

PROPOSED AGENDA

Thursday, November 17, 2022

Meeting of the Design Review Board

I. Design Review Board Submissions

1. 31 Hilltop Road – Entrance Columns & Walls Construction
2. 31 Cedar Hill Drive – Driveway Gate and Entrance Columns Construction
3. 4 Hilltop Road – Construction of Combination Firewood Shed/Trash Container Accessory Structure
4. 9 Fairway Place – Construction of Natural Gas Fireplace on Existing Patio
5. 3 Eastwood Road – Construction of Hardscape Patio & Fire Pit within Rear Yard

All projects above approved by Board of Adjustment on Monday, November 15, 2022

6. 11 Buena Vista Road – Demolition of Existing Deck and Construction of New Bluestone Patio and Masonry Retaining Wall
7. 31 Stuyvesant Road – Conversion of Interior Fitness Space and Installation of Small Shed Dormers on Existing Roof

II. Next Meeting via Electronic Review – December 20, 2022

Zoning Compliance Application

Town of Biltmore Forest

Name

Ingrid Davis

Property Address

31 Hilltop Road

Phone

(650) 787-8690

Email

paxwsi2011@gmail.com

Parcel ID/PIN Number

ZONING INFORMATION

Current Zoning

R-1

Lot Size

1.77 acres

Maximum Roof Coverage

6,100 square feet (Up to 2 acres)

Proposed Roof Coverage Total

same

Maximum Impervious Surface Coverage

1-3 acres (25 percent of lot area)

Proposed Impervious Surface Coverage

adding approximately 25 square feet

Front Yard Setback

60 feet (R-1 District)

Side Yard Setback

20 feet (R-1 District)

Rear Yard Setback

25 feet (R-1 District)

Building Height

56 inches

Description of the Proposed Project

Construct pillars (20"x30"x56") with wall (20"x48"x36") on each side of driveway entrance, with solar lamp attached to each pillar, 5.5 feet from paved road. Cinderblock and rebar construction with stone covering. Add small swale rocks in drainage area at curb.

Estimated Start Date

11/15/2022

Estimated Completion Date

11/30/2022

Estimated Cost of Project

\$5,000.00

Supporting Documentation (Site Plan, Drawings, Other Information)

HPSCAN_20221006171558011_2022-10-06_171833744.pdf

Special Use Permit Application

Town of Biltmore Forest

Name

Ingrid Davis

Address

31 Hilltop Road

Phone

(650) 787-8690

Email

Please select the type of special use you are applying for:

Accessory Structures

The applicant must show that the proposed use will not materially endanger public health or safety or injure value of adjoining or abutting property. In addition, the proposed use must be in general conformity with the plan of development of the town and be in harmony with scale, bulk, height, coverage, density, and character of the neighborhood.

Please provide a description of the proposed project:

Pillars with solar lamps and low stone wall at driveway entrance; replace drainage pipe in apron, add swale rocks (drawings attached)

Explain why the project would not adversely affect the public interest of those living in the neighborhood:

This will improve aesthetics of driveway entrance, improve drainage and prevent muddy area from rain during winter.

I hereby certify that all of the information set forth above is true and accurate to the best of my knowledge.

Signature

Date

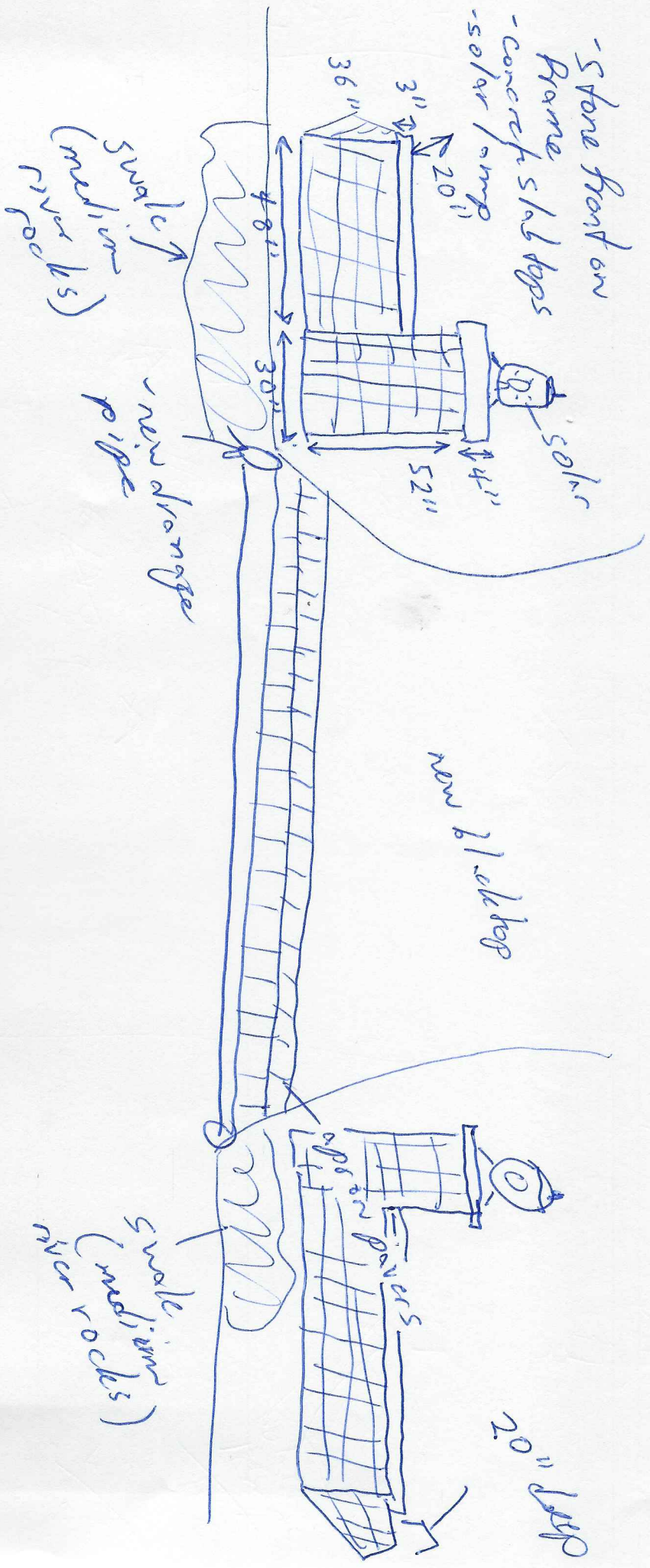
10/6/2022



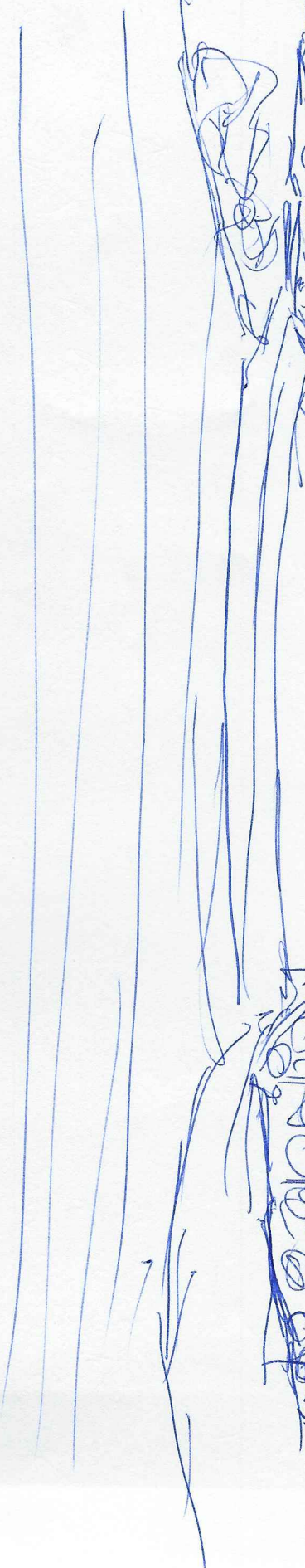
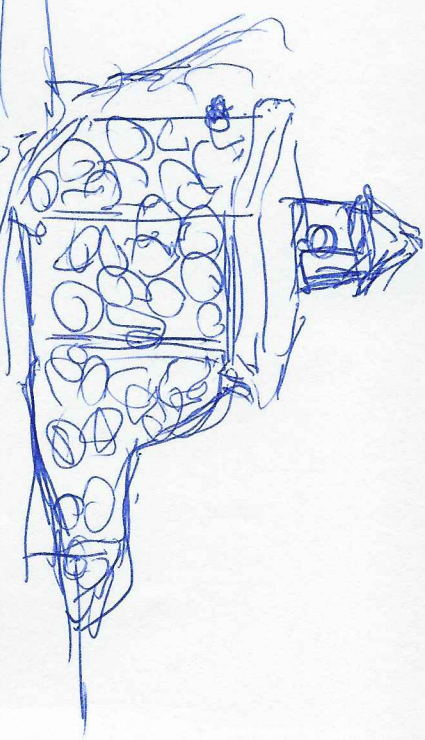
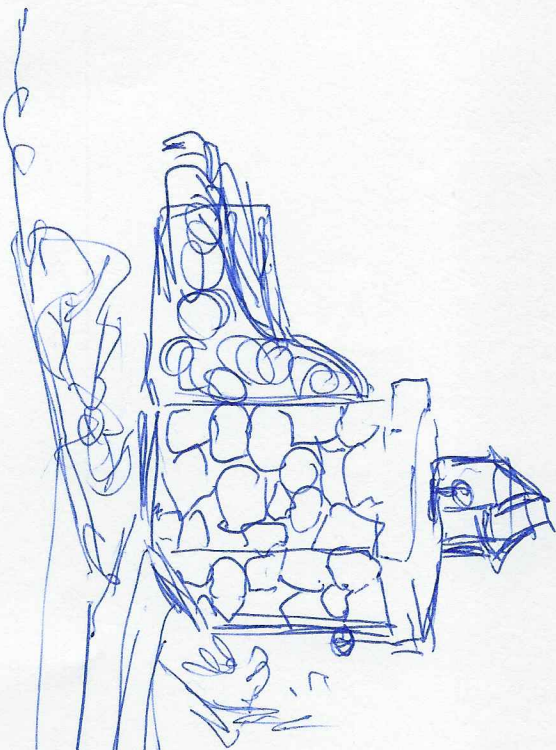
3131 S Hilltop Road
Tyrone + Thad Davis

10/2022

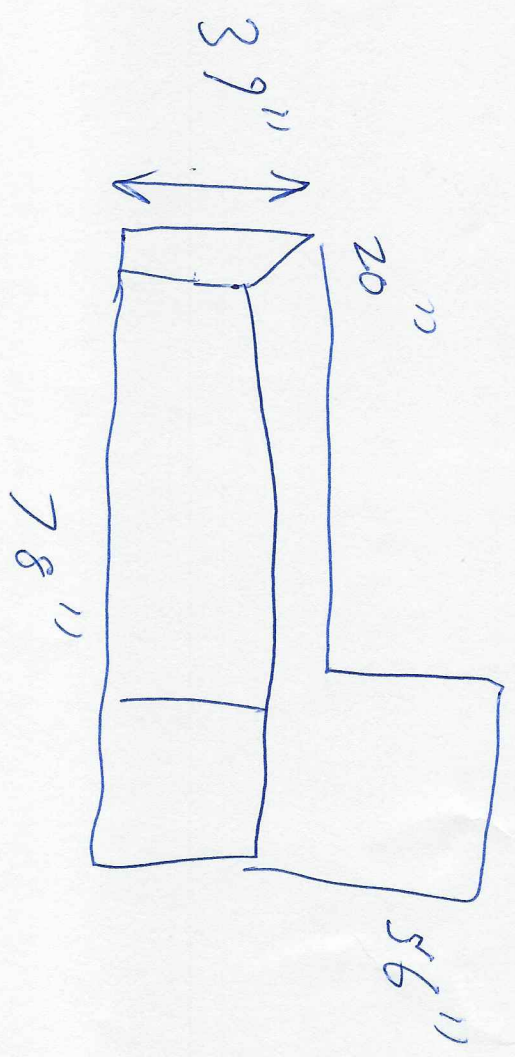
Concept #1 (Dimensions)



Concept #2



20" X 78" X 39" / 56"



Zoning Compliance Application

Town of Biltmore Forest

Name

Larissa Pollack

Property Address

31 Cedar Hill Drive

Phone

(480) 261-7603

Email

larissa.pollack@gmail.com

Parcel ID/PIN Number

964643438900000

ZONING INFORMATION

Current Zoning

R-1

Lot Size

1.29

Maximum Roof Coverage

5,500 square feet (Up to 1.5 acres)

Proposed Roof Coverage Total

Less than 5,500 square feet

Maximum Impervious Surface Coverage

1-3 acres (25 percent of lot area)

Proposed Impervious Surface Coverage

Less than 25% of lot area.

Front Yard Setback

60 feet (R-1 District)

Side Yard Setback

20 feet (R-1 District)

Rear Yard Setback

25 feet (R-1 District)

Building Height

30'

Description of the Proposed Project

Move existing 14' wide ornamental gates from current placement to 70' from edge of Cedar Hill Drive. Build 2 stone covered columns starting at 65' from road and jointing and incorporating gate posts at 70' point. Move existing electronics box from existing 4" x 4" post to back of stone column, move keypad on post from existing location to 60' from edge of road, and move small solar panel from existing post to a location at a minimum of 60' from the road and disguised with vegetation. All of the above will be clear of the 60' setback from Cedar Hill Drive.

Estimated Start Date

11/15/2022

Estimated Completion Date

11/30/2022

Estimated Cost of Project

\$7,000.00

Supporting Documentation (Site Plan, Drawings, Other Information)

F4064A74-56EB-4402-BCEC-56195A66D276.jpeg

88CAA94D-6433-4FD5-B9C4-3D7A370759C8.jpeg

Special Use Permit Application

Town of Biltmore Forest

Name

Larissa Pollack

Address

31 Cedar Hill Drive

Phone

(480) 261-7603

Email

larissa.pollack@gmail.com

Please select the type of special use you are applying for:

Accessory Structures

The applicant must show that the proposed use will not materially endanger public health or safety or injure value of adjoining or abutting property. In addition, the proposed use must be in general conformity with the plan of development of the town and be in harmony with scale, bulk, height, coverage, density, and character of the neighborhood.

Please provide a description of the proposed project:

Erect 14' wide ornamental metal gates that will be connected to stone columns on each side that will match the stone at the entry front entrance to the house. The gates will be located 70' from Cedar Hill Drive. The stone columns will start at the gates and will be 24" x 24" x 68", then drop down to 24" x 36" x 36" to a total length of 5' and ending at the 65' point from the road. In addition, there will be a keypad mounted on a 2" x 2" x 45" high post on the left side of the driveway at 60' from the road. Everything we are proposing will be built at least 60' from the road.

Explain why the project would not adversely affect the public interest of those living in the neighborhood:

The gate and associated stonework will not be immediately visible from the street and it will be executed by professionals with a very good reputation. The materials will all be of good quality and have an aesthetic appeal. The home already has 3 balconies with similar metalwork. The stone on the columns and short extensions will match the house entry, the marble frogs will have a place to sit on the front extensions and a 12" x 12" stone with a metal plaque, bearing the name FROGMORE and POLLACKS, will be set into one of the columns. The area around this gated entry will be professionally landscaped to look like the gates and columns have been there as long as the house.

I hereby certify that all of the information set forth above is true and accurate to the best of my knowledge.

(3) CAMELIA SASAN

EXISTING TO REMA
(12) COTONEASTER
(6) HYDRANGEA

(7) SEDUM SPEC

GATEPOST
MASONRY
(AT 65')

(AT 70')

GATES

TURF

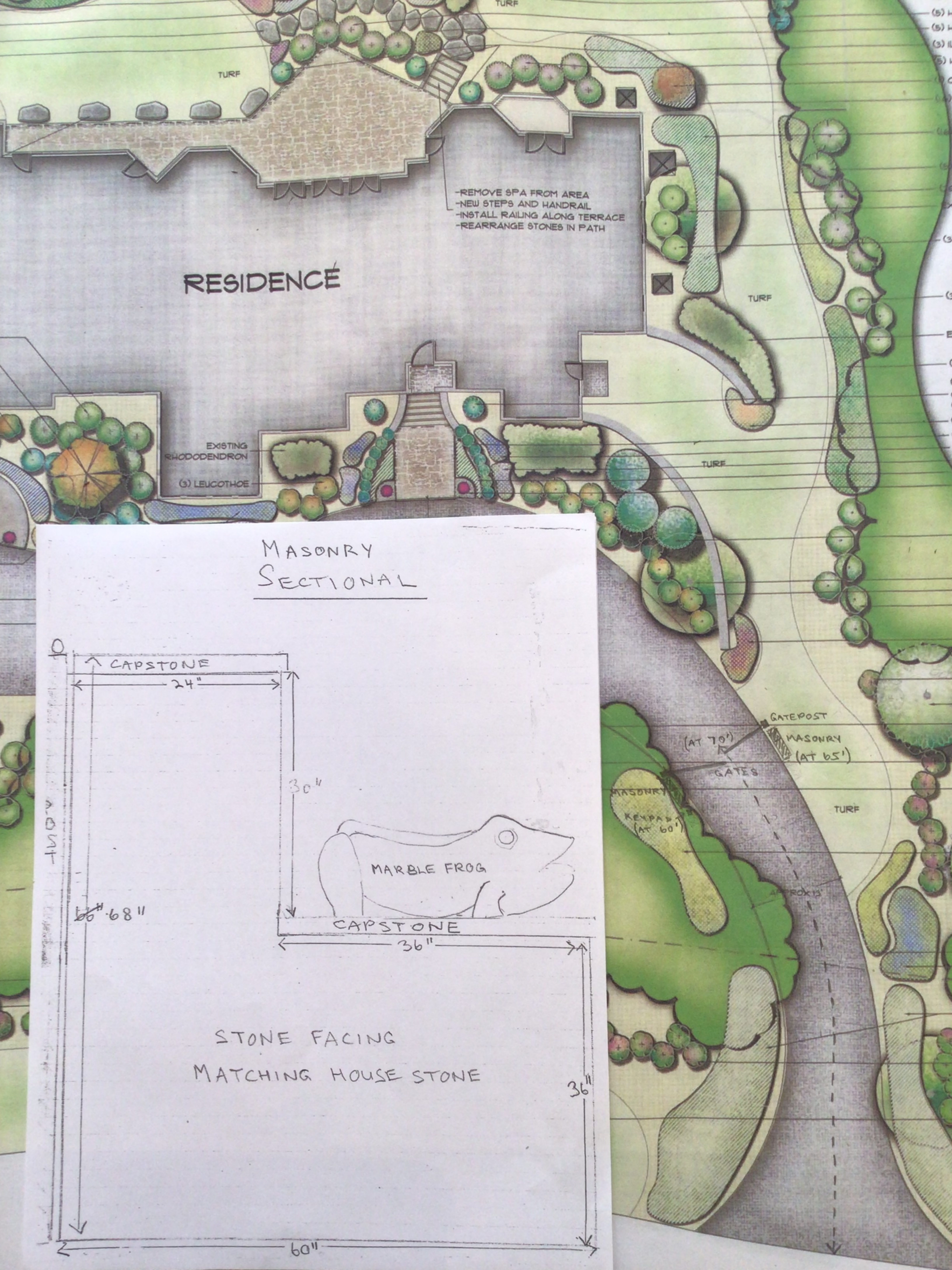
MASONRY

KEYPAD
(AT 60')

APPROX 13

TURF



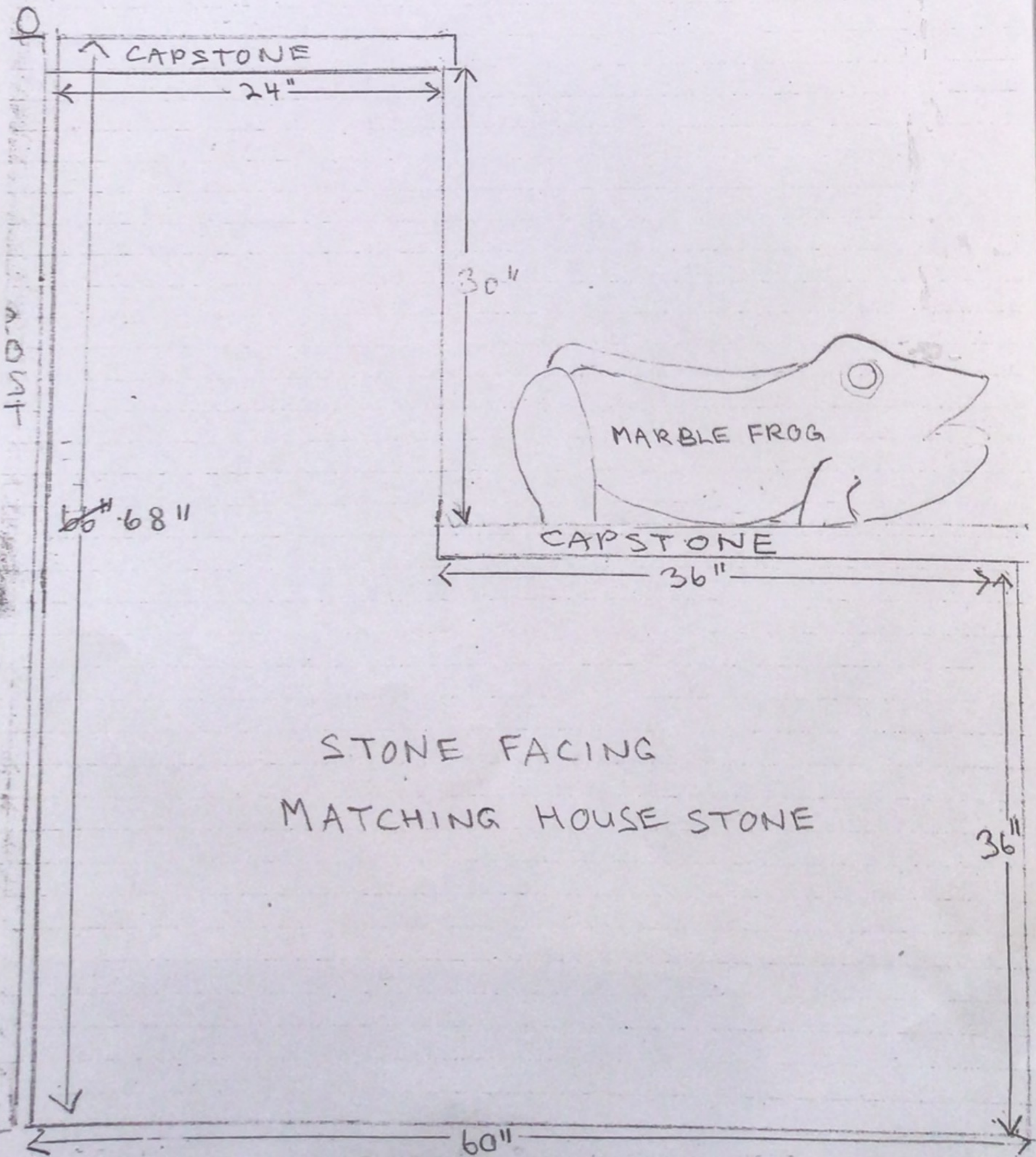


RESIDENCE

- REMOVE SPA FROM AREA
- NEW STEPS AND HANDRAIL
- INSTALL RAILING ALONG TERRACE
- REARRANGE STONES IN PATH

EXISTING RHODODENDRON
 (S) LEUCOTHOE

MASONRY SECTIONAL



STONE FACING
 MATCHING HOUSE STONE

GATEPOST (AT 70')
 MASONRY (AT 65')
 GATES
 MASONRY KEYPAD (AT 60')

36"

60"

**BOARD OF ADJUSTMENT
STAFF MEMORANDUM**

November 14, 2022



Case 3 – 4 Hilltop Road

Special Use Permit Request for Accessory Structure

Property Owner: Andrew Stephens
Property Address: 4 Hilltop Road

Project Description

The applicant requests a special use permit for the construction and installation of a combination trash/recycling bin and firewood shed. The structure is projected to be six (6) feet high, twenty-five (25) feet long, and five (5) feet deep. The structure will parallel the existing driveway, in the current area where firewood and garbage and recycling bins are located. The site is approximately 200' from Hilltop Rd, in compliance with the fifteen (15) feet R-2 side yard setback, and the applicant states it is not visible from any neighbors. The structure is designed with natural wood tones and roofing to match the property.

Special Use Permit Request

A special use permit is required for installation of this accessory structure. Section 153.029 of the Town's Zoning Ordinance governs this approval. A copy of this ordinance is attached to this memorandum for the Board's review.

Zoning Compliance Application

Town of Biltmore Forest

Name

Andrew Stephens

Property Address

4 Hilltop Rd

Phone

(303) 881-1595

Email

drew@thegisinstitute.org

Parcel ID/PIN Number

ZONING INFORMATION

Current Zoning

R-2

Lot Size

2 ac

Maximum Roof Coverage

6,100 square feet (Up to 2 acres)

Proposed Roof Coverage Total

123 sq ft

Maximum Impervious Surface Coverage

1-3 acres (25 percent of lot area)

Proposed Impervious Surface Coverage

0

Front Yard Setback

50 feet (R-2, R-3, R-4, and R-5 Districts)

Side Yard Setback

15 feet (R-2, R-3, R-4, and R-5 Districts)

Rear Yard Setback

20 feet (R-2, R-3, R-4, and R-5 Districts)

Building Height

6'

Description of the Proposed Project

Combined trash/recycling/ wood shed in side yard, along driveway. 25' x 5'

Estimated Start Date

11/14/2022

Estimated Completion Date

11/18/2022

Estimated Cost of Project

\$300.00

Supporting Documentation (Site Plan, Drawings, Other Information)

SpecialUse_app.pdf

Special Use Permit Application

Town of Biltmore Forest

Name

Andrew Stephens

Address

4 Hilltop Rd

Phone

(303) 881-1595

Email

drew@thegisinstitute.org

Please select the type of special use you are applying for:

Accessory Structures

The applicant must show that the proposed use will not materially endanger public health or safety or injure value of adjoining or abutting property. In addition, the proposed use must be in general conformity with the plan of development of the town and be in harmony with scale, bulk, height, coverage, density, and character of the neighborhood.

Please provide a description of the proposed project:

This proposal is for a combination trash and recycling bin / firewood shed. The 6' high 25' long, 5' deep structure will parallel the existing driveway, in the current area where firewood and garbage and recycling bins are located. The site is approximately 200' from Hilltop Rd, within the 15' R-2 side yard setback, and cannot be seen by any neighbors. The structure is designed with natural wood tones and roofing to complement the property, and will provide easy and dry access to garbage and recycling bins for Town staff.

Explain why the project would not adversely affect the public interest of those living in the neighborhood:

The project site is located far from any neighboring homes and street visibility. On site, the structure will aesthetically house Town of Biltmore Forest garbage and recycling bins. The structure will only be visible by resident and guests.

I hereby certify that all of the information set forth above is true and accurate to the best of my knowledge.

Signature

Date

10/14/2022

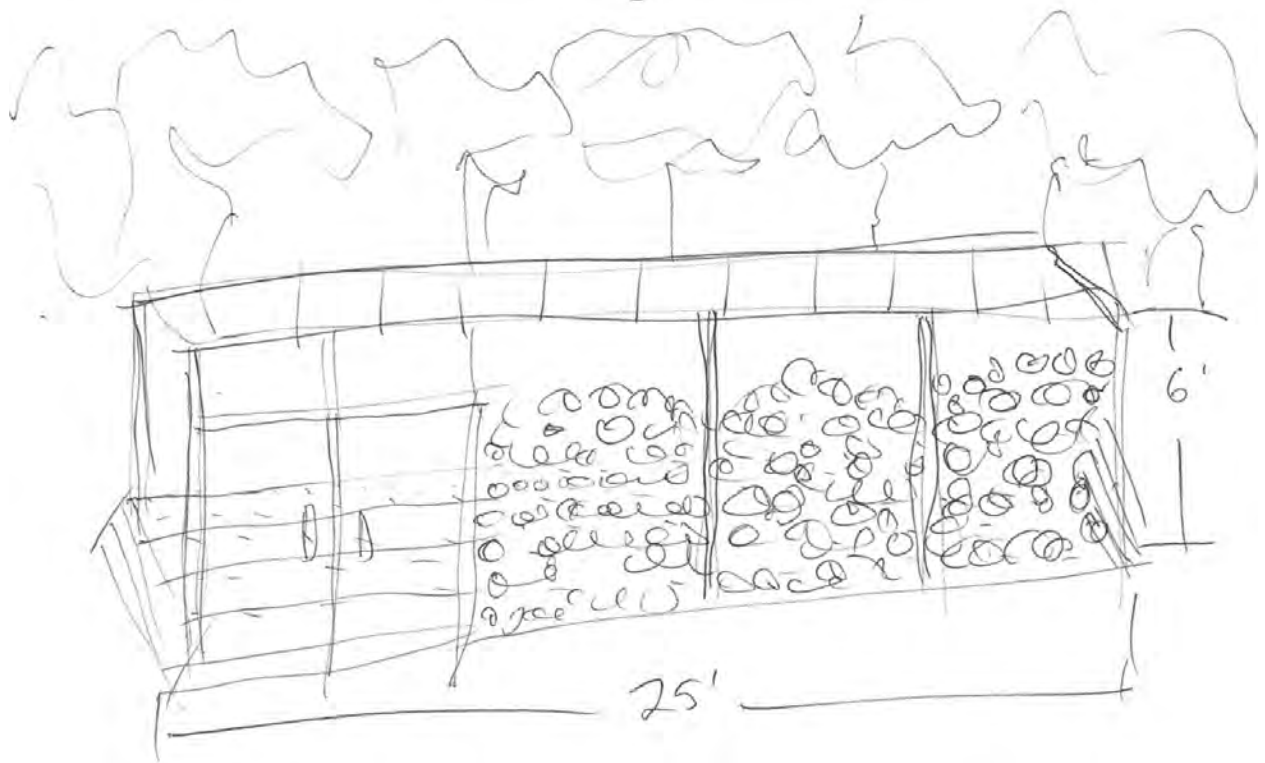




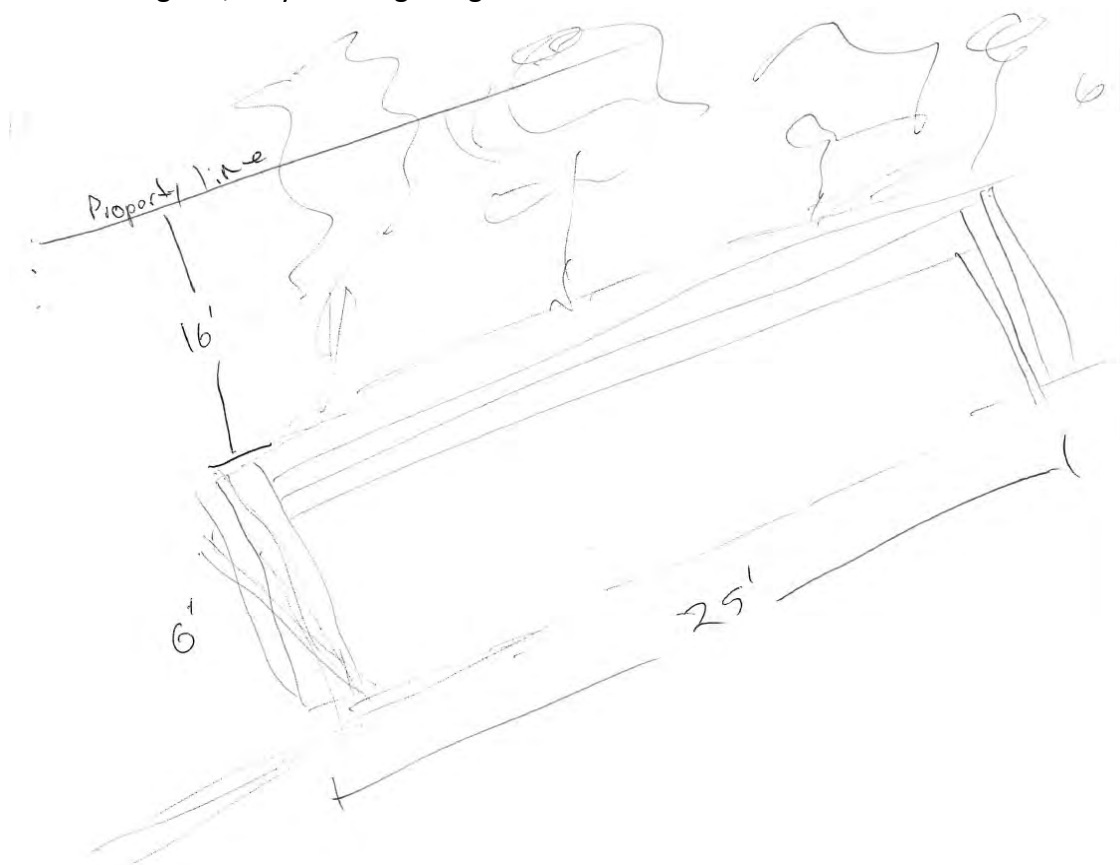
Existing scenario looking east down driveway.



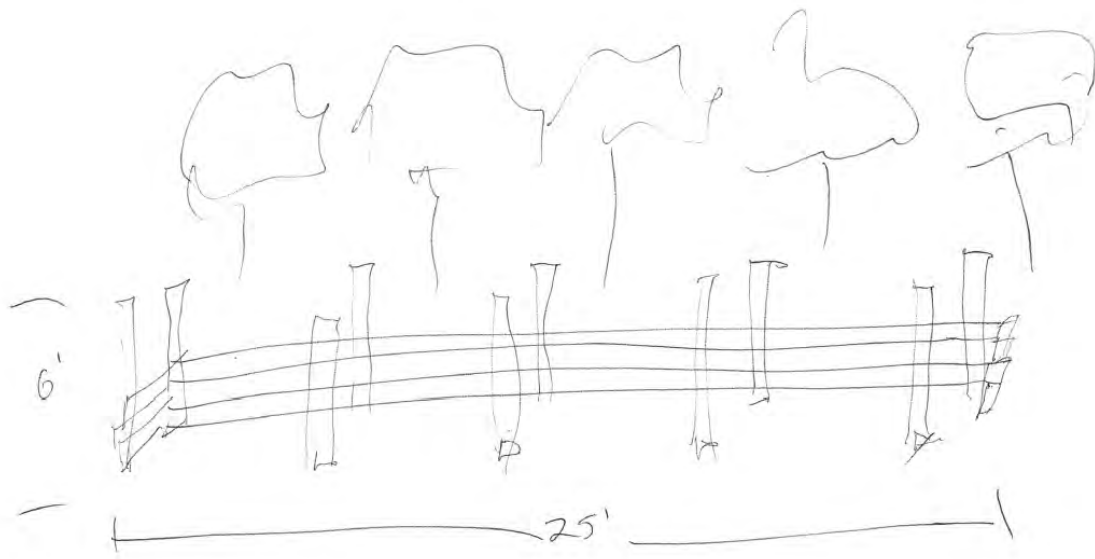
Existing scenario, looking north across driveway.



General diagram, recycle and garbage bins inside double doors.



Proposed footprint.



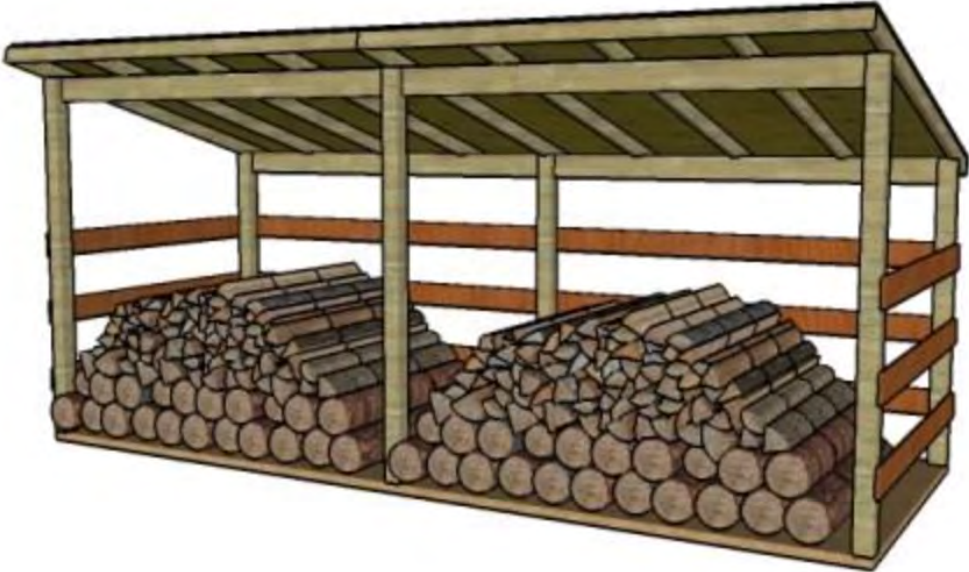
Post and timber diagram.



Example photo of 6'x6' landscape timber walls.



Example structure – proposed plan does not include walls or floors.



Example structure – proposed plan does not include walls or floors.

**BOARD OF ADJUSTMENT
STAFF MEMORANDUM**

November 14, 2022



Case 4 – 9 Fairway Place

Special Use Permit Request for Accessory Structure

Property Owner: George and Lisa Francisco
Property Address: 9 Fairway Place

Project Description

The applicant requests a special use permit for the installation of an outdoor gas fireplace on an existing patio. The gas fireplace is designed to sit where a coffee table was previously located in an effort to allow use of the patio in colder months. The applicant's survey previously identified the setback for the side property line as 25 feet, when in reality, it is 20 feet. As a result, a variance is not necessary but a special use permit is still required. Please disregard the "25 foot side setback" note on the survey.

Special Use Permit Request

A special use permit is required for installation of this accessory structure. Section 153.029 of the Town's Zoning Ordinance governs this approval. A copy of this ordinance is attached to this memorandum for the Board's review.

Zoning Compliance Application

Town of Biltmore Forest

Name

Noah Illes

Property Address

9 FAIRWAY PLACE

Phone

(828) 274-5979

Email

noah@griffinarchitectspa.com

Parcel ID/PIN Number

964687855900000

ZONING INFORMATION

Current Zoning

R-1

Lot Size

.84 acre

Maximum Roof Coverage

4,682 square feet (Up to 1 acres)

Proposed Roof Coverage Total

existing

Maximum Impervious Surface Coverage

Up to 1 acre (27.5 percent of lot area)

Proposed Impervious Surface Coverage

existing

Front Yard Setback

60 feet (R-1 District)

Side Yard Setback

20 feet (R-1 District)

Rear Yard Setback

25 feet (R-1 District)

Building Height

existing

Description of the Proposed Project

installation of a built-in gas fireplace at an existing uncovered patio.

Estimated Start Date

11/15/2022

Estimated Completion Date

12/1/2022

Estimated Cost of Project

\$5,000.00

Supporting Documentation (Site Plan, Drawings, Other Information)

FRANCISCO_ZONING APPLICATION R1_2022.10.24.pdf

Special Use Permit Application

Town of Biltmore Forest

Name

Noah Illes

Address

1 village lane suite 1

Phone

(828) 274-5979

Email

noah@griffinarchitectspa.com

Please select the type of special use you are applying for:

Accessory Structures

The applicant must show that the proposed use will not materially endanger public health or safety or injure value of adjoining or abutting property. In addition, the proposed use must be in general conformity with the plan of development of the town and be in harmony with scale, bulk, height, coverage, density, and character of the neighborhood.

Please provide a description of the proposed project:

installation of a built-in gas fireplace, centered on an existing patios seating area

Explain why the project would not adversely affect the public interest of those living in the neighborhood:

This project would not adversely affect the public for two primary reasons. the proposed location has been used as a gathering space in the past. The proposed project is to install a source of heat where a coffee table was previously used, so that the space can be used as intended during the colder months. This space is also well buffered from the associated neighbor, as well as the golf course.

I hereby certify that all of the information set forth above is true and accurate to the best of my knowledge.

Signature

Date

10/24/2022



THESE DRAWINGS ARE THE RESULT OF A LIMITED SERVICES AGREEMENT BETWEEN THE OWNER AND THE ARCHITECT. INFORMATION, DETAILS, AND SPECIFICATIONS, NOT INCLUDED IN THIS UNBUNDLED SET OF DRAWINGS SHALL BE THE RESPONSIBILITY OF OTHERS. IT SHALL BE THE RESPONSIBILITY OF OTHERS TO INTERPRET THESE DRAWINGS AND COORDINATE THE DRAWINGS WITH THE WORK. FURTHER IT SHALL BE THE RESPONSIBILITY OF OTHERS TO OBSERVE THE WORK TO DISCOVER, CORRECT AND/OR MITIGATE ERRORS, INCONSISTENCIES, OR OMISSIONS IN BOTH THE WORK, AND IN THE DRAWINGS. USE OF THESE DRAWINGS WITHOUT THE PARTICIPATION OF THE ARCHITECT AND ITS CONSULTANTS THROUGHOUT THE CONSTRUCTION PHASE OF THE PROJECT SHALL INDEMNIFY THE ARCHITECT AND ITS CONSULTANTS AGAINST LIABILITY RESULTING FROM ERRORS, INCONSISTENCIES, OR OMISSIONS IN BOTH THE WORK, AND IN THE DRAWINGS.

ZONING APPLICATION_REVISION 01



FRANCISCO RESIDENCE RENOVATION
9 FAIRWAY PLACE BILTMORE FOREST NC

SITE PLAN
CONSTRUCTION DOCUMENTS

PROJECT ARCHITECT:	RSG
DRAWN BY:	NDI
ISSUED FOR:	####
REVISIONS:	
NO. 01	DATE: 10/24/2022
NO.:	DATE:
NO.:	DATE:
NO.:	DATE:
NO.:	DATE:



SHEET NO:
A1.1
DATE:
6/23/22

FAIRWAY PLACE

CONCRETE MONUMENT FOUND
ELEVATION: 2,203.62 (NAVD 88)

LOT 3
PIN: 9646-87-5654
CROSBY E. BROWN
DB 3694 PAGE 745
PB 5 PAGE 29

N 18°45'52" E 216.54'
N 14°20'51" E 211.95'

AREA OF LEASE
DB 4835 PG 345

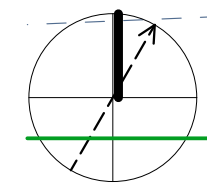
LOT 4
PIN: 964687-8559
GEORGE C. FRANCISCO
CAROLINE E. FRANCISCO
DB 6152 PAGE 1318
PB 5 PAGE 29

LOT 5
PIN: 9646-97-0568
THOMAS E. LYNCH
HILARY C. LYNCH
DB 4512 PAGE 590

CONCRETE MONUMENT FOUND
ELEVATION: 2,178.39' (NAVD 88)

CONCRETE MONUMENT FOUND
ELEVATION: 2,174.79' (NAVD 88)

PLAN NORTH



28.00'

N 75°25'23" W 140.10'

205'

DRIVE

FRAME SHED

ENCLOSE PLANTER W/ NEW WALL TO COORDINATE W/ EXISTING
COORDINATE FILL GRADE FOR 30" MAX DROP FROM PATIO FINISH FLOOR

ALL DEVELOPMENT TO BE ASSUMED EXISTING UNLESS SPECIFICALLY NOTED

PROPOSED NEW FINISHED EDGE; REMOVE ROTTEN WOOD FRAME WALL BELOW & REPLACE W/ MASONRY; SEE FLOOR PLAN
PLANTER WALL AND PLANTER SOIL TO BE REMOVED TO BELOW GRADE; APPROXIMATELY 150 SF

NEW GAS FIREPLACE ON EXISTING PATIO PENDING TOWN OF BILTMORE FOREST VARIANCE APPROVAL; COORDINATE MANUFACTURED FIREPLACE W/ OWNER

RE-GRADE THIS AREA FOR PROPER DRAINAGE; CARE TO BE TAKEN TO PREVENT DAMAGE TO EXISTING VEGETATION; COORDINATE W/ OWNER FOR VEGETATION TO BE REMOVED

APPROXIMATE LOCATION OF NEW CONCRETE PAD FOR NEW GENERATOR; COORDINATE DIMENSIONS WITH GENERATOR AND EXACT LOCATION WITH GRADE AND VEGETATION

REVISION NARRATIVE:
- BACK PORCH REWORK NOTED AND UPDATED AFTER SELECTIVE DEMOLITION
- PROPOSED LOCATION OF NEW GENERATOR ADDED; LOCATION APPROVED BY THE TOWN VIA EMAIL CORRESPONDENCE WITH JONATHAN KANIPE 8/29/2022
- PROPOSED GAS FIREPLACE NOTED, PENDING VARIANCE AND CONDITIONAL USE APPROVAL

SITE PLAN A1 A1.1
SCALE: 1" = 10'

Zoning Compliance Application

Town of Biltmore Forest

Name

Christopher Michalski

Property Address

3 Eastwood Road, Biltmore Forest NC 28803

Phone

(828) 808-7870

Email

christopher@scroggsconstruction.com

Parcel ID/PIN Number

9646-76-2927

ZONING INFORMATION

Current Zoning

R-1

Lot Size

1.9 Acres

Maximum Roof Coverage

6,100 square feet (Up to 2 acres)

Proposed Roof Coverage Total

4,706 sf, no change

Maximum Impervious Surface Coverage

1-3 acres (25 percent of lot area)

Proposed Impervious Surface Coverage

+/- 150 sf additional sf, less than 25% of lot is impervious

Front Yard Setback

60 feet (R-1 District)

Side Yard Setback

20 feet (R-1 District)

Rear Yard Setback

25 feet (R-1 District)

Building Height

2 stories

Description of the Proposed Project

Install hardscape patio and fire pit, in one of two locations. Preferred location, Option 1(see attached plan) is contingent upon approval of variance. The alternate location Option 2(see attached plan) will meet current rear yard setback criteria

Estimated Start Date

12/12/2022

Estimated Completion Date

1/12/2023

Estimated Cost of Project

\$20,000.00

Supporting Documentation (Site Plan, Drawings, Other Information)

Brown - Landscape Drawings and Plot Plans.pdf

Special Use Permit Application

Town of Biltmore Forest

Name

Christopher Michalski

Address

3 Eastwood Road, Biltmore Forest NC 28803

Phone

(828) 808-7870

Email

christopher@scroggsconstruction.com

Please select the type of special use you are applying for:

Accessory Structures

The applicant must show that the proposed use will not materially endanger public health or safety or injure value of adjoining or abutting property. In addition, the proposed use must be in general conformity with the plan of development of the town and be in harmony with scale, bulk, height, coverage, density, and character of the neighborhood.

Please provide a description of the proposed project:

This application is for the installation of a hardscape patio and firepit at the above referenced address, to match existing stone and rock wall already installed on the property.

Explain why the project would not adversely affect the public interest of those living in the neighborhood:

The proposed work is on private property, and would not be accessible to the general public. The location of the proposed fire pit is free and clear of any above or adjacent trees, shrubbery, existing structures on or adjacent the property. The proposed patio would allow for seating for 4 - 6 adults. It would not allow for large gatherings that could possibly be a nuisance to neighbors or the general public. Furthermore, the topography of the lot is such that the proposed patio would not be visible to neighbors or passers by...

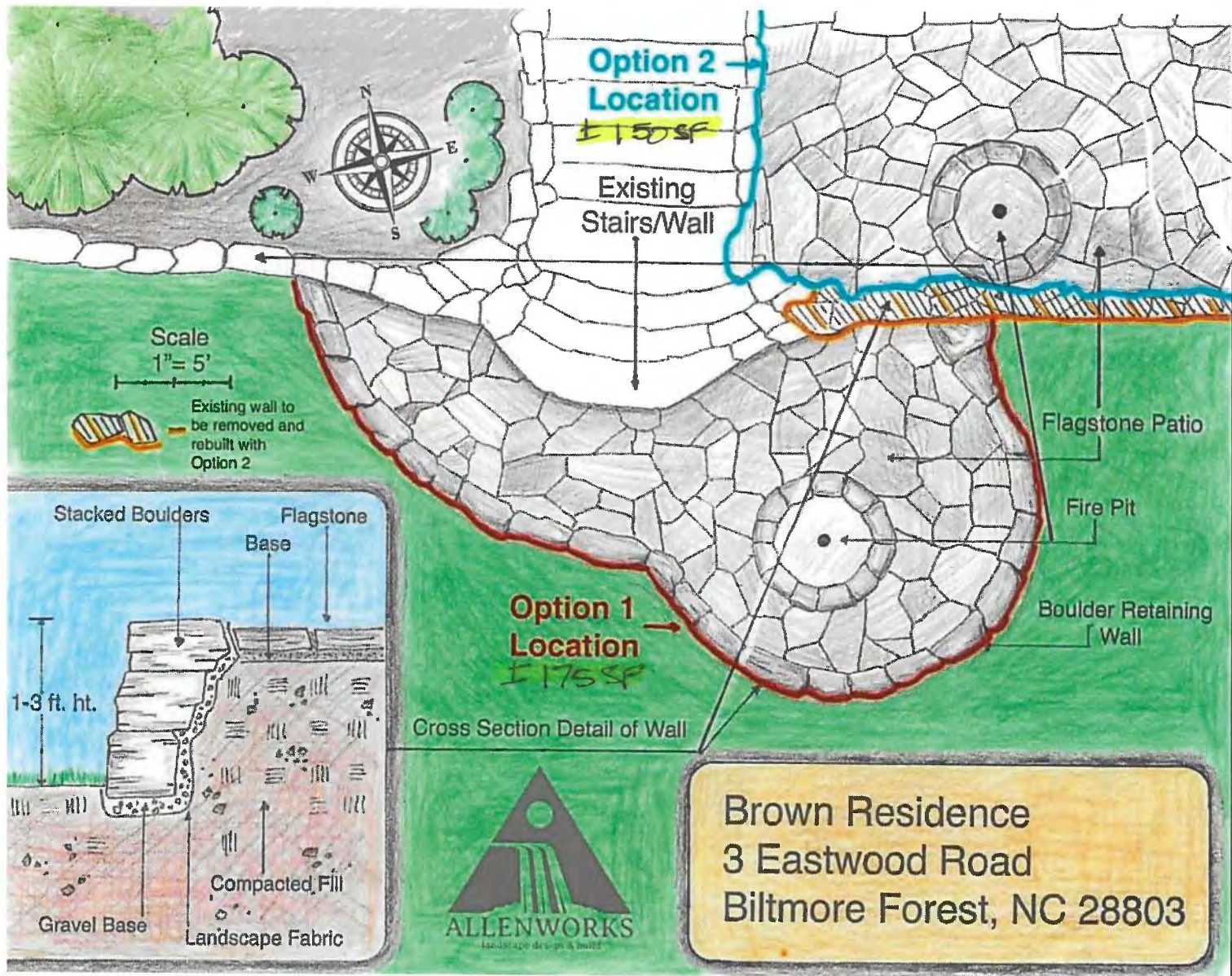
I hereby certify that all of the information set forth above is true and accurate to the best of my knowledge.

Signature

Date

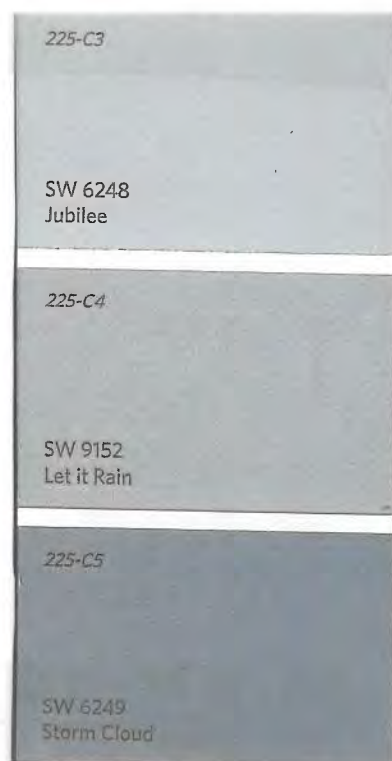
10/24/2022

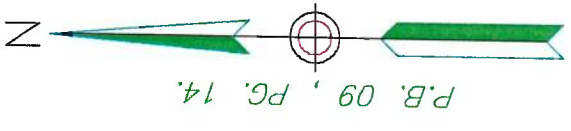
Christopher Michalski for David and Terry Brown



In Addition to Landscape/Hardscape Plans, SCROGAS CONSTRUCTION HAS BEEN CONTRACTED TO PAINT THE EXTERIOR SIDING OF THE EXISTING HOME

Outside Paint
Storm Cloud
Sherwin Williams
(SW6249)





P.B. 09, PG. 14.

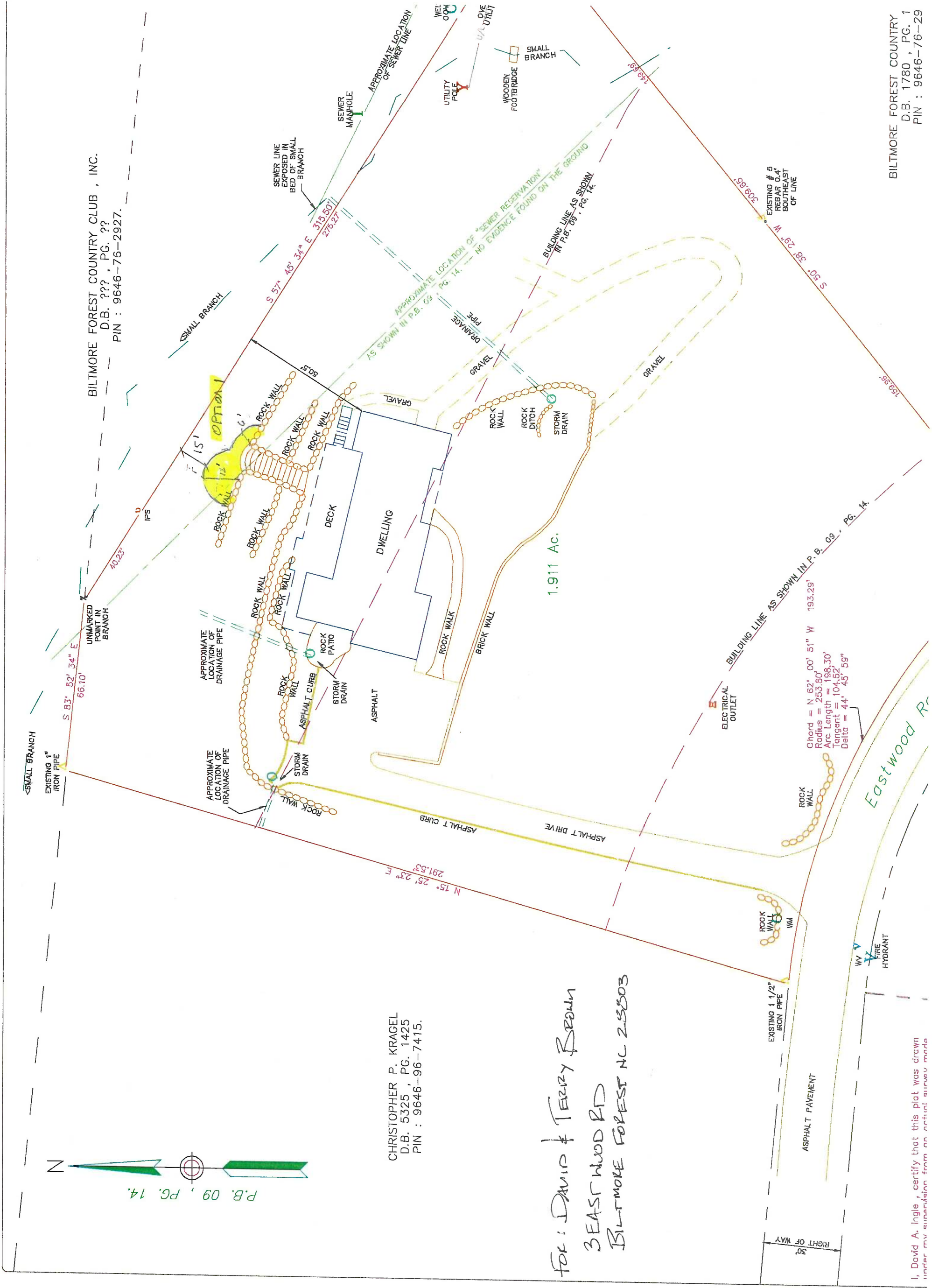
BILTMORE FOREST COUNTRY CLUB, INC.
D.B. ???, PG. ??
PIN : 9646-76-2927.

CHRISTOPHER P. KRAGEL
D.B. 5325, PG. 1425
PIN : 9646-96-7415.

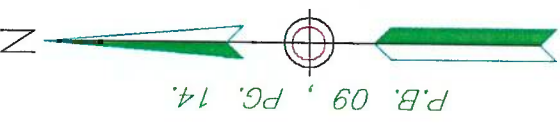
FOR: DAVID & TERRY BEAUN
3 EASTWOOD RD
BILTMORE FOREST NC 28503

I, David A. Ingle, certify that this plat was drawn under my supervision from an actual survey made

BILTMORE FOREST COUNTRY
D.B. 1780, PG. 1
PIN : 9646-76-29



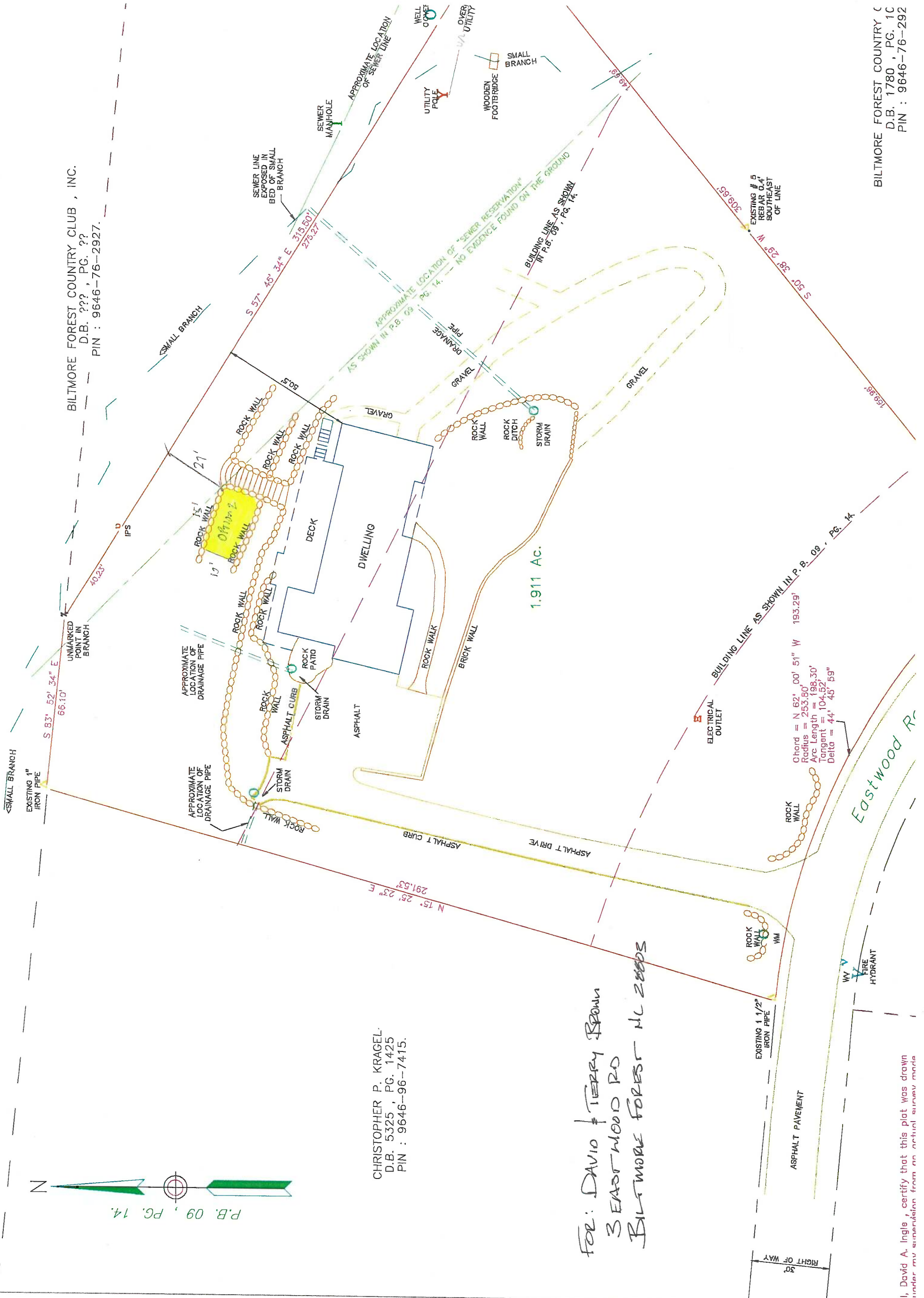
BILTMORE FOREST COUNTRY CLUB, INC.
 D.B. ???, PG. ??
 PIN : 9646-76-2927.



P.B. 09, PG. 14.

CHRISTOPHER P. KRAGEL
 D.B. 5325, PG. 1425
 PIN : 9646-96-7415.

FOR: DAVID & TERRY BROWN
 3 EASTWOOD RD
 BILTMORE FOREST NC 28003



Chord = N 62° 00' 51" W 193.29'
 Radius = 253.50'
 Arc Length = 198.30'
 Tangent = 104.52'
 Delta = 44° 45' 59"

I, David A. Ingle, certify that this plot was drawn under my supervision from an actual survey made

Zoning Compliance Application

Town of Biltmore Forest

Name

Jack Marques

Property Address

11 Buena Vista Road

Phone

(774) 263-2094

Email

jack@lobobuilders.com

Parcel ID/PIN Number

964780622400000

ZONING INFORMATION

Current Zoning

R-2

Lot Size

0.62 acres

Maximum Roof Coverage

3,520 square feet (Up to .75 acres)

Proposed Roof Coverage Total

231

Maximum Impervious Surface Coverage

Up to 1 acre (27.5 percent of lot area)

Proposed Impervious Surface Coverage

820

Front Yard Setback

50 feet (R-2, R-3, R-4, and R-5 Districts)

Side Yard Setback

15 feet (R-2, R-3, R-4, and R-5 Districts)

Rear Yard Setback

20 feet (R-2, R-3, R-4, and R-5 Districts)

Building Height

approx. 25'

Description of the Proposed Project

Demo existing deck. Build new covered porch. Reframe existing flat roofs for shingle roofing. Install bluestone patio and build a new masonry retaining wall.

Estimated Start Date

11/14/2022

Estimated Completion Date

3/13/2023

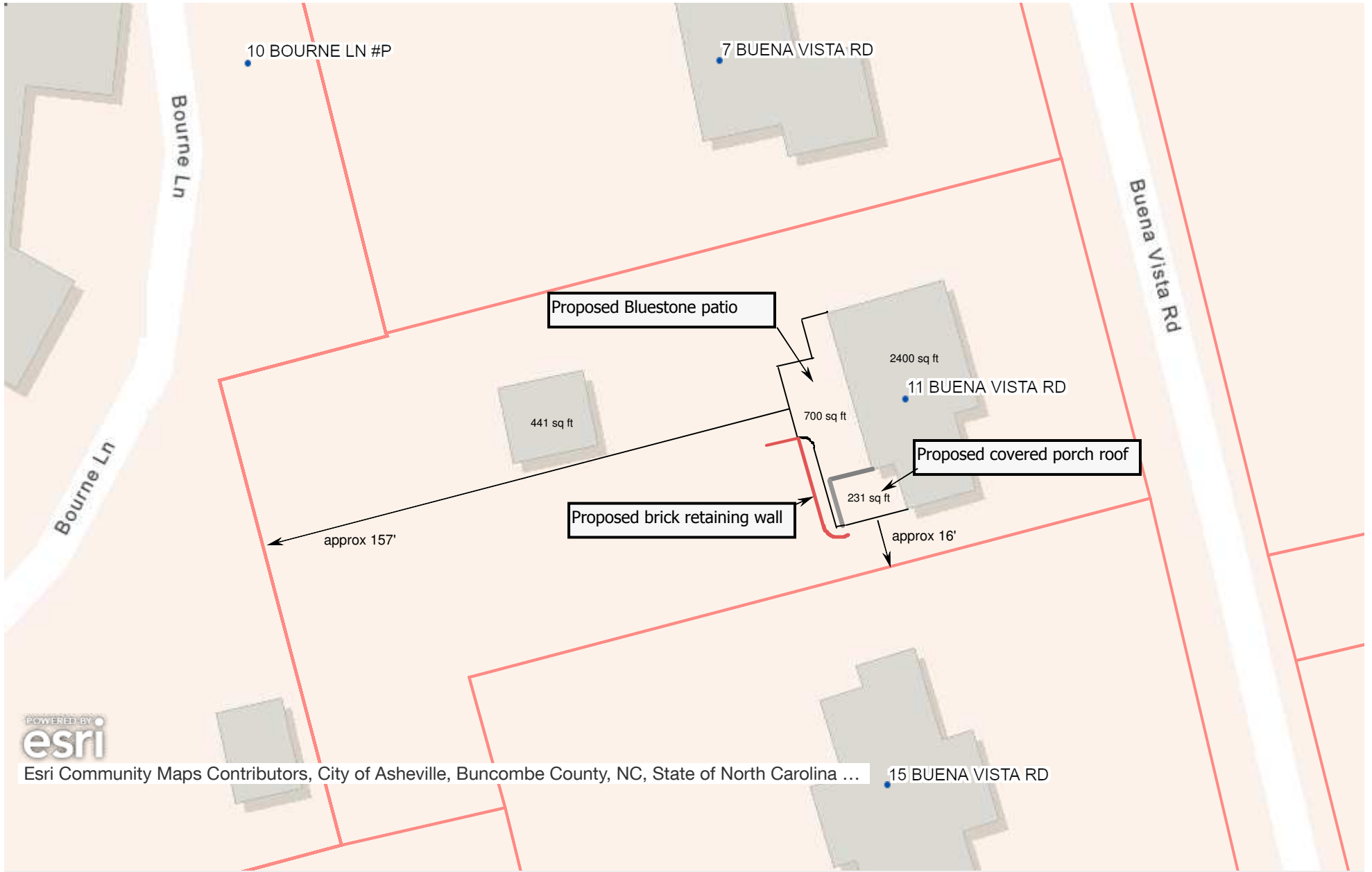
Estimated Cost of Project

\$129,000.00

Supporting Documentation (Site Plan, Drawings, Other Information)

Valeika Back Yard Renovation 10052022.pdf

Site Plan.pdf



11 BUENA VISTA RD

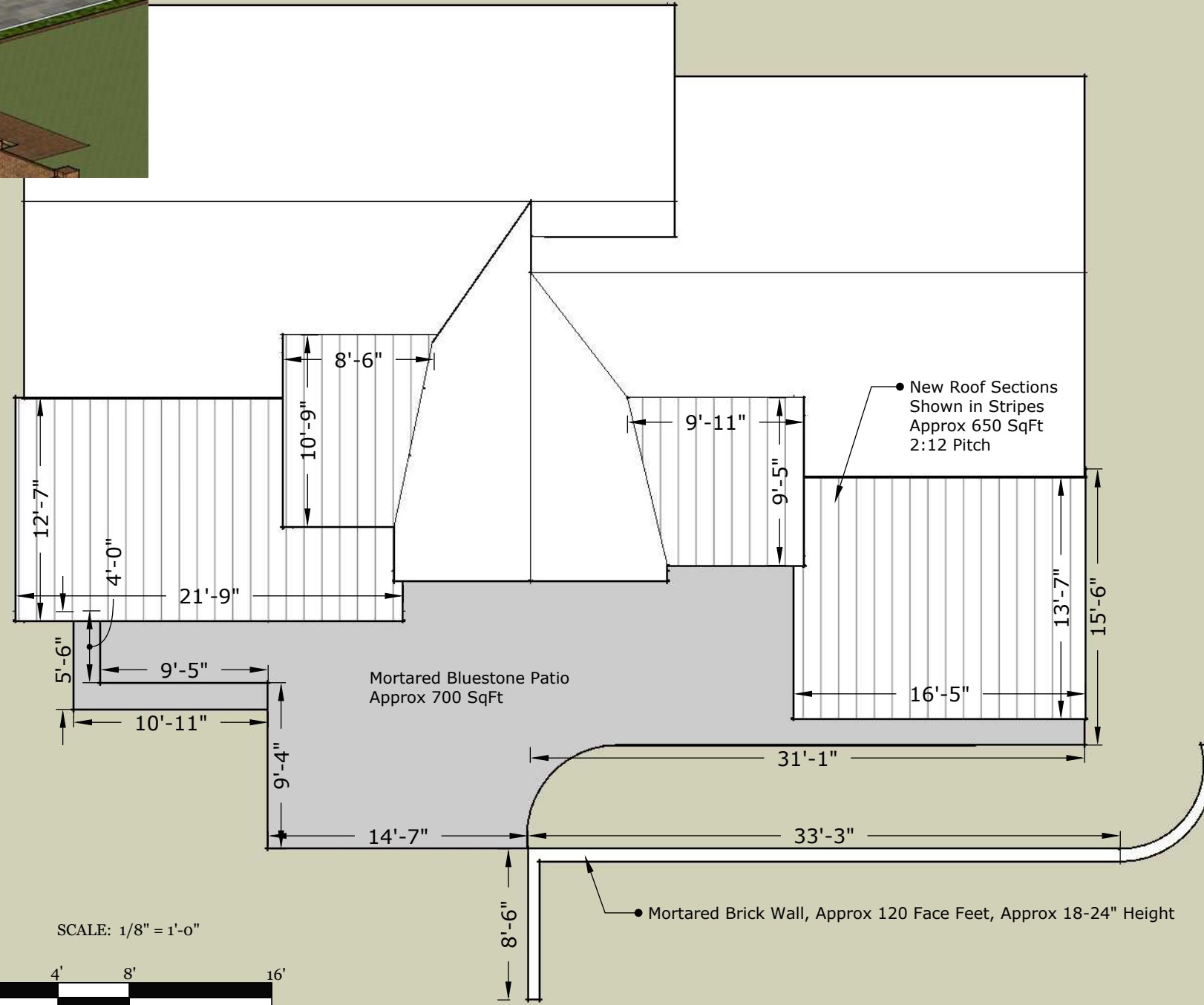


For new covered porch and for 3 existing flat roof additions,
 Frame to create 2:12 Roof Pitches
 Roof those 4 sections with shingles to match existing shingles as much as possible
 Soffits, Fascia, and Gutters on new sections to match existing



Covered Porch

Columns 8x8" Approx 8'9" Height
 Column detail to mimic details on columns at front porch where possible
 Bottom of Band at House Approx 10'10" Height
 Porch Rafters - 2x8x16' (cut to length)- 18" O.C.
 Porch Header - (2) 2x10x14' Cased with 1x
 Porch Ceiling - T&G Stain Grade
 Install patio heaters and ceiling fan under covered porch;
 specs TBD



11 BUENA VISTA ROAD
 Asheville, NC 28803
 Steve and Katie Valeika

October 5, 2022 Scope of Work:
 Covered Porch, Roof Rework,
 Grading/Drainage, Hardscapes



5 RAVENSCROFT DRIVE, SUITE 300
 ASHEVILLE, NC 28801
 LOBOBUILDERS.COM 828-252-1841



11 BUENA VISTA ROAD
Asheville, NC 28803
Steve and Katie Valeika

October 5, 2022 Scope of Work:
Covered Porch, Roof Rework,
Grading/Drainage, Hardscapes



5 RAVENSCROFT DRIVE, SUITE 300
ASHEVILLE, NC 28801
LOBOBUILDERS.COM 828-252-1841

Zoning Compliance Application

Town of Biltmore Forest

Name

Jason Wightman

Property Address

31 Stuyvesant Rd

Phone

(828) 747-9104

Email

jwightman@beverly-grant.com

Parcel ID/PIN Number

964676292700000

ZONING INFORMATION

Current Zoning

R-1

Lot Size

135.18

Maximum Roof Coverage

9,647 square feet (Up to 6 acres)

Proposed Roof Coverage Total

Existing

Maximum Impervious Surface Coverage

3-6 acres (20 percent of lot area)

Proposed Impervious Surface Coverage

Existing

Front Yard Setback

60 feet (R-1 District)

Side Yard Setback

20 feet (R-1 District)

Rear Yard Setback

25 feet (R-1 District)

Building Height

Existing

Description of the Proposed Project

Interior renovation to convert the existing fitness space into 6 new guest rooms.

Estimated Start Date

1/1/2023

Estimated Completion Date

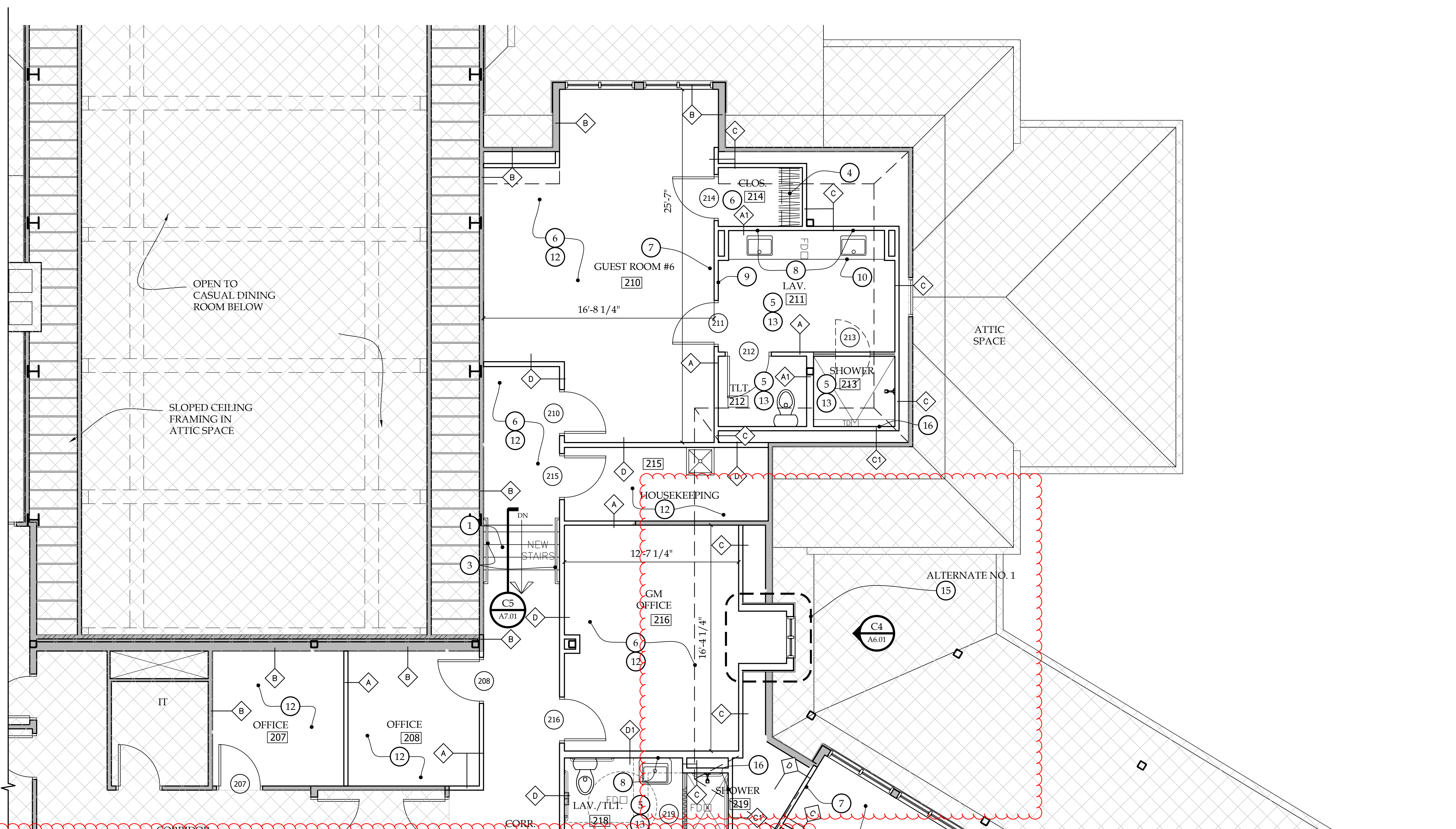
7/31/2023

Estimated Cost of Project

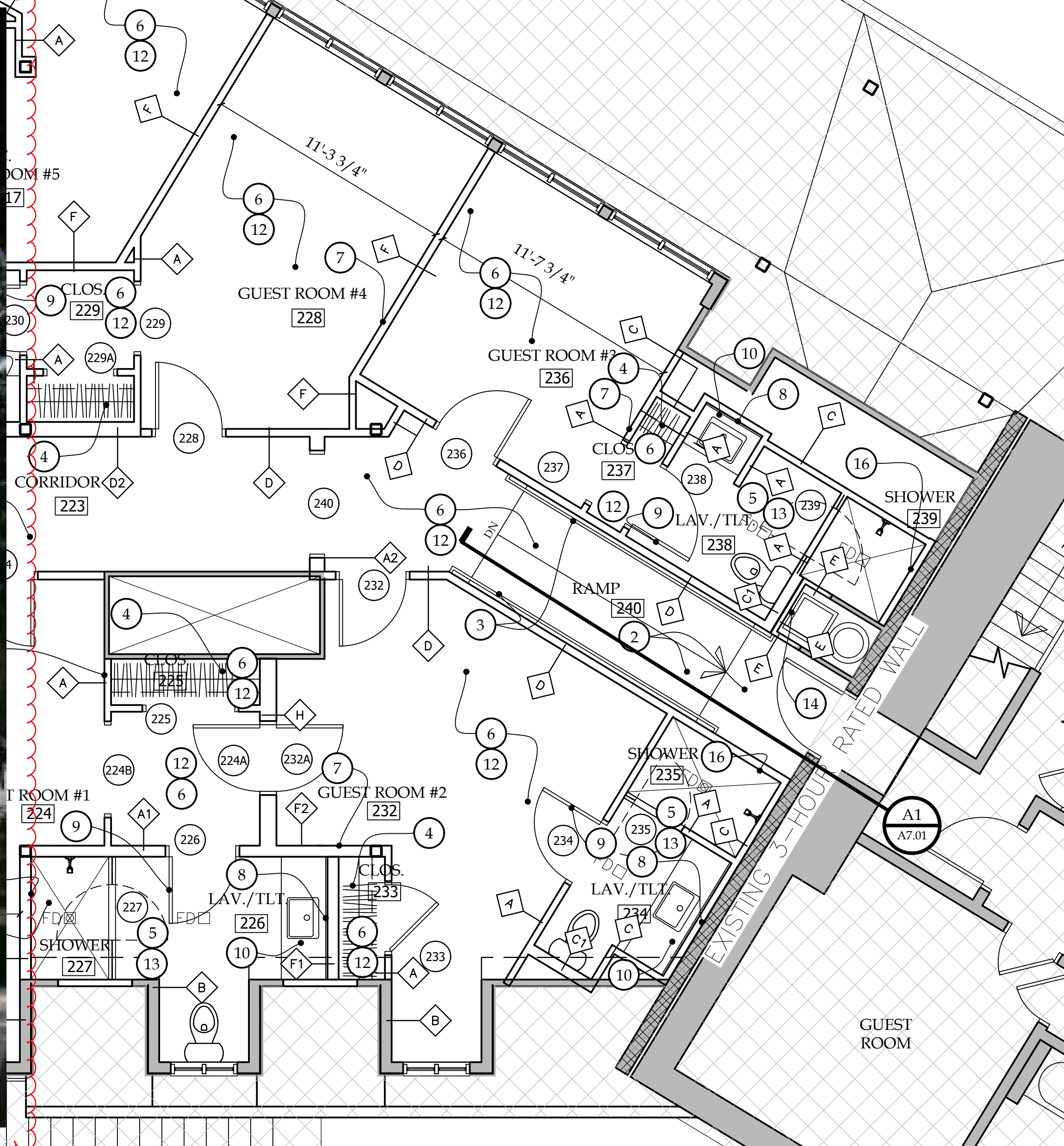
\$1,200,000.00

Supporting Documentation (Site Plan, Drawings, Other Information)

BFCC Guest Rooms-Zoning-9-6-2022.pdf



NEW SMALL SHED DORMER TO BE CONSTRUCTED IN DASHED LINE AREA TO MATCH THE STYLE OF THE EXISTING SHED DORMER. NEW DORMER TO HAVE THE SAME MATERIALS/COLORS TO BLEND THE NEW DORMER WITH THE EXISTING ARCHITECTURE - SEE NEXT PAGE FOR DORMER ELEVATION



SHEET NOTES

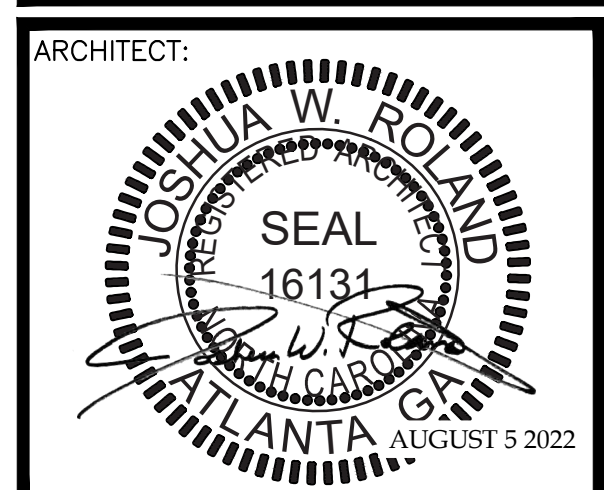
1. PROVIDE STEEL FRAME & HIDDEN STRINGERS, MTL. PAN TREADS W/ LIGHTWEIGHT CONC. FILL, AT STAIRS & LANDING.
2. PROVIDE F.R. WOOD FRAME RAMP & LANDING W/ LIGHTWEIGHT CONC. FILL.
3. PROVIDE WALL-MOUNTED HANDRAILS & BRACKETS W/ CONCEALED F.R. BLOCKING. JULIUS BLUM HANDRAIL # 4350, BRONZE W/ BLACK WALL BRACKETS W/ RETURN TO WALL. SEE I.D. DRAWINGS SHEET ID2.01 FOR FULL SPECIFICATION.
4. PAINT GRADE 18"D. SHELF ABOVE CHROME COAT ROD, 1.25"D, W/ INT. SUPPORTS @ 4'-0" O.C.
5. REFERENCE INTERIORS DRAWINGS, SHEET ID2.01 FOR RESTROOM ACCESSORY SPECIFICATIONS & LOCATIONS.
6. REFERENCE INTERIORS DRAWINGS, SHEET ID5.01 FOR MOULDING PROFILES.
7. NEW WALL-MOUNTED T.V. & BRACKET BY OWNER. G.C. TO PROVIDE CONCEALED, F.R. BLOCKING WITHIN PARTITION CAVITY. COORD. WITH OWNER'S A/Y VENDOR.
8. MIRRORS OVER SINKS TO BE PROVIDED UNDER FF&E SCOPE. PROVIDE FIRE RETARDANT WOOD BLOCKING IN PARTITION AS REQUIRED.
9. FULL LENGTH MIRRORS TO BE PROVIDED UNDER FF&E SCOPE. PROVIDE FIRE RETARDANT WOOD BLOCKING IN PARTITION AS REQUIRED.
10. REFERENCE INTERIORS DRAWINGS, SHEET ID4.01 FOR MILLWORK ELEVATIONS, AND SHEET ID3.02 FOR FINISH SPECIFICATIONS.
11. NOT USED.
12. REFERENCE INTERIORS DRAWINGS, SHEETS ID3.01 AND ID3.02 FOR FINISH SPECIFICATIONS AND LOCATIONS.
13. REFERENCE INTERIORS DRAWINGS, SHEETS ID3.01 AND ID3.02 FOR FINISH SPECIFICATIONS AND LOCATIONS. INSTALL ALL CERAMIC TILE PER APPROVED TCNA METHODS.
14. SAW CUT EXIST. SLAB & DECK FOR EXTENDED CHASE OPENING. DO NOT CUT THE EXIST. STEEL JOISTS BELOW. NEW OPENING TO BE SUPPORTED BY 2x3x1/4" ON ALL SIDES.
15. AS ALTERNATE NO. 1, CONTRACTOR TO PRICE NEW DORMER. ALL NEW CONSTRUCTION (WALLS & ROOF) TO MATCH EXISTING ADJACENT CONSTRUCTION & WINDOW TYPE.
16. G.C. TO COORD. SHOWER FRAMING WITH LOCATIONS OF RECESSED SHOWER NICHE LOCATIONS SHOWN ON I.D. DRAWINGS.
17. THIS SHOWER TO BE MOCK-UP.

CHAPMAN COYLE CHAPMAN ARCHITECTURE & PLANNING

9040 Roswell Road, Ste 400
Atlanta, Georgia 30350
770-973-6644
www.ccc-ap.com

THESE PLANS ARE COPYRIGHTED AND SUBJECT TO COPYRIGHT AS AN "ARCHITECTURAL WORK" UNDER SECTION 107 OF THE COPYRIGHT ACT, 17 U.S.C. AS AMENDED DECEMBER 1995, AND KNOWN AS ARCHITECTURAL WORKS COPYRIGHT PROTECTION ACT OF 1990. THE PROTECTION INCLUDES BUT IS NOT LIMITED TO THE OVERALL FORM AS WELL AS THE ARRANGEMENT AND COMPOSITION OF SPACES AND ELEMENTS OF THE DESIGN. UNDER SUCH PROTECTION, UNAUTHORIZED USE OF THESE PLANS, WORK OR HOME REPRESENTED, CAN RESULT IN LEGAL ACTION. THE DECISION OF CONSTRUCTION OR BUILDINGS BEING SEIZED AND/OR MONETARY COMPENSATION TO CHAPMAN COYLE CHAPMAN & ASSOCIATES ARCHITECTS AIA, INC.

© 2022 CCCA



CONSULTANT:

REVISIONS	
DATE	# DESCRIPTION
6/3/2022	50% CD SET
8/5/2022	100% CD FOR PERMIT

LEGEND

- EXISTING CONSTRUCTION TO REMAIN (SHADED WALLS)
- NEW CONSTRUCTION (OPEN WALLS)
- EXISTING AREAS (CROSS HATCHED) TO REMAIN (G.C. TO VERIFY SCOPE IN THESE AREAS WITH ALL I.D., STRUCT., & M.E.P., DRAWINGS)
- NEW DOOR/CASED OPENING
- WALL PARTITION TAG
- ROOM NUMBER TAG
- SLOPE DIRECTION OF SLOPED FLOOR
- FE FIRE EXTINGUISHER
- FD FLOOR DRAIN

GENERAL NOTES

- A. INTERIOR PARTITION TYPES TO BE AS NOTED ON PLAN (SEE SHEET A1.11).
- B. ALL PARTITIONS TERMINATE AT UNDERSIDE OF STRUCTURE ABOVE/ROOF DECK, UNLESS NOTED OTHERWISE.
- C. PROVIDE DOUBLE MTL. STUDS AT ALL OPENINGS.
- D. PROVIDE LINTELS OVER ALL OPENINGS, INCLUDING THOSE REQUIRED FOR DUCT WORK, PIPES, LOUVERS, GRILLES, DAMPERS, ETC. WHERE WALL FRAMING OCCURS.
- E. GYP. BD. PARTITIONS WHICH EXTEND TO STRUCTURE SHALL BE TIGHT AGAINST BEAMS, HEADERS, JOISTS OR DECKS AND BE CAULKED WITH SEALANT. AT RATED PARTITIONS, PROVIDE U.L. LISTED SEAL.
- F. ALL EXTERIOR ELEVATION CORNICES, TRIMS, MOULDINGS, AND LINTELS SHALL MATCH EXISTING.
- G. GENERAL CONTRACTOR SHALL REPAIR/REPLACE, PATCH, ETC. ANY DEMOLITION DONE IN EXCESS.

FOR CONSTRUCTION

BILTMORE FOREST COUNTRY CLUB

Guest Room Renovation

31 Stuyvesant Rd
Asheville, North Carolina 28803

JOB NAME :

JOB NUMBER : 20.002.00

DATE : 08/05/2022

SHEET NAME : FLOOR PLAN : LEVEL 200

SHEET : A2.01

[Home](#) > [Departments](#) > [Planning & Zoning](#) >

Zoning Compliance

Zoning Compliance Application

Town of Biltmore Forest

Name

First JUAN GONZALO	Last TORO-RICO
---------------------------	-----------------------

Property Address

Address Line 1 41 HILLTOP RD.

Phone

305-298-8423.

Email

--

Parcel ID/PIN Number

9646-65-9443

ZONING INFORMATION

Current Zoning *

R-1 R-2 R-3 R-4 R-5 P-S

Lot Size *

7.03 ac.

Maximum Roof Coverage *

Choose appropriate lot size ▾

Proposed Roof Coverage Total *

4,507 sq ft

Must not exceed maximum coverage allowed

Maximum Impervious Surface Coverage *

Choose appropriate lot size ▾

Proposed Impervious Surface Coverage *

add. 4,507 sq ft

Must not exceed maximum coverage allowed

Front Yard Setback *

60' ▾

Side Yard Setback *

20' ▾

Rear Yard Setback *

25' ▾

Building Height *

25'3" ▾

Description of the Proposed Project *

Addition (library) to existing home.

Estimated Start Date *

Estimated Completion Date *

Estimated Cost of Project *

Supporting Documentation (Site Plan, Drawings, Other Information)

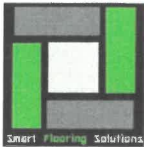
or drag files here.

Applicant Signature *

Date *

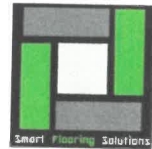
XI-7-2022

Miguel Martinez
Smart Flooring Solutions Inc.



ASHEVILLE NC LIBRARY PROJECT
NOVEMBER 2022





ASHEVILLE NC LIBRARY PROJECT

Additional Items Needed for Zoning Application

1. Site plan showing new structure attached to existing house and in proximity to property line setbacks
2. Setbacks are as follows:
 - a. 60 feet-front setback
 - b. 20 feet-side setbacks
 - c. 25 feet-rear setback
2. Roof coverage square footage for new addition
3. Landscape plan showing any additional/new landscaping around new structure
4. Grading plan for new structure

GENERATED PROJECT MATERIAL

A-01 ARCHITECTURE – Ubication Plan

Plan indicating the location of the new structure and its setbacks with respect to the limits of the land. the roof coverage area of the new addition is also indicated.

LD-01- LANDSCAPE DESIGN – Landscaping

Plan with landscaping project approach, indicating varieties of plants to be used in the project and typical details for its implementation.

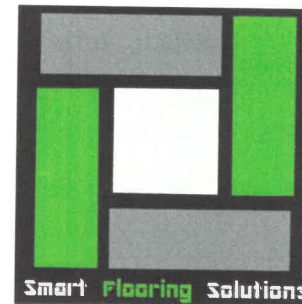
T-01 - TOPOGRAPHY DESIGN - Grading/Leveling Plan

Topographic modification and adaptation plan, indicating the current topography, the modified topography and the lateral scheme with indication of the natural terrain line and the modified topography line.

ASHEVILLE NC LIBRARY PROJECT

MAY 2022

M i g u e l M a r t i n e z
Smart Flooring Solutions Inc.



OWNER
JUAN TORO RICO
DIRECTION
41 HILLTOP RD BILTMORE FOREST ASHEVILLE NC



**ASHEVILLE NC
LIBRARY PROJECT**
MAY 2022

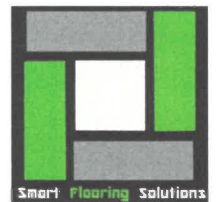
Miguel Martinez
Smart Flooring Solutions Inc.





**ASHEVILLE NC
LIBRARY PROJECT**
MAY 2022

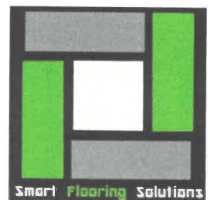
Miguel Martinez
Smart Flooring Solutions Inc.





**ASHEVILLE NC
LIBRARY PROJECT**
MAY 2022

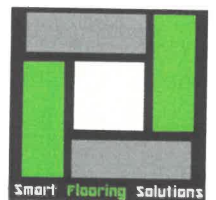
Miguel Martinez
Smart Flooring Solutions Inc.





**ASHEVILLE NC
LIBRARY PROJECT**
MAY 2022

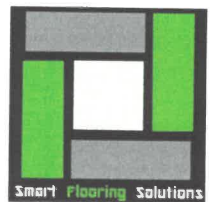
Miguel Martinez
Smart Flooring Solutions Inc.





**ASHEVILLE NC
LIBRARY PROJECT**
MAY 2022

Miguel Martinez
Smart Flooring Solutions Inc.





**ASHEVILLE NC
LIBRARY PROJECT**
MAY 2022

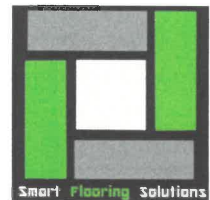
Miguel Martinez
Smart Flooring Solutions Inc.





**ASHEVILLE NC
LIBRARY PROJECT**
MAY 2022

Miguel Martinez
Smart Flooring Solutions Inc.





**ASHEVILLE NC
LIBRARY PROJECT**
MAY 2022

Miguel Martinez
Smart Flooring Solutions Inc.





**ASHEVILLE NC
LIBRARY PROJECT**
MAY 2022

Miguel Martinez
Smart Flooring Solutions Inc.





**ASHEVILLE NC
LIBRARY PROJECT**
MAY 2022

Miguel Martinez
Smart Flooring Solutions Inc.





**ASHEVILLE NC
LIBRARY PROJECT**
MAY 2022

Miguel Martinez
Smart Flooring Solutions Inc.

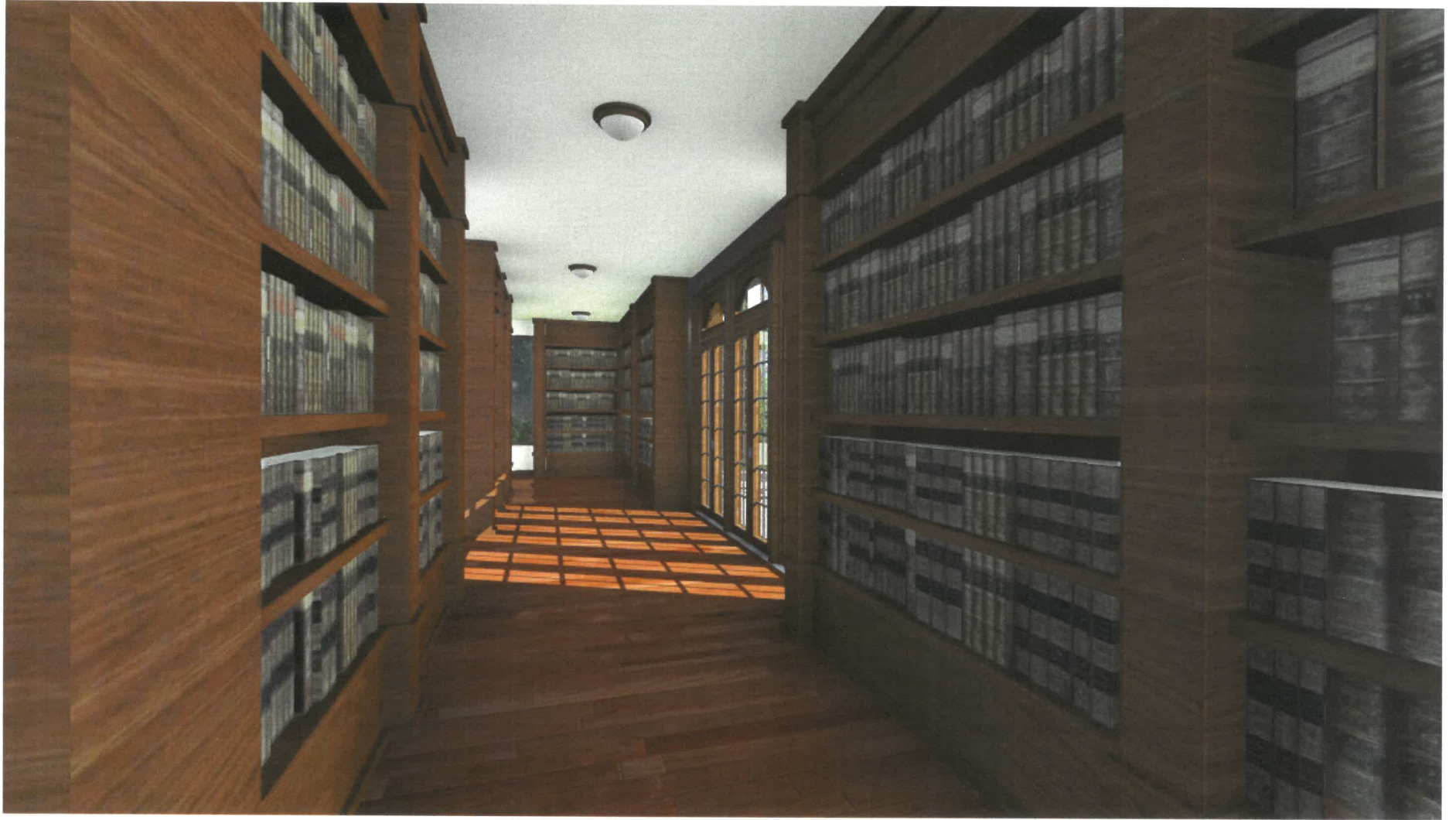




**ASHEVILLE NC
LIBRARY PROJECT**
MAY 2022

Miguel Martinez
Smart Flooring Solutions Inc.

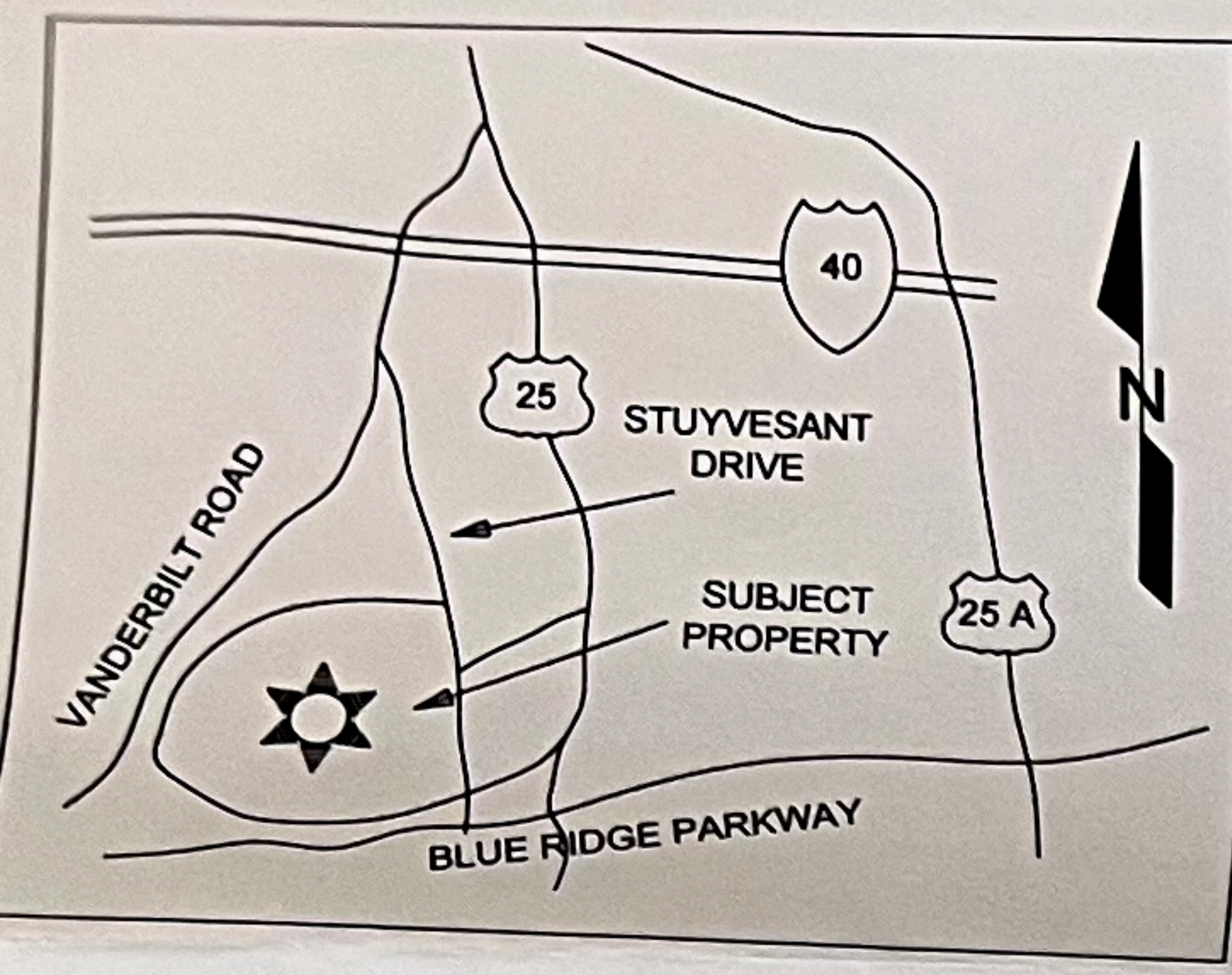




**ASHEVILLE NC
LIBRARY PROJECT**
MAY 2022

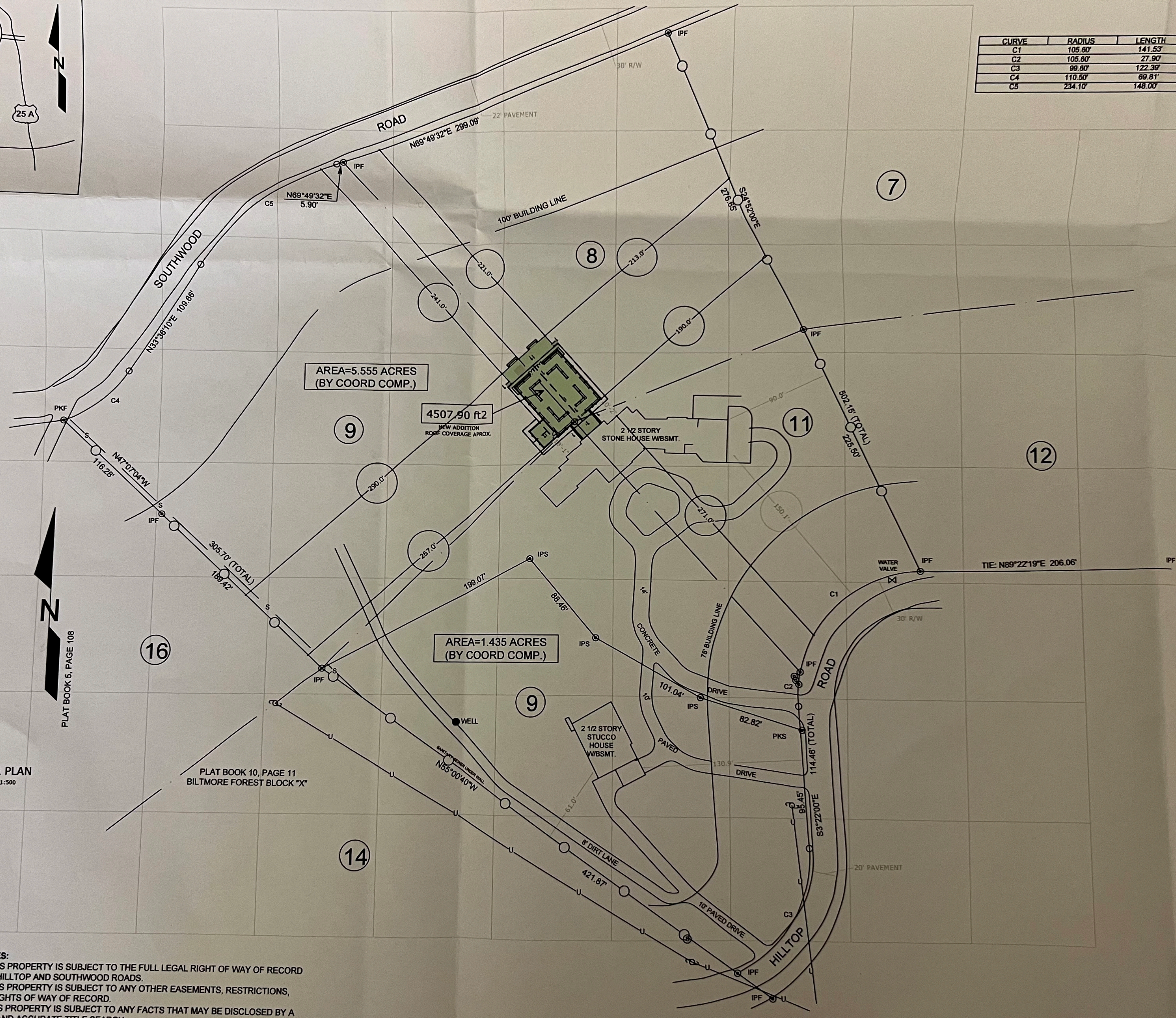
Miguel Martinez
Smart Flooring Solutions Inc.





LOCATION PLAN

CURVE	RADIUS	LENGTH	CHORD	BEARING
C1	105.60'	141.53'	131.17'	S50°10'04"W
C2	105.60'	27.90'	27.82'	S04°12'09"W
C3	99.60'	122.39'	114.84'	N31°50'14"E
C4	110.50'	69.81'	68.66'	N51°42'06"E
C5	234.10'	148.00'	145.55'	S51°42'51"W



AREA=5.555 ACRES
(BY COORD COMP.)

4507.90 sq ft
NEW ADDITION
ROOF COVERAGE APPROX.

AREA=1.435 ACRES
(BY COORD COMP.)

PLAT BOOK 5, PAGE 108

PLAT BOOK 10, PAGE 11
BILTMORE FOREST BLOCK "X"

GENERAL FLOOR PLAN
ESC 1:500

- LEGEND**
- ⊙ IPF ... IRON PIN FOUND
 - ⊙ IPS ... IRON PIN SET
 - ⊙ PKS ... PK NAIL SET
 - ⊙ ... CALCULATED POINT-NOT SET
 - +— UTILITY POLE & LINES
 - ⊙ WATER METER
 - ⊙ SANITARY MAN HOLE
 - +— ROCK WALL

- NOTES:**
1. THIS PROPERTY IS SUBJECT TO THE FULL LEGAL RIGHT OF WAY OF RECORD FOR HILLTOP AND SOUTHWOOD ROADS.
 2. THIS PROPERTY IS SUBJECT TO ANY OTHER EASEMENTS, RESTRICTIONS, OR RIGHTS OF WAY OF RECORD.
 3. THIS PROPERTY IS SUBJECT TO ANY FACTS THAT MAY BE DISCLOSED BY A FULL AND ACCURATE TITLE SEARCH.

Miguel Martinez
Smart Flooring Solutions Inc.

**ASHEVILLE NC
LIBRARY PROJECT
GENERAL FLOOR PLAN**

ADDRESS:
41 HILLTOP RD BILTMORE FOREST ASHEVILLE NC

OWNER:
JUAN TORO RICO

ARCHITECT:

SRL RESPONSIBLE:

ELECTRICAL INSTALLATIONS:

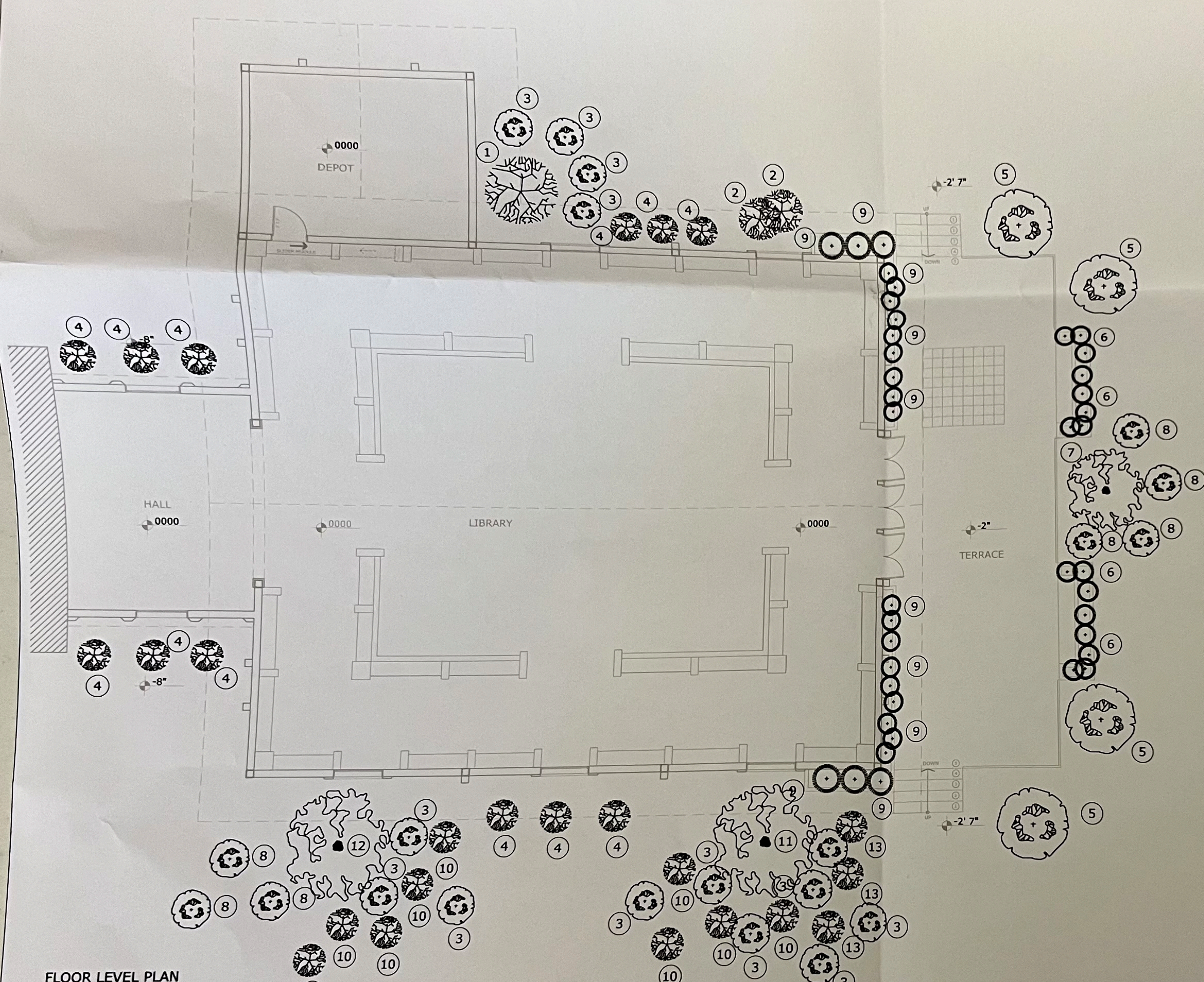
STRUCTURE:

MECHANICAL INSTALLATIONS:

SCALE:
1:500

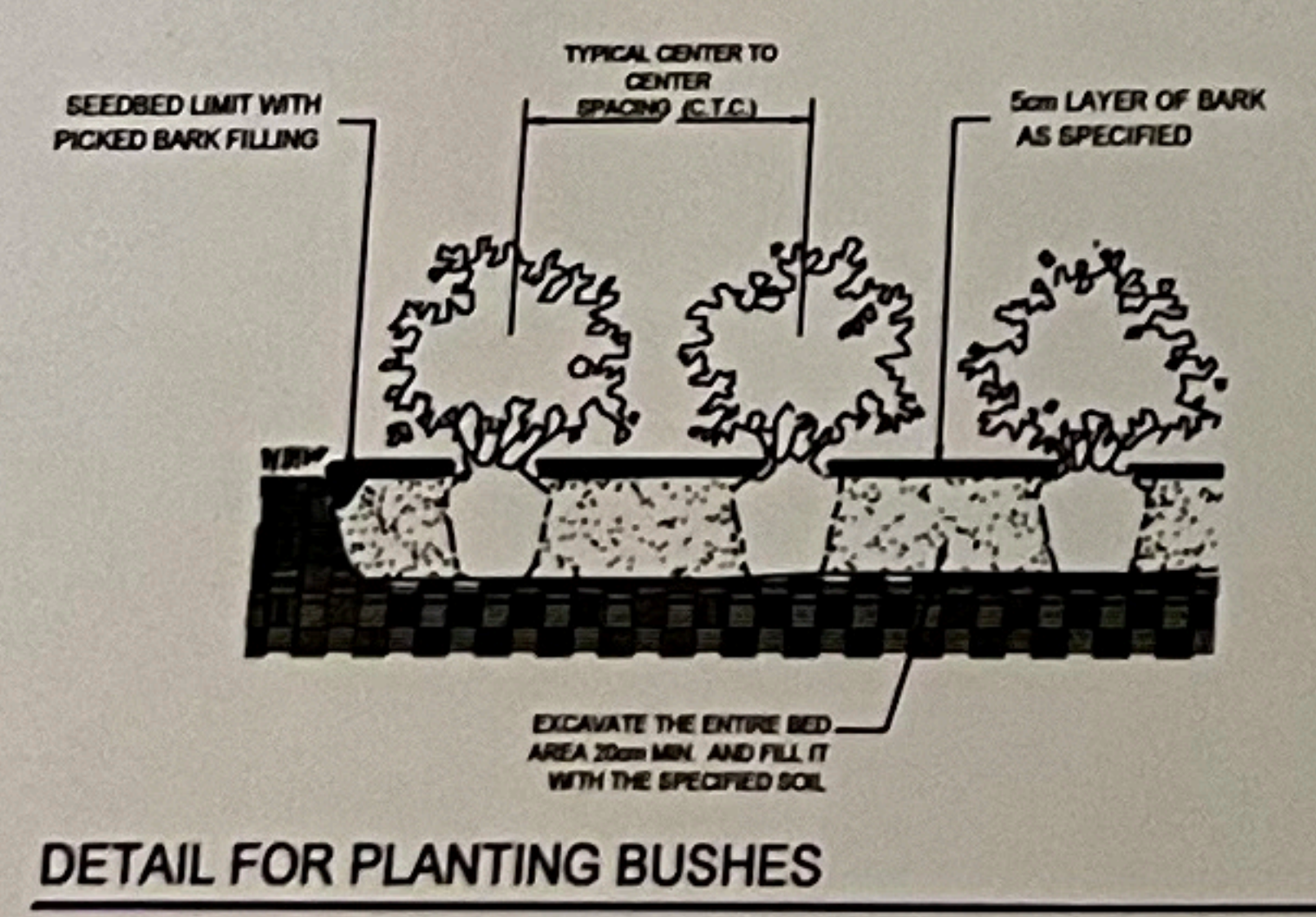
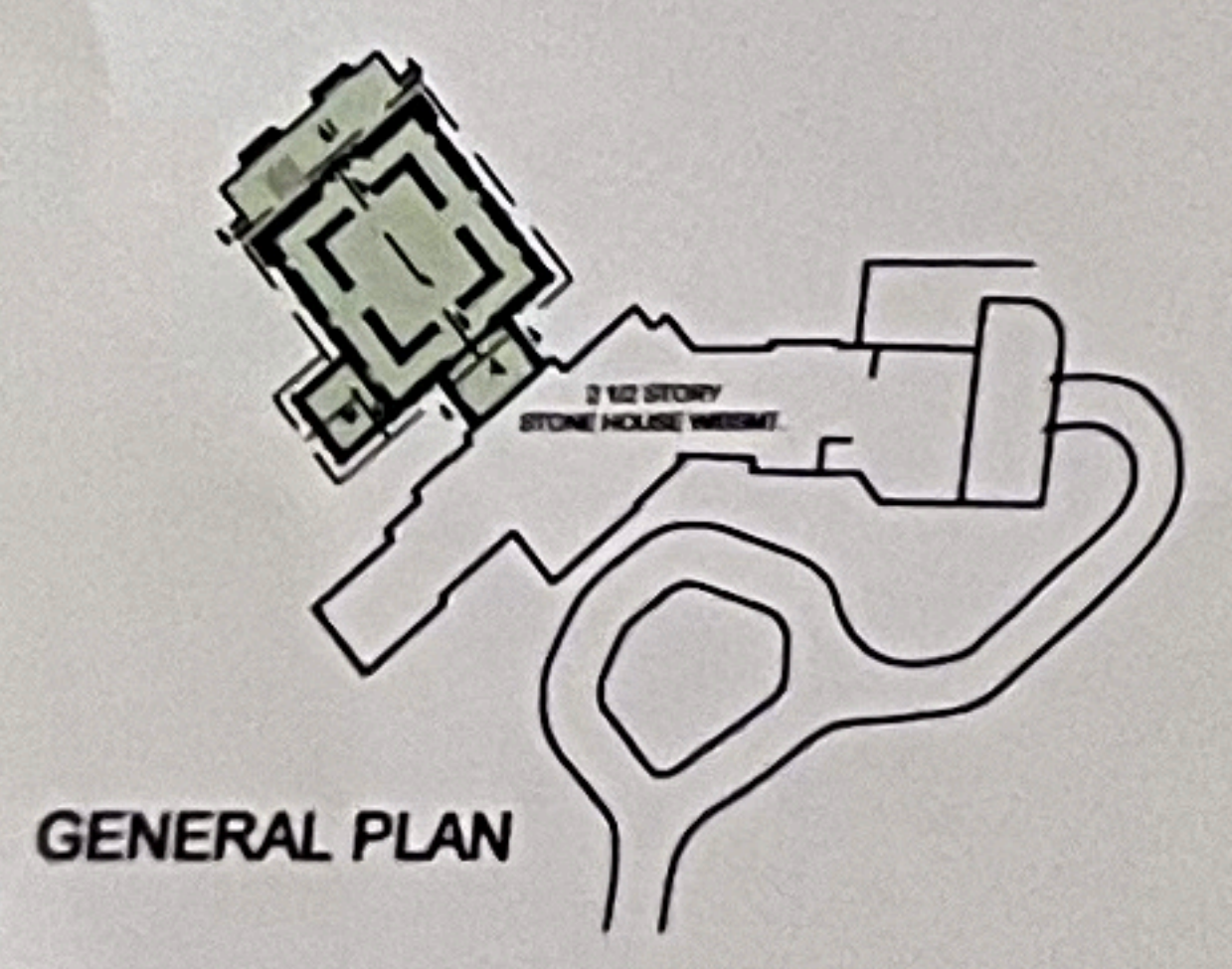
DATE:
NOV 2022

PROJECT NO:
A-01
ARCHITECTURE

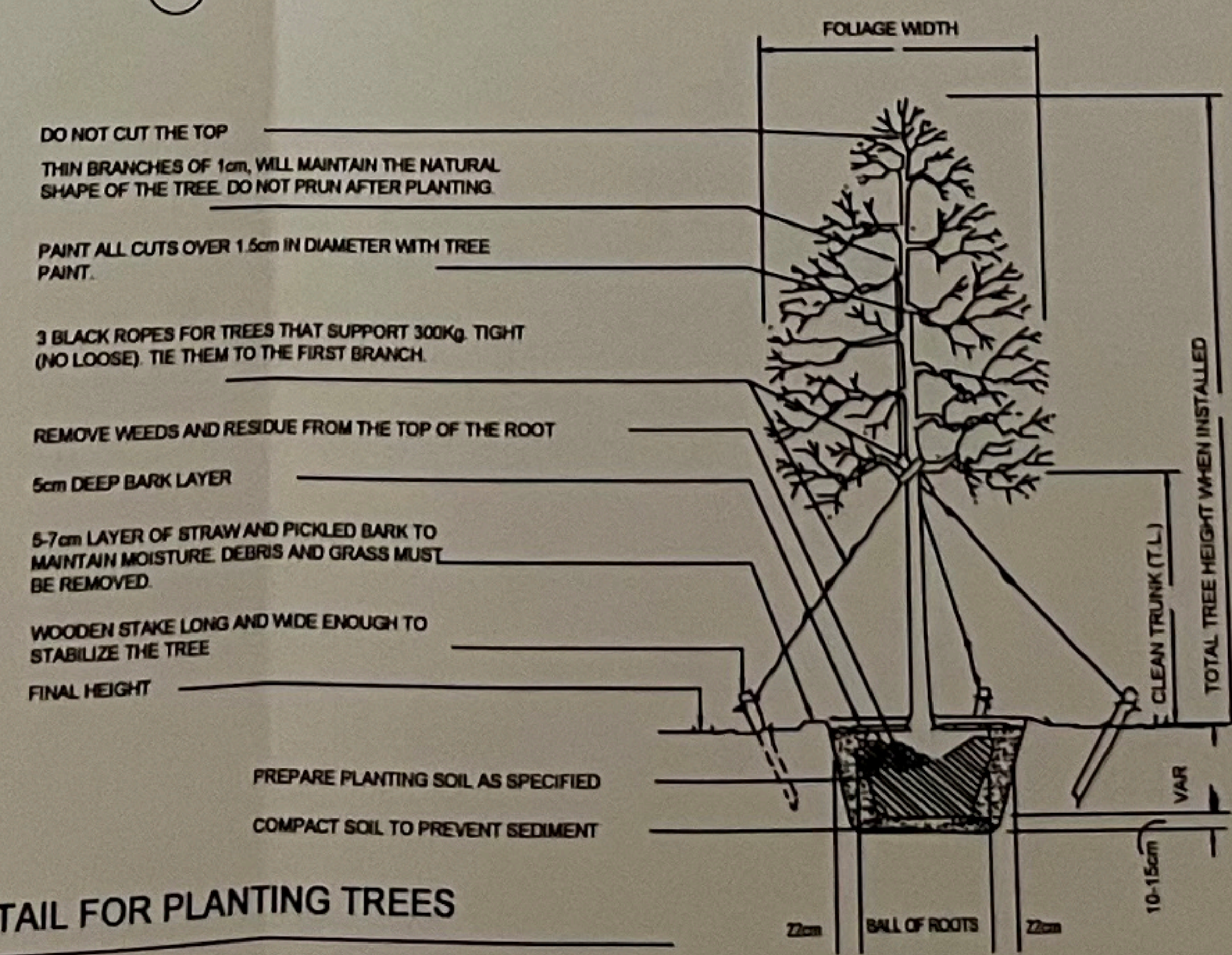


LIST OF TREES FOR LANDSCAPING			
1 Rhododendron		8 Dwarf Nandina	
2 Azalea		9 Carex Variegated Sedge	
3 Golden Pacific		10 Juniperus Conferta	
4 Boxwood		11 Cercis Canadensis Ruby Falls	
5 Italian Cypress		12 Cedrus Atlas Cedar	
6 Blue Fescue		13 Whipcord	
7 Camellia			

FLOOR LEVEL PLAN
ESC 1:75



DETAIL FOR PLANTING BUSHES



TYPICAL DETAIL FOR PLANTING TREES

GENERAL SPECIFICATIONS

- 1- In case of discrepancies, the planting plan is taken as precedent over the list of plants.
- 2- In areas that appear as grasses, they must be planted with Bermuda and about 2.5 cm of fertilized land.
- 3- All new landscaping must receive a self-irrigation cover nuanced.
- 4- Remove all debris, weeds and stones from the ground before planting.
- 5- All plant material must be fertilized once planted.
- 6- No change or substitution should be made without the consent of the Landscape.
- 7- Keep trees and shrubs very humid up to 90 days after planting.

Niguel Martinez
Smart Flooring Solutions Inc.

ASHEVILLE NC LIBRARY PROJECT LANDSCAPING

ADDRESS:
41 HILLTOP RD BILTMORE FOREST ASHEVILLE NC

OWNER:
JUAN TORO RICO

ARCHITECT:

ENV. RESPONSIBLE:

ELECTRICAL INSTALLATIONS:

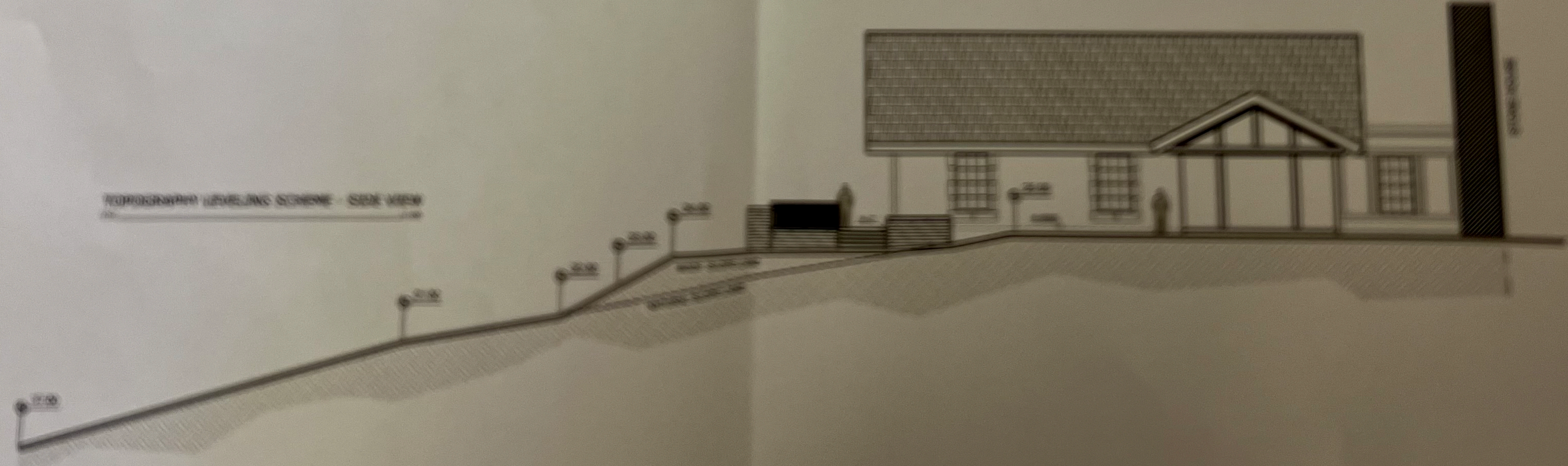
STRUCTURE:

LANDSCAPE INSTALLATIONS:

SCALE:
1:100

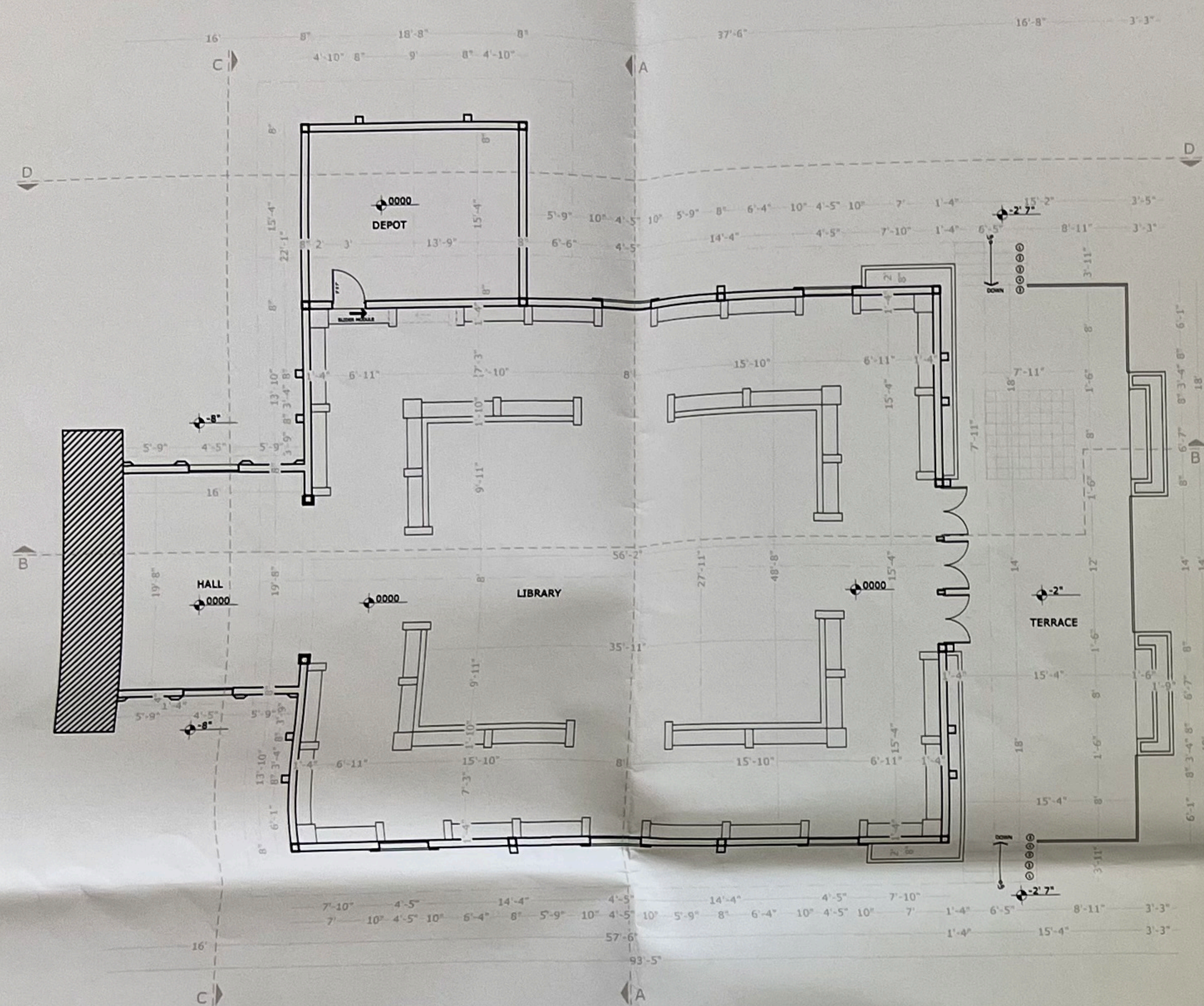
DATE:
NOV 2022

PROJECT:
LD-1
LANDSCAPE DESIGN

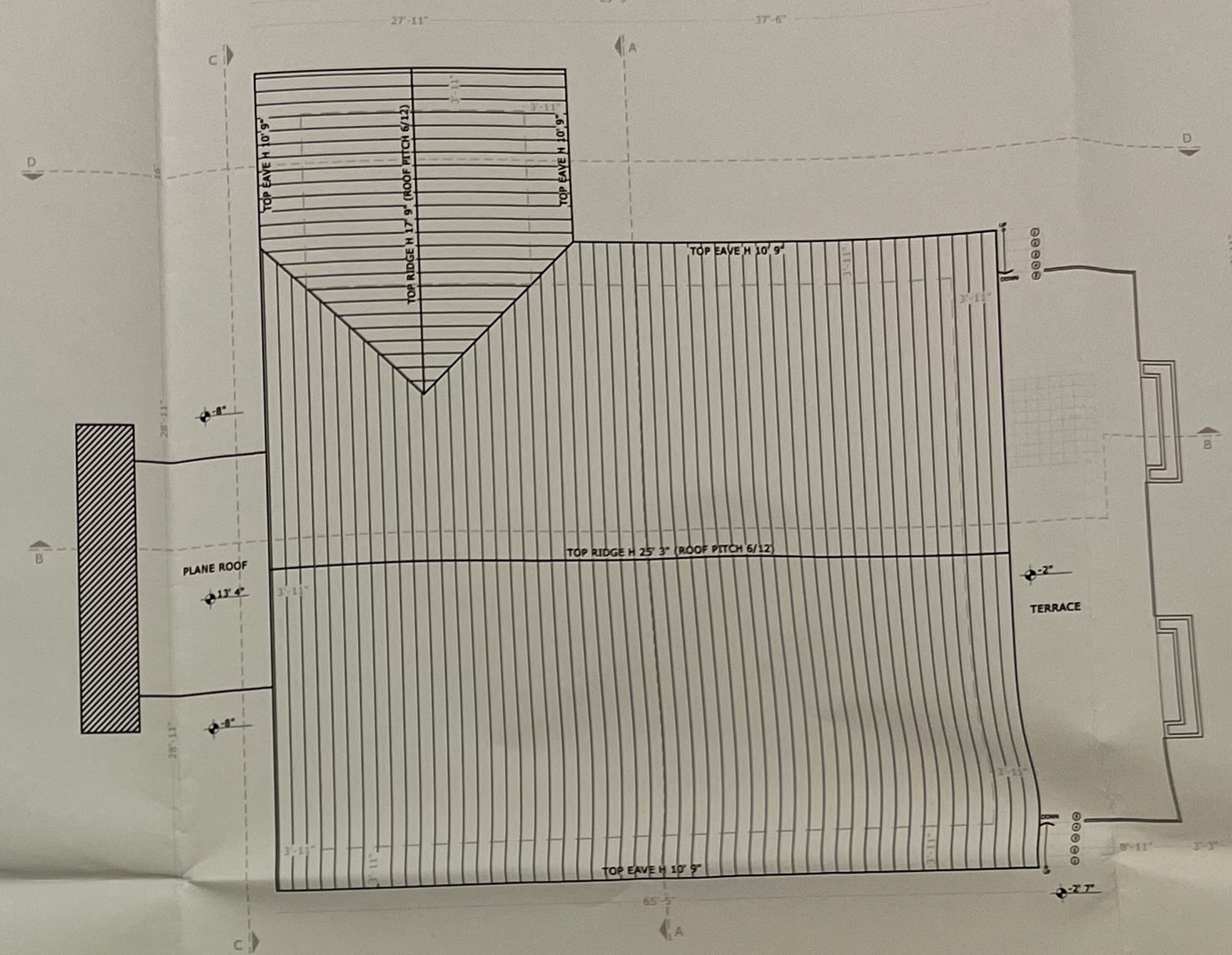


WEST METHOD

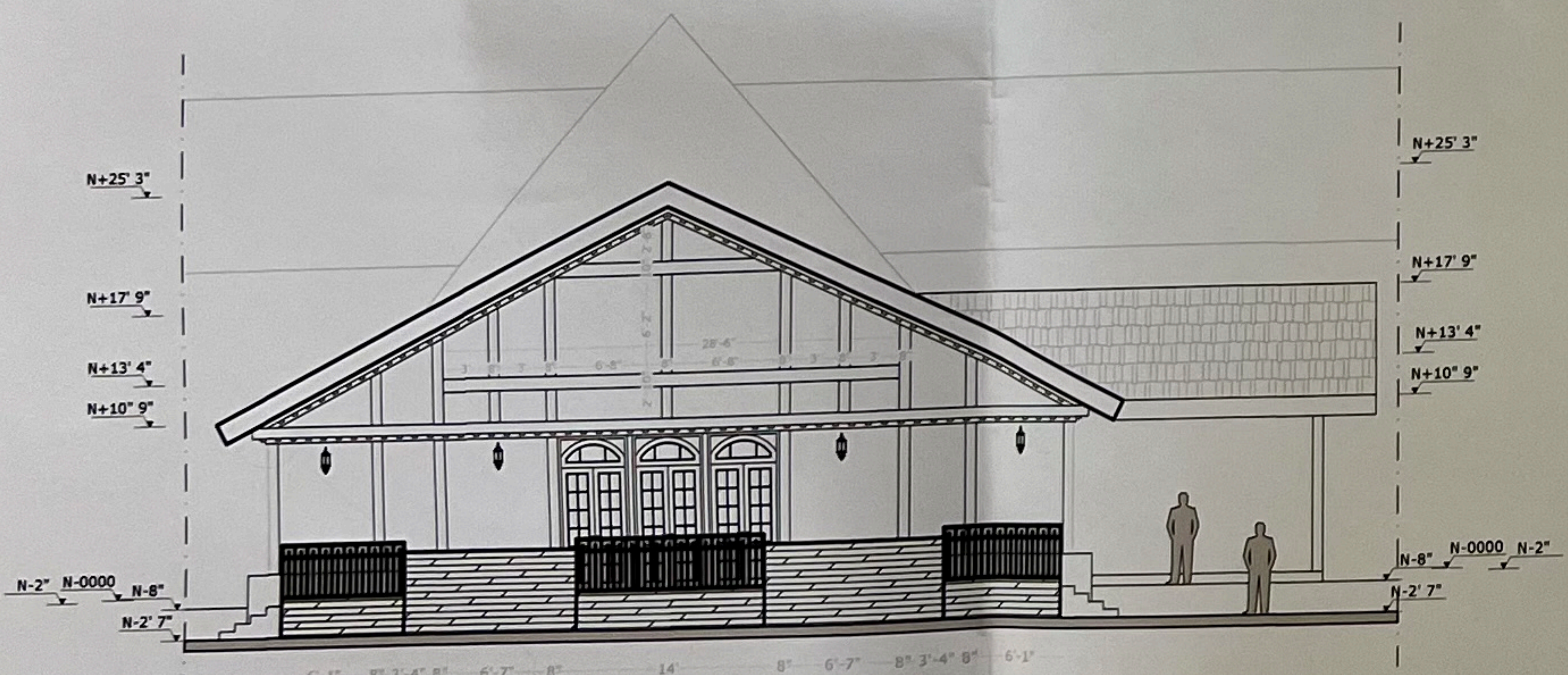
DATE	
PROJECT	
CLIENT	
SCALE	
DESIGNER	
CHECKER	
APPROVER	



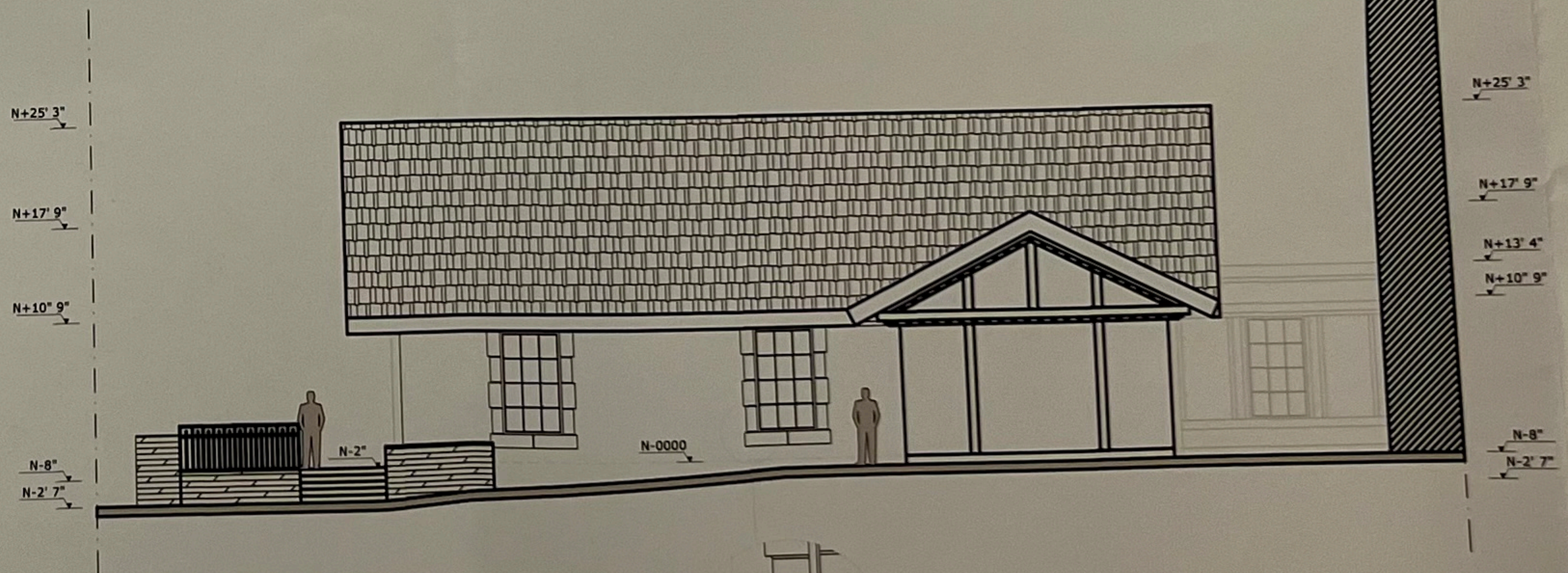
FLOOR LEVEL PLAN
ESC 1:100



ROOF LEVEL PLAN
ESC 1:100



FRONT FACADE
ESC 1:100



RIGHT FACADE
ESC 1:100

NOTE: THE PLANS REQUIRE THE ORIGINAL SIGNATURE OF THE ARCHITECT RESPONSIBLE FOR ITS CONSTRUCTION USE IN ORDER TO GUARANTEE THE RESPONSIBILITY THAT THE LAWS ESTABLISH INTERNATIONALLY FOR THE PROFESSIONAL PRACTICE OF ARCHITECTURE. THE PROJECT IS THE INTELLECTUAL PROPERTY OF THE DESIGNER AND REQUIRES ITS APPROVAL FOR PARTIAL OR TOTAL USE FOR ANY PURPOSE.

Miguel Martinez
Smart Flooring Solutions Inc.

ASHEVILLE NC
LIBRARY PROJECT

ADDRESS:
41 HILLTOP RD BILTMORE
FOREST ASHEVILLE NC

OWNER:
JUAN TORO RICO

ARCHITECT:

DESIGN RESPONSIBLE:

ELECTRICAL INSTALLATIONS:

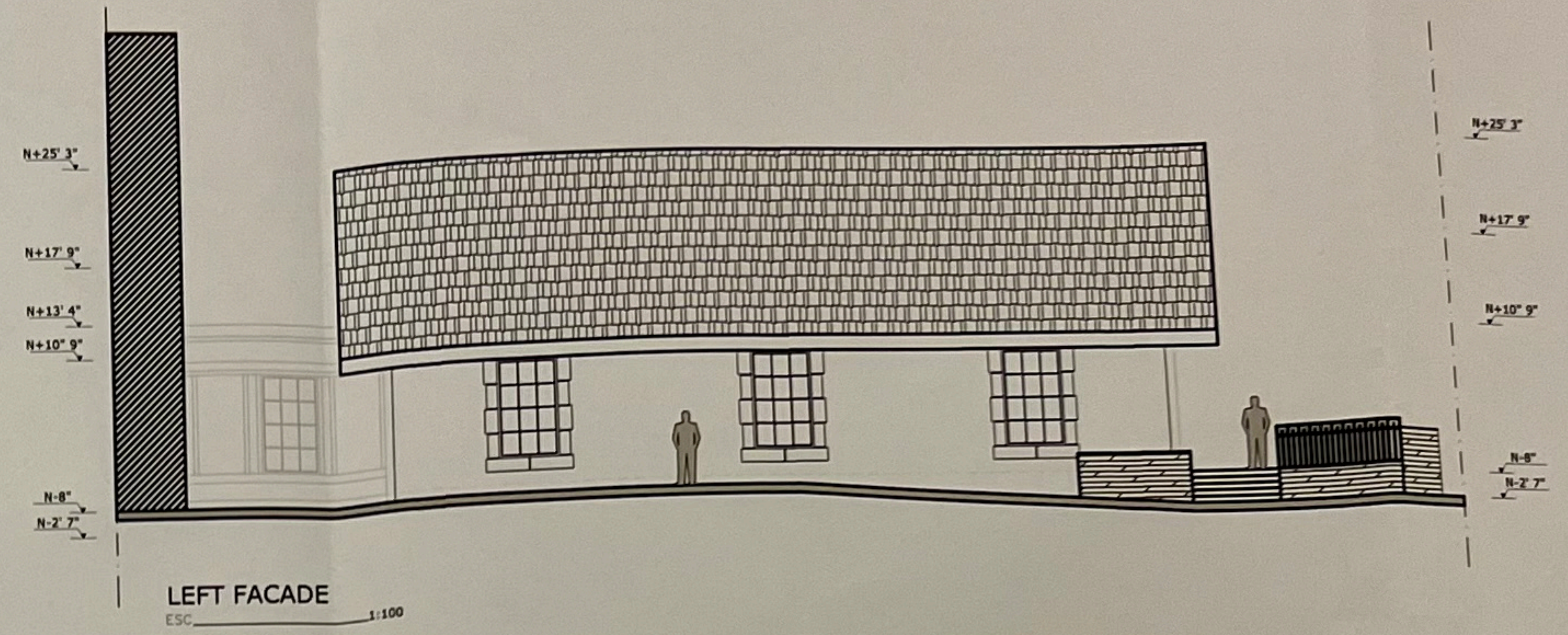
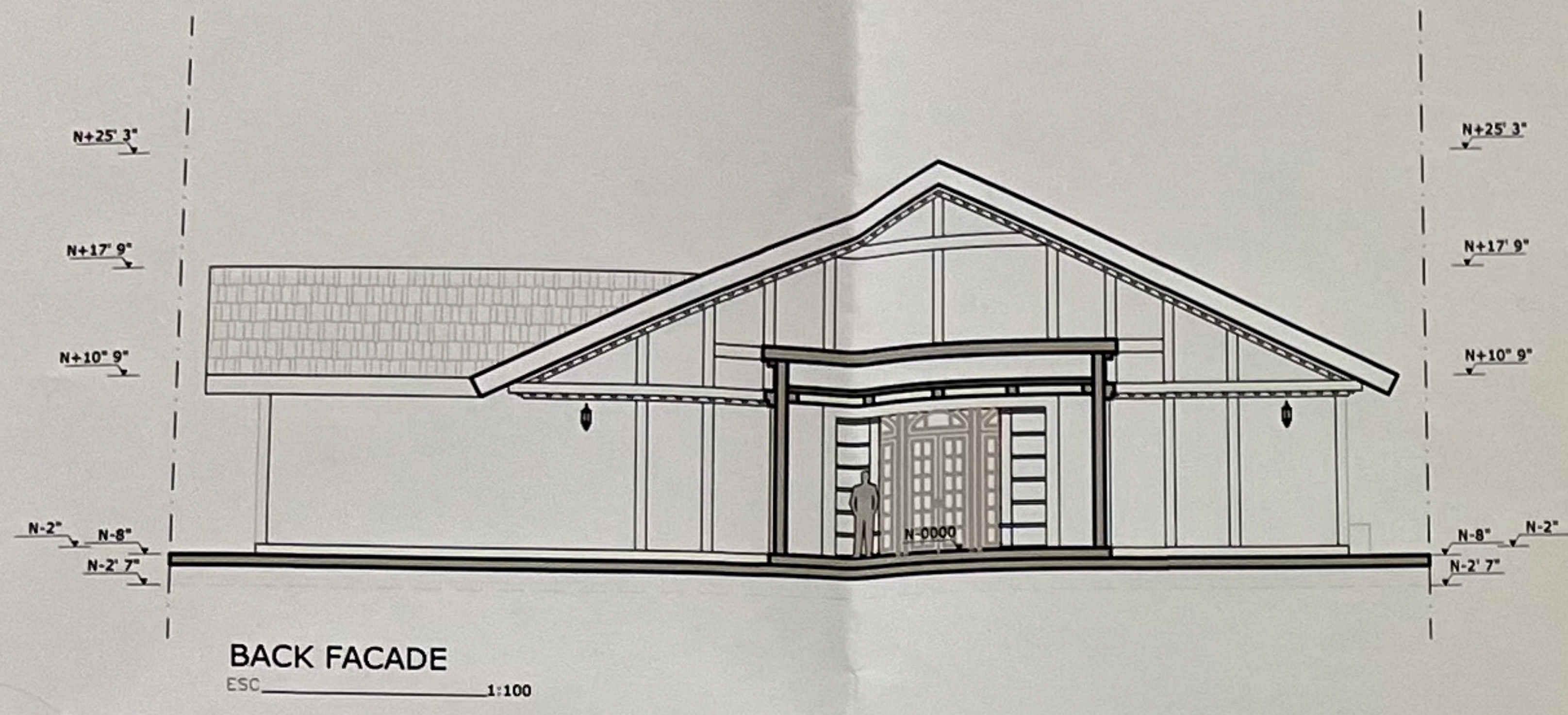
STRUCTURE:

MECHANICAL INSTALLATIONS:

SCALE:
1:100

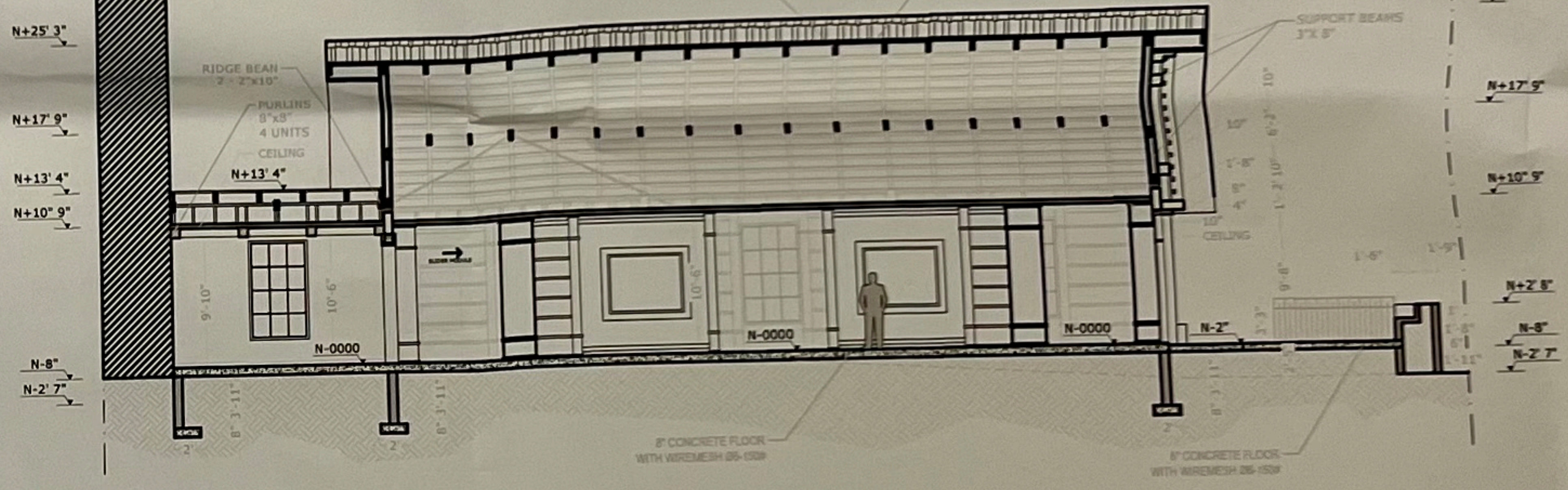
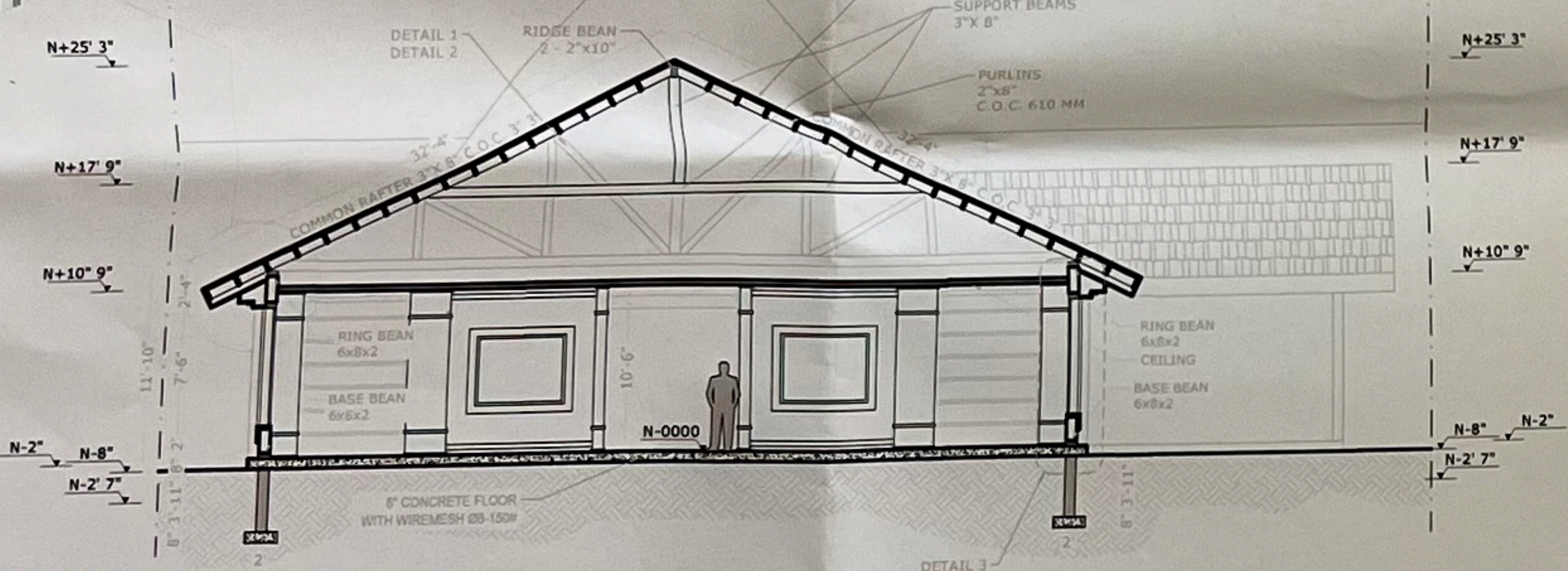
DATE:
MAY 2022

SHEET:
A-1
ARCHITECTURE



NOTE
ALL ROOF FRAMING MEMBERS NEED TO BE PROPERLY ANCHORED IN MASONRY WALLS!!

NOTE
ALL ROOF FRAMING MEMBERS NEED TO BE PROPERLY ANCHORED IN MASONRY WALLS!!

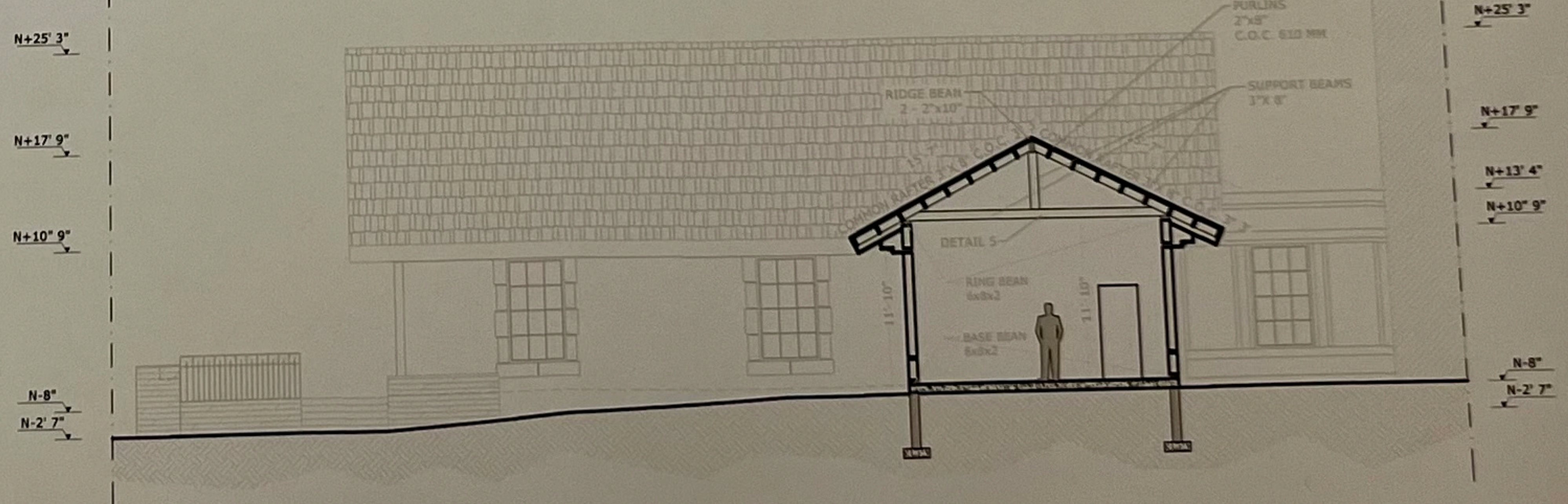
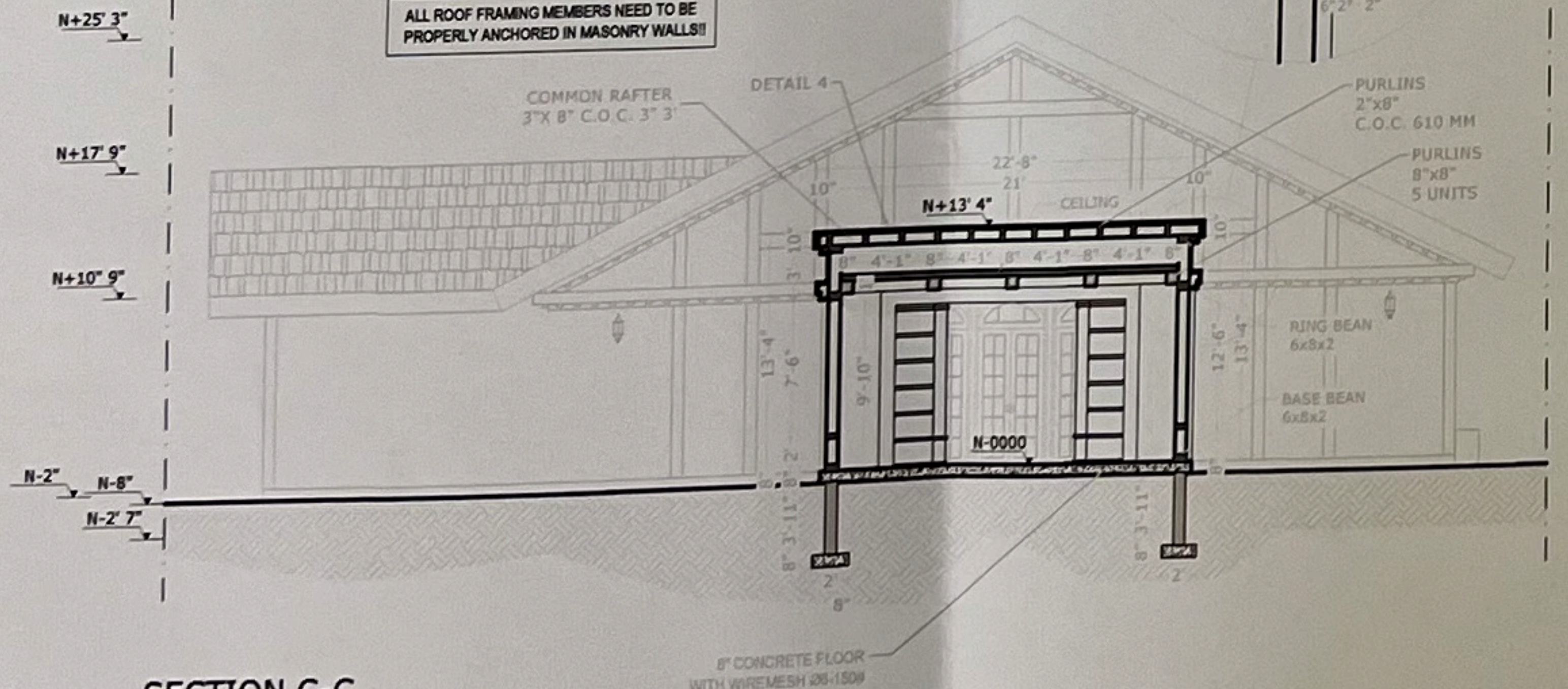


SECTION A-A
ESC 1:100

SECTION B-B
ESC 1:100

NOTE
ALL ROOF FRAMING MEMBERS NEED TO BE PROPERLY ANCHORED IN MASONRY WALLS!!

NOTE
ALL ROOF FRAMING MEMBERS NEED TO BE PROPERLY ANCHORED IN MASONRY WALLS!!



SECTION C-C
ESC 1:100

SECTION D-D
ESC 1:100

NOTE: THE PLANS REQUIRE THE ORIGINAL SIGNATURE OF THE ARCHITECT RESPONSIBLE FOR ITS CONSTRUCTION USE IN ORDER TO GUARANTEE THE RESPONSIBILITY THAT THE LAWS ESTABLISH INTERNATIONALLY FOR THE PROFESSIONAL PRACTICE OF ARCHITECTURE. THE PROJECT IS THE INTELLECTUAL PROPERTY OF THE DESIGNER AND REQUIRES ITS APPROVAL FOR PARTIAL OR TOTAL USE FOR ANY PURPOSE.

Miguel Martinez
Smart Flooring Solutions Inc.

ASHEVILLE NC
LIBRARY PROJECT

ADDRESS:
41 HILLTOP RD BILTMORE
FOREST ASHEVILLE NC

OWNER:
JUAN TORO RICO

ARCHITECT:

INCL. RESPONSIBLE:

ELECTRICAL INSTALLATIONS:

STRUCTURE:

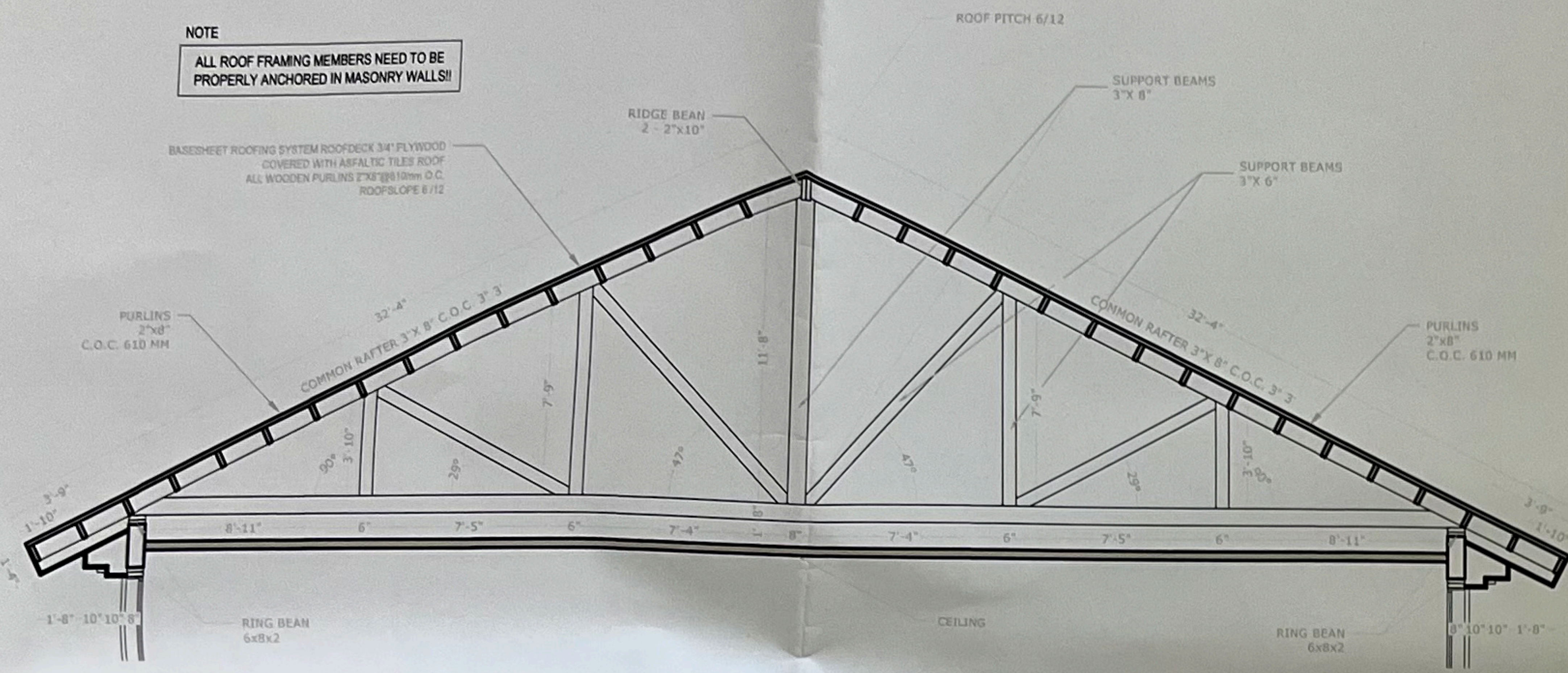
MECHANICAL INSTALLATIONS:

SCALE:
1:100

DATE:
MAY 2022

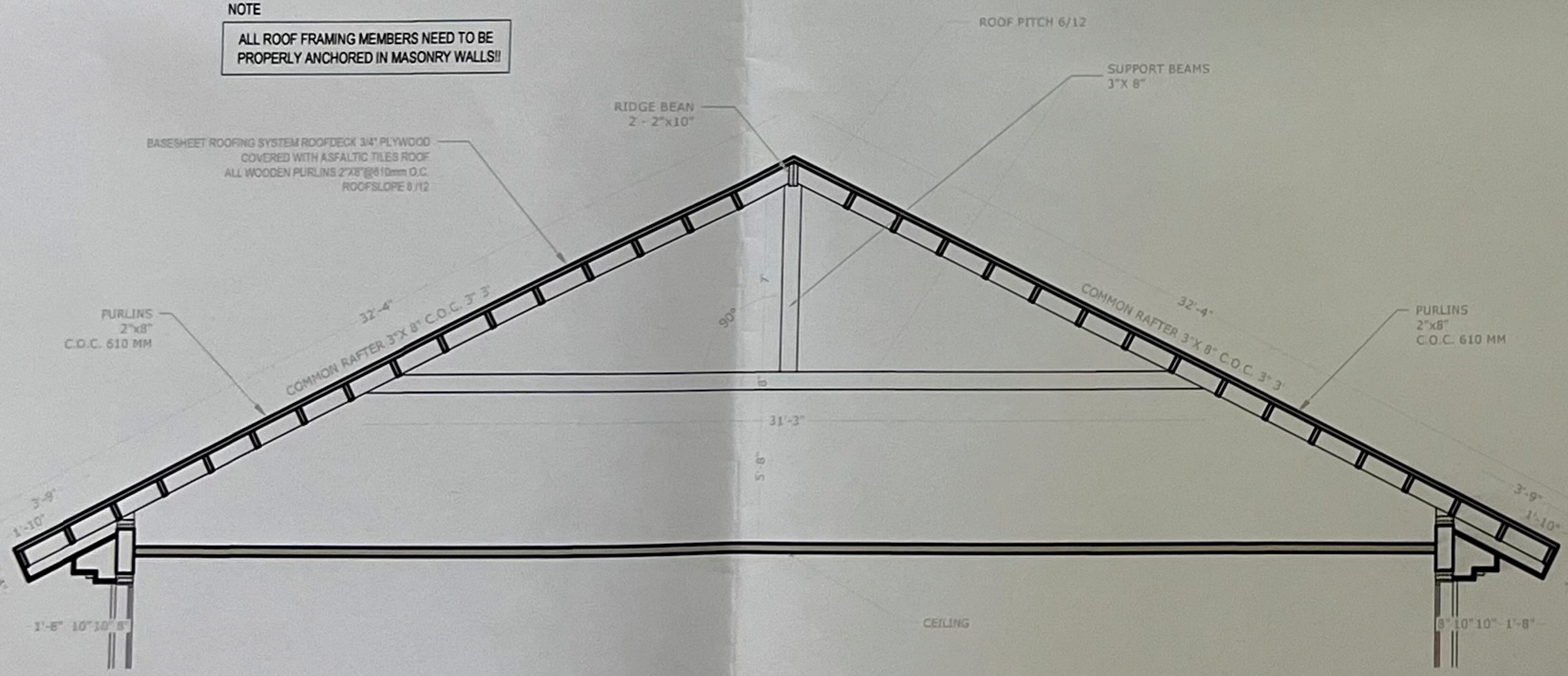
SHEET:
A-2
ARCHITECTURE

NOTE
ALL ROOF FRAMING MEMBERS NEED TO BE PROPERLY ANCHORED IN MASONRY WALLS!

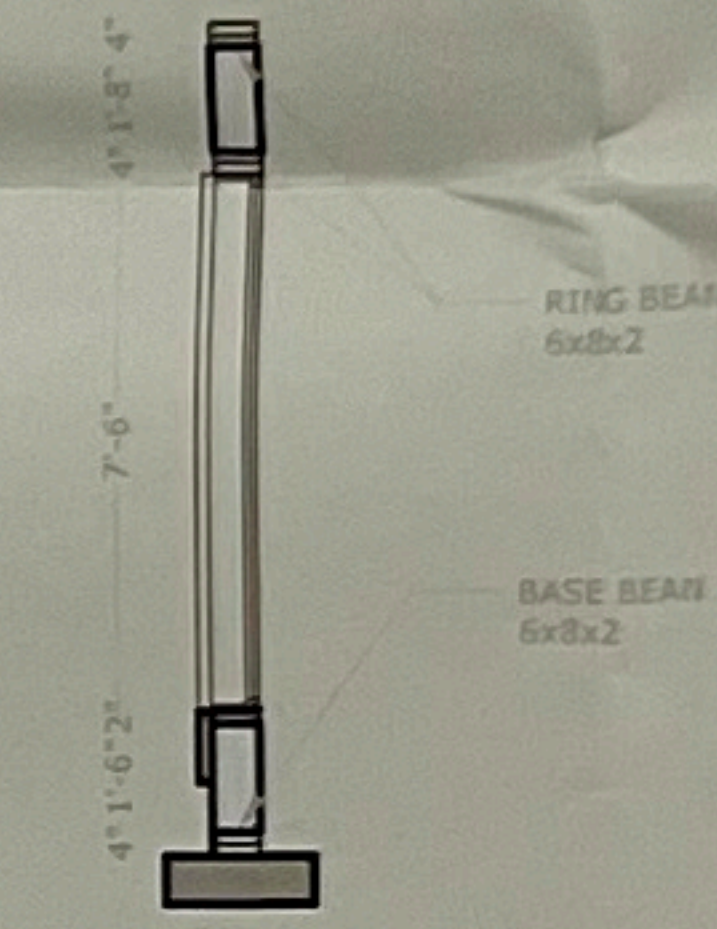


DETAIL 1
ESC. 1:100

NOTE
ALL ROOF FRAMING MEMBERS NEED TO BE PROPERLY ANCHORED IN MASONRY WALLS!

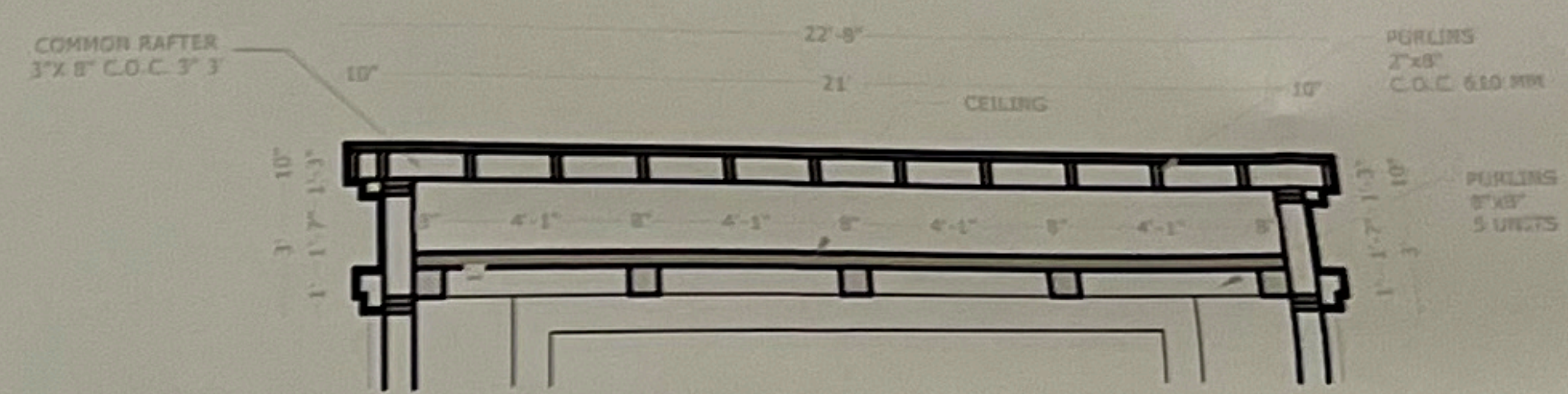


DETAIL 2
ESC. 1:100



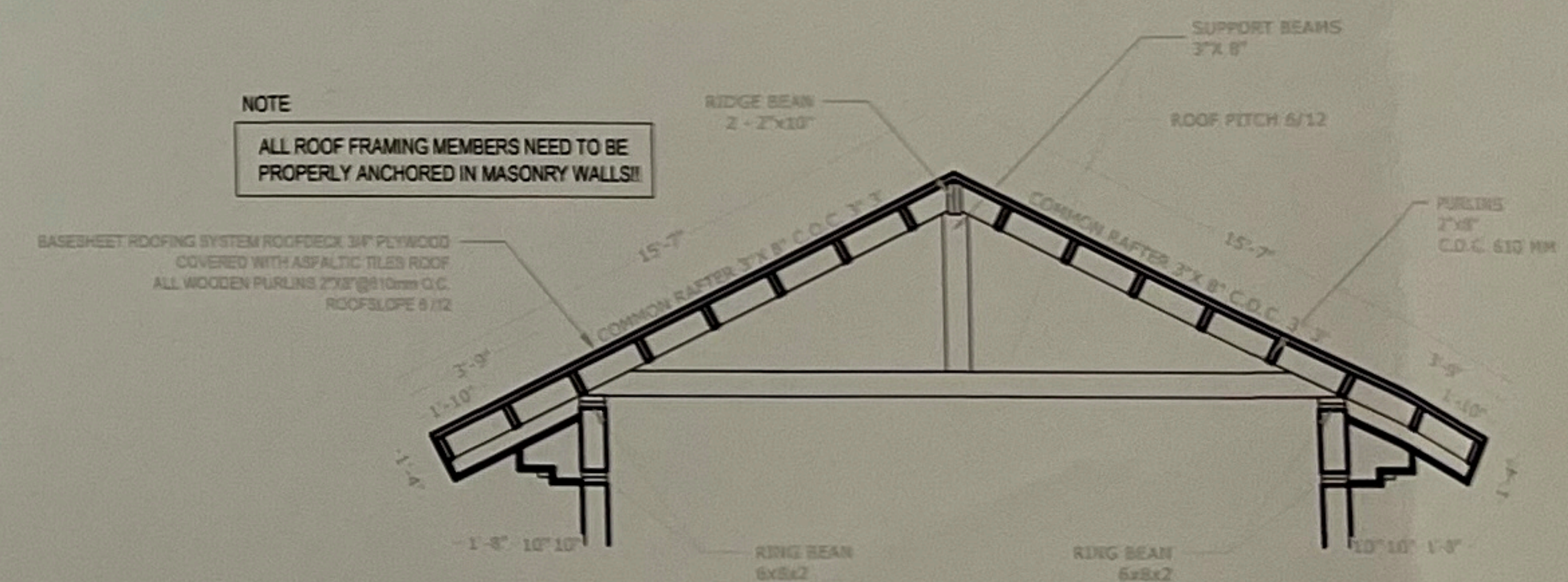
DETAIL 3
ESC. 1:100

NOTE
ALL ROOF FRAMING MEMBERS NEED TO BE PROPERLY ANCHORED IN MASONRY WALLS!



DETAIL 4
ESC. 1:100

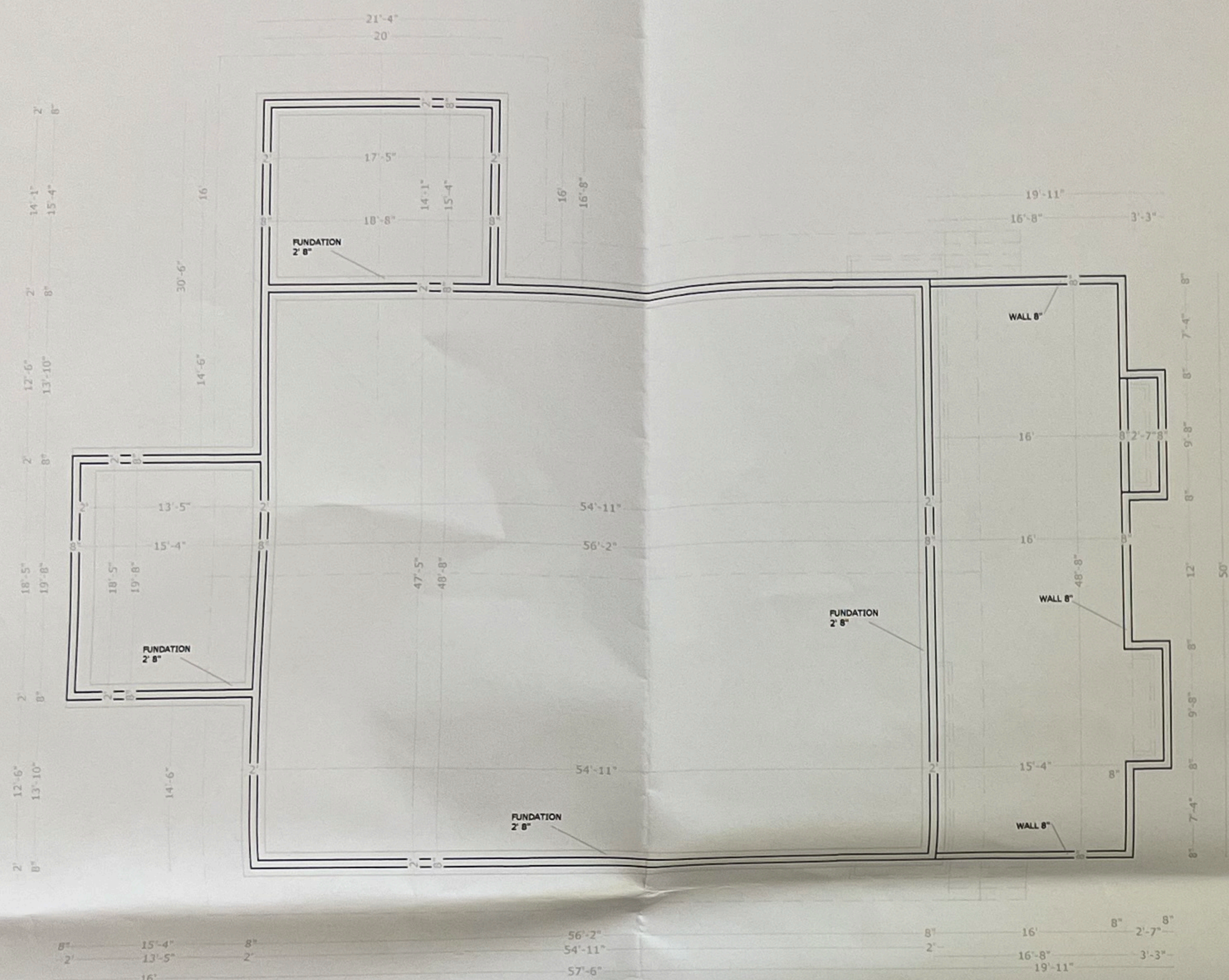
NOTE
ALL ROOF FRAMING MEMBERS NEED TO BE PROPERLY ANCHORED IN MASONRY WALLS!



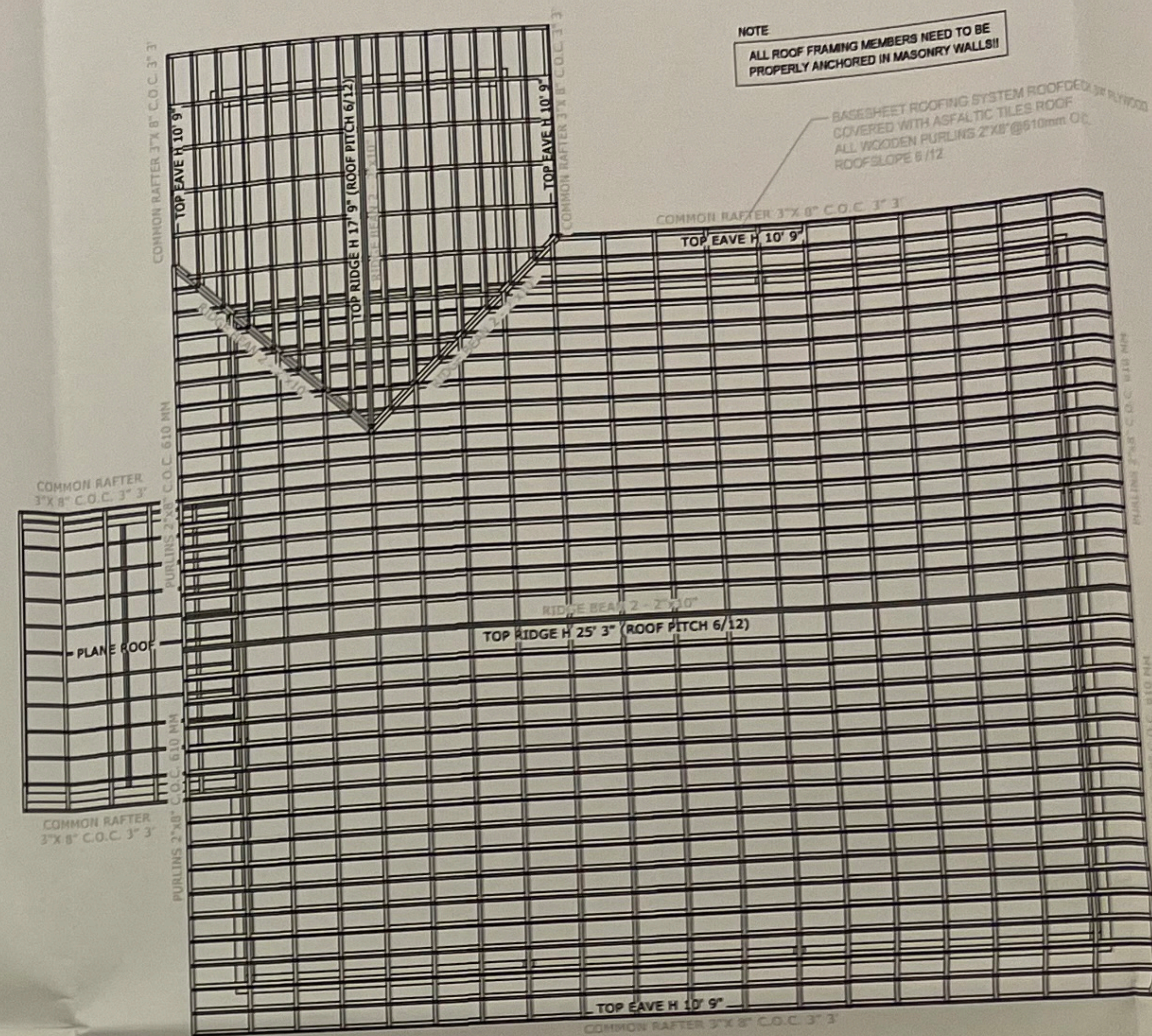
DETAIL 5
ESC. 1:100

NOTE: THE PLANS REQUIRE THE ORIGINAL SIGNATURE OF THE ARCHITECT RESPONSIBLE FOR ITS CONSTRUCTION USE IN ORDER TO GUARANTEE THE RESPONSIBILITY THAT THE LAWS ESTABLISH INTERNATIONALLY FOR THE PROFESSIONAL PRACTICE OF ARCHITECTURE. THE PROJECT IS THE INTELLECTUAL PROPERTY OF THE DESIGNER AND REQUIRES ITS APPROVAL FOR PARTIAL OR TOTAL USE FOR ANY PURPOSE.

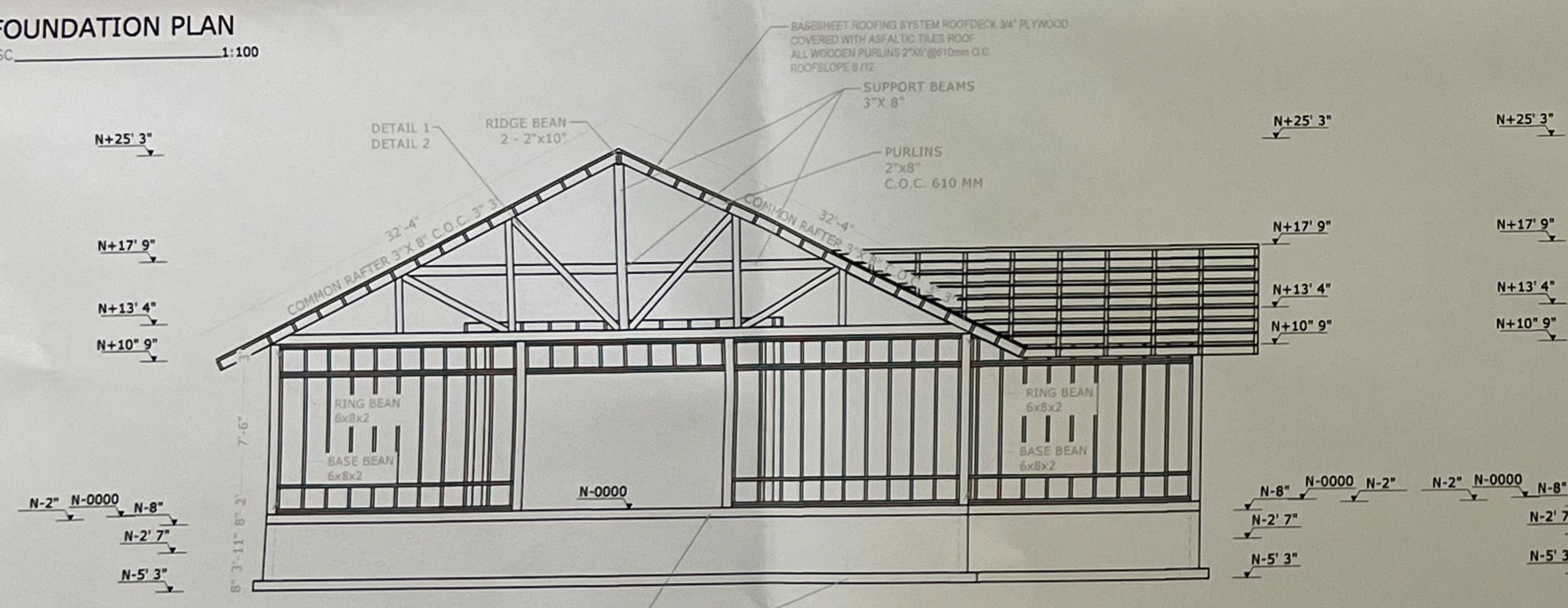
<p>ASHEVILLE NC LIBRARY PROJECT</p>	
ADDRESS:	41 HILLTOP RD BILTMORE FOREST ASHEVILLE NC
OWNER:	JUAN TORO RICO
ARCHITECT:	
DES. RESPONSIBLE:	
ELECTRICAL INSTALLATIONS:	
STRUCTURE:	
SMARTFLOORING INSTALLATIONS:	
SCALE:	1:50
DATE:	MAY 2022
<p>SHEET: A-3 ARCHITECTURE</p>	



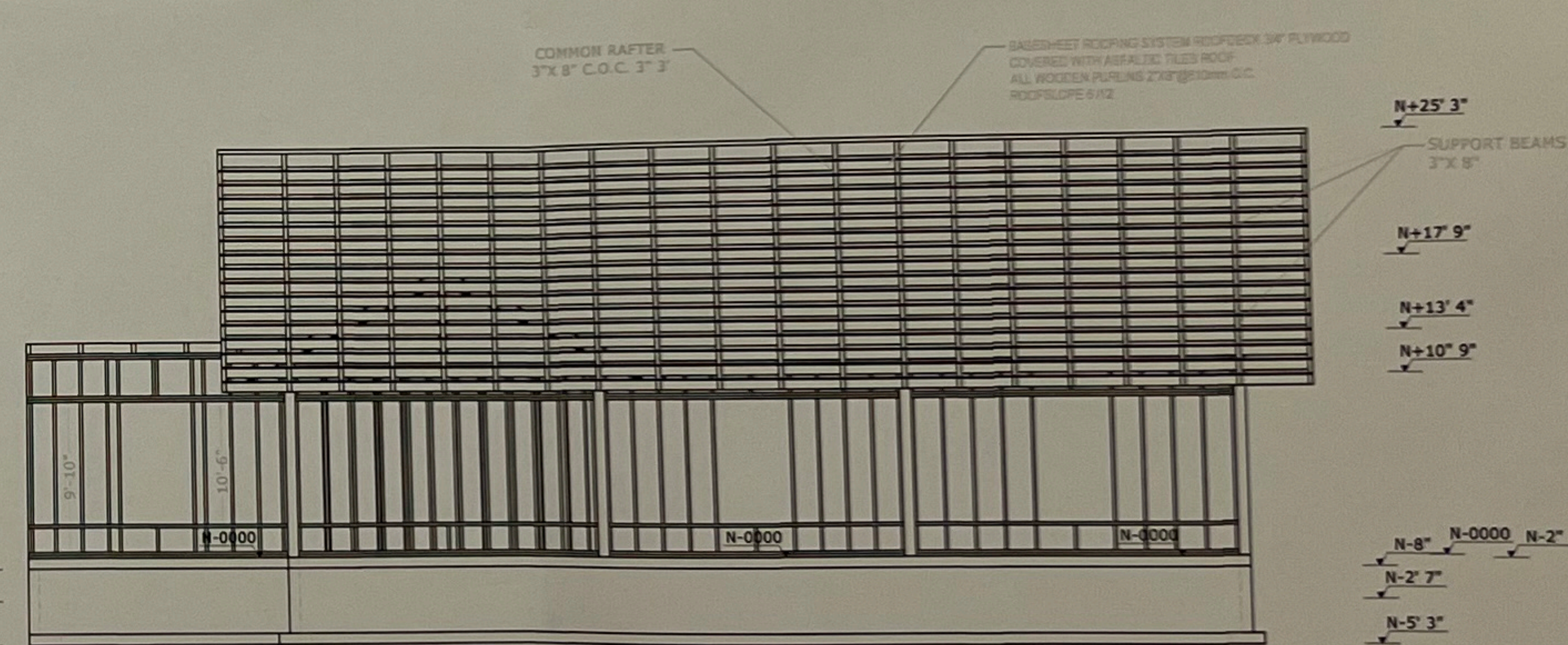
FOUNDATION PLAN
ESC 1:100



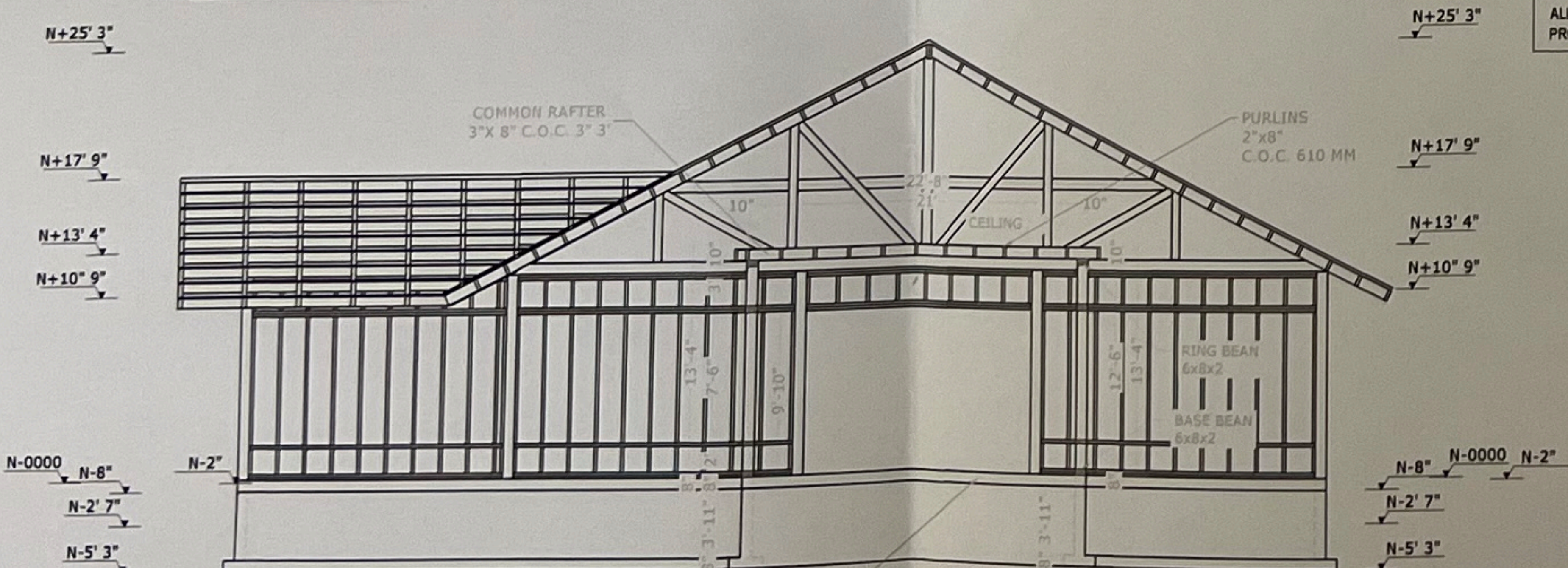
ROOF LEVEL PLAN
ESC 1:100



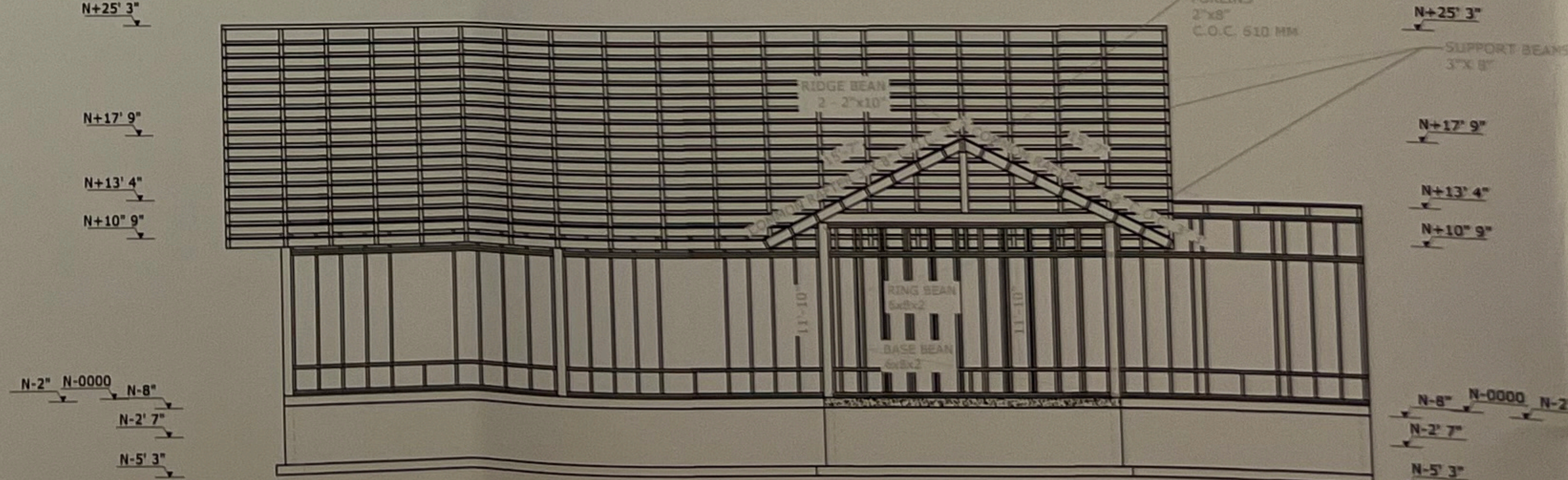
FRONT FACADE
ESC 1:100



LEFT FACADE
ESC 1:100



BACK FACADE
ESC 1:100



RIGHT FACADE
ESC 1:100

NOTE
ALL ROOF FRAMING MEMBERS NEED TO BE PROPERLY ANCHORED IN MASONRY WALLS!!

NOTE: THE PLANS REQUIRE THE ORIGINAL SIGNATURE OF THE ARCHITECT RESPONSIBLE FOR ITS CONSTRUCTION USE IN ORDER TO GUARANTEE THE RESPONSIBILITY THAT THE LAWS ESTABLISH INTERNATIONALLY FOR THE PROFESSIONAL PRACTICE OF ARCHITECTURE. THE PROJECT IS THE INTELLECTUAL PROPERTY OF THE DESIGNER AND REQUIRES ITS APPROVAL FOR PARTIAL OR TOTAL USE FOR ANY PURPOSE.

Miguel Martinez
Smart Flooring Solutions Inc.

ASHEVILLE NC
LIBRARY PROJECT

41 HILLTOP RD BILTMORE
FOREST ASHEVILLE NC

JUAN TORO RICO

DATE

STRUCTURE

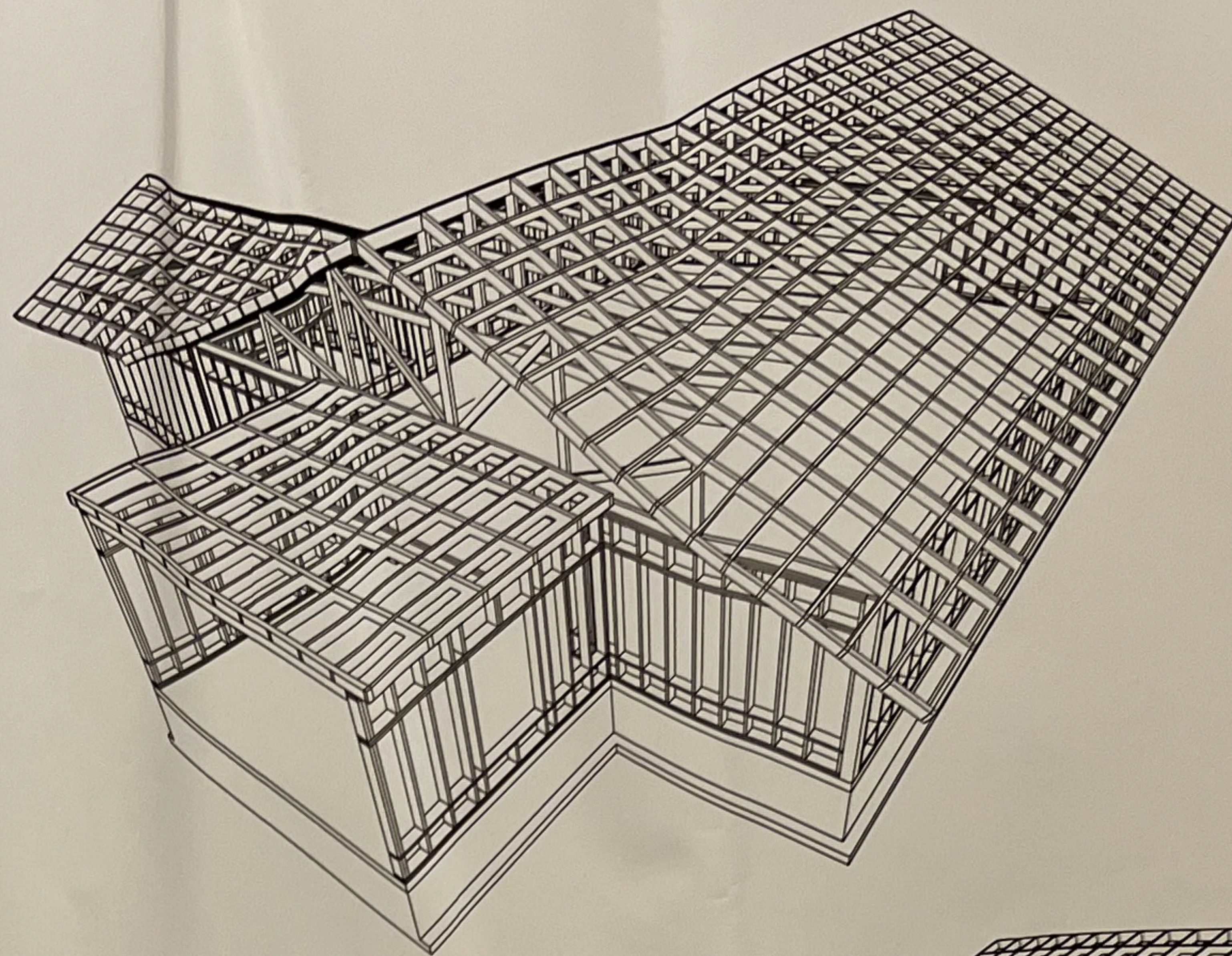
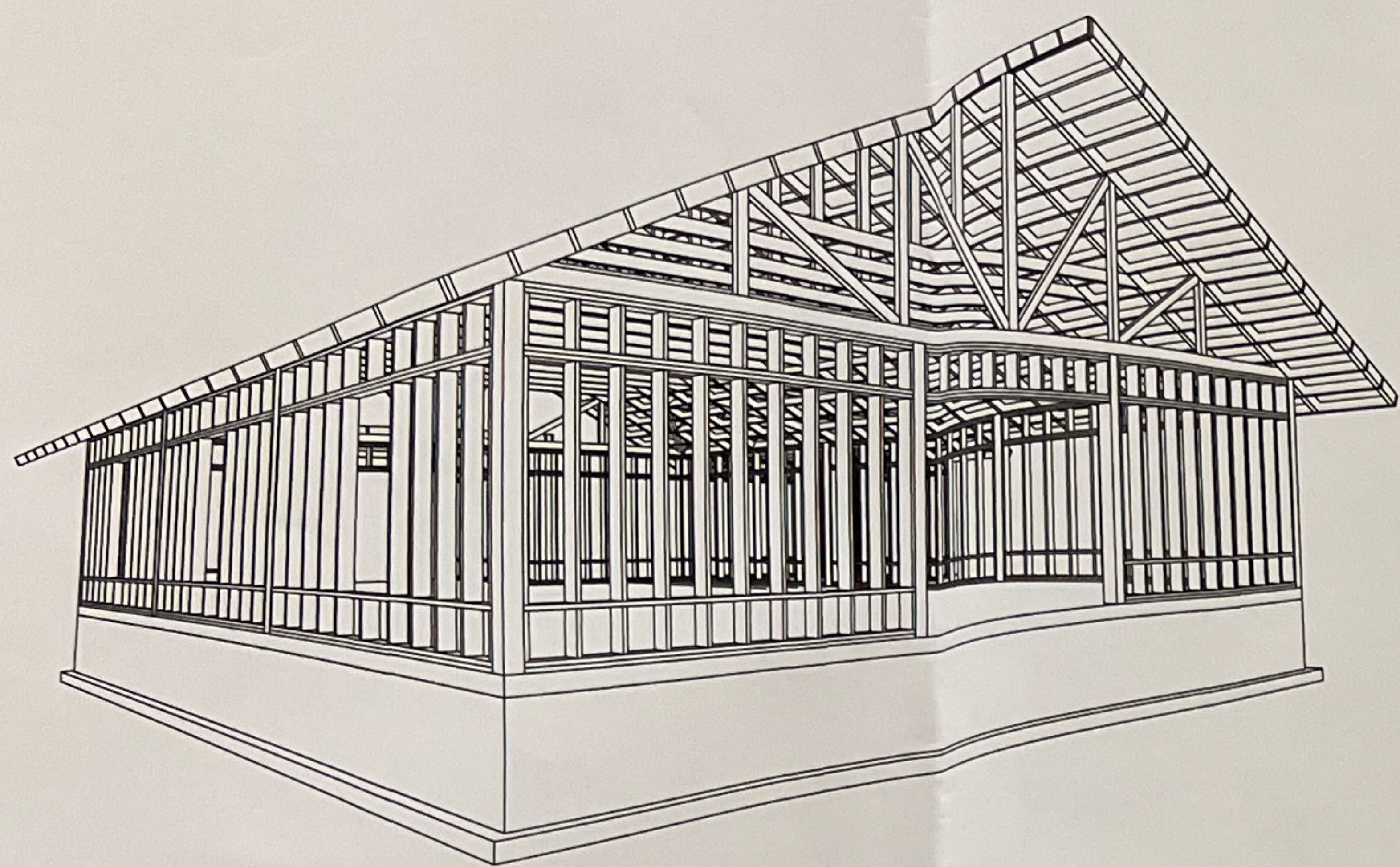
DATE

SCALE

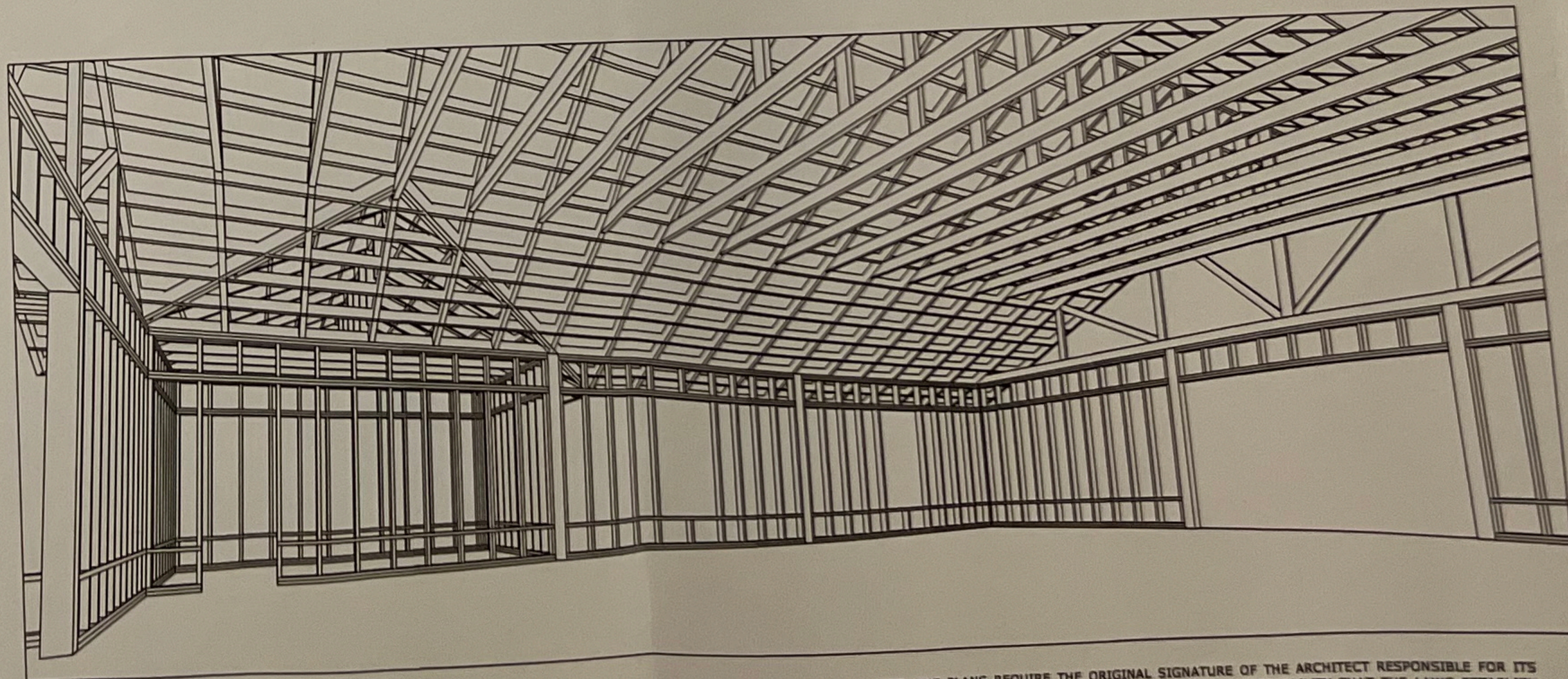
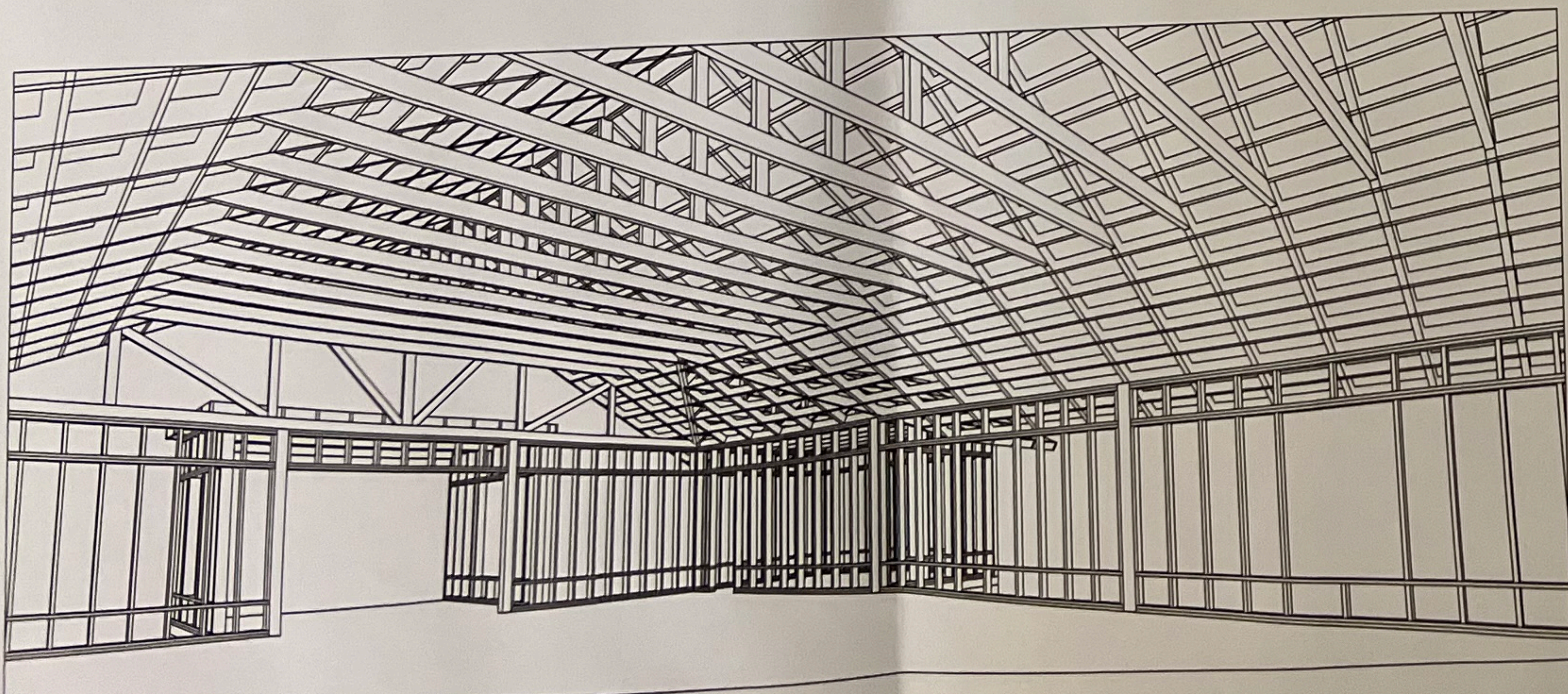
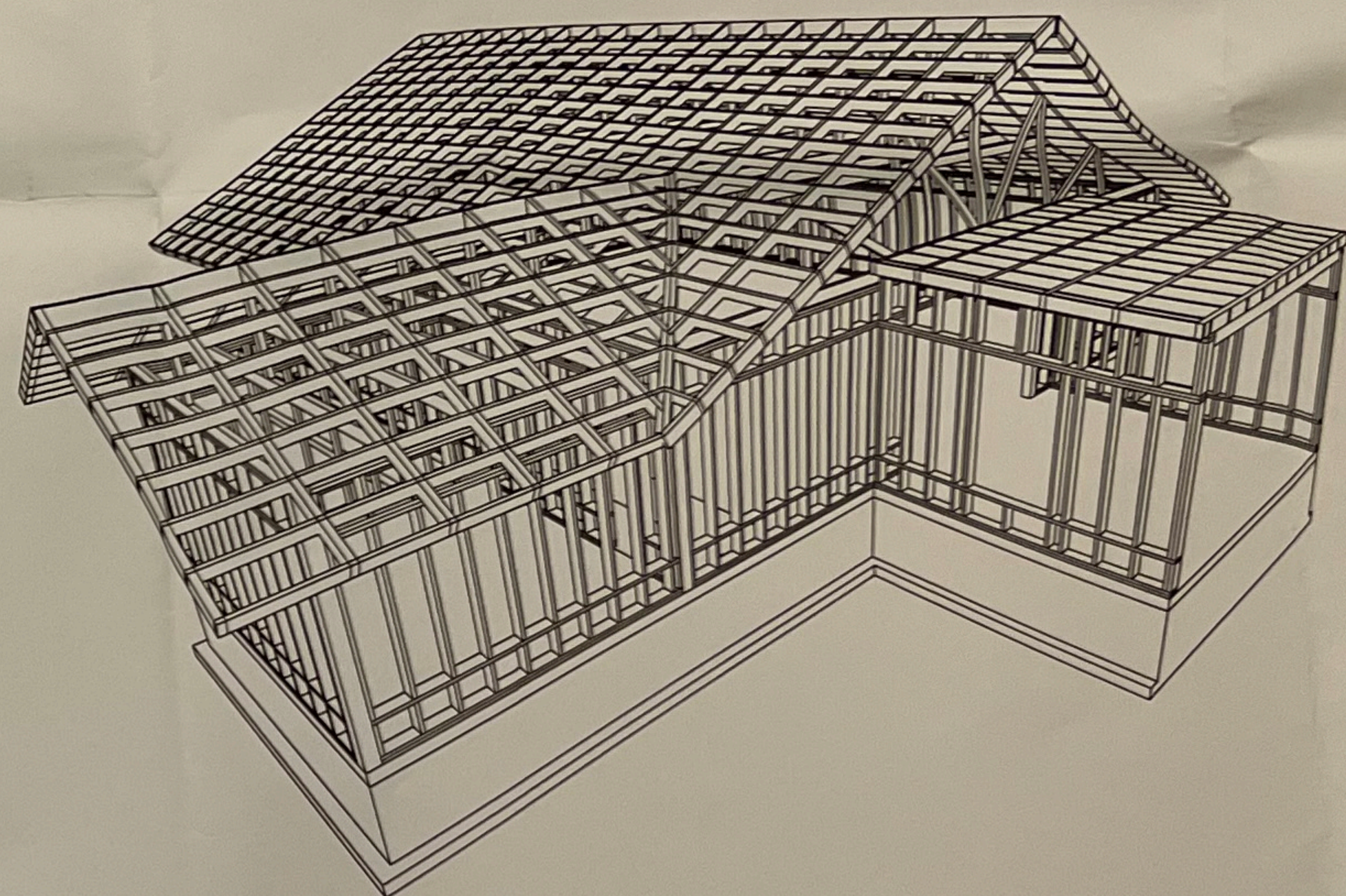
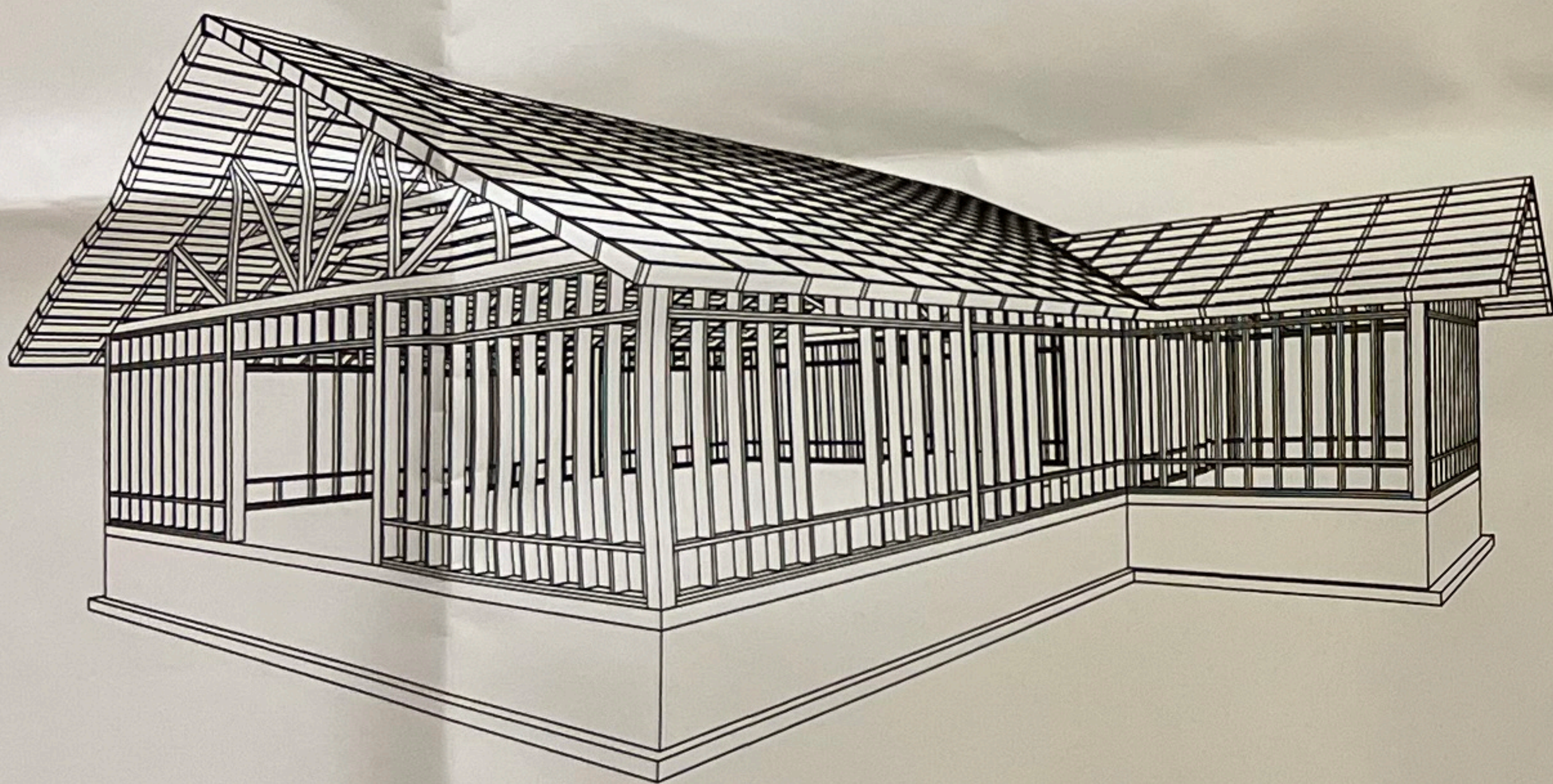
1:100

MAY 2022

S-1
STRUCTURE

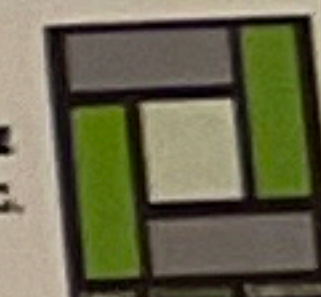


PERSPECTIVE
ESC 1:100



INTERNAL VIEWS
ESC 1:100

NOTE: THE PLANS REQUIRE THE ORIGINAL SIGNATURE OF THE ARCHITECT RESPONSIBLE FOR ITS CONSTRUCTION USE IN ORDER TO GUARANTEE THE RESPONSIBILITY THAT THE LAWS ESTABLISH INTERNATIONALLY FOR THE PROFESSIONAL PRACTICE OF ARCHITECTURE. THE PROJECT IS THE INTELLECTUAL PROPERTY OF THE DESIGNER AND REQUIRES ITS APPROVAL FOR PARTIAL OR TOTAL USE FOR ANY PURPOSE.

	
ASHEVILLE NC LIBRARY PROJECT	
ADDRESS:	41 HILLTOP RD BILTMORE FOREST ASHEVILLE NC
OWNER:	JUAN TORO RICO
ARCHITECT:	
DESIGN RESPONSIBLE:	
ELECTRICAL INSTALLATIONS:	
STRUCTURE:	
Mechanical Installations:	
SCALE:	1:100
DATE:	MAY 2022
S-2 STRUCTURE	