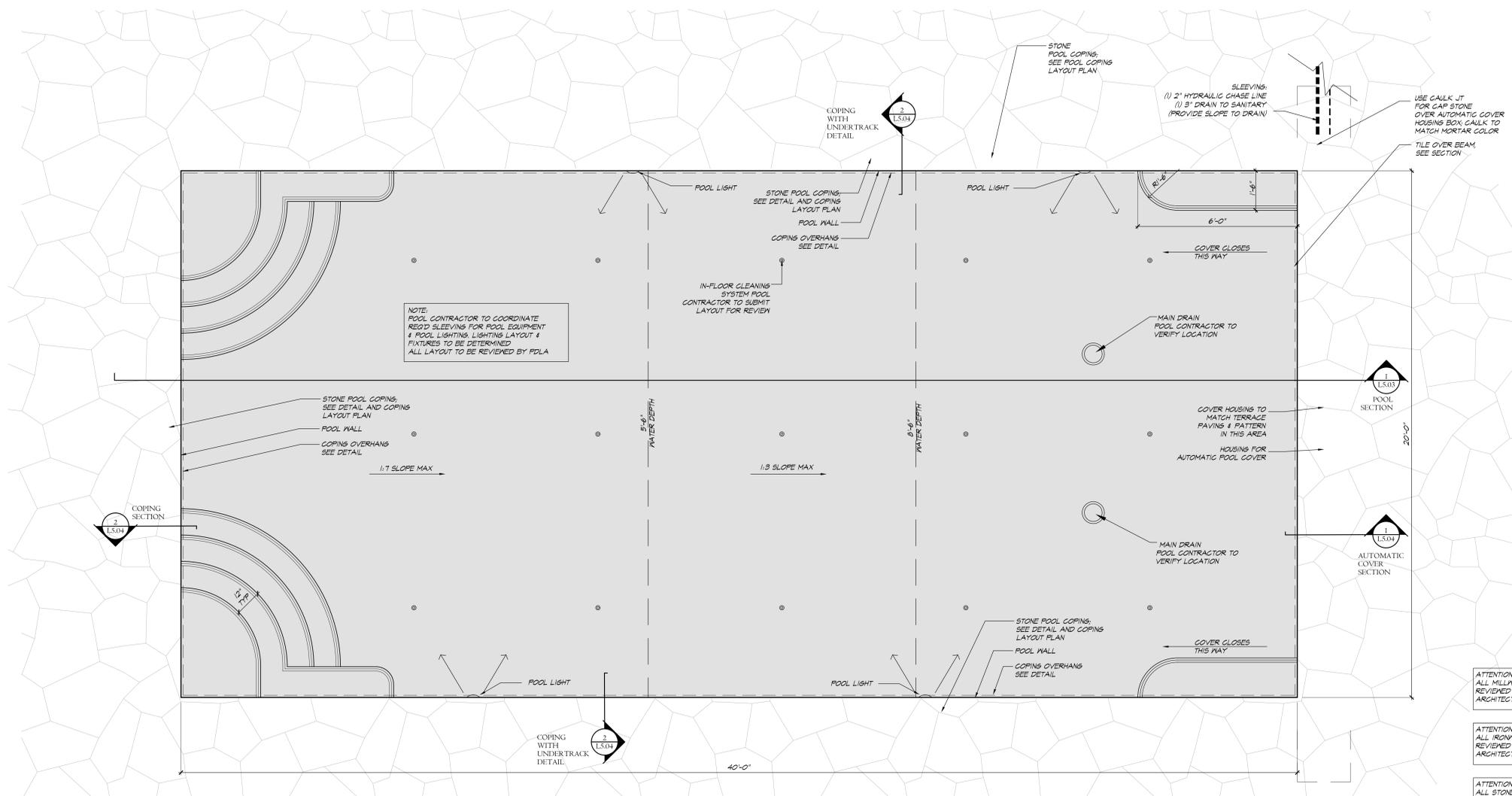
DRAWN BY: **JSG**

SHEET NUMBER:

L 5.02



1 POOL SECTION
SCALE: 1/4"=1'-0"



2 POOL PLAN ENLARGEMENT
SCALE: 1/4"=1'-0"

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A LANDSCAPE MASTERPLAN FOR THE
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54 FOREST ROAD
ASHEVILLE, NORTH CAROLINA

SHEET TITLE:
**POOL AREA
DETAILS**

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FAX: 615.320.0223
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DATE: **APRIL 30, 2018**

SCALE: **AS SHOWN**

DRAWN BY: **JSG**

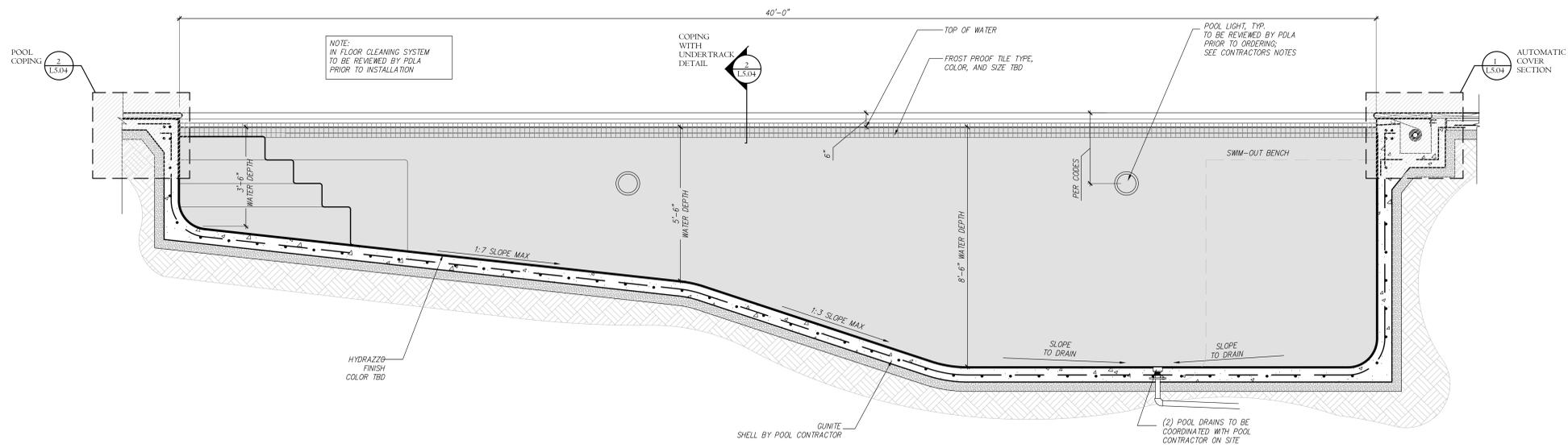
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L 5.03

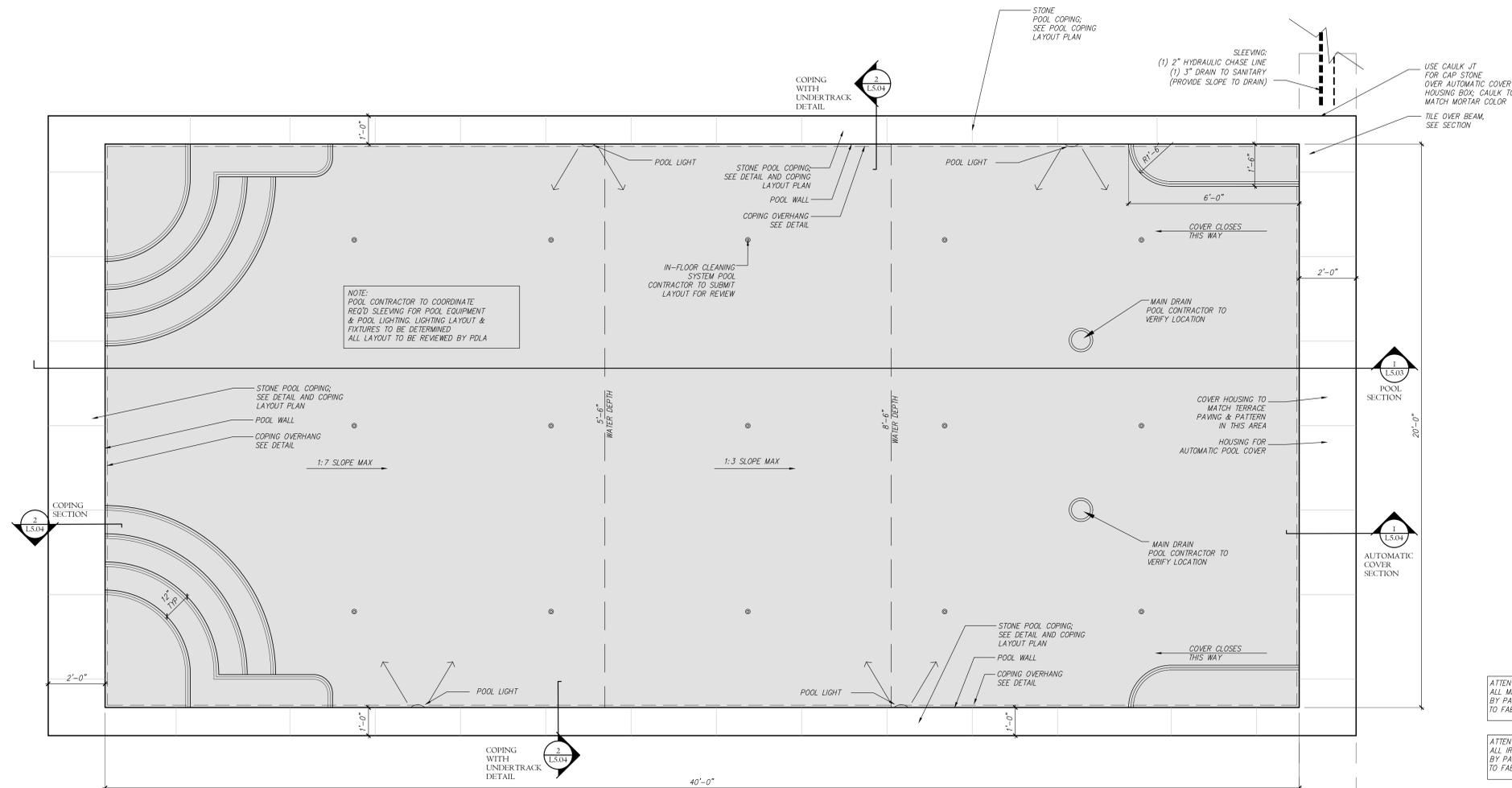
ATTENTION:
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ARCHITECTS PRIOR TO FABRICATION.

ATTENTION:
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ATTENTION:
ALL STONEWORK SHOP DRAWINGS TO BE
REVIEWED BY PAGEIDUKE LANDSCAPE
ARCHITECTS PRIOR TO FABRICATION.



1 POOL SECTION
SCALE: 1/2"=1'-0"



2 POOL PLAN ENLARGEMENT
SCALE: 1/2"=1'-0"

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54 FOREST ROAD
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SHEET TITLE:
**POOL AREA
DETAILS**

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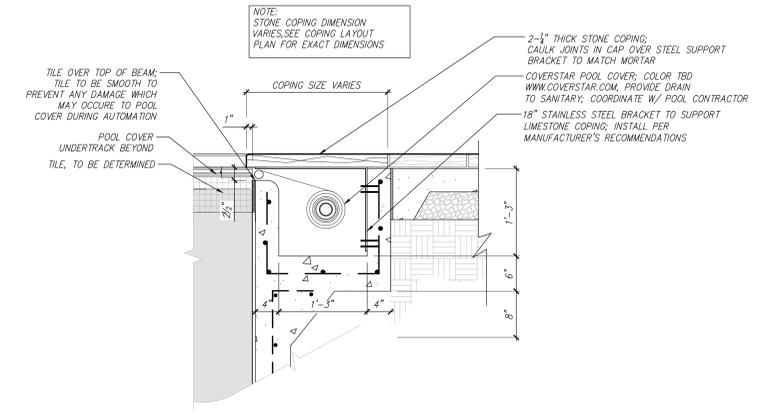
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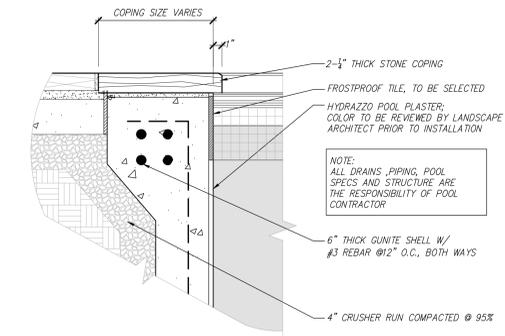
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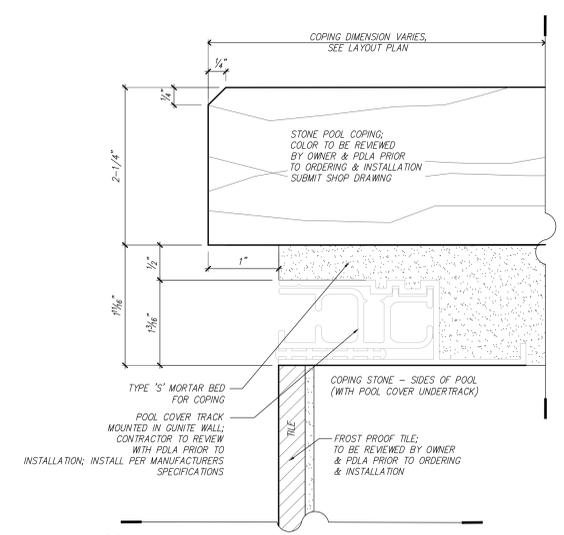
L 5.03



1 POOL COVER VAULT SECTION
 L5.04 SCALE: 1"=1'-0"



2 POOL COPING SECTION
 L5.04 SCALE: 1 1/2"=1'-0"



3 POOL COPING SECTION ENLARGEMENT
 L5.04 SCALE: FULL SIZE

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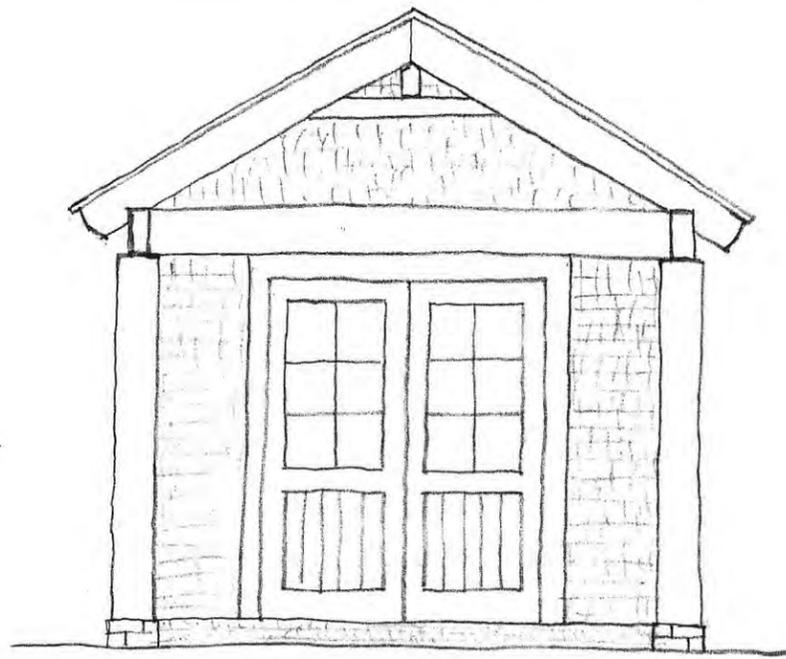
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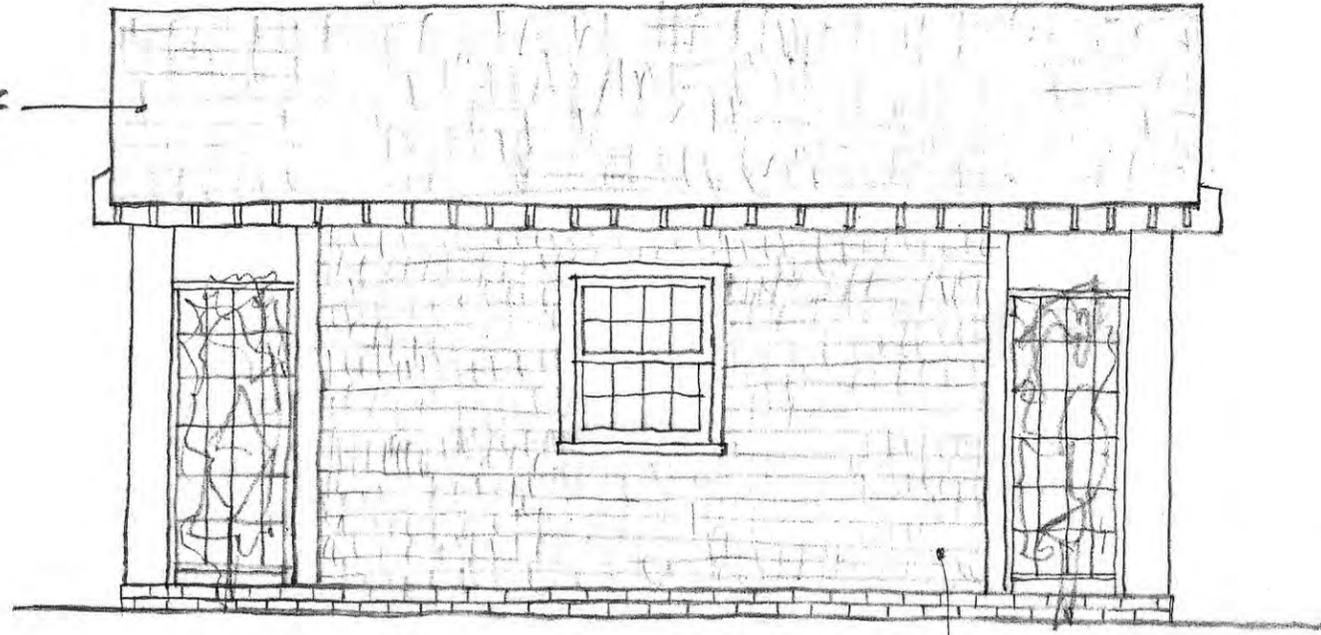
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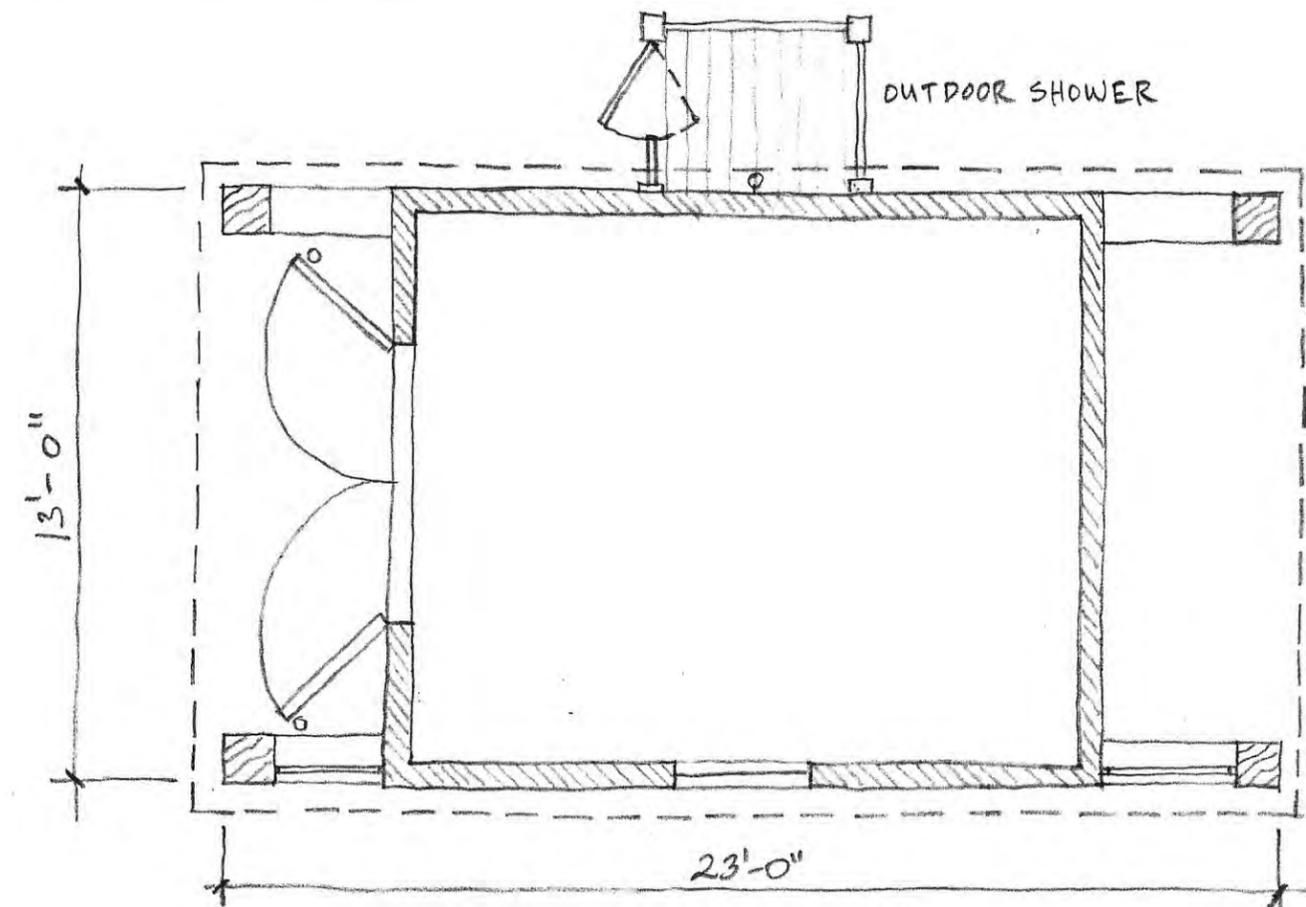
SOUTH ELEVATION

SHAKE ROOF



EAST ELEVATION

WOOD SHINGLE
SIDING TYP.



PLAN

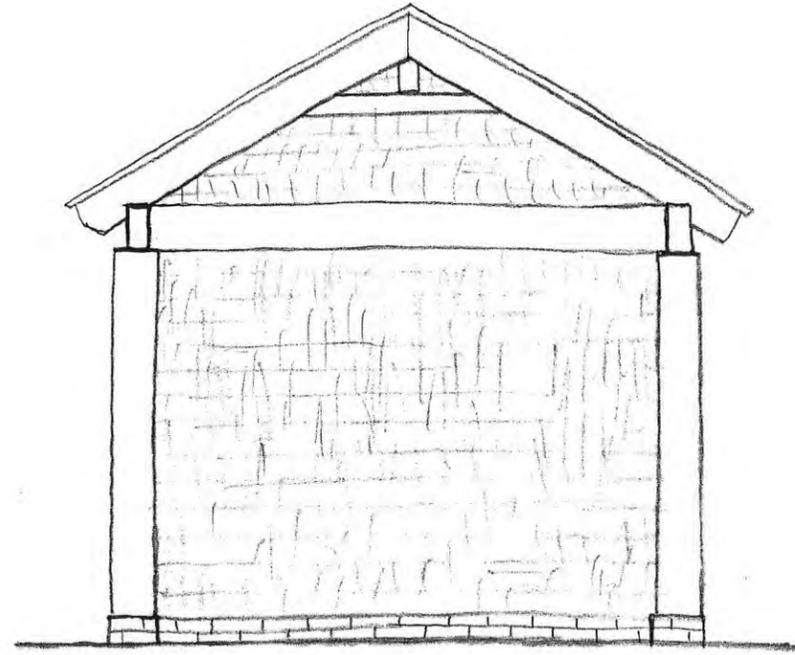
Todd Klein, Inc.
1133 Broadway, Suite 1321
New York, NY 10010
212-414-0001
todd@toddklein.com

ASHWORTH-DETERS RESIDENCE
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Asheville North Carolina 28803

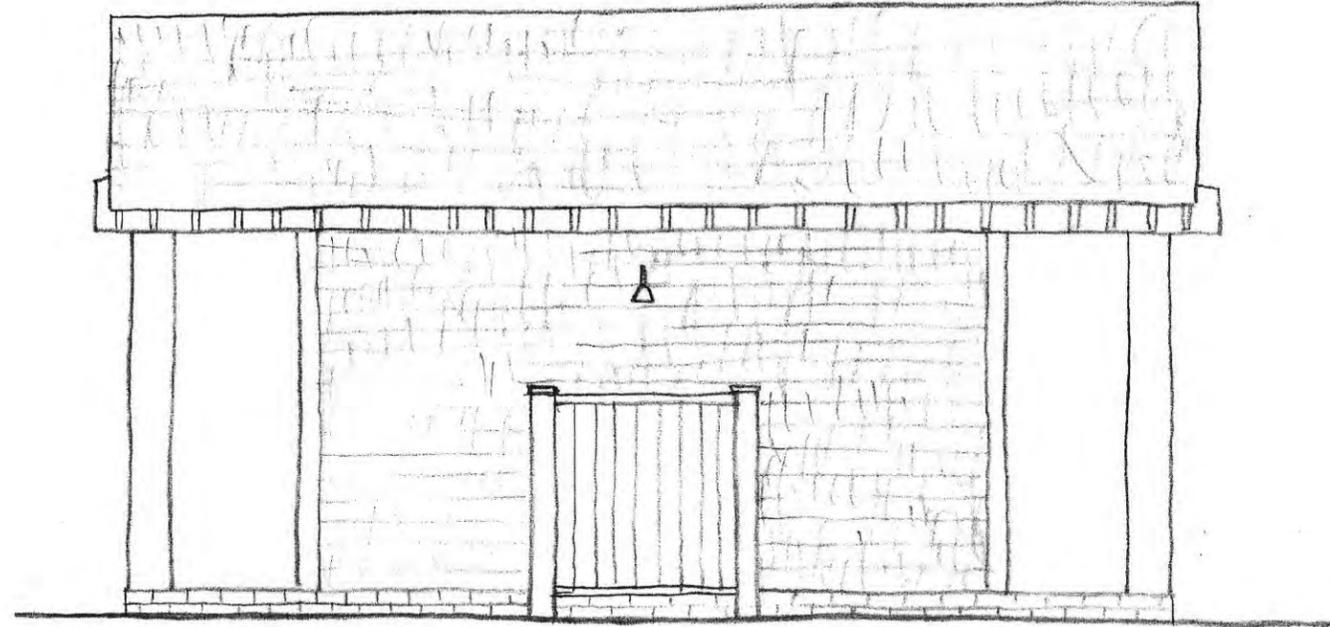
2018.03.26

GARDEN SHED
1/4" = 1'-0"

SK-01



NORTH ELEVATION



WEST ELEVATION

SK-02

GARDEN SHED
1/4" = 1'-0"

2018.03.26

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