

PROPOSED AGENDA

Thursday, February 3, 2022

Meeting of the Design Review Board

I. Chairman Johnson will call the meeting to order.

II. Design Review Board Presentations

1. *100 Chauncey Circle – Installation of Boulders and Stone Steps*
(Boulders not visible from road or adjoining property)
2. 23 Cedar Hill Drive – Addition to Existing Home
(Project originally approved by DRB in October 2021 – Applicant has revised design and flipped addition to the other side of home)
3. *129 Stuyvesant Road – Installation of Accessory Structure to Replace Existing Shed*
(Applicant agreed to buffer along road for screening purposes and remove existing shed upon final installation of new shed. Description of shed colors included in packet)
4. *33 Hilltop Road – Retaining Wall for Driveway and Site Plan Re-Design*
(Retaining wall necessary for grading/ site plan changes associated with new contractor and landscape plan – original zoning permit expired due to lack of activity on project)
5. 48 Forest Road – Addition to Existing Home
(Addition complies with all setbacks, maximum roof coverage, and impervious surface coverage requirements)
6. *121 Hendersonville Road (MAHEC) – Construction of New Parking Garage*
(Parking garage was approved by Board of Adjustment in December 2019 as required special use permit. MAHEC held off on construction due to Covid issues in 2020, and has received direct funding from the State of NC for the project and now requests the zoning permit)

Italicized Projects Received Approval from Board of Adjustment

III. Next Meeting – Thursday, February 24, 2022

IV. Adjourn

BOARD OF ADJUSTMENT

STAFF MEMORANDUM

January 24, 2022



Case 1 – 100 Chauncey Circle

Special Use Request for Installation of Landscape Boulders

Property Owner: David Nelson & Martha Barnes

Property Address: 100 Chauncey Circle

Project Description

The applicant has presented plans for landscape boulders in compliance with the front yard setback and outside the Town's right of way along Chauncey Circle. In addition, approximately 20 stone steps will be placed to provide safer and better access to the front berm.

Special Use Request

The Town requires a special use permit approval for the inclusion of the landscape boulders and stone steps within this project. The boulders are shown on the attached landscaping plan, as well as the approximate placement of the stone steps.

Zoning Compliance Application

Town of Biltmore Forest

Name

David Nelson

Property Address

100 Chauncey Circle

Phone

(828) 782-1120

Email

davmarde@me.com

Parcel ID/PIN Number

964670647800000

ZONING INFORMATION

Current Zoning

R-3

Lot Size

1.43 acre

Maximum Roof Coverage

5,060 square feet (Up to 1.2 acres)

Proposed Roof Coverage Total

na

Maximum Impervious Surface Coverage

1-3 acres (25 percent of lot area)

Proposed Impervious Surface Coverage

na

Front Yard Setback

50 feet (R-2, R-3, R-4, and R-5 Districts)

Side Yard Setback

15 feet (R-2, R-3, R-4, and R-5 Districts)

Rear Yard Setback

20 feet (R-2, R-3, R-4, and R-5 Districts)

Building Height

na

Description of the Proposed Project

install stairs (~20) and landscape boulders to make driveway berm more accessible and viable for gardening.

Estimated Start Date

1/31/2022

Estimated Completion Date

2/28/2022

Estimated Cost of Project

\$15,000.00

Supporting Documentation (Site Plan, Drawings, Other Information)

Berm Project Docs for BF.pdf

Special Use Permit Application

Town of Biltmore Forest

Name

David Nelson

Address

100 Chauncey Circle

Phone

(828) 782-1120

Email

Davmarde@me.com

Please select the type of special use you are applying for:

Accessory Structures

The applicant must show that the proposed use will not materially endanger public health or safety or injure value of adjoining or abutting property. In addition, the proposed use must be in general conformity with the plan of development of the town and be in harmony with scale, bulk, height, coverage, density, and character of the neighborhood.

Please provide a description of the proposed project:

Stairs and landscape boulders on the driveway side of berm. The berm is too steep for us to garden safely and we are hoping this access can help.

Explain why the project would not adversely affect the public interest of those living in the neighborhood:

The stairs and boulders will only be visible from our home. No neighboring properties will see the improvements.

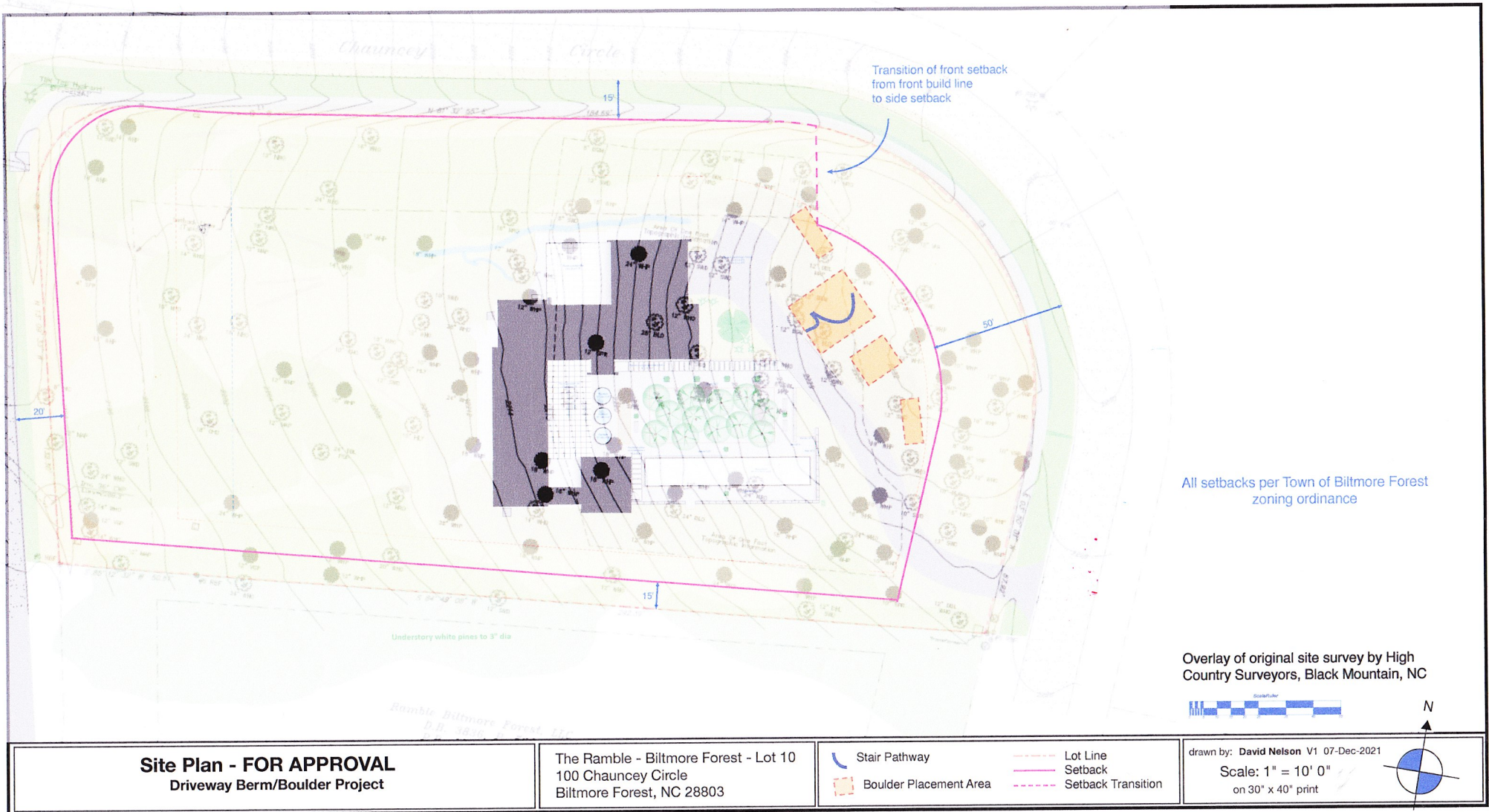
I hereby certify that all of the information set forth above is true and accurate to the best of my knowledge.

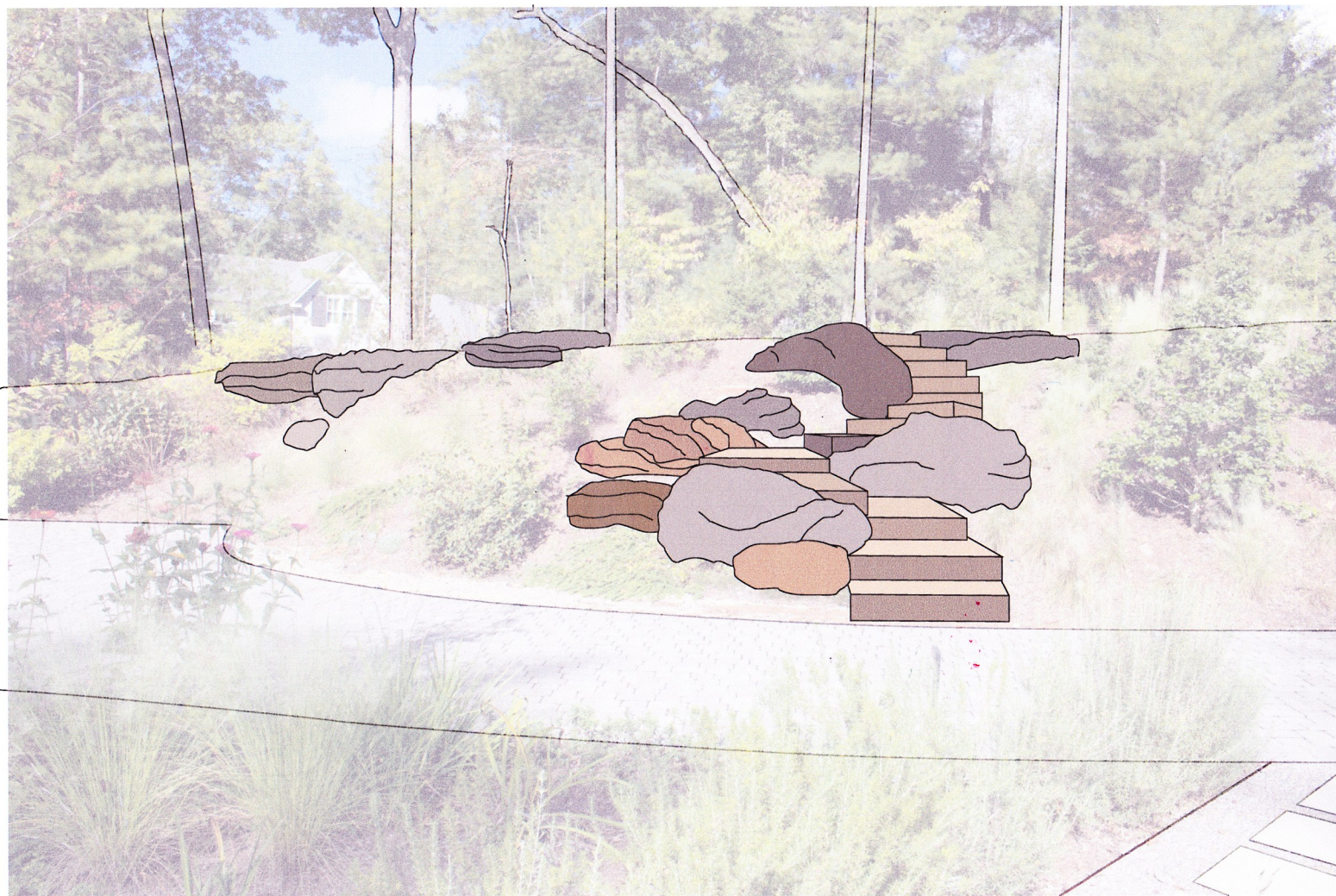
Signature

Date

12/6/2021

A handwritten signature in black ink, appearing to read 'David Nelson', written over a horizontal line.







StepsTitle

Color Options
: Castle Grey



Clear selection

**Castle
Grey Steps**
Variation in
Color: Low
Available

Tennessee fieldstone landscape specimen boulders



Zoning Compliance Application

Town of Biltmore Forest

Name

Konstandin Barlas

Property Address

23 Cedar Hill Drive

Phone

(828) 777-5550

Email

barlasdino752@aol.com

Parcel ID/PIN Number

9646423424

ZONING INFORMATION

Current Zoning

R-1

Lot Size

1.285

Maximum Roof Coverage

5,500 square feet (Up to 1.5 acres)

Proposed Roof Coverage Total

5500

Maximum Impervious Surface Coverage

1-3 acres (25 percent of lot area)

Proposed Impervious Surface Coverage

11615

Front Yard Setback

60 feet (R-1 District)

Side Yard Setback

20 feet (R-1 District)

Rear Yard Setback

25 feet (R-1 District)

Building Height

39 feet at peak

Description of the Proposed Project

Additional two floor bonus room for kids to play and new entertaining room downstairs. Very minimal work inside. Rooms will be very plain inside to have a place in the house kids can come in from outside and be able to kick a ball with their friends especially during winter months.

Estimated Start Date

10/25/2021

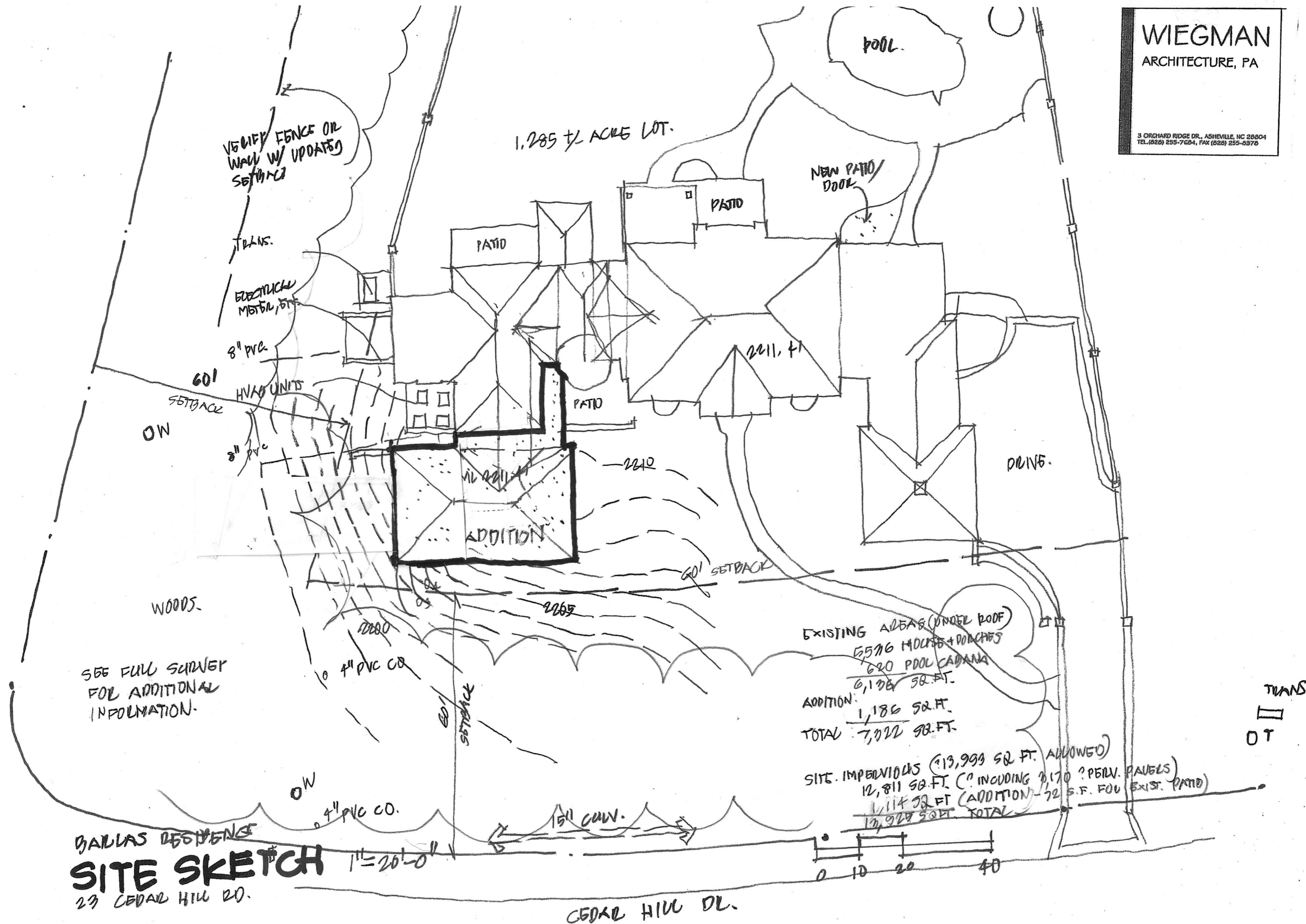
Estimated Completion Date

1/31/2022

Estimated Cost of Project

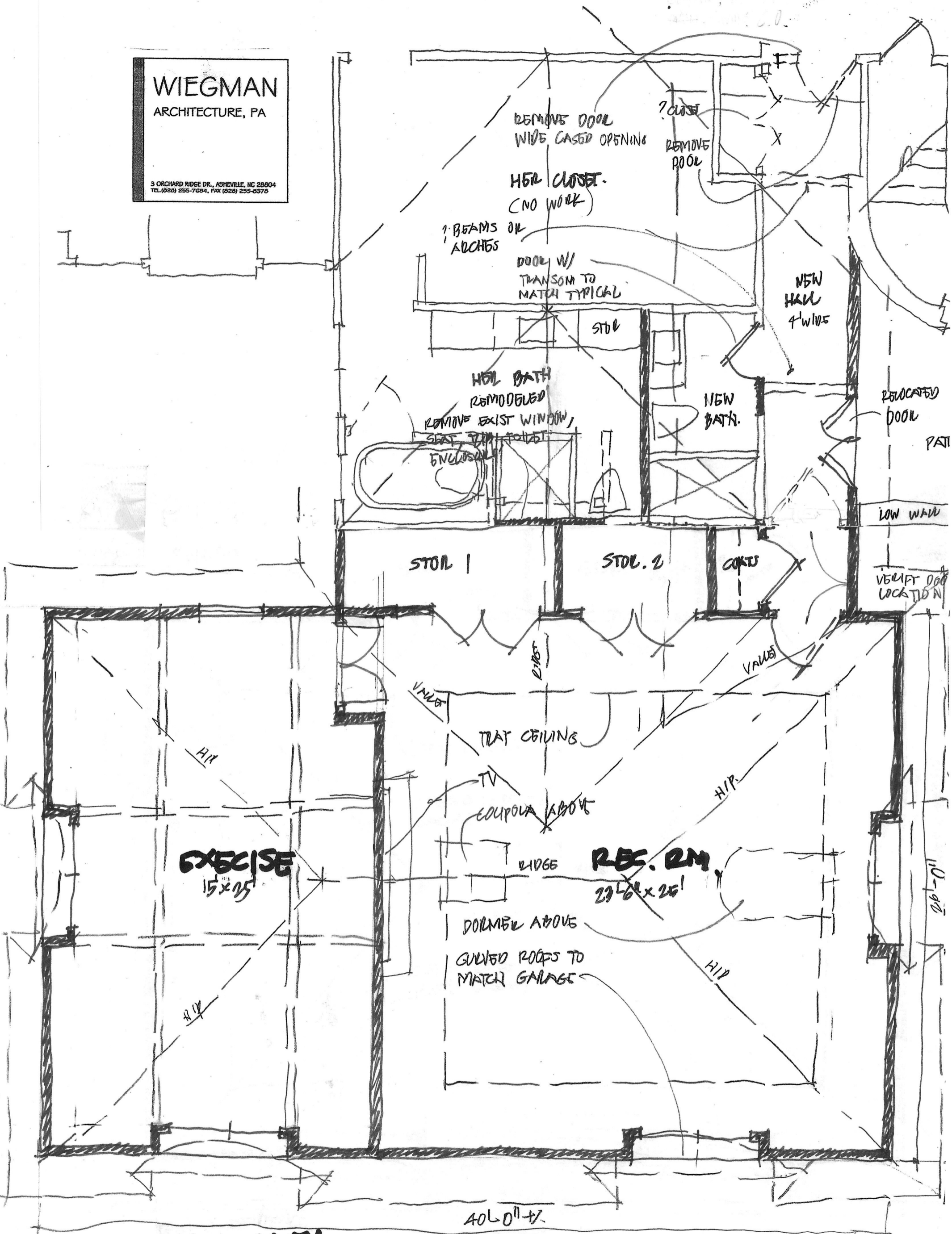
\$100,000.00

Supporting Documentation (Site Plan, Drawings, Other Information)

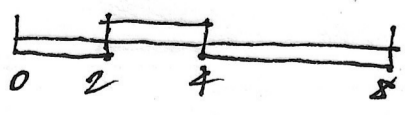


WIEGMAN
ARCHITECTURE, PA

3 ORCHARD RIDGE DR., ASHEVILLE, NC 28804
TEL. (828) 255-7604, FAX (828) 255-6376



MAIN LEVEL DALLAS RESIDENCE
1/4" = 1'-0"

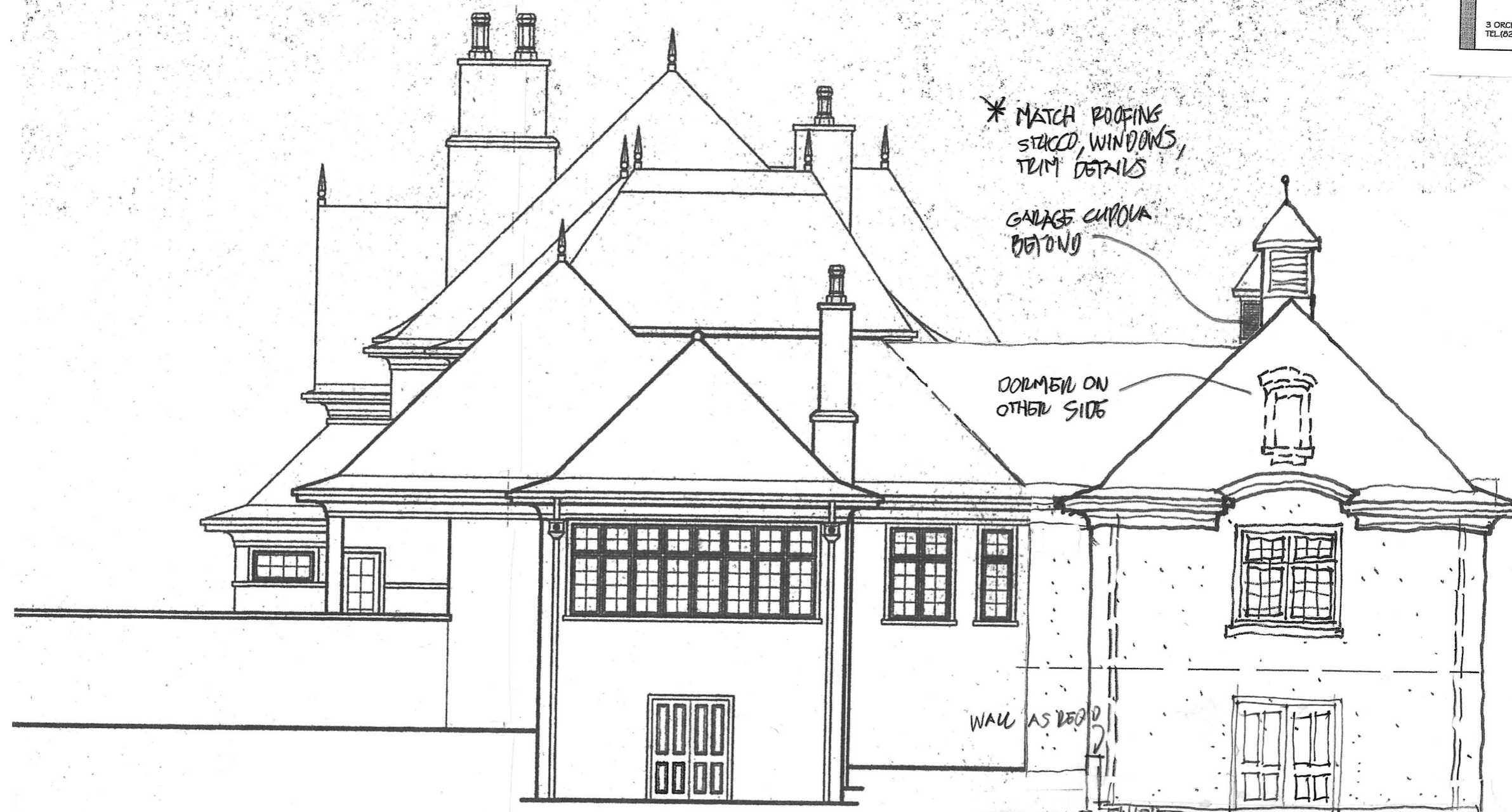


WIEGMAN
ARCHITECTURE, PA

3 ORCHARD RIDGE DR., ASHEVILLE, NC 28804
TEL. (828) 255-7694, FAX (828) 255-8378



1 SOUTH ELEVATION
A-1 1/8"=1'-0"



2 WEST ELEVATION
A-1

WIEGMAN
ARCHITECTURE, PA

3 ORCHARD RIDGE DR., ASHEVILLE, NC 28804
TEL. (828) 255-7684, FAX (828) 255-8378

CUPOLA TO MATCH
GRILLAGE

DORMERS, DETAILS
TO MATCH EXIST

ROOFING, STUCCO,
WINDOWS TRIM
TO MATCH EXIST

VERIFY GUTTER LOCATIONS
APPROXIMATE FINISH GRADE
VERIFY BASEMENT SIZE

1 SOUTH ELEVATION
A-1 1/8"=1'-0"

REC. RM/ EXERCISE ADDITION

BOARD OF ADJUSTMENT STAFF MEMORANDUM

January 24, 2022



Case 2 – 129 Stuyvesant Road Special Use Request for 12'x20' Accessory Building

Property Owner: O.E. Starnes, IV
Property Address: 129 Stuyvesant Road

Project Description

The applicant has requested a special use permit for the installation of a 12'x20' accessory building storage shed. The proposed location for the storage shed complies with all setbacks and located within the side yard. An existing shed, planned for removal, is shown on the attached plan. The new shed will be directly in front of the old shed.

Special Use Request

The Town requires a special use permit approval for an accessory building to be constructed on the property. The requirements for accessory buildings are as follows:

§ 153.029 ACCESSORY STRUCTURES AND BUILDINGS.

(A) Accessory structures and/or necessary buildings shall not detract from nor interfere with adjacent properties. No accessory structure or building shall be constructed, erected, or located within any front yard or within any side yard or rear yard setback.

(B) (1) In addition, the following standards are established for accessory structures and accessory buildings:

- (a) The maximum number of accessory buildings permitted on a lot shall be one;
- (b) The maximum roof coverage area for accessory buildings shall be 750 square feet;
- (c) The maximum height for accessory buildings shall be 25 feet;
- (d) The accessory building must be screened by vegetation or other buffer as set forth in § 153.008;
- (e) The accessory building must be located behind a line parallel to the rear of the principal structure on the lot;
- (f) The accessory building must be designed in the same architectural style as the principal structure;

(g) Any accessory structure and/or accessory building shall be included in the calculation of allowable roof coverage and allowable impervious surface coverage on the lot pursuant to §§ 153.043 and 153.048; and

(h) Solar collectors shall be regulated in accordance with G.S. § 160D-914.

Zoning Compliance Application

Town of Biltmore Forest

Name

O.E. Starnes IV

Property Address

129 Stuyvesant Rd

Phone

(203) 559-8758

Email

oestarnes4@gmail.com

Parcel ID/PIN Number

ZONING INFORMATION

Current Zoning

R-1

Lot Size

1.7

Maximum Roof Coverage

6,100 square feet (Up to 2 acres)

Proposed Roof Coverage Total

240 sqft

Maximum Impervious Surface Coverage

1-3 acres (25 percent of lot area)

Proposed Impervious Surface Coverage

0

Front Yard Setback

60 feet (R-1 District)

Side Yard Setback

20 feet (R-1 District)

Rear Yard Setback

25 feet (R-1 District)

Building Height

15

Description of the Proposed Project

12x20 outdoor utility shed for tools and kids toys to eventually replace existing shed

Estimated Start Date

2/1/2022

Estimated Completion Date

3/31/2022

Estimated Cost of Project

\$6,000.00

Supporting Documentation (Site Plan, Drawings, Other Information)

A5162373-1CBE-4A75-BD06-8A09A4EDECAA.jpeg

Applicant Signature

Date
1/4/2022



A handwritten signature in black ink, consisting of stylized, overlapping loops and curves, positioned above a thin horizontal line.

Special Use Permit Application

Town of Biltmore Forest

Name

O.E. Starnes IV

Address

129 Stuyvesant Rd

Phone

(203) 559-8758

Email

oestarnes4@gmail.com

Please select the type of special use you are applying for:

Accessory Buildings

The applicant must show that the proposed use will not materially endanger public health or safety or injure value of adjoining or abutting property. In addition, the proposed use must be in general conformity with the plan of development of the town and be in harmony with scale, bulk, height, coverage, density, and character of the neighborhood.

Please provide a description of the proposed project:

12x20 utility shed for tools and kids toys to eventually replace existing shed.

Explain why the project would not adversely affect the public interest of those living in the neighborhood:

Generally out of sight of neighbors and passers by from street. Attractive design, quality construction with trim.

I hereby certify that all of the information set forth above is true and accurate to the best of my knowledge.

Signature

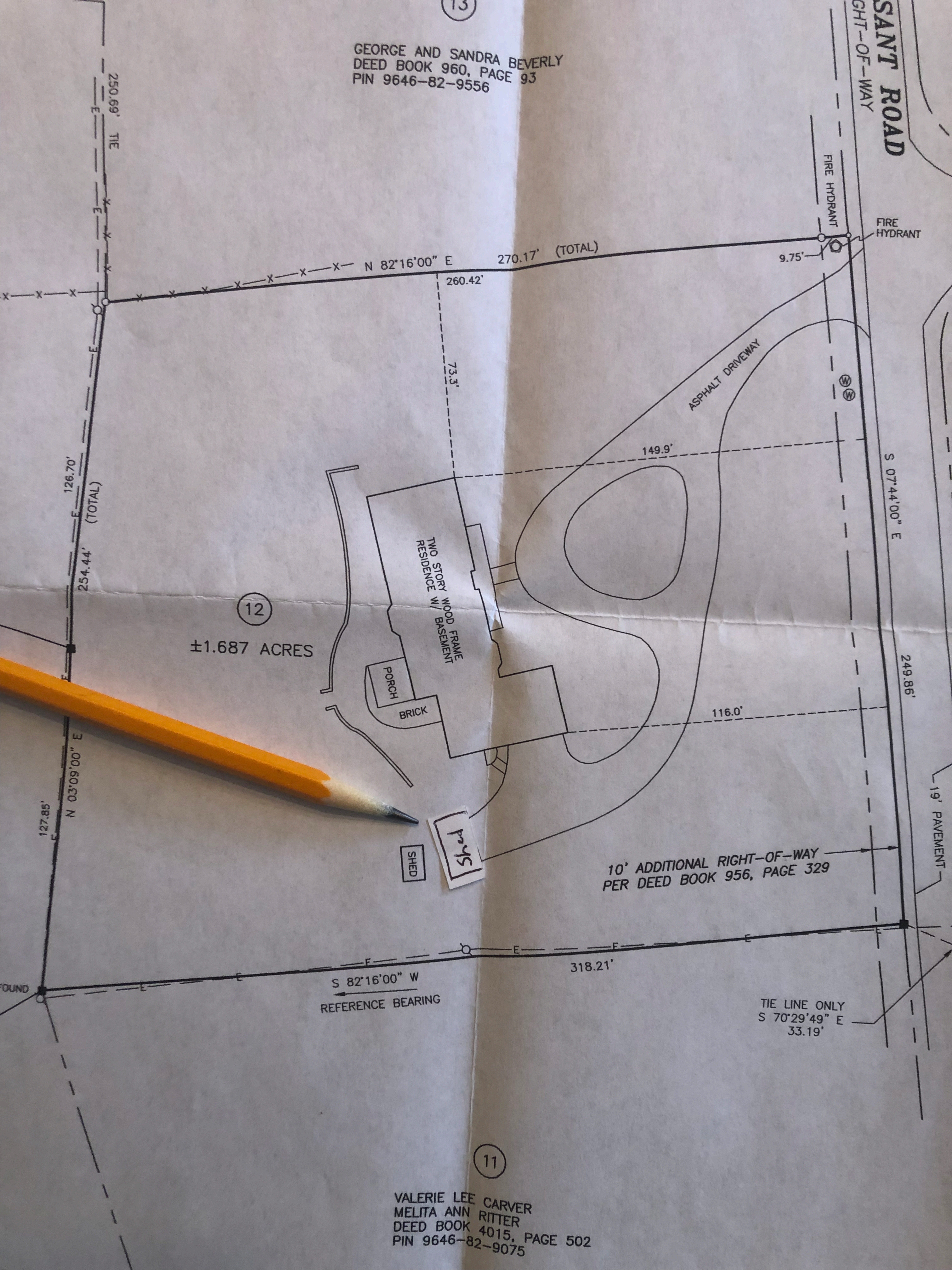
A handwritten signature in black ink, appearing to be 'O.E. Starnes IV', written over a horizontal line.

Date

1/4/2022

13
GEORGE AND SANDRA BEVERLY
DEED BOOK 960, PAGE 93
PIN 9646-82-9556

SANT ROAD
RIGHT-OF-WAY



12
±1.687 ACRES

TWO STORY WOOD FRAME
RESIDENCE W/ BASEMENT

PORCH

BRICK

SHED

Shed

10' ADDITIONAL RIGHT-OF-WAY
PER DEED BOOK 956, PAGE 329

TIE LINE ONLY
S 70°29'49" E
33.19'

S 82°16'00" W
REFERENCE BEARING

11
VALERIE LEE CARVER
MELITA ANN RITTER
DEED BOOK 4015, PAGE 502
PIN 9646-82-9075



LP SmartSide®
TRIM & SIDING

**WE MAKE
IT LAST.*
YOU MAKE
IT ANYTHING
YOU WANT.**

*For an overall comparison, see the LP SmartSide® Panel Siding or engineered wood products to create a beautiful shed.

Discover Our Durability.
LP.com/Shed

BOARD OF ADJUSTMENT STAFF MEMORANDUM

January 24, 2022



Case 3 – 33 Hilltop Road Special Use Request for Retaining Wall in Side Yard and Approval for Tree Removal and Replacement Plan

Property Owner: Lorrie Pande
Property Address: 33 Hilltop Road

Project Description

The applicant has requested a special use permit for a retaining wall within the side yard and additional tree removals and replacement. This project previously received a zoning permit following Design Review Board approval in December 2019. The project was started but not completed by the contractor. The zoning permit issued in December 2019 has expired.

The new contractor has re-evaluated the building design and developed a new grading and landscape plan. These new plans, specifically the retaining wall, require a special use permit by the Board of Adjustment. In addition, the new grading plan also requires additional tree removal and associated replacement that must be approved by the Board of Adjustment.

Special Use Request

The Town requires a special use permit approval for accessory structures, including retaining walls. The pertinent section of the Town Zoning Ordinance states the following:

§ 153.049 FENCE, GATE AND WALL REGULATIONS.

The Board of Commissioners for the Town of Biltmore Forest that the following amendments to the Zoning Ordinance and subsequent regulations be placed on fence, gate, and wall construction and replacement as of the effective date of this section.

(A) New fences, gates or walls may be approved by the Board of Adjustment as a special use, so long as the gate, fence or wall meets the following requirements.

(1) The fence, gate, or wall is constructed entirely within the rear yard, is not located in any side or rear yard setbacks, and is constructed of materials deemed acceptable in § 153.049(D).

(2) Mature vegetation or other buffering sufficient to screen the fence, gate, or wall from neighboring properties shall be required to the extent necessary.

Tree Removal and Replacement Plan

The applicant proposes the removal of thirteen (13) protected trees, as defined by the Town's Tree Protection Ordinance. The ordinance requires any removal between 11 and 30 trees be considered for approval by the Board of Adjustment as noted below. The proposed replacement plan complies with the tree replacement schedule in 93.38.

§ 93.33 APPLICATIONS FOR REMOVAL OF PROTECTED TREES IN EXCESS OF TEN.

(A) An application for a permit to remove more than ten protected trees on a property must be presented directly to the Board of Adjustment. A fee of \$50.00 shall accompany the application.

The applicant has provided a replacement tree calculator that matches the Town's requirements found in Section 93.38 below.

§ 93.38 REPLACEMENT OF TREES.

(A) Any protected or unprotected tree removed shall be replaced in that general area of the property within 50 feet of the trunk of the former tree as follows:

<i>Minimum size of existing tree</i>	<i>Replacement of protected tree</i>	<i>Replacement of unprotected tree</i>
6-12" DBH	2 trees	1 tree
13-18" DBH	3 trees	1 tree
19-30" DBH	4 trees	2 trees
30" DBH or greater	5 trees	3 trees

(B) Any replacement tree shall be in the ground within six months of removal of the original tree. The Town Manager or Board of Adjustment may, for good cause shown, and in their sole discretion, extend this period for up to six months.

(C) Subject to the approval of the Town Manager or the Board of Adjustment, replacement tree(s) may be planted in advance of any tree removal.

(D) The minimum size for replacement is two inches diameter (measured from one foot above ground level) for a large-maturing deciduous tree, and one and one-half inch diameter for a small-maturing deciduous tree, or eight feet in height for evergreens. Additionally, the replanted trees shall meet the plant specifications of the Town Zoning Ordinance in § 153.070.

(E) Depending on the proximity of other trees and/or structures, lesser quantities of replacement trees may be authorized by the Town Manager or by the Board of Adjustment (in the case of an appeal from the town) or the Town Manager may authorize the replanting or replacement of trees in a location or locations where such replacement trees are more likely to survive.

Zoning Compliance Application

Town of Biltmore Forest

Name

Clinton Witteveen

Property Address

33 Hilltop Rd

Phone

(720) 250-3041

Email

clinton@falconbuilt.com

Parcel ID/PIN Number

964675937100000

ZONING INFORMATION

Current Zoning

R-1

Lot Size

1.28 acres

Maximum Roof Coverage

5,500 square feet (Up to 1.5 acres)

Proposed Roof Coverage Total

5500

Maximum Impervious Surface Coverage

1-3 acres (25 percent of lot area)

Proposed Impervious Surface Coverage

5500

Front Yard Setback

60 feet (R-1 District)

Side Yard Setback

20 feet (R-1 District)

Rear Yard Setback

25 feet (R-1 District)

Building Height

24'

Description of the Proposed Project

Additions to the existing structure were started and abandoned by a previous contractor.

Work will include completing the additions to the structure, as well as renovations to the existing structure. Site work consists of tree removal, grading, and a retaining wall. Site plans indicate tree removal and replacement schedule. Design has changed to reduce the size of the retaining needed by lowering the overall grade of the site. Retaining wall will not encroach on the easement.

Estimated Start Date

1/31/2022

Estimated Completion Date

3/31/2023

Estimated Cost of Project

\$1,000,000.00

Supporting Documentation (Site Plan, Drawings, Other Information)

33 Hiltop - Pande Residence - Architectural Drawings.pdf

33 Hiltop - Pande Residence - Site Conceptual Plan.pdf

Applicant Signature

Date
1/4/2022

A handwritten signature in black ink, consisting of a large 'C' followed by a series of loops and a final upward stroke, positioned above a horizontal line.

Special Use Permit Application

Town of Biltmore Forest

Name

Clinton Witteveen

Address

33 Hilltop Rd

Phone

(720) 252-3041

Email

clinton@falconbuilt.com

Please select the type of special use you are applying for:

Accessory Structures

The applicant must show that the proposed use will not materially endanger public health or safety or injure value of adjoining or abutting property. In addition, the proposed use must be in general conformity with the plan of development of the town and be in harmony with scale, bulk, height, coverage, density, and character of the neighborhood.

Please provide a description of the proposed project:

Proposal for the Pande Residence located at 33 Hilltop Road.

We are requesting a special use permit to construct a retaining wall on the property, near the garage.

Explain why the project would not adversely affect the public interest of those living in the neighborhood:

The retaining walls are adjacent to the house and greater than 60' from the front of the property. They present no adverse affect to public health

I hereby certify that all of the information set forth above is true and accurate to the best of my knowledge.

Signature

Date

1/4/2022

A handwritten signature in black ink, appearing to read 'Clinton Witteveen', written over a horizontal line.

Existing Tree Size in DBH (Diameter at Breast Height)	Qty of trees to be removed	New trees required per removal	Total new trees required
6-12" DBH	9	2	18
13-18" DBH	3	3	9
19-30" DBH	0	4	0
30" DBH +	1	5	5
Totals	13		32

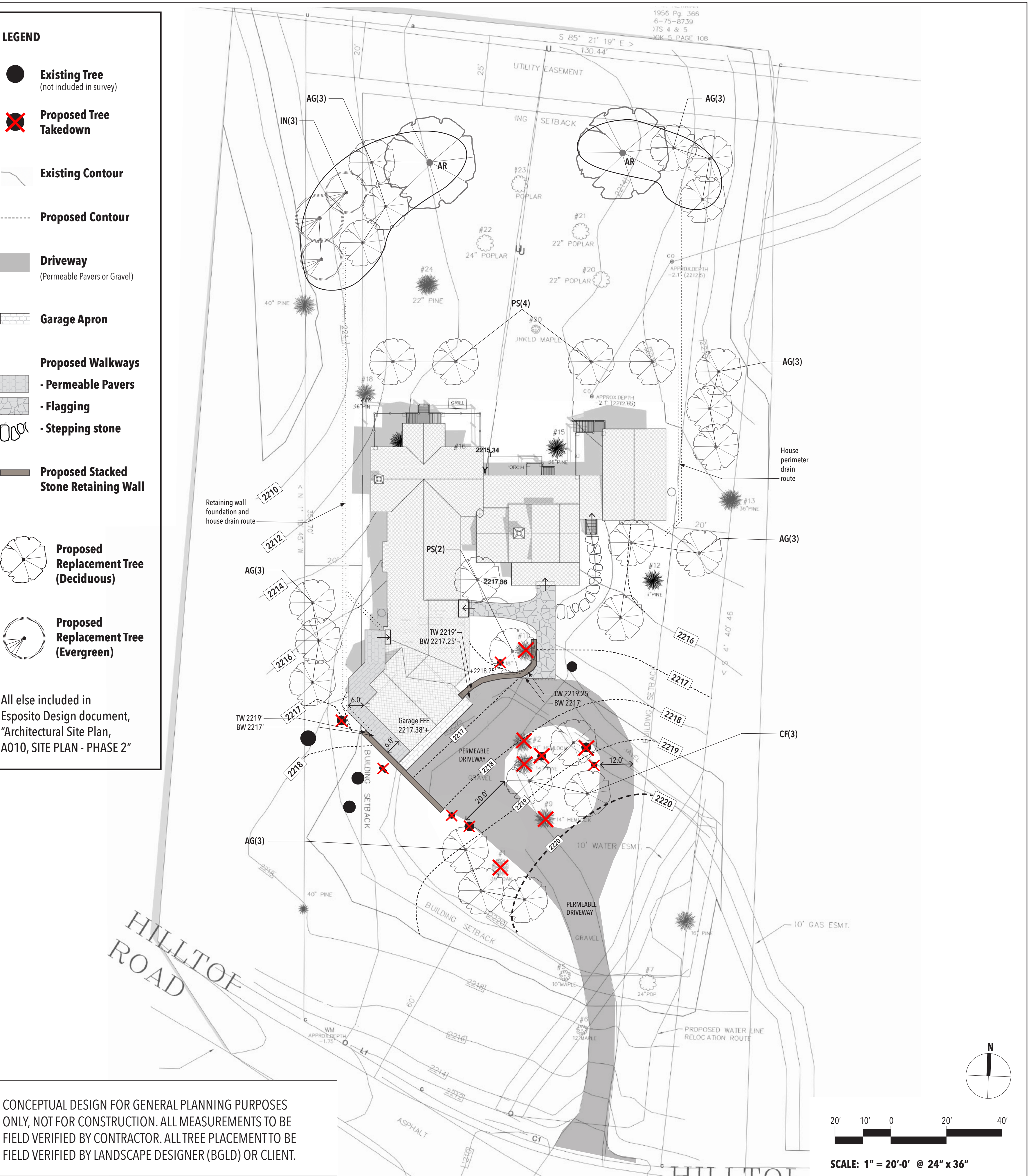
KEY	Botanical Name	Common Name	Qty	Mature Height	Mature Width	Install Size	Sun	Colors	Native	Description
AR	<i>Acer rubrum 'Red Sunset'</i>	Red Maple	2	40'	30'	2" cal	Full Sun-Part Shade	Red leaf buds/green/bright red fall foliage	improved native	Strong oval canopy form, very hardy, brilliant red fall color, leaves persist for weeks longer than other maples, thrives in moist conditions.
AG	<i>Amelanchier grandiflora 'Robin Hill'</i>	Robin Hill Serviceberry	18	15'	10-15'	2" cal	Full Sun-Part Shade	Pink to white spring flowers, edible red-black berry in summer, brilliant yellow to red fall foliage	improved native	Very early spring apple-blossom-like flowers, larger blossoms than other species, drought and wet tolerant. Summer fruit is very attractive to birds.
CF	<i>Cornus florida</i>	White Flowering Dogwood	3	20'	20'	2" cal	Part Shade	White blossoms, green leaves	native	Showy flowers on horizontal branches before leaves emerge in spring. Horizontal form.
IN	<i>Ilex x 'Nellie Stevens'</i>	Nellie Stevens Holly	3	15'	10'	7-8'	Full Sun-Part Shade	Glossy dark green evergreen leaves, long-lasting red berries in fall to winter	no (hybrid of I. aquifolium and I. cornuta)	Dense pyramidal evergreen tree, grows well in part shade acidic woodland conditions, drought tolerant. Fruits without a male pollinator. Mildly resistant to deer browse.
PS	<i>Prunus subhirtella 'Autumnalis'</i>	Higan Cherry Tree	6	25'	20'	2" cal	Full Sun-Part Shade	Heavy bloom set of semi-double pink flowers in spring with another (sparse) bloom in fall	no	Upright rounded deciduous tree. Better tolerance for summer heat and winter cold than most of the flowering cherries. Pea-sized summer fruit is attractive to birds.
		Total Tree Qty:	32							

Architectural section drawing showing a building elevation and driveway details. The drawing includes the following elements and labels:

- Garage Southwest Elevation:** Points to the building facade.
- Garage Entry:** Points to the entrance of the driveway.
- Dimensions:**
 - 5.5' (height of the building facade)
 - 40.0' (width of the driveway)
- Elevation Markers (Left):**
 - T. WALL TYP 2219'
 - WALKWAY 2217'
 - GRADE BEHIND WALL 2218'
- Elevation Markers (Right):**
 - BOTTOM OF WALL 2218'
 - GRADE BEHIND WALL 2218.5'
- Edge of Planted Driveway Island:** Points to the edge of the island.
- Graphic Scale (NOT STANDARD):** 0, 2', 4', 8', 12'

-  **Existing Tree**
(not included in survey)
-  **Proposed Tree Takedown**
-  **Existing Contour**
-  **Proposed Contour**
-  **Driveway**
(Permeable Pavers or Gravel)
-  **Garage Apron**
-  **Proposed Walkways**
 - Permeable Pavers
 - Flagging
 - Stepping stone
-  **Proposed Stacked Stone Retaining Wall**

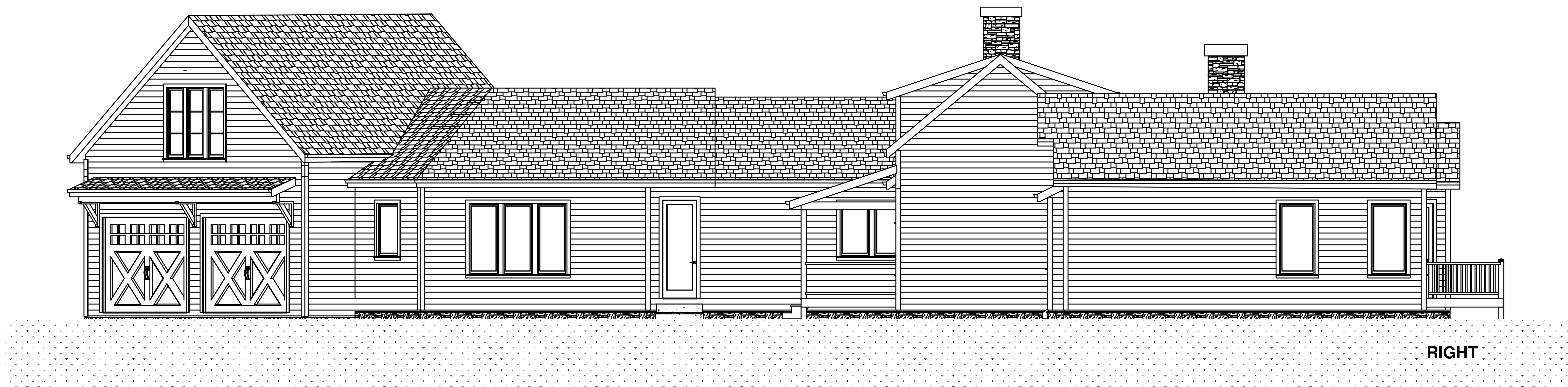
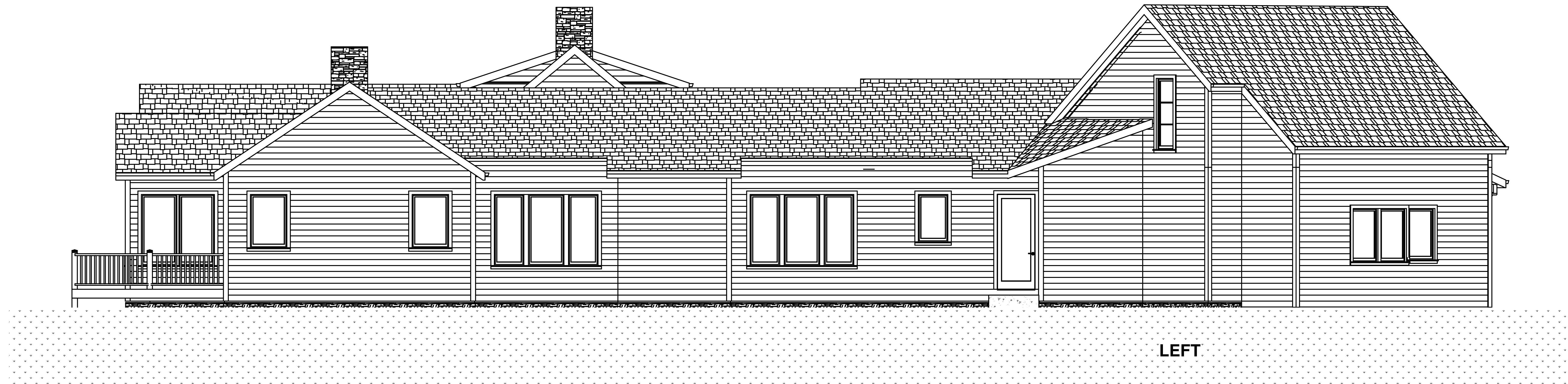
All else included in
Esposito Design document,
"Architectural Site Plan,
A010, SITE PLAN - PHASE 2"





To the best of my knowledge these plans are drawn to comply with owner's and/or builder's specifications and any changes made on them after prints are made will be done at the owner's and/or builder's expense and responsibility. The contractor shall verify all dimensions and enclosed drawing. Chuck Snyder/Design by Snyder is not liable for errors once construction has begun. While every effort has been made in the preparation of this plan to avoid mistakes, the maker can not guarantee against human error. The contractor of the job must check all dimensions and other details prior to construction and be solely responsible thereafter.

1/4" SCALE



To the best of my knowledge these plans are drawn to comply with owner's and/or builder's specifications and any changes made on them after prints are made will be done at the owner's and/or builder's expense and responsibility. The contractor shall verify all dimensions and enclosed drawing Chuck Snyder/Design by Snyder is not liable for errors once construction has begun. While every effort has been made in the preparation of this plan to avoid mistakes, the maker can not guarantee against human error. The contractor of the job must check all dimensions and other details prior to construction and be solely responsible thereafter.

1/4" SCALE

12/30/2020

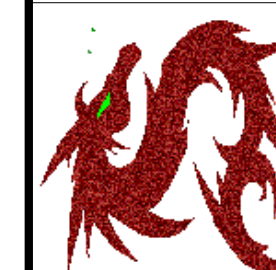
PANDE

Design By Snyder
Asheville, NC
828-779-5669



To the best of my knowledge these plans are drawn to comply with owner's and/or builder's specifications and any changes made on them after prints are made will be done at the owner's and / or builder's expense and responsibility. The contractor shall verify all dimensions and enclosed drawing, Chuck Snyder/Design by Snyder is not liable for errors once construction has begun. While every effort has been made in the preparation of this plan to avoid mistakes, the maker can not guarantee against human error. The contractor of the job must check all dimensions and other details prior to construction and be solely responsible thereafter.

1/4" SCALE

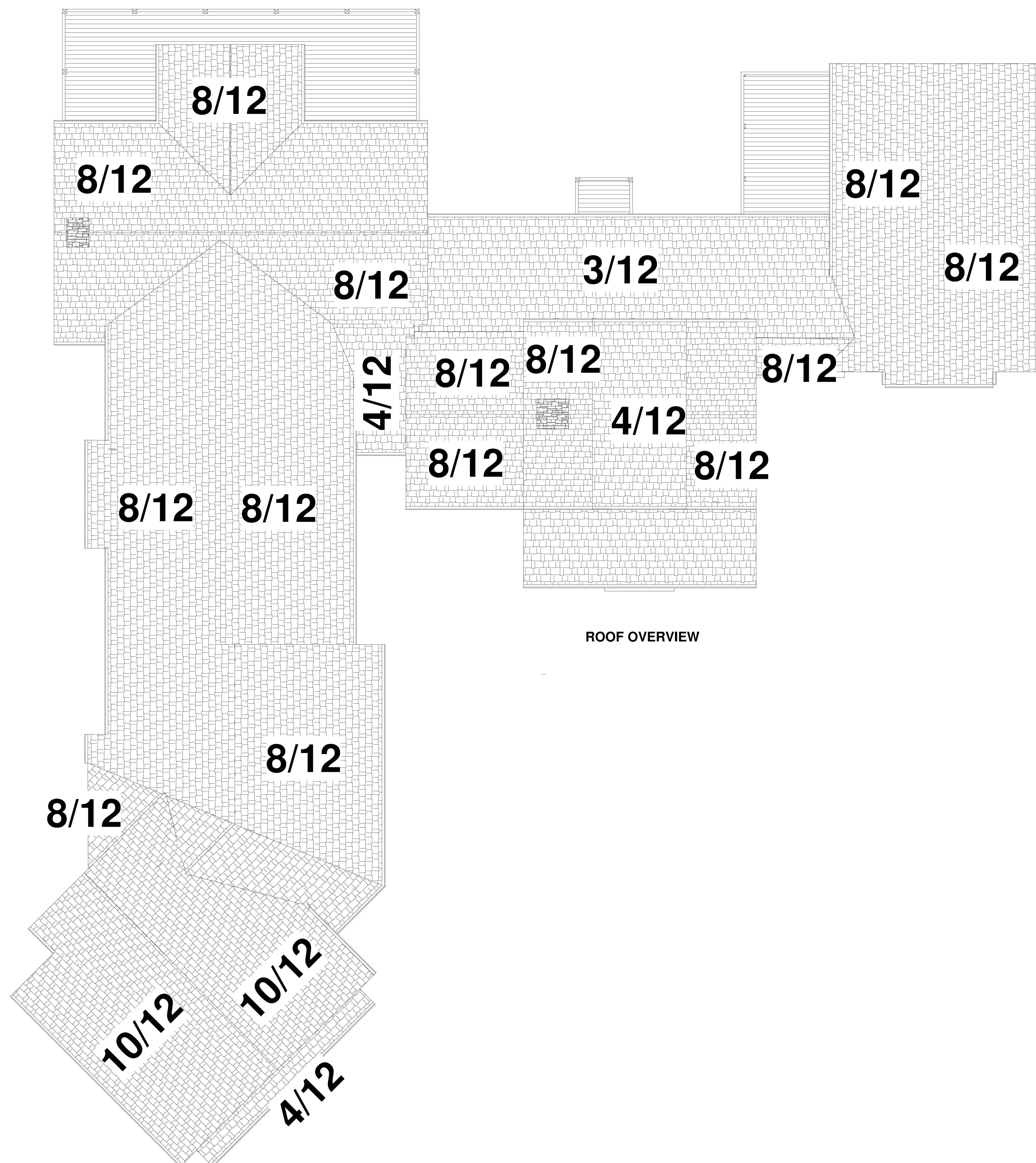


NEW ROOF OVER EXISTING

GARAGE BONUS ROOM

4000 SQ FT HEATED ADDITION

12/30/2020



to the best of my knowledge these plans are drawn to comply with owner's and/ or builder's specifications and any changes made on them after prints are made will be done at the owner's and / or builder's expense and responsibility. The contractor shall verify all dimensions and enclosed drawing Chuck Snyder/Design by Snyder is not liable for errors once construction has begun. While every effort has been made in the preparation of this plan to avoid mistakes, the maker can not guarantee against human error. The contractor of the job must check all dimensions and other details prior to construction and be solely responsible thereafter.

1/4" SCALE

12/30/2020

Zoning Compliance Application

Town of Biltmore Forest

Name

<input type="text" value="Darrin and Todd"/>	<input type="text" value="Blevins"/>
First	Last

Property Address

<input type="text" value="48 Forest Road"/>
Address Line 1

Phone

<input type="text" value="(828) 231-7781"/>

Email

<input type="text" value="darrinb@charter.net"/>
--

Parcel ID/PIN Number

<input type="text" value="964669953100000"/>
--

ZONING INFORMATION

Current Zoning

☒ R-1 ☐ R-2 ☐ R-3 ☐ R-4 ☐ R-5 ☐ P-S

Lot Size

<input type="text" value="1.01 acres"/>

Maximum Roof Coverage

<input type="text" value="5,060 square feet (Up to 1.2 acres)"/>
Choose appropriate lot size

Proposed Roof Coverage Total

<input type="text" value="3,686"/>
<i>Must not exceed maximum coverage allowed</i>

Maximum Impervious Surface Coverage

<input type="text" value="1-3 acres (25 percent of lot area)"/>
Choose appropriate lot size

Proposed Impervious Surface Coverage

<input type="text" value="10,223"/>
<i>Must not exceed maximum coverage allowed</i>

Front Yard Setback

<input type="text" value="60 feet (R-1 District)"/>

Side Yard Setback

<input type="text" value="20 feet (R-1 District)"/>

Rear Yard Setback

<input type="text" value="25 feet (R-1 District)"/>

Building Height

<input type="text" value="19'-1 1/4"/>
--

Description of the Proposed Project

<input type="text" value="Main bedroom addition with closets and main bathroom to the south and east of the existing house."/>
--

Estimated Start Date

<input type="text" value="5/24/2022"/>
--

Estimated Completion Date

<input type="text" value="5/24/2023"/>
--

Estimated Cost of Project

<input type="text" value="\$350,000.00"/>

Supporting Documentation (Site Plan, Drawings, Other Information)

1.18.2022 Blevins A1.1.pdf

1.18.2022 Blevins A2.1.pdf

1.18.2022 Blevins A2.2.pdf

1.18.2022 Blevins A3.1.pdf

1.18.2022 Blevins A3.2.pdf

1.18.2022 Blevins A4.1.pdf

1.18.2022 Blevins CS.pdf

1.18.2022 Blevins L1.1.pdf

Applicant Signature

Date

1/18/2022

A handwritten signature in black ink, appearing to read "A. C. Blevins", is written over a horizontal line.

SUBJECT PROPERTY 48 FOREST ROAD = 1.01 ACRES

ROOF COVERAGE:
EXISTING = 2,483sf
NEW ADDITION = 1,120sf
NEW PORCH ROOF = 83sf
TOTAL = 3,686sf < 5,060sf (MAX. COVERAGE)

IMPERVIOUS SURFACES:
EXISTING = 9,107sf
NEW IMPERVIOUS SURFACES = 1,116sf
TOTAL = 10,223 < 11,358sf (25% OF LOT)

NEW CONSTRUCTION

20' SIDE SETBACK

60' FRONT SETBACK

NEW PORCH ROOF

20' SIDE SETBACK

25' REAR SETBACK

EXISTING HOUSE

FEE:2228.2

Deck

Patio

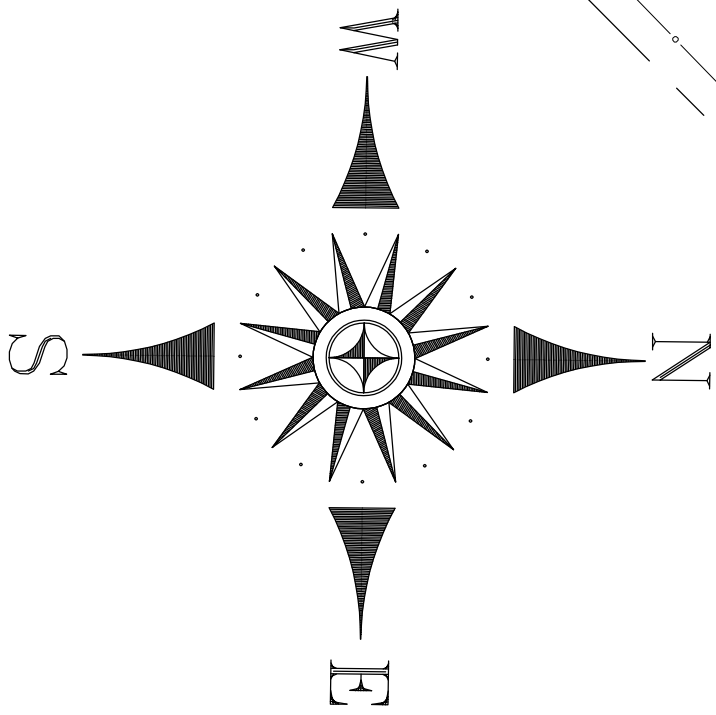
Stone Steps

Fence

Yard Inlet

Drop Inlet

Asphalt Driveway



1 SITE PLAN

SCALE: 1" = 20'-0"

Todd and Darin Blevins
48 Forest Road
Binmore Forest
Bincombe County, North Carolina
Home Design by Fusion Hammond
222 Weston Heights Dr.
Asheville, NC 28805
(828) 505-7565

1.18.2022
1/4"=1'-0"
H.C.H.

L1.1

REVISIONS:

Todd and Darrin Blevins
48 Forest Road
Biltmore Forest
Buncombe County, North Carolina



Drawing Index:

- CS - Cover Sheet
- L1.1 - Site Plan
- A1.1 - Foundation Plan and Details
- A2.1 - Floor Plan
- A2.2 - Roof Plan
- A3.1 - Front Elevation
- A3.2 - Elevations
- A4.1 - Building and Wall Sections

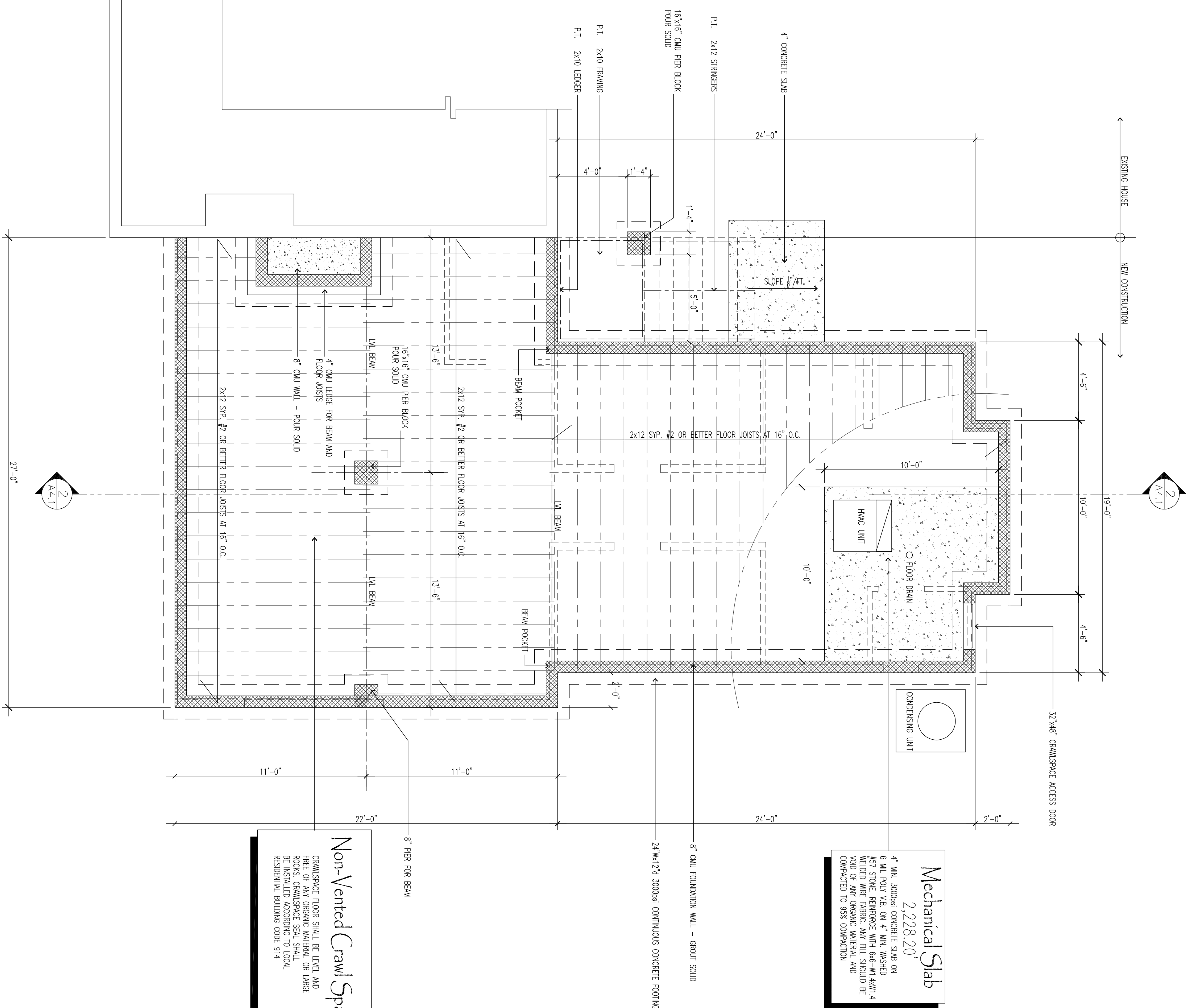
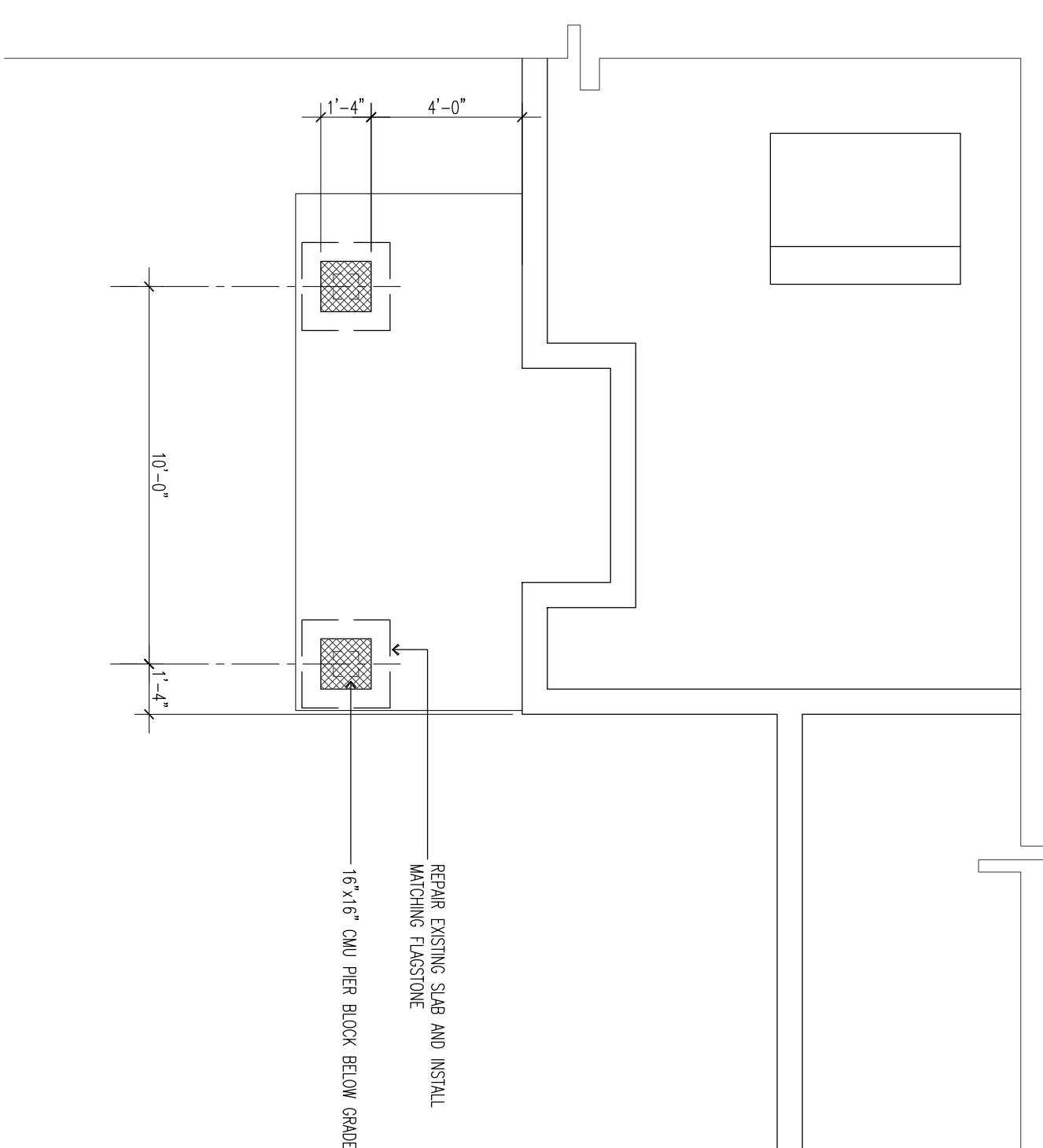
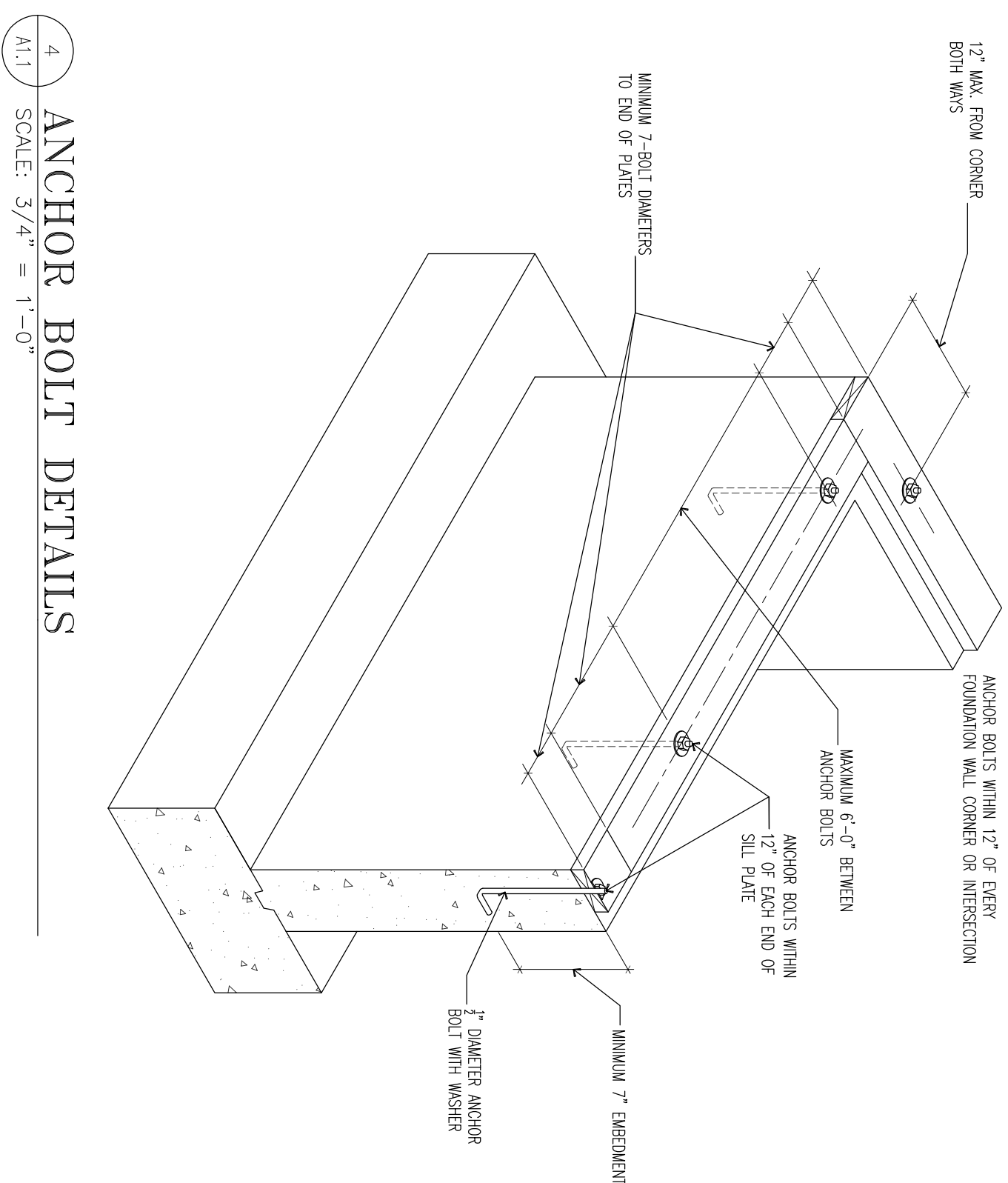
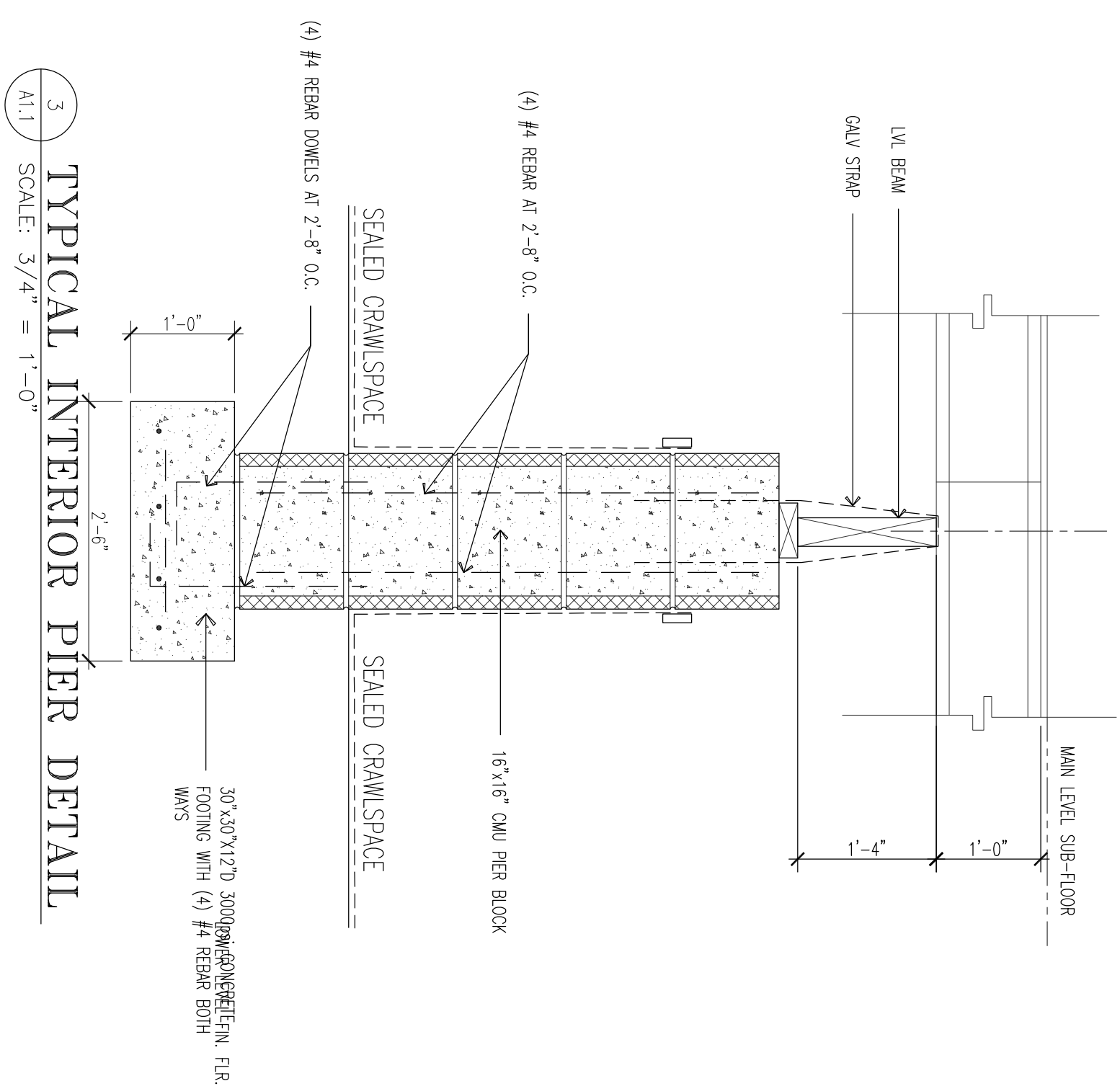
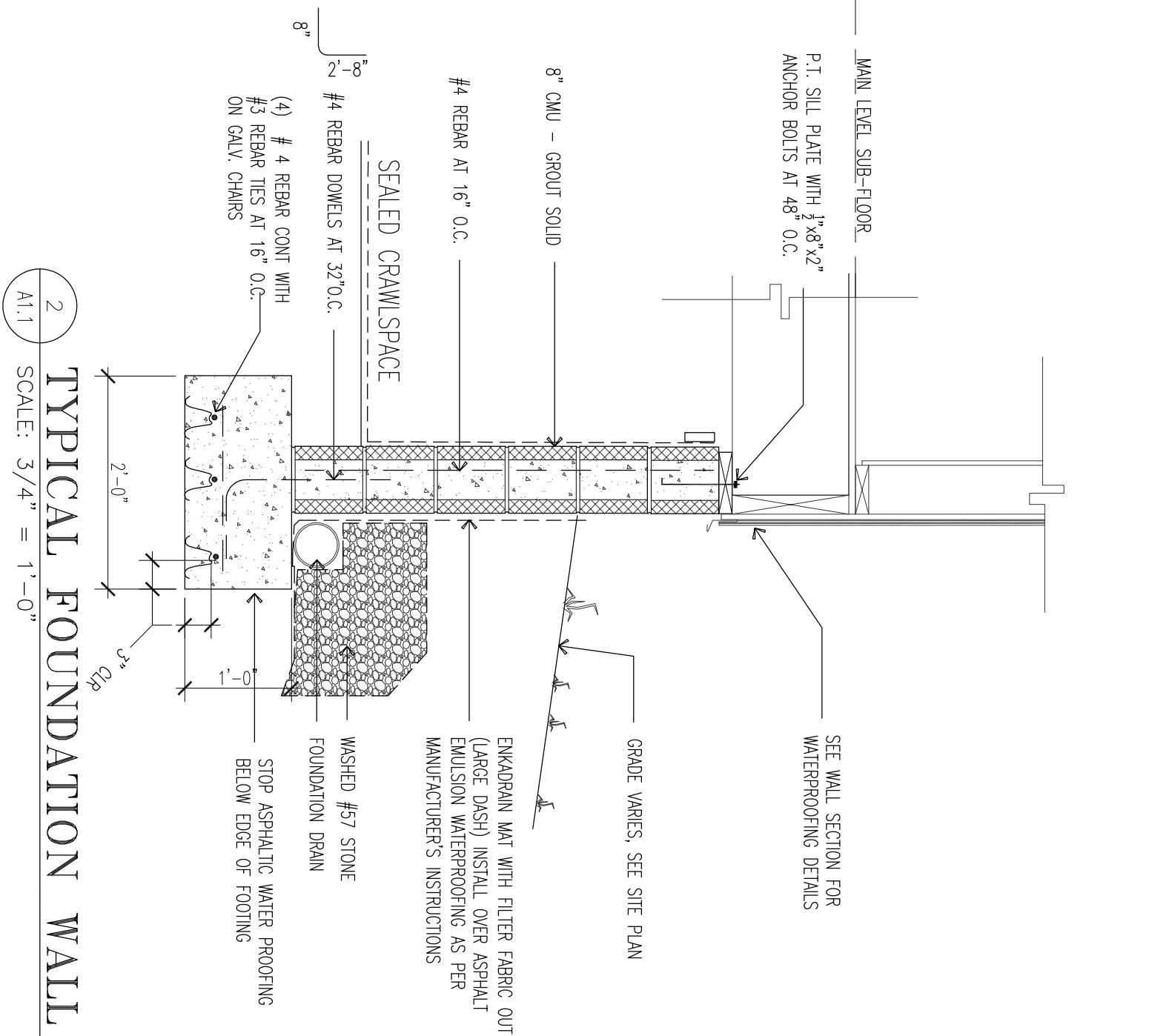
Todd and Darrin Blevins
48 Forest Road
Biltmore Forest
Buncombe County, North Carolina

Home Design by Houston Hemmard
22 Weston Heights Dr.
Asheville, NC 28803
(704) 629-9305-7585

1.18.2022
1/4"=1'-0"
H.C.H.

REVISIONS:

CS

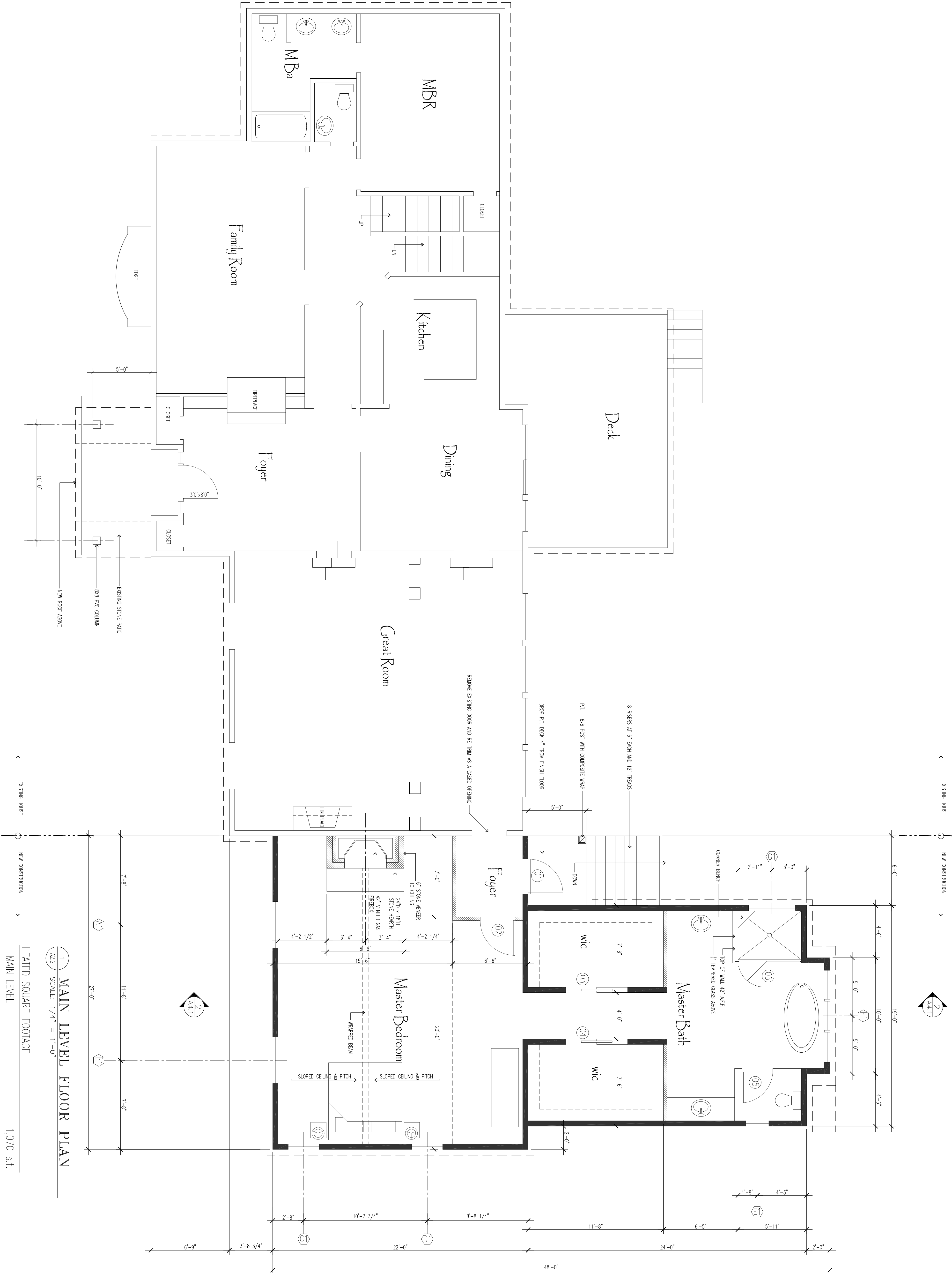


Todd and Darrin Blevins
 48 Forest Road
 Millmore Forest
 Buncombe County, North Carolina
 Home Design by Houston Hammond
 22 Weston Heights Dr.
 Asheville, NC 28803
 (C) (828) 505-7369

1.18.2022
 1/4"=1'-0"
 H.C.H.

A1.1

REVISIONS:



1 MAIN LEVEL FLOOR PLAN
SCALE: 1/4" = 1'-0"
HEATED SQUARE FOOTAGE
MAIN LEVEL
1,070 s.f.

WALL LEGEND	
	LOAD-BEARING WALL - 2x6 WOOD STUDS @ 16" O.C. - SEE BELOW FOR INTERIOR PARTITION CONSTRUCTION. SEE WALL SECTIONS FOR EXTERIOR WALL CONSTRUCTION.
	FOUNDATION WALL - CONCRETE MASONRY UNIT.
	INTERIOR PARTITION - 2x4 WOOD STUDS @ 16" O.C. WITH 1/2" GYP BRD EX SIDE AND SOUND BATTLS IN CAVITY.
	FLURRED WALL - 2x4 WOOD STUD FLOORING AT 16" O.C. WITH 1/2" GYP BRD ROOM SIDE AND R-13 (MIN) THERMAL INSULATION BATTLS APPLIED TO FACE OF BASEMENT WALL.
	CONCRETE FOUNDATION WALL.
	SEE STRUCTURAL.
	NATURAL STONE MASONRY VENEER WITH TOOLED MORTAR JOINTS.

Todd and Darrin Blevins

Buncombe County, North Carolina

Home Design by Houston Hammond

22 Weston Heights Dr.

Asheville, NC 28803

(704) 828-9005

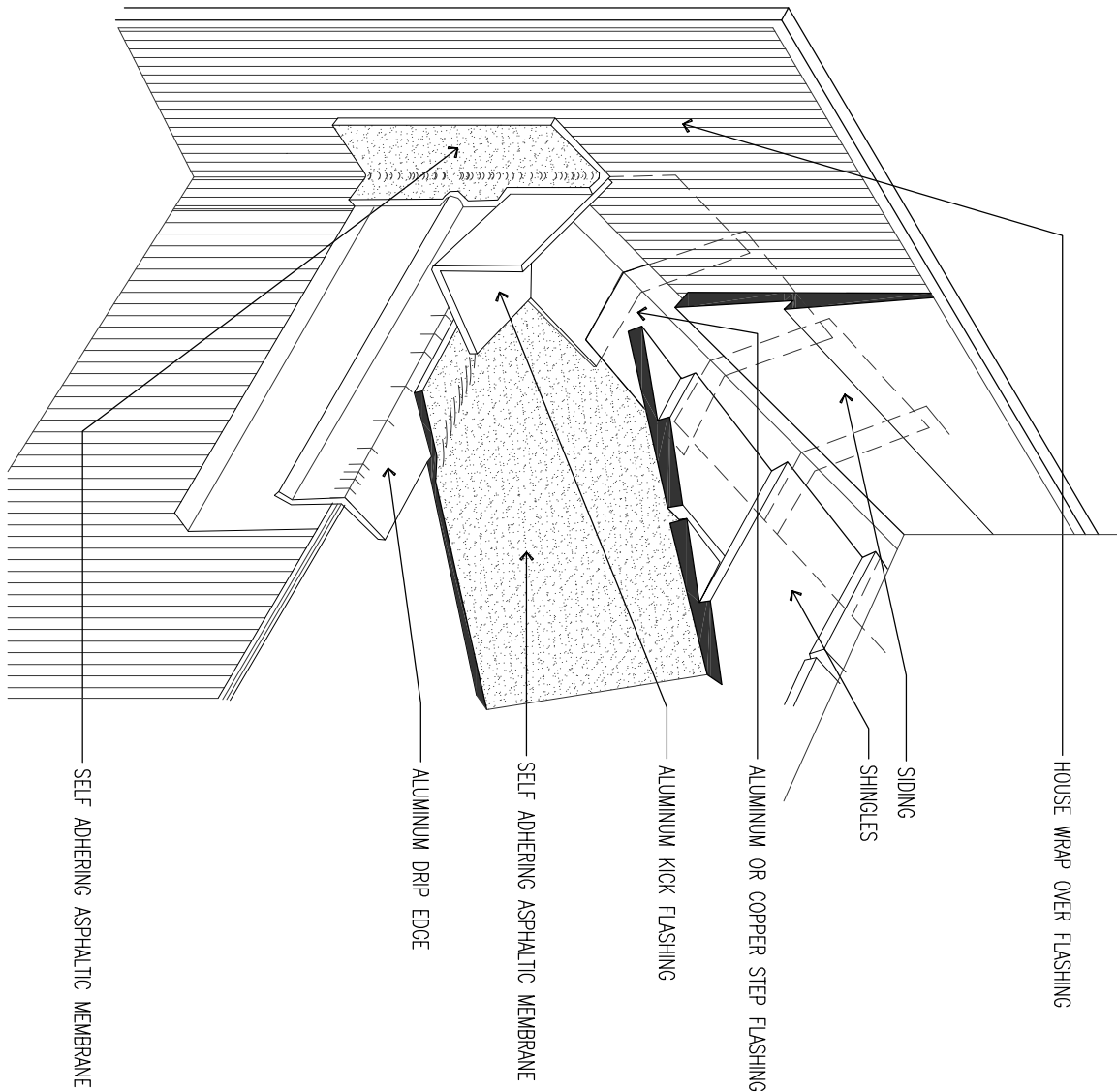
1-18-2022

1/4"=1'-0"

H.C.H.

REVISIONS:

A2.1

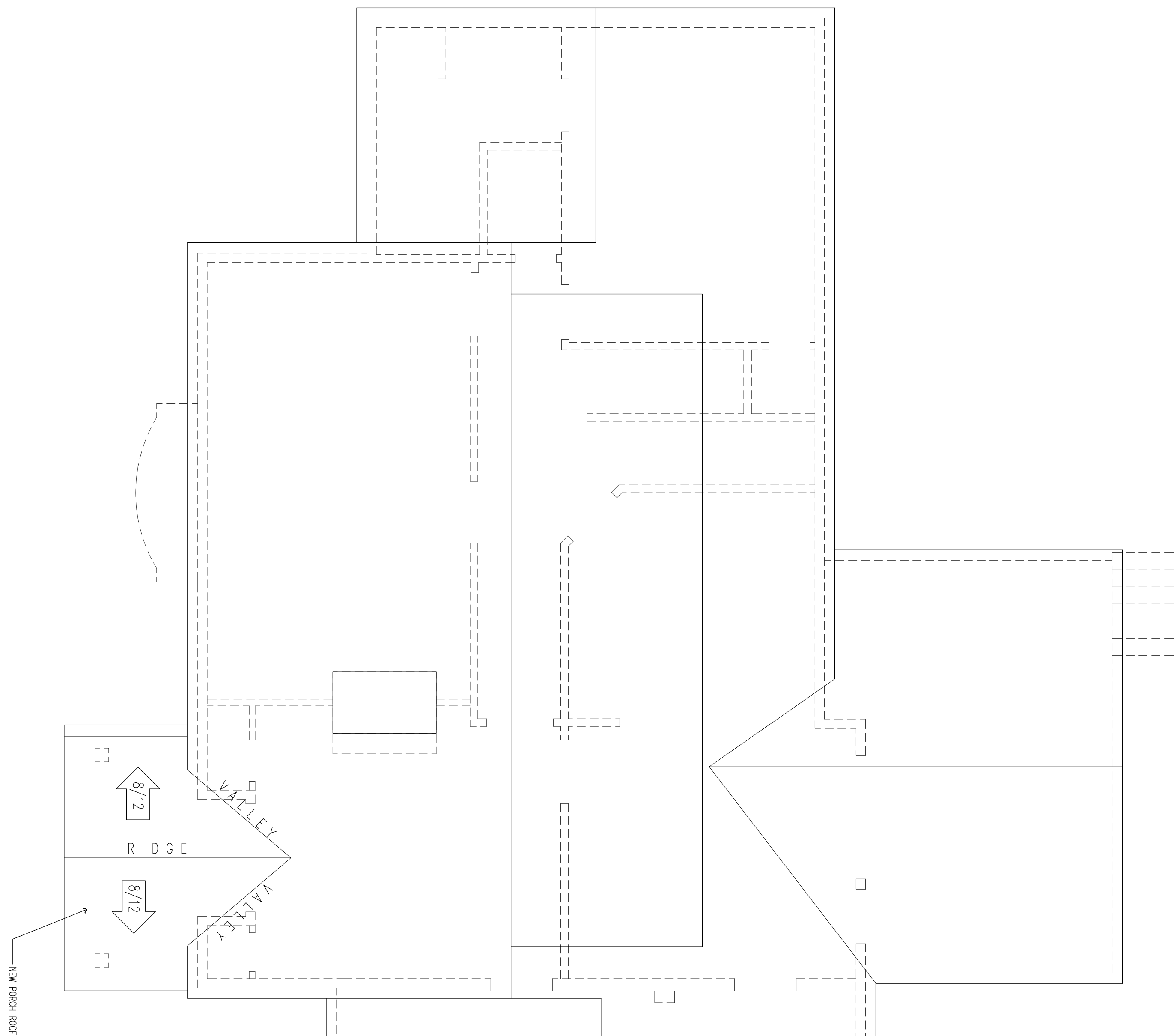


2 KICK FLASHING DETAIL

A2.2 SCALE: N.T.S.

ROOF NOTES

1. ALL SLOPES ARE 12/12 UNLESS OTHERWISE NOTED.
2. THE TRUSS LAYOUT SHOWN ON THIS SHEET IS SCHEMATIC IN NATURE. HOWEVER, THE SUPERIOR SUPERSTRUCTURE HAS BEEN SHOWN WITH CLOSELY PARALLEL FINAL TRUSS DESIGNER LAYOUT.
3. FINAL SIGNED AND SEALED ENGINEERED TRUSS DESIGN IS THE SUPERIOR SUPERSTRUCTURE'S RESPONSIBILITY. ANY MAJOR MODIFICATIONS TO THE STRUCTURE SHOULD BE REVIEWED BY THE RESIDENTIAL DESIGNER.
4. TRUSSES TO BE DESIGNED TO CARRY LOADS OF ATTC, ALLU, AND USC. EQUIPMENT, COORDINATE LOCATIONS WITH GENERAL CONTRACTOR PRIOR TO FABRICATION AND INDICATE ON TRUSS DRAWINGS.
5. GABLE-STOPPING REQUIRED WHEN THERE IS A USABLE SPACE BOTH ABOVE AND BELOW THE COVERED SPACE OF A FLOOR/CEILING ASSEMBLY. GABLE-STOPPS SHALL BE INSTALLED SO THAT THE AREA OF THE COVERED SPACE DOES NOT EXCEED 1,000 SQ. FEET. SUPERSTRUCTURE SHALL BE RESPONSIBLE FOR PROVIDING THE 2002 EDITION SECTION R902.12.
6. INSTALL EPDM ROOFING MEMBRANE [SPACE DIE & WATER SHIELD OR APPROVED EQUIVALENT] OVER BUILD-UP, FLASHES AND ALL ROOF SURFS OF THE CHIMNEY FRAME. CHIMNEY FLASHING SHALL BE INSTALLED AS PER MANUFACTURER'S DESIGN AND INSTALLATION GUIDELINES.
7. SEE FLOOR PLANS FOR LOCATIONS OF BASED/RAW CEILING.
8. INSTALL EPDM ROOFING MEMBRANE [SPACE DIE & WATER SHIELD OR APPROVED EQUIV.] IN ALL VALLEYS WITH MIN. 2" UP ROOF OPPOSING SLOPES.
9. ALL ROOF TRUSSES MUST BE BUILT IN ACCORDANCE WITH TRUSS MANUFACTURER'S DESIGN AND INSTALLATION GUIDELINES.
10. GABLE END ROOF FRAMING MUST HAVE GABLE ENDS BRACED @ 6' O.C. 6" FROM THE MAIN FLOOR/CEILING ASSEMBLY. BRACE SHALL BE AT APPROXIMATELY A 45 DEG. ANGLE. OTHER BRACING CAN BE USED IF IT MEETS WITH PROFESSIONAL ENGINEER'S APPROVAL.
11. FLASHING TO BE INSTALLED AT WALL AND ROOF INTERSECTIONS, AND AROUND ROOF PENETRS. IF FLASHING IS METAL, IT SHALL BE CORROSION RESISTANT WITH THICKNESS OF NOT LESS THAN .0019 INCH (NO. 26 GAW. SHEET).
12. ALL ROOF PENETRATIONS SHALL EXT. BEHIND THE MAIN ROOF, AND SHALL BE PAINTED BLACK.



1 ROOF PLAN

A2.2 SCALE: 1/4" = 1'-0"

Todd and Darin Blevins

Buncombe County, North Carolina

Home Design by Houston Hammond

22 Weston Heights Dr.

Asheville, NC 28803

(404) 828-9505-7385

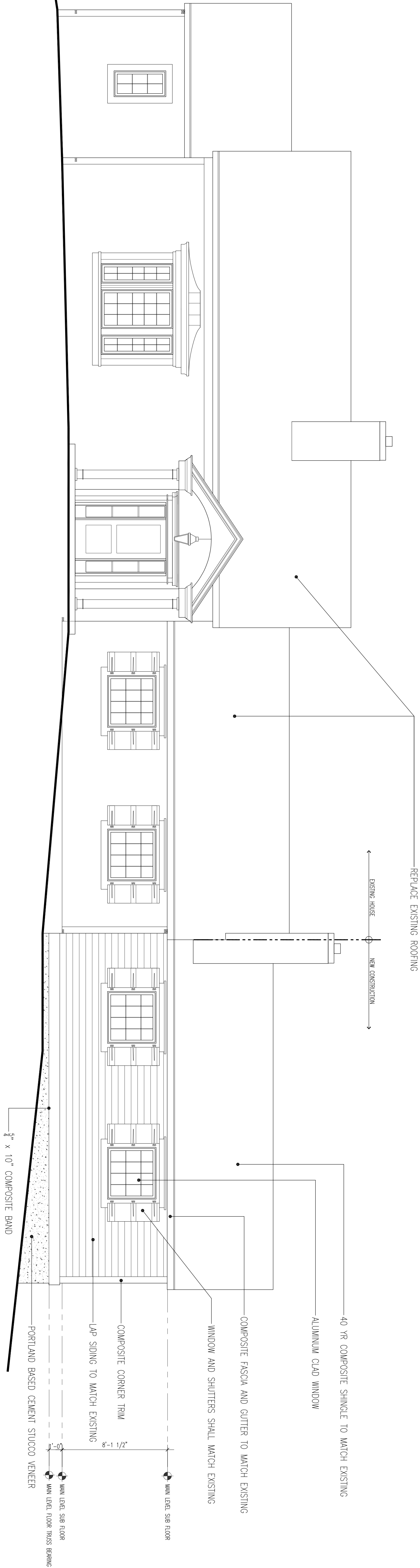
1-18-2022

1/4"=1'-0"

H.C.H.

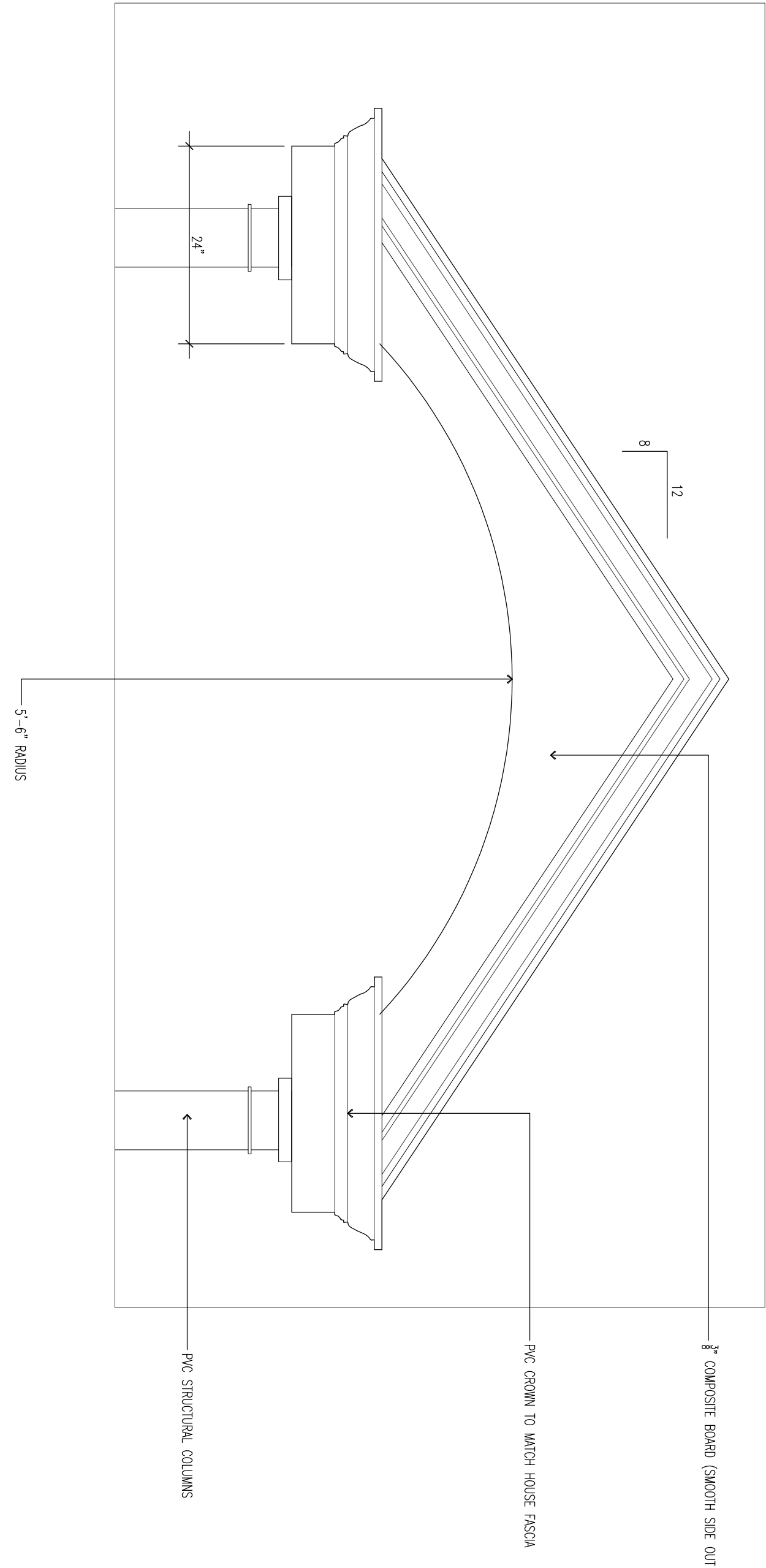
REVISIONS:

A2.2



1
A3.3 WEST ELEVATION

SCALE: 1/4" = 1'-0"



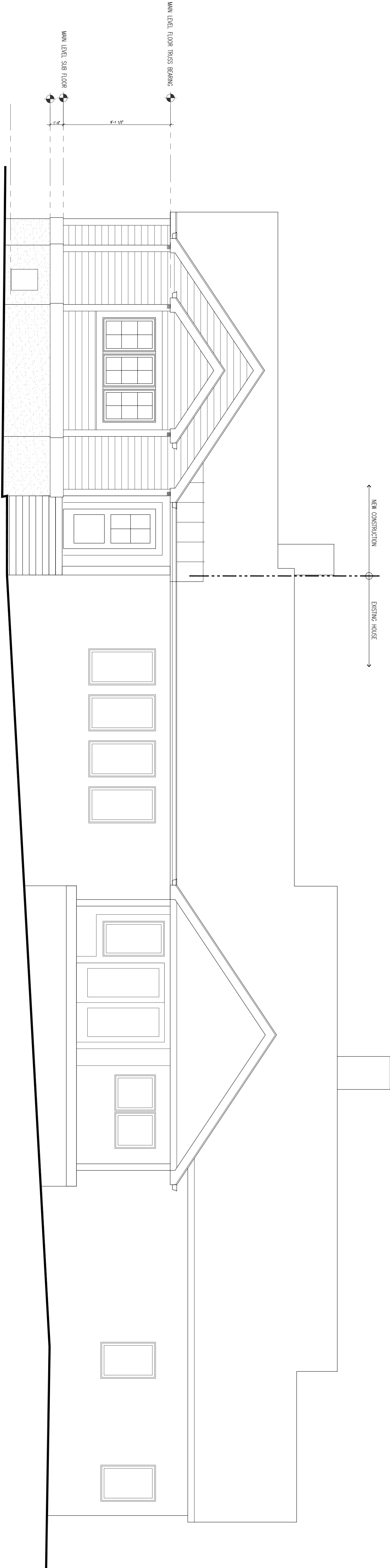
DOOR SCHEDULE									
DOOR NO.	DOOR OPENING SIZE		DOOR		DOOR & FRAME		JAMB	COMMENTS	
	WIDTH	HGT	THICK	MATL	TYPE	GLAZING	FIRE RATING		
01	3'-0"	6'-8"	2.25"	INSULATED METL	OUT-SWING	HAIF	NONE	6"	
02	3'-0"	6'-8"	2.25"	SOLID CORE WOOD		NONE	NONE	6"	
03	2'-8"	6'-8"	2.25"	SOLID CORE WOOD	POCKET	NONE	NONE	6"	
04	2'-8"	6'-8"	2.25"	SOLID CORE WOOD	POCKET	NONE	NONE	6"	
05	2'-8"	6'-8"	2.25"	SOLID CORE WOOD		NONE	NONE	4"	
06	2'-6"	6'-0"	0.50"	TEMPERED GLASS	FILL	FILL	NONE		

WINDOW SCHEDULE												
#	TYPE	UNIT SIZE	ROUGH OPENING	MATERIAL	HANGING	COLOR	JAMB	MULLION	LITE CUT	GLASS	TEMPERED	HEAD HEIGHT
A1	PICTURE	4'-0" x 4'-0"	W/MP VENTRY	ALUMINUM CLAD WOOD	N/A	WHITE	6"	7/8" SL	SEE ELEVATION	NOTE 4	NO	6'-8"
B1	PICTURE	4'-0" x 4'-0"									NO	6'-8"
C1	CASEMENT	2'-8" x 5'-0"									NO	6'-8"
D1	CASEMENT	2'-8" x 5'-0"									YES	6'-8"
E1	CASEMENT	2'-6" x 4'-0"									YES	6'-8"
F1	TRIPLE CASEMENT	(3) 2'-5" x 4'-0"									YES	6'-8"
G1	TRANSOM	3'-0" x 1'-6"										

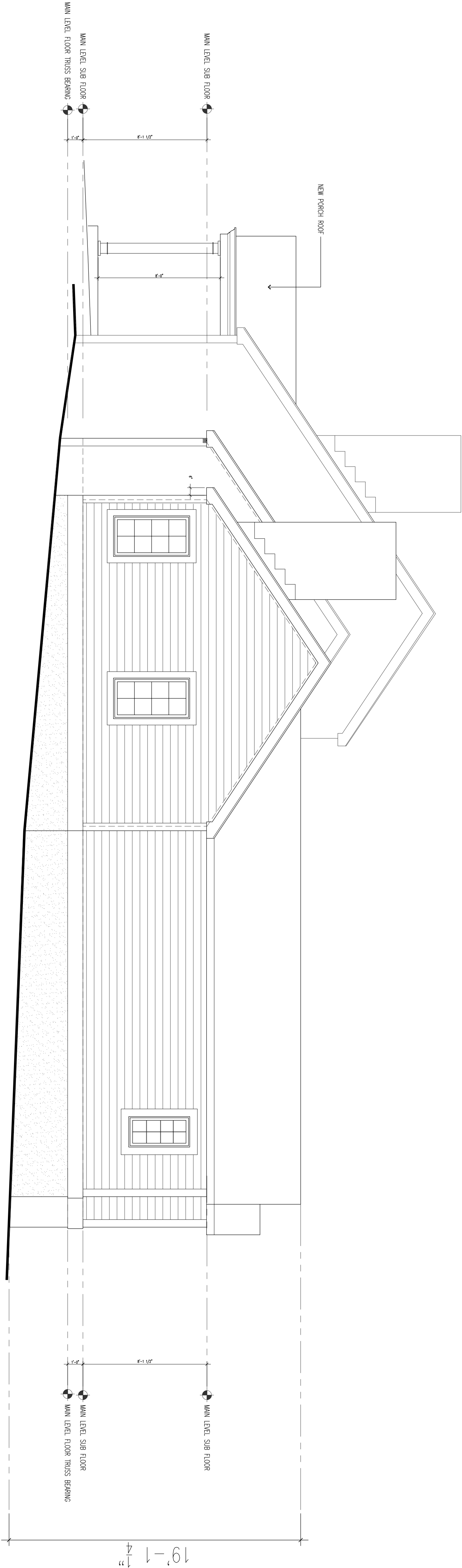
Todd and Darin Blevins
48 Forest Road
Biltmore Forest
Buncombe County, North Carolina
Home Design by Houston Hemmford
Asheville, NC 28805
(828)905-7585

1-18-2022
1/4"=1'-0"
H.C.H.

A3.1



2 EAST ELEVATION
AS2 SCALE: 1/4" = 1'-0"



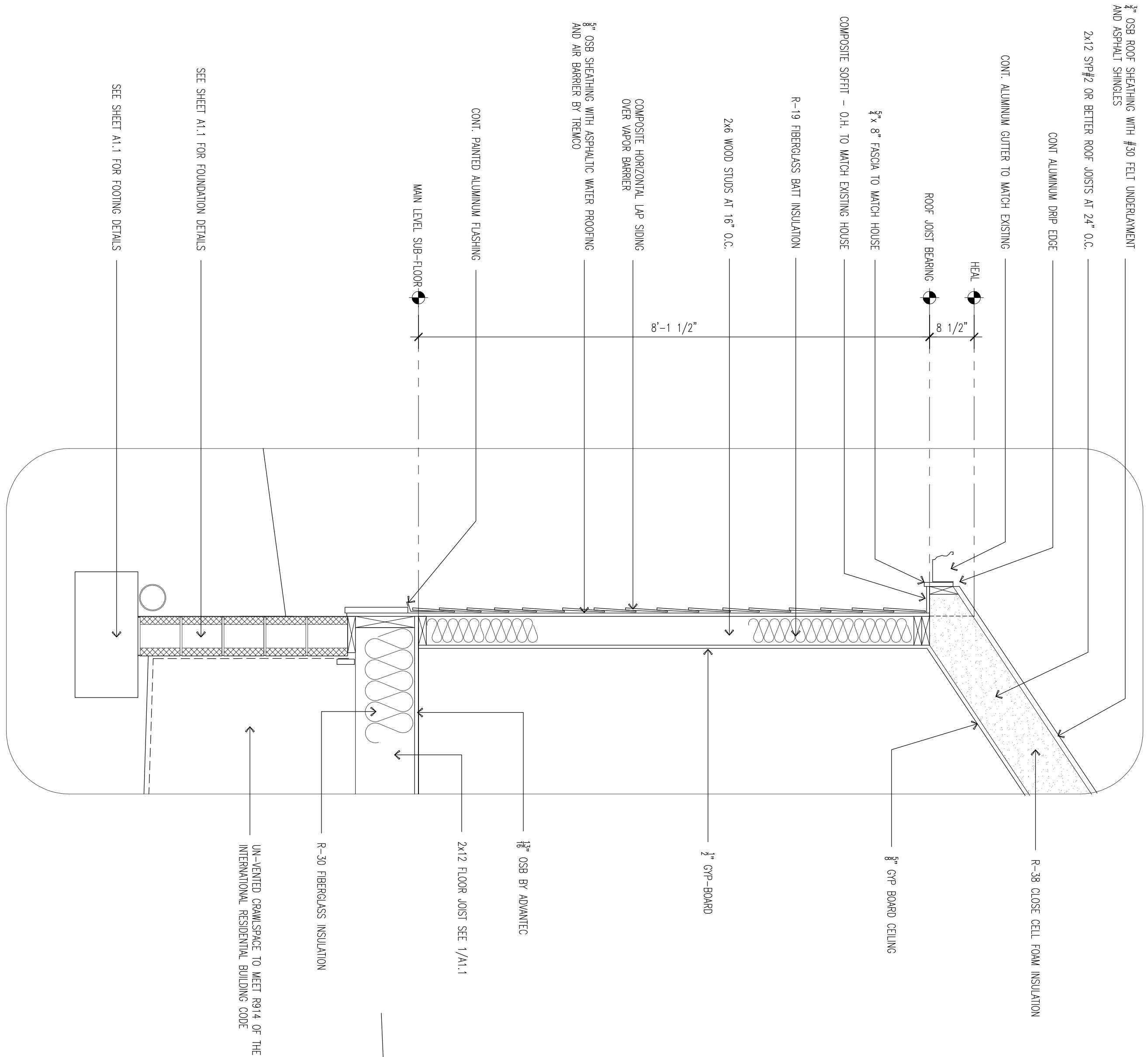
1 SOUTH ELEVATION
AS2 SCALE: 1/4" = 1'-0"

Todd and Darin Blevins
48 Forest Road
Baltimore Forest
Burcombe County, North Carolina
Home Design By Houston Hammond
22 Weston Heights Dr.
Asheville, NC 28803
(O) 828-505-7065

1.18.2022
1/4"=1'-0"
H.C.H.

REVISIONS:

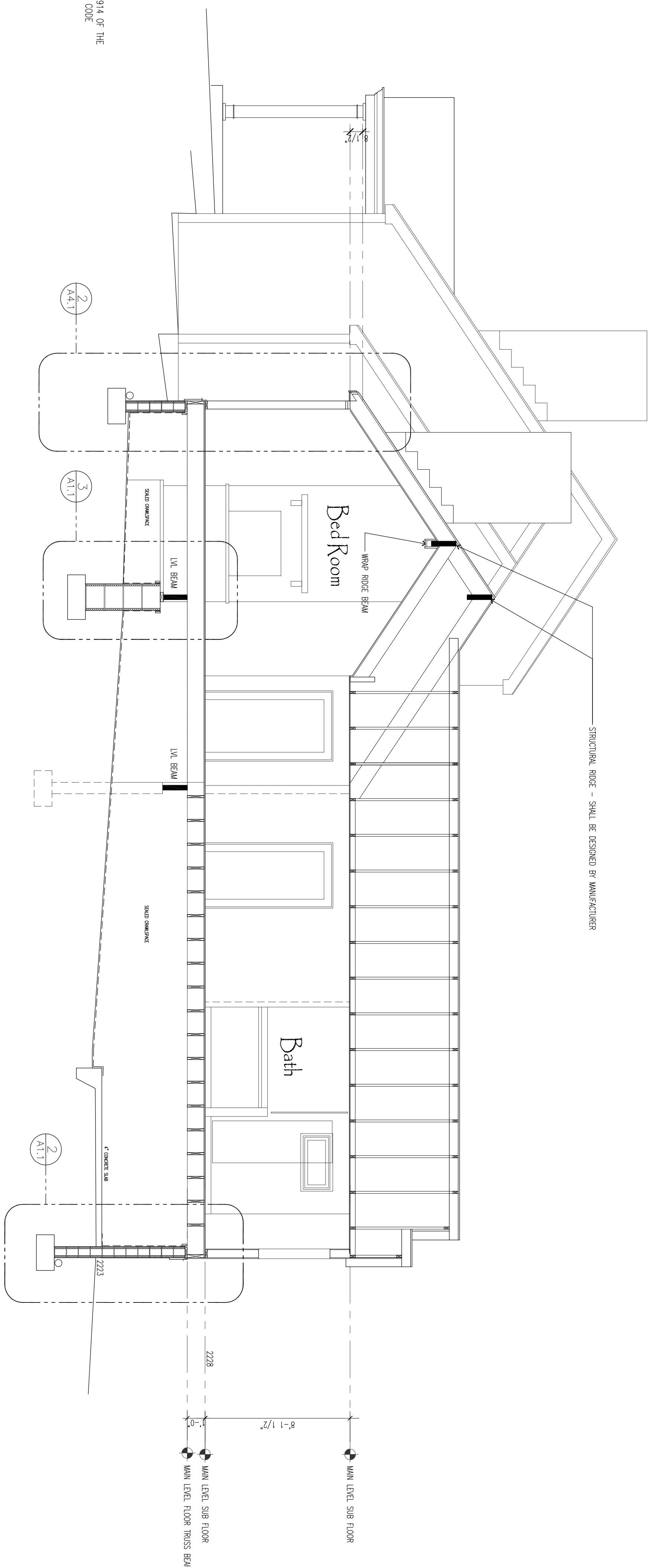
A3.2



2
A4.1

TYPICAL WALL SECTION

SCALE: 3/4" = 1'-0"



1
A3.2 BUILDING SECTION
SCALE: 1/4" = 1'-0"

Todd and Darrin Blevins
48 Forest Road
Blomire Forest
Bruncombe County, North Carolina
Home Design by Houston Hammond
22 Weston Heights Dr.
Asheville, NC 28903
(704) 628-5505-1563

1.18.2022
1/4" = 1'-0"
H.C.H.

A4.1

REVISIONS:

Zoning Compliance Application

Town of Biltmore Forest

Name

Ron Fagan

Property Address

121 Hendersonville Road, Asheville NC 28803

Phone

(828) 257-4413

Email

ron.fagan@mahec.net

Parcel ID/PIN Number

9467-67-3996

ZONING INFORMATION

Current Zoning

R-5

Lot Size

50000 sf

Maximum Roof Coverage

9,647 square feet (Up to 6 acres)

Proposed Roof Coverage Total

37500 sf

Maximum Impervious Surface Coverage

3-6 acres (20 percent of lot area)

Proposed Impervious Surface Coverage

37500

Front Yard Setback

50 feet (R-2, R-3, R-4, and R-5 Districts)

Side Yard Setback

15 feet (R-2, R-3, R-4, and R-5 Districts)

Rear Yard Setback

20 feet (R-2, R-3, R-4, and R-5 Districts)

Building Height

50'

Description of the Proposed Project

4.5 level parking deck, 440 spaces

Estimated Start Date

4/1/2022

Estimated Completion Date

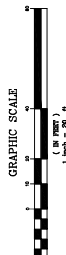
4/1/2023

Estimated Cost of Project

\$10,500,000.00

Supporting Documentation (Site Plan, Drawings, Other Information)

C 200 Site plan 3 9 2021.pdf

[illegible]









GRAPHIC SCALE
(IN FEET)
1 inch = 50 ft



what's below.
Call before you dig

[illegible]

SITEWORK LEGEND:

	PROPOSED CONCRETE
	PROPOSED WHEELCHAIR RAMP
	PROPOSED ASPHALT PAVEMENT
	PROPOSED SITE LIGHTING
	PROPOSED COMMON OPEN SPACE
	EXISTING PROPERTY LINE
	PROPOSED PROPERTY LINE
	PROPOSED BUILDING SETBACK

PROJECT: 9401-158140
DATE: 03.09.2021
DRAWN BY: JRC
CHECKED BY: JLD

SITE
PLAN

C-200

ISSUED FOR CONSTRUCTION

355 Vanderbilt Rd | Biltmore Forest, NC
Po Box 5352 | Biltmore Forest, NC 28803
P (828) 274-0824 | F (828) 274-8131

www.biltmoreforest.org



George F. Goosmann, III, Mayor
Fran G. Cogburn, Mayor-Pro Tem
E. Glenn Kelly, Commissioner
Doris P. Loomis, Commissioner

Jonathan B. Kanipe,
Town Manager

MEMORANDUM

To: Board of Adjustment Members
From: Jonathan Kanipe, Town Manager
Re: Board of Adjustment Case Number 4 (MAHEC)
Date: December 9, 2019

Request for Special Use Permit for construction of a Parking Garage

A Special Use Permit is requested for property located at 121 Hendersonville Road (MAHEC) for construction of a 4.5 level parking garage. Section §153.006 Permitted Uses Table of the Zoning Ordinance allows “Medical and dental services” as a Special Use in the R-4 and R-5 districts. Any improvements to such uses is reviewed and approved by the Board of Adjustment via a Special Use Permit.

The parking garage will create 450 additional parking spaces for MAHEC services and programs. Based on the zoning ordinance, the total required parking for the campus is 425 spaces. After construction of the parking garage, the total site parking will total 1056 parking spaces. Although this total is over the zoning ordinance requirement, MAHEC believes the additional spaces are necessary for current and future programs.

The proposed parking garage will be located on the portion of the property sharing a border with Biltmore Farms and the structure will encroach upon Biltmore Farms property. MAHEC has received a letter from Biltmore Farms allowing permission to utilize a certain portion of their property for the parking garage. A MSD sewer line and a stream are present near the proposed construction area, but MAHEC has assured the Town the new structure will comply with required setbacks from these areas.

Zoning Compliance Application

Town of Biltmore Forest

Name

Ron Fagan

Property Address

121 Hendersonville Road, Asheville NC 28803

Phone

(828) 257-4413

Email

ron.fagan@mahec.net

Parcel ID/PIN Number

9467-67-3996

ZONING INFORMATION

Current Zoning

R-5

Lot Size

50000 sf

Maximum Roof Coverage

9,647 square feet (Up to 6 acres)

Proposed Roof Coverage Total

37500 sf

Maximum Impervious Surface Coverage

3-6 acres (20 percent of lot area)

Proposed Impervious Surface Coverage

37500

Front Yard Setback

50 feet (R-2, R-3, R-4, and R-5 Districts)

Side Yard Setback

15 feet (R-2, R-3, R-4, and R-5 Districts)

Rear Yard Setback

20 feet (R-2, R-3, R-4, and R-5 Districts)

Building Height

50'

Description of the Proposed Project

4.5 level parking deck, 450 parking spaces

Estimated Start Date

4/1/2020

Estimated Completion Date

1/1/2021

Estimated Cost of Project

\$10,000,000.00

Supporting Documentation (Site Plan, Drawings, Other Information)

20191028_MAHEC TOBF SUBMITTAL.pdf

Conditional Use Permit Application

Town of Biltmore Forest

Name

Ron Fagan

Address

MAHEC, 121 Hendersonville Road, Asheville, NC 28803

Phone

(828) 257-4413

Email

ron.fagan@mahec.net

Please select the type of conditional use you are applying for:

Commercial Services, Professional Office Uses, Consumer Services and Retail Businesses

The applicant must show that the proposed use will not materially endanger public health or safety or injure value of adjoining or abutting property. In addition, the proposed use must be in general conformity with the plan of development of the town and be in harmony with scale, bulk, height, coverage, density, and character of the neighborhood.

Please provide a description of the proposed project:

4.5 Level parking desk, with 450 parking spaces to allow parking for programs and services at MAHEC.

Explain why the project would not adversely affect the public interest of those living in the neighborhood:

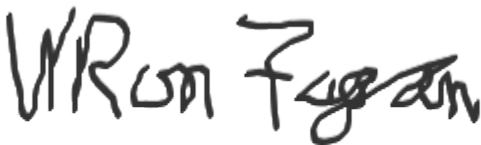
This project will not adversely affect the town and surrounding areas. as there will be no impact on traffic in Biltmore Forest, and after completion the building will blend into the existing campus. It will allow safer traffic flow on campus and provide for the future of health and educational services offered by MAHEC/UNC.

I hereby certify that all of the information set forth above is true and accurate to the best of my knowledge.

Signature

Date

10/28/2019

A handwritten signature in black ink that reads "Ron Fagan". The signature is written in a cursive, slightly stylized font.



BILTMORE FARMSSM
Established 1897

November 25, 2019

Mr. Ron Fagan
MAHEC
121 Hendersonville Rd.
Asheville, NC 28803

Dear Mr. Fagan,

Please allow this letter to document our permission for you to submit plans for a parking deck that would be partially on our property.

Sincerely,

Lee Thomason
Biltmore Farms, LLC





WGLA Engineering, PLLC
 724 5th Avenue West
 Hendersonville, NC 28739
 (828) 687-7177 wglA.com

NC# P-1342

**MAHEC Parking Deck
 Existing Stormwater Basin Check
 11/25/19**

The Existing Stormwater Basin was originally sized for 8 acres impervious per the original MAHEC campus calculations dated 10/31/2007.

Existing Impervious

Buildings 1, 2 and 3 6.27 acres (per survey)

Building 4 Impervious

New Impervious area: 21,812 sf
 Impervious area removed: -11,042 sf
 Net Building 4 Impervious: 10,770 sf
 = 0.25 acres

Proposed Parking Deck Impervious

Proposed Impervious area: 38,310 sf
 Impervious area to be removed: - 460 sf
 Net Proposed Impervious: **37,850 sf**
 = 0.87 acres

Total Existing Impervious Area to Existing BMP

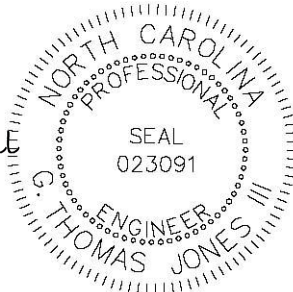
	Existing Impervious	6.27 acres
+	Building 4 Impervious	0.25 acres
+	<u>Proposed Impervious (Deck)</u>	<u>0.87 acres</u>
		7.39 acres < 8 acres (ok)

DocuSigned by:

G. Thomas Jones III

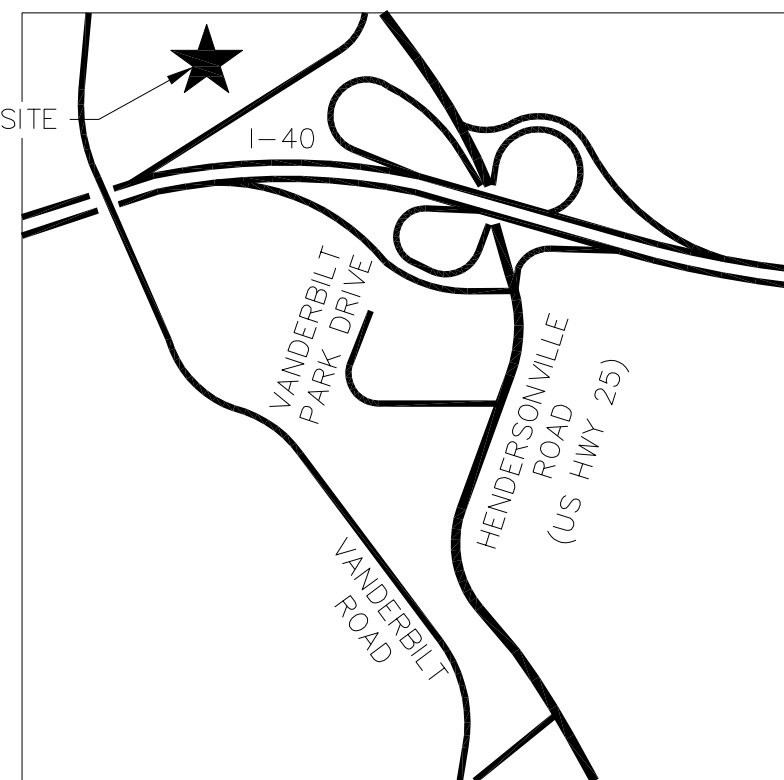
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11/25/2019



MAHEC PARKING DECK
TOWN OF BILTMORE FOREST SUBMITTAL
OCTOBER 28, 2019





VICINITY MAP
SCALE 1"=1,000'

DEVELOPMENT INFORMATION

OWNER/DEVELOPER: MOUNTAIN AREA HEALTH EDUCATION CENTER (MAHEC)
121 HENDERSONVILLE ROAD
ASHEVILLE, NC 28803
828-257-4406

CONTACT PERSON: RON FAGAN
121 HENDERSONVILLE ROAD
ASHEVILLE, NC 28803
828-257-4406

NAME OF PROJECT: MAHEC PARKING DECK
PROJECT ADDRESS: HENDERSONVILLE ROAD

ENGINEER: G. THOMAS JONES III, P.E.
WGLA ENGINEERING, PLLC
214 N. KING STREET
HENDERSONVILLE, NC, 28792
828-687-7177

ARCHITECT: JOHN KINCHELOE
LS3P ASSOCIATES LTD.
227 WEST TRADE STREET
SUITE 700
CHARLOTTE, NC 28202
707-333-6686

PIN #: 9647-67-3996
DEED REF: D.B. 4581 PG. 1466
ZONING: R-5 (BILTMORE FOREST)

BUILDING SQUARE FOOTAGE

BUILDING 1:	40,000 EXISTING SF
BUILDING 2:	50,000 EXISTING SF
BUILDING 3:	40,000 EXISTING SF
BUILDING 4:	37,500 EXISTING SF
TOTAL	167,500 TOTAL SF

PARKING

NEW PARKING DECK	(9) SPACES
LOSS OF	
LEVEL 0	74
FIRST LEVEL	110
SECOND LEVEL	110
THIRD LEVEL	110
FOURTH LEVEL	110
TOTAL	504 NEW SPACES

EXISTING PARKING — 532 SPACES
PROPOSED PARKING
BUILDING 4 — 16
PARKING DECK 504

1052 TOTAL SITE PARKING

*REQUIRED PARKING IS 1 SPACE PER 300 SF OF OFFICE + 1 SPACE PER 400 SF OF ASSEMBLY (TOWN OF BILTMORE FOREST)
ESTIMATED REQUIRED PARKING — 425 SPACES

MAHEC

PARKING DECK

WGLA Engineering

724 5th Avenue West
HENDERSONVILLE, NC 28739
(828) 687-7177 WGLA.COM
NC LICENSE P-1342

LS3P

227 WEST TRADE STREET SUITE 700
CHARLOTTE, NORTH CAROLINA 28202
TEL. 704.333.6686 FAX 704.333.2926
WWW.LS3P.COM

Preliminary Not For Construction

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REVISIONS:

No.	Description	Date
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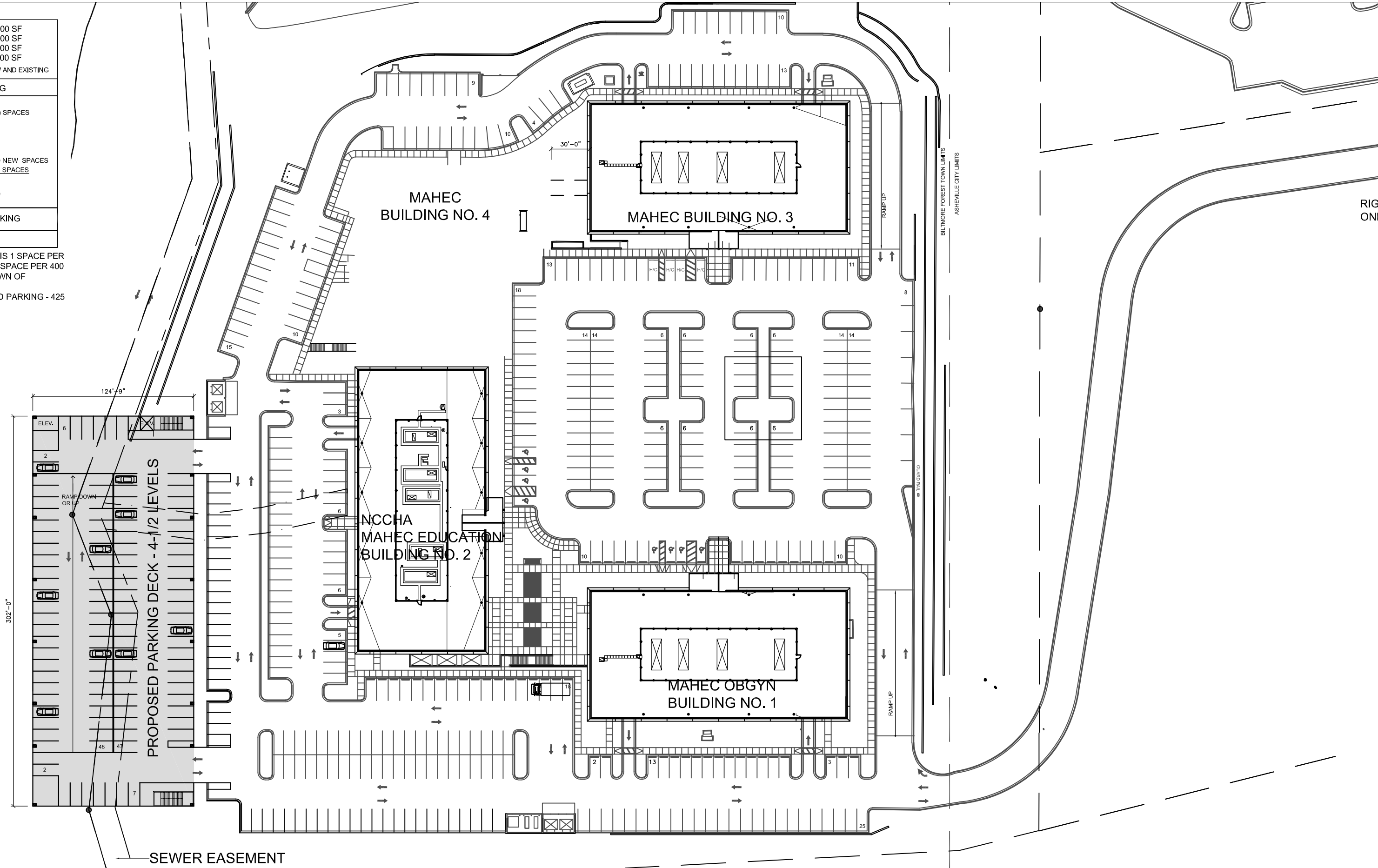
PROJECT: 9202-166670
SCO ID: 16-15954-01B
DATE: 10-25-19
DRAWN BY: GTC
CHECKED BY: GTJ

PRELIMINARY SITE PLAN

C-100

BUILDING 1 - 40,000 SF	
BUILDING 2 - 50,000 SF	
BUILDING 3 - 40,000 SF	
BUILDING 4 - 37,500 SF	
167,500 TOTAL SQ. FT. NEW AND EXISTING	
NEW PARKING	
NEW PARKING DECK	
LOSS OF	(10) SPACES
LEVEL 0 -	50
FIRST LEVEL -	100
SECOND LEVEL -	100
THIRD LEVEL -	100
FOURTH LEVEL -	100
TOTAL -	450 NEW SPACES
EXISTING PARKING -	531 SPACES
PROPOSED PARKING	
BUILDING 4	16
PARKING DECK	450
997 TOTAL SITE PARKING	

*REQUIRED PARKING IS 1 SPACE PER 300 SF OF OFFICE + 1 SPACE PER 400 SF OF ASSEMBLY (TOWN OF BILTMORE FOREST)
ESTIMATED REQUIRED PARKING - 425 SPACES



PROPOSED ARCHITECTURAL SITE PLAN

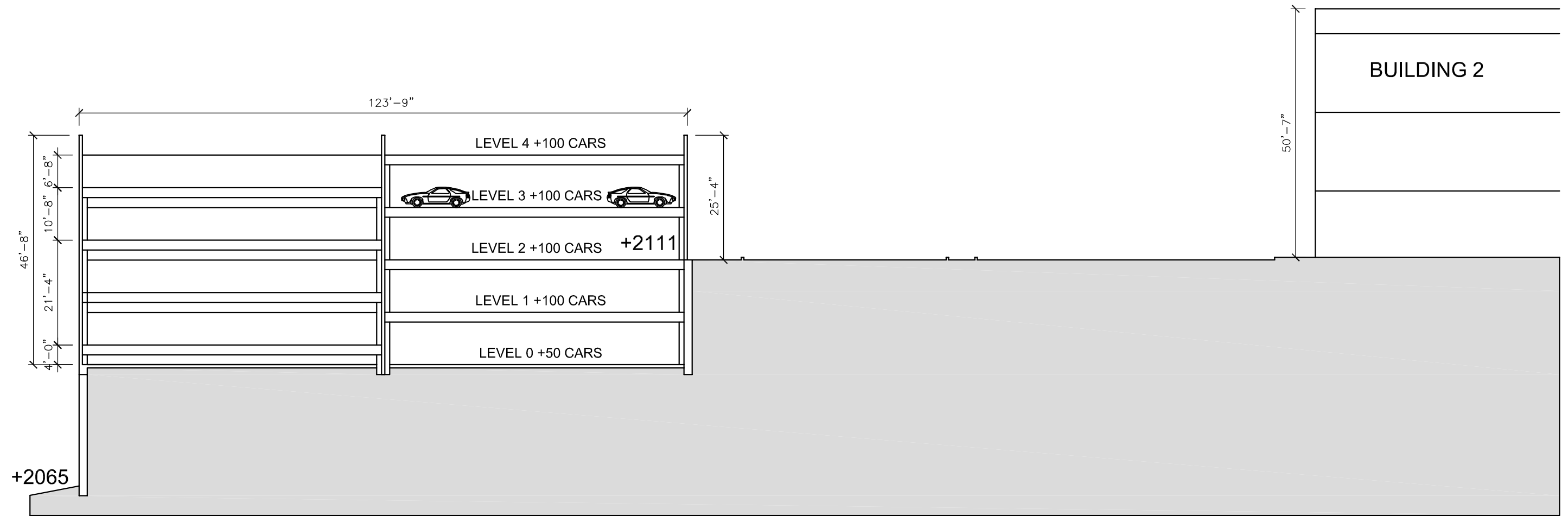
NOT TO SCALE

October 28, 2019

MAHEC PARKING DECK

119 HENDERSONVILLE RD.





PARKING DECK SECTION
 4-1/2 STORY PARKING DECK WITH RAMP LEVELS GOING UP AND DOWN
 TOTAL PARKING - APPROXIMATELY 450 SPACES

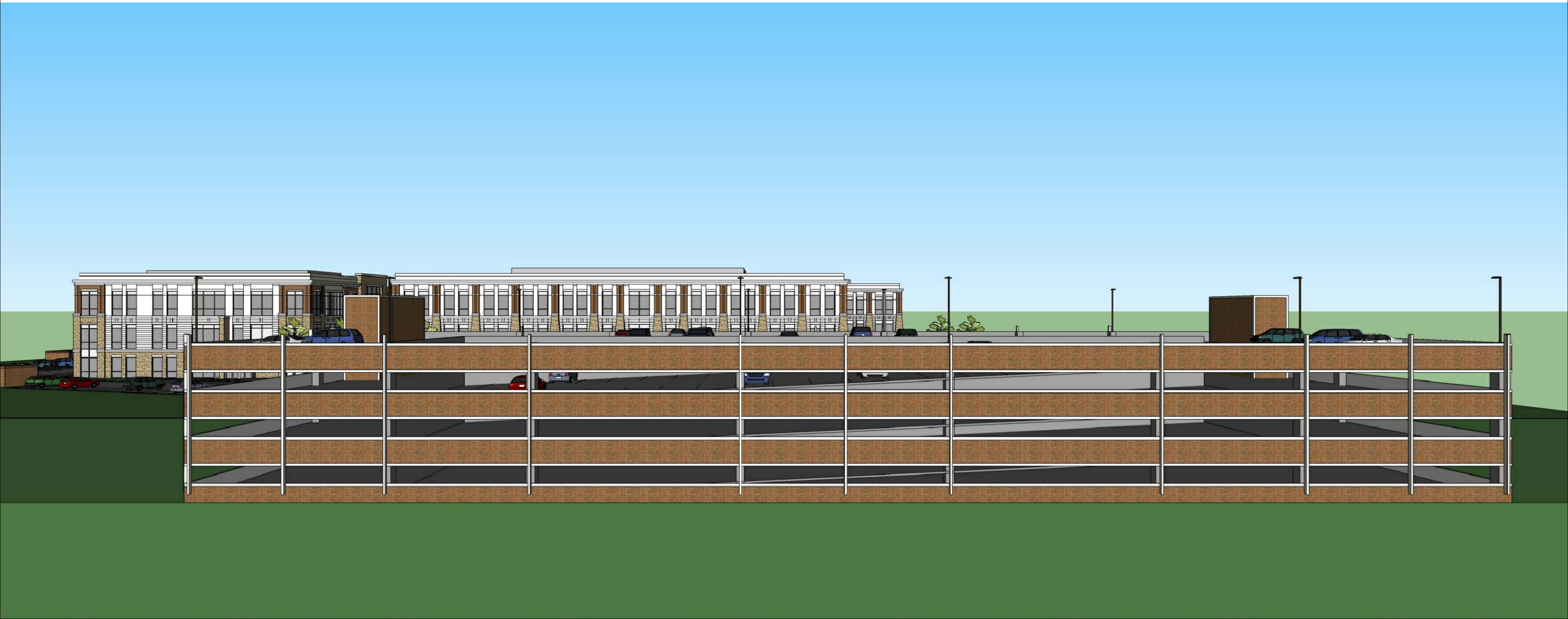


IMAGE 2 - ELEVATION
NOT TO SCALE
October 28, 2019

MAHEC PARKING DECK
119 HENDERSONVILLE RD.



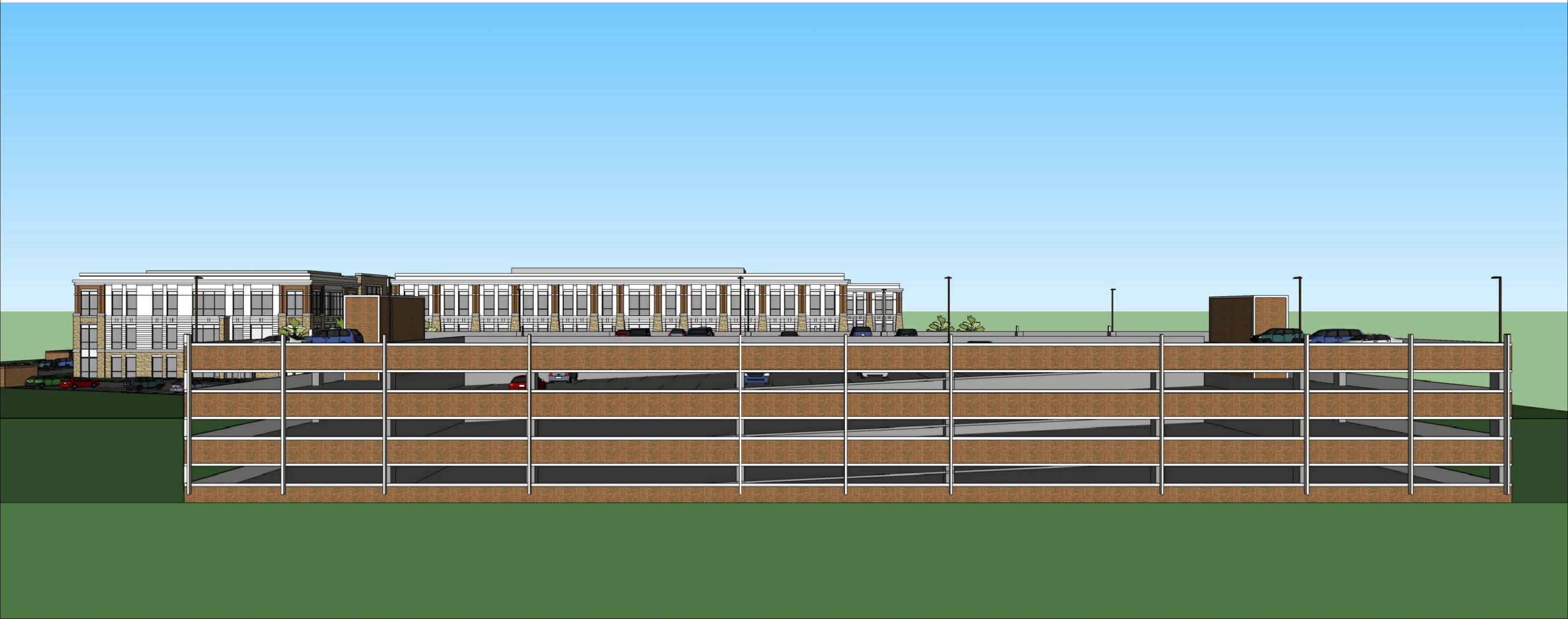


IMAGE 2 - ELEVATION
NOT TO SCALE
October 28, 2019

MAHEC PARKING DECK
119 HENDERSONVILLE RD.



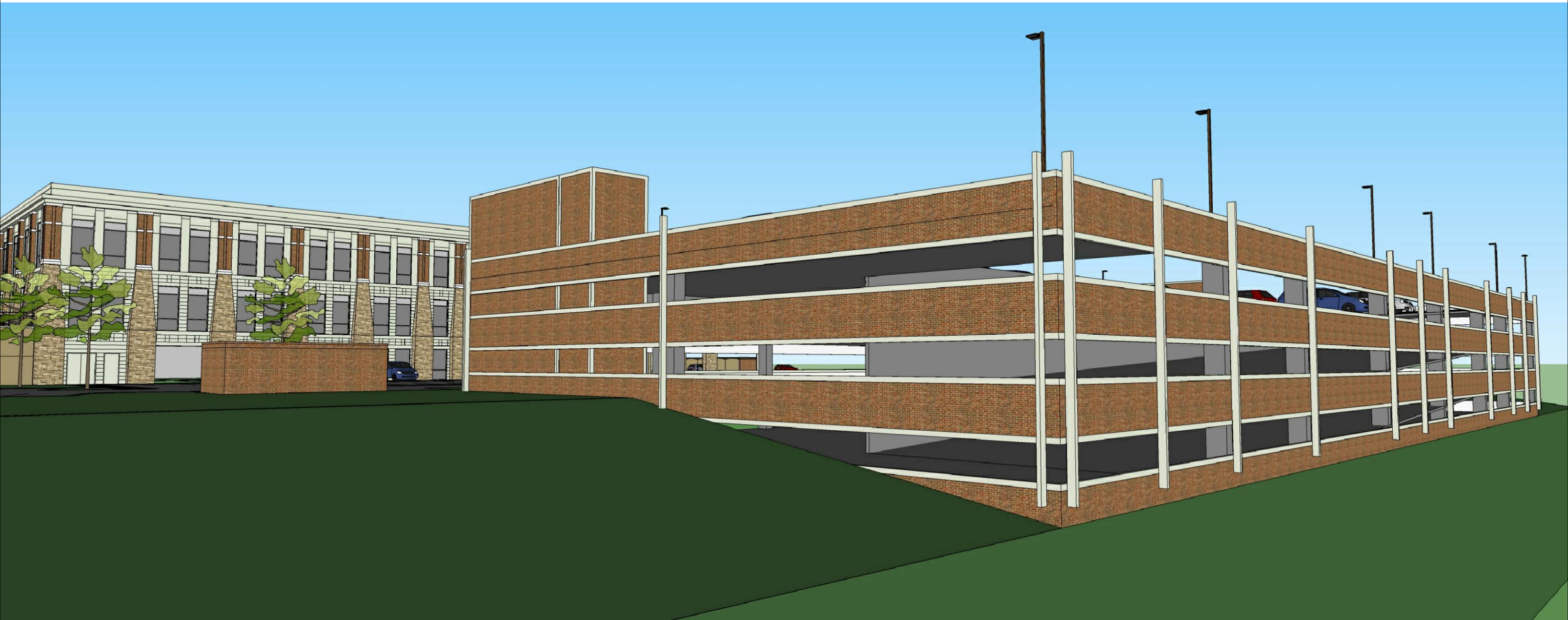


IMAGE 3 - PERSPECTIVE
NOT TO SCALE
October 28, 2019

MAHEC PARKING DECK
119 HENDERSONVILLE RD.





IMAGE 2 - ELEVATION

NOT TO SCALE
October 28, 2019

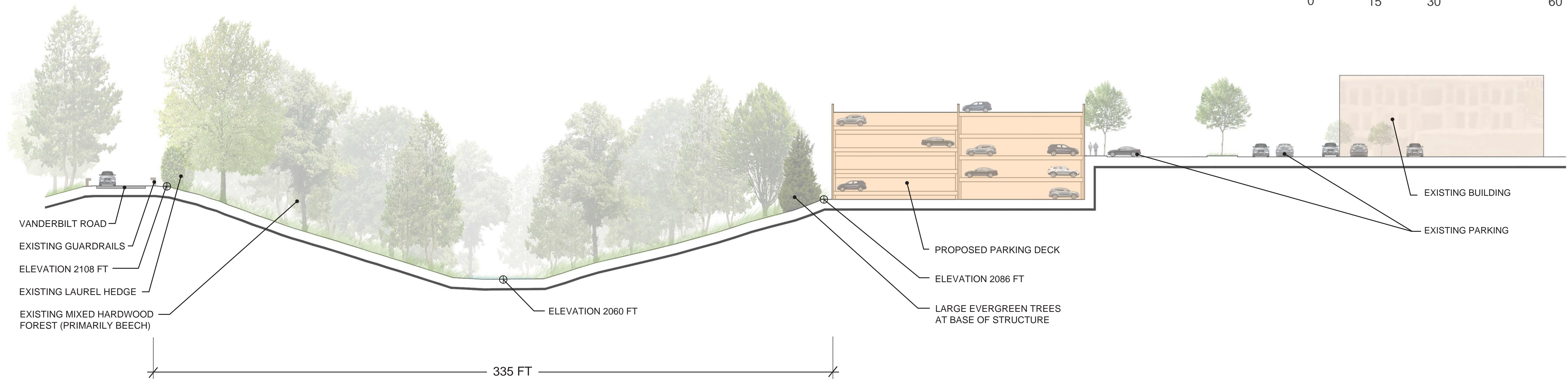
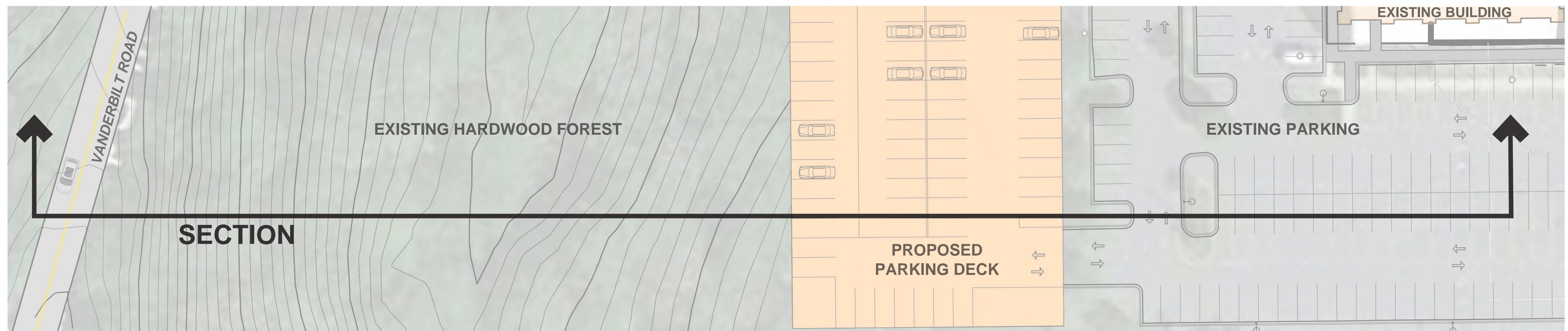
MAHEC PARKING DECK
119 HENDERSONVILLE RD.





IMAGE 5 - OVERALL SITE PLAN
NOT TO SCALE
October 28, 2019

MAHEC PARKING DECK
119 HENDERSONVILLE RD.



MAHEC PARKING DECK STUDY 119 HENDERSONVILLE ROAD

NOVEMBER 7, 2019

