

Zoning Compliance Application

Town of Biltmore Forest

Name

Gene McLaughlin

Property Address

12 Lone Pine Road

Phone

(205) 602-2009

Email

geneandmartha@hotmail.com

Parcel ID/PIN Number

ZONING INFORMATION

Current Zoning

R-1

Lot Size

n/a

Maximum Roof Coverage

5,060 square feet (Up to 1.2 acres)

Proposed Roof Coverage Total

n/a

Maximum Impervious Surface Coverage

Up to 1 acre (27.5 percent of lot area)

Proposed Impervious Surface Coverage

n/a

Front Yard Setback

60 feet (R-1 District)

Side Yard Setback

20 feet (R-1 District)

Rear Yard Setback

25 feet (R-1 District)

Building Height

n/a

Description of the Proposed Project

We will be closing on 12 Lone Pine on February 1st. We will be replacing one of the picture windows on the front of our home with a double-hung window which will match the other double hung windows on the front of our house in both size and style. Attached is a picture of the front of our home. The picture window to the left of the front door will be replaced to match the window to the far left of picture and the brick matched and keyed in to window surround.

Estimated Start Date

2/15/2021

Estimated Completion Date

3/1/2021

Estimated Cost of Project

\$2,000.00

Supporting Documentation (Site Plan, Drawings, Other Information)

Lone Pine Front.jpg

Applicant Signature

Date
1/12/2021

A handwritten signature in black ink, consisting of a stylized 'G' followed by a series of connected loops and a long horizontal stroke extending to the right, ending in a small hook. The signature is written above a thin horizontal line.



Zoning Compliance Application

Town of Biltmore Forest

Name

Malcolm Collins

Property Address

330 Vanderbilt Rd

Phone

(828) 337-2911

Email

Malcolm@softcommand.com

Parcel ID/PIN Number

964782257700000

ZONING INFORMATION

Current Zoning

R-1

Lot Size

1.62 ac

Maximum Roof Coverage

6,100 square feet (Up to 2 acres)

Proposed Roof Coverage Total

6000

Maximum Impervious Surface Coverage

1-3 acres (25 percent of lot area)

Proposed Impervious Surface Coverage

20%

Front Yard Setback

60 feet (R-1 District)

Side Yard Setback

20 feet (R-1 District)

Rear Yard Setback

25 feet (R-1 District)

Building Height

35'

Description of the Proposed Project

Install stone patio 16x20 at SE corner of main house with 18" x 16' retaining wall adjacent to existing back porch, no change to existing structures

Estimated Start Date

1/27/2021

Estimated Completion Date

3/4/2021

Estimated Cost of Project

\$9,000.00

Supporting Documentation (Site Plan, Drawings, Other Information)

Applicant Signature

A handwritten signature in black ink, appearing to read "Mark G. Galt". The signature is written in a cursive style with a large initial "M" and a distinct "G" for the last name. Below the signature is a thin horizontal line.

Date

1/19/2021

Zoning Compliance Application

Town of Biltmore Forest

Name

Nancy & Charlie Snider

Property Address

17 Brookside Rd Biltmore Forest 28803

Phone

(828) 215-7246

Email

sniderc64@gmail.com

Parcel ID/PIN Number

ZONING INFORMATION

Current Zoning

R-1

Lot Size

1.66

Maximum Roof Coverage

4,682 square feet (Up to 1 acres)

Proposed Roof Coverage Total

3691

Maximum Impervious Surface Coverage

1-3 acres (25 percent of lot area)

Proposed Impervious Surface Coverage

625

Front Yard Setback

60 feet (R-1 District)

Side Yard Setback

20 feet (R-1 District)

Rear Yard Setback

25 feet (R-1 District)

Building Height

20 ft

Description of the Proposed Project

Screen in Porch to match back yard roof line approximate size 25 ft by 25 ft

Estimated Start Date

3/1/2021

Estimated Completion Date

5/31/2021

Estimated Cost of Project

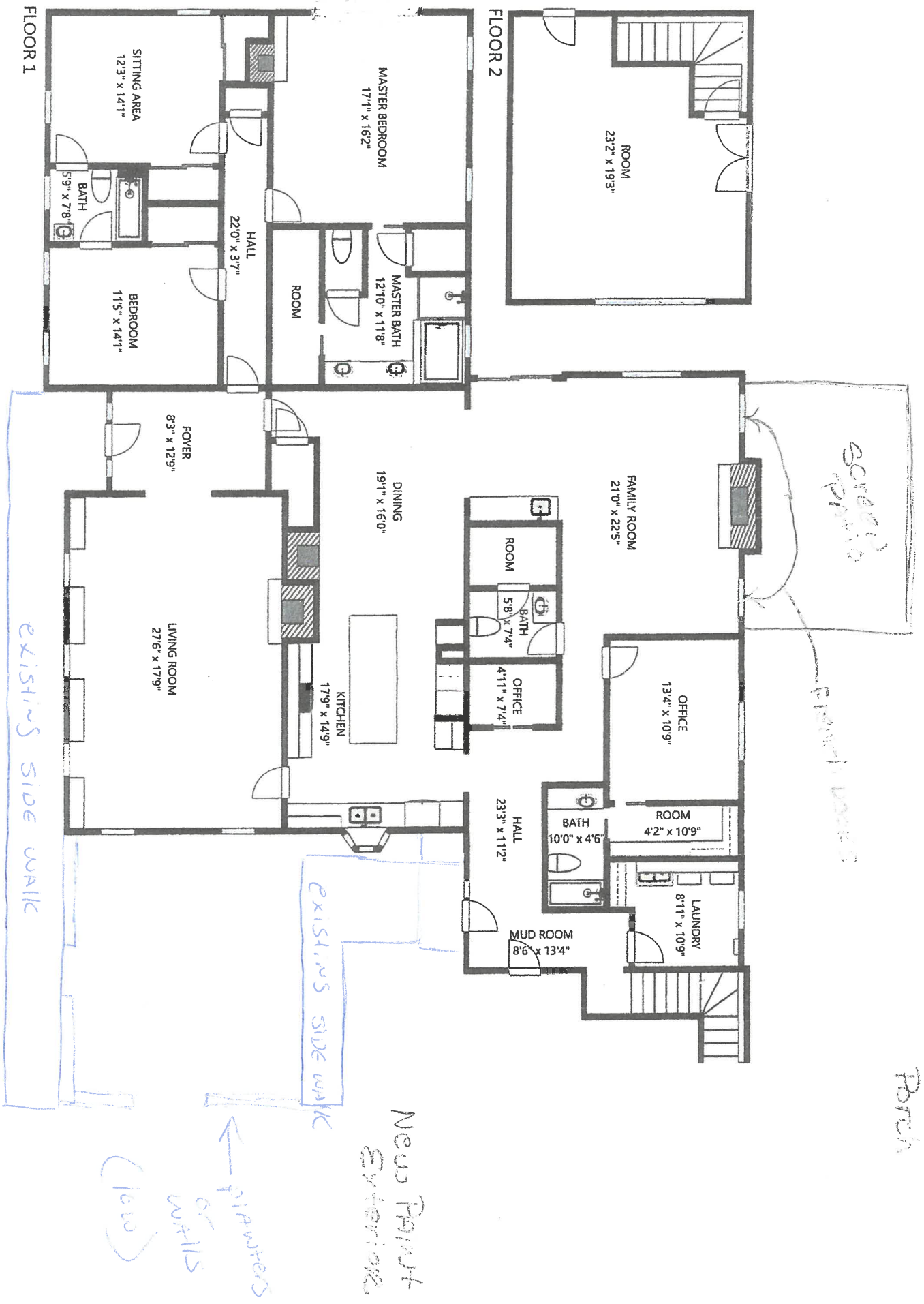
\$25,000.00

Supporting Documentation (Site Plan, Drawings, Other Information)**Applicant Signature****Date**

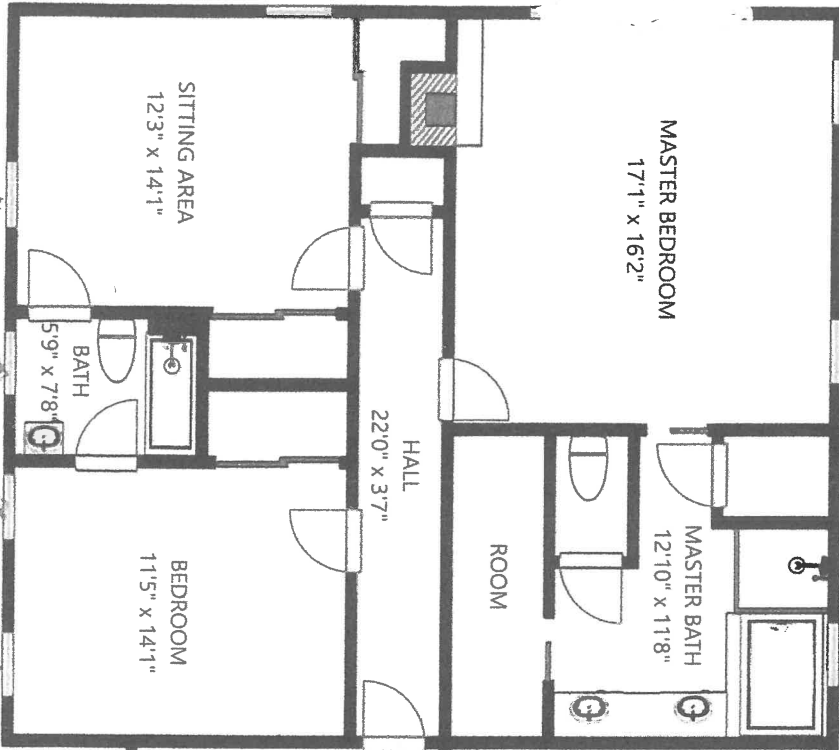
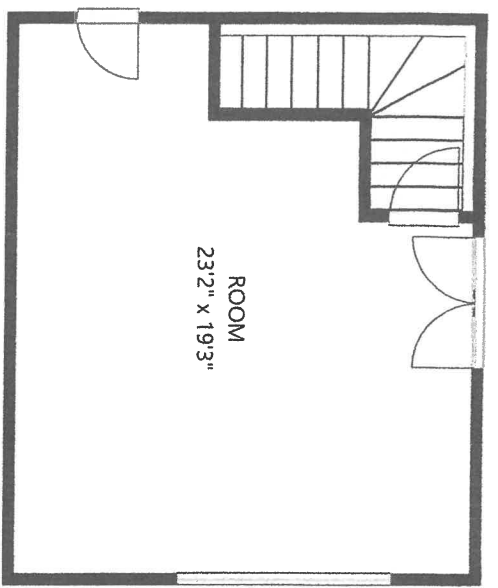
12/30/2020



Before other than
Porch



17 Brookside





ADD A screen it Porch



ADD FRENCH DOOR + 2 SIDE LIGHTS
IMPROVE GARDEN
ADD PATIO OFF OF FRENCH DOOR
NO SHUTTEES
REMOVE BUMP OUT / ADD A WINDOW



Change out Front Window
no shutters
change Front Door

Zoning Compliance Application

Town of Biltmore Forest

Name

Lori Lassiter

Property Address

314 Vanderbilt Road

Phone

(828) 273-2081

Email

lorilassiter@gmail.com

Parcel ID/PIN Number

964773794100000

ZONING INFORMATION

Current Zoning

R-1

Lot Size

1.19 Acres

Maximum Roof Coverage

5,060 square feet (Up to 1.2 acres)

Proposed Roof Coverage Total

2,868 square feet

Maximum Impervious Surface Coverage

1-3 acres (25 percent of lot area)

Proposed Impervious Surface Coverage

4,018 square feet

Front Yard Setback

60 feet (R-1 District)

Side Yard Setback

20 feet (R-1 District)

Rear Yard Setback

25 feet (R-1 District)

Building Height

23'

Description of the Proposed Project

Proposed project is 12'8" x 16'8" Addition for an expanded Master Closet that is attached to the existing home at 314 Vanderbilt Road.

Addition:

Will be attached to the existing home.

Exterior finishes will be consistent with existing home.

Replacement of current asphalt shingles & gutter systems

See attached documentation for additional details.

Please note the addition is located 71' from the side property line (Cedar cliff Rd.) & 97' from the Front property line (Vanderbilt Rd)

Estimated Start Date

3/1/2021

Estimated Completion Date

6/30/2021

Estimated Cost of Project

\$50,000.00

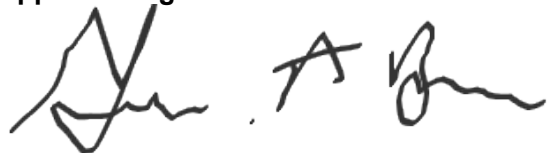
Supporting Documentation (Site Plan, Drawings, Other Information)

Lassiter Plans 1-25-20.pdf

Lassiter site plan.pdf

Site Pics for proposed addition.docx

Applicant Signature

A handwritten signature in black ink, appearing to be a stylized 'A' followed by a cursive 'B'.

Date

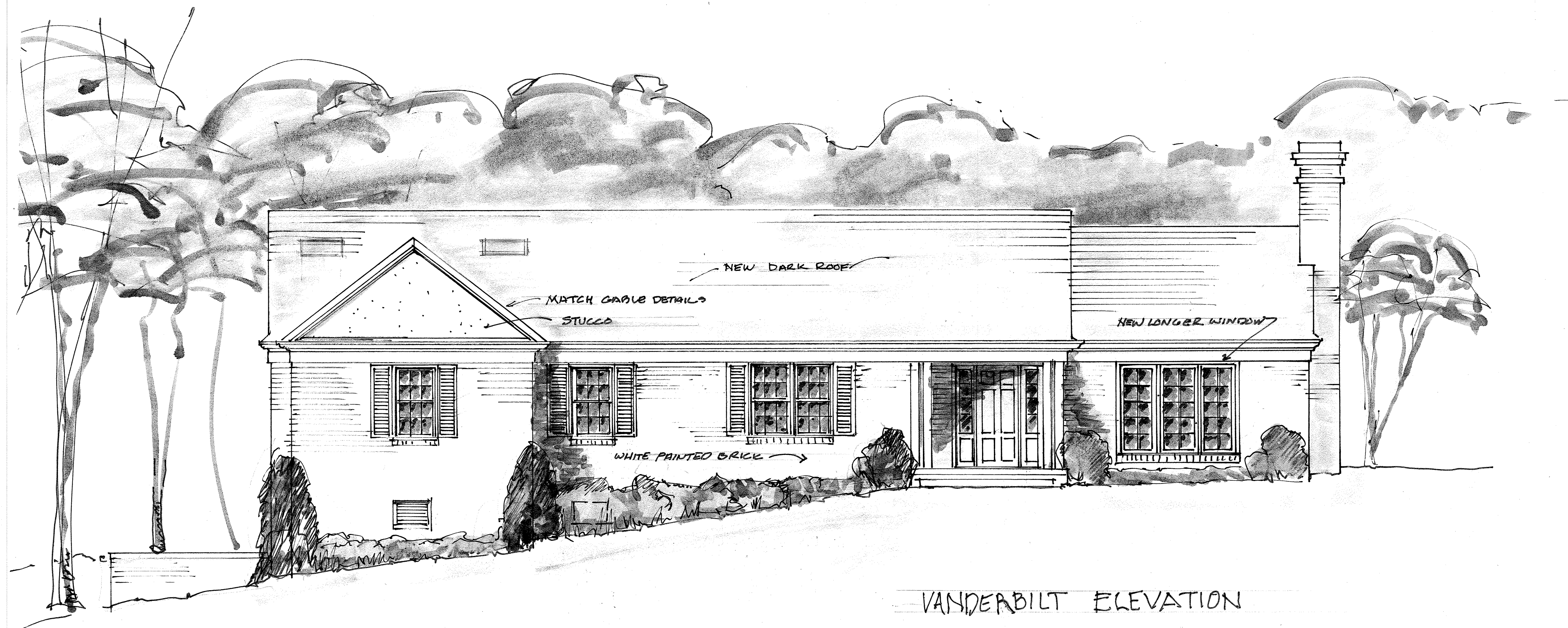
1/26/2021

MAIN FLOOR PLAN



Main Floor plan	Revisions:
07 December 2020	
SG	
2007?	
	A-1.0

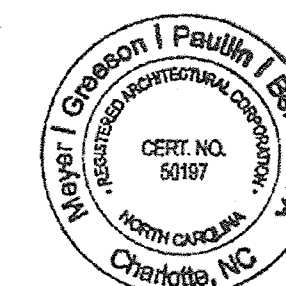
Lori Lassiter
314 Vanderbilt Road
Biltmore Forest, North Carolina



VANDERBILT ELEVATION



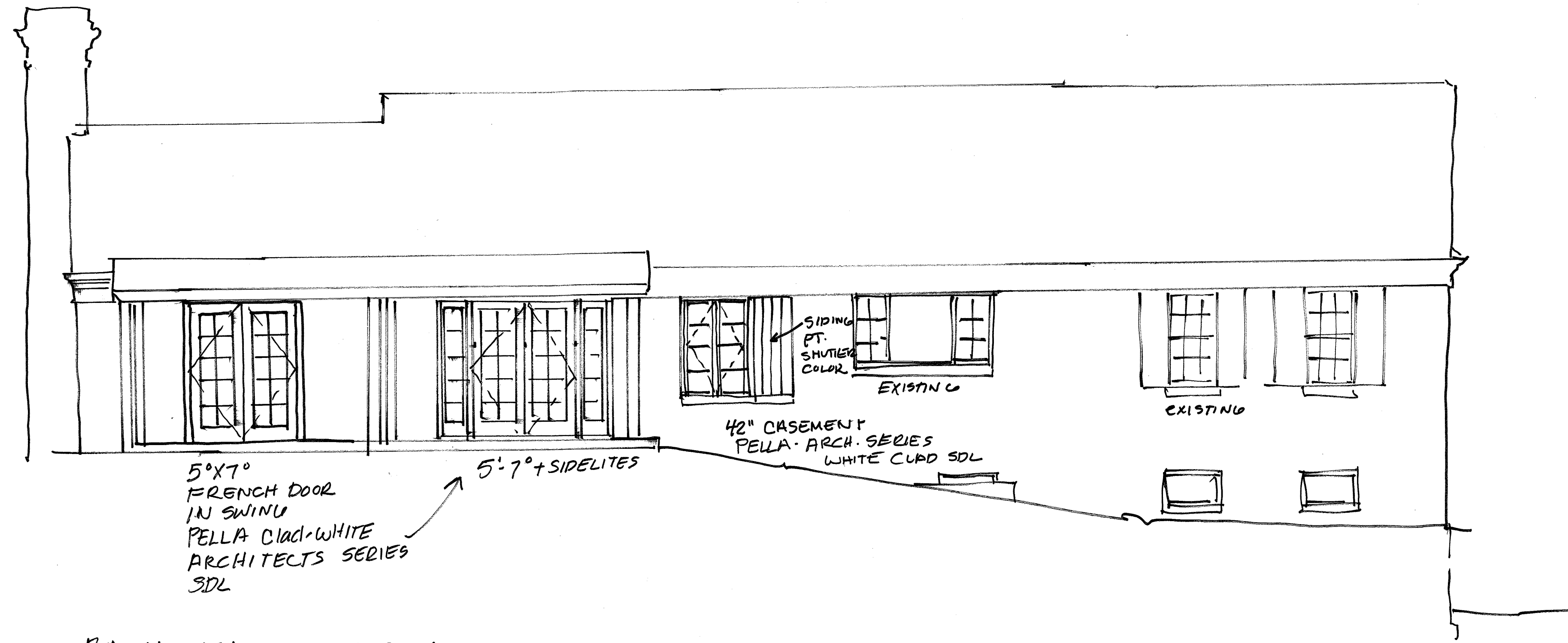
CEDARCLIFF ROAD
LEFT SIDE ELEVATION



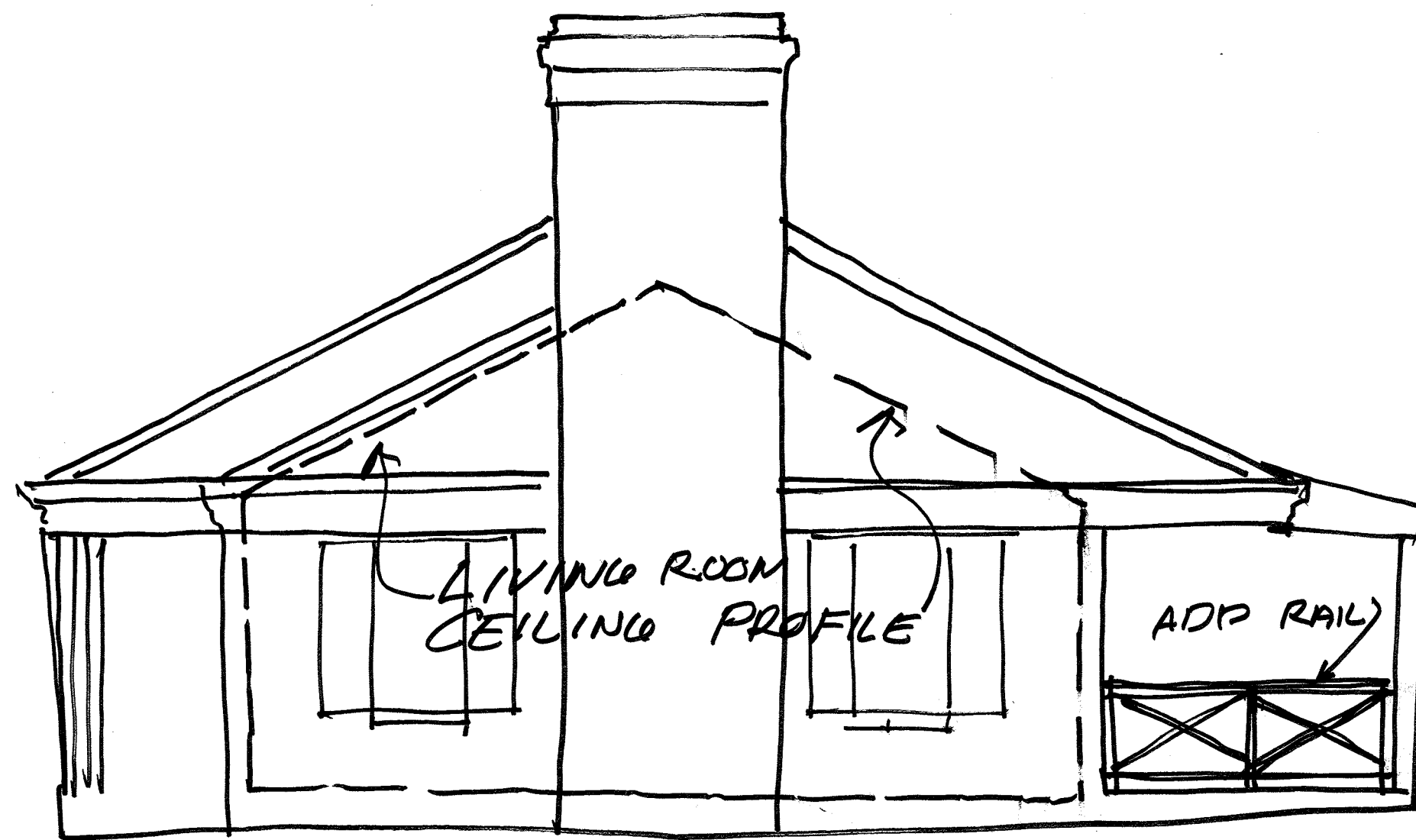
NOT FOR CONSTRUCTION

Elevation & Sections	Revisions:
07 December 2020	
SG	
2007??	
	A-2.0

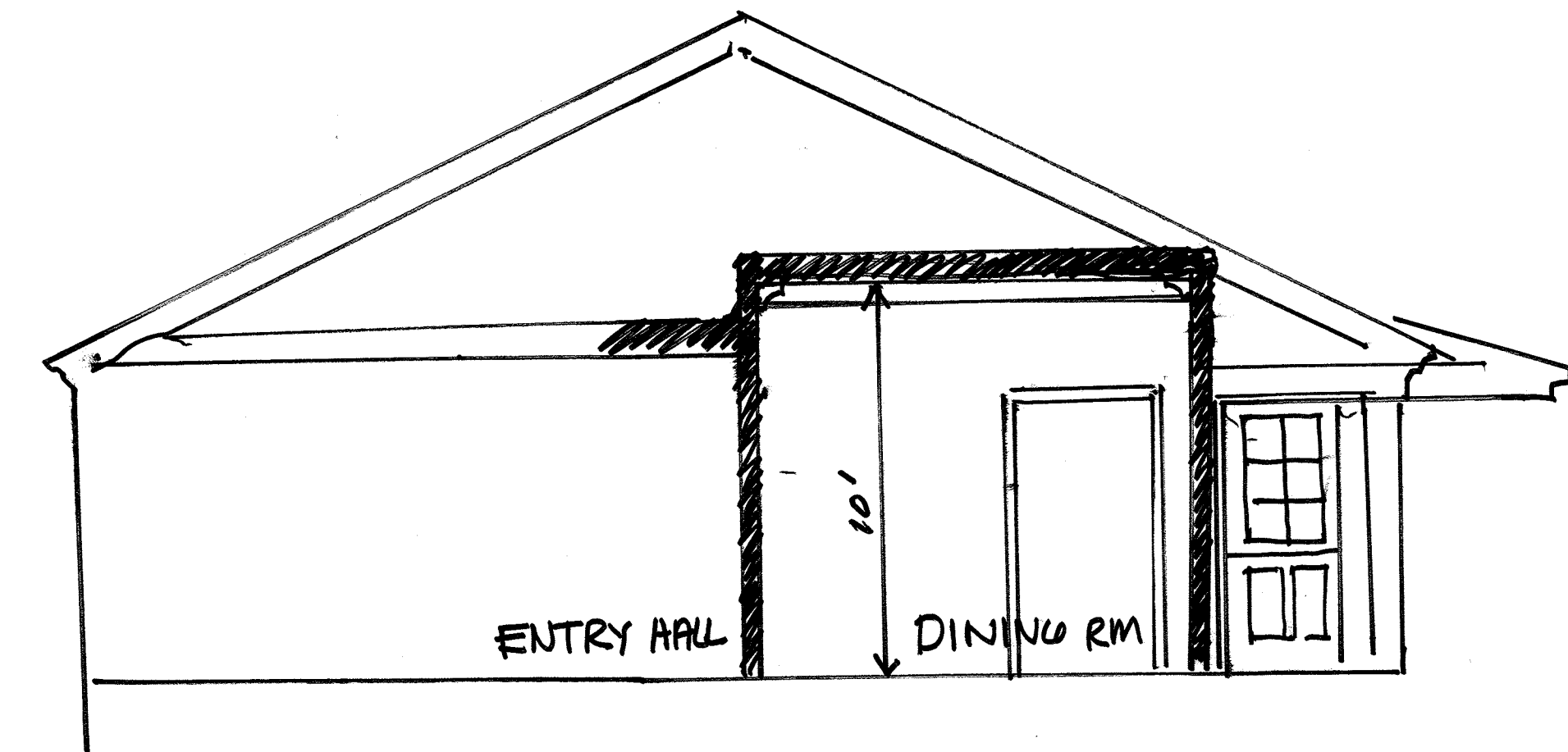
Lori Lassiter
314 Vanderbilt Road
Biltmore Forest, North Carolina



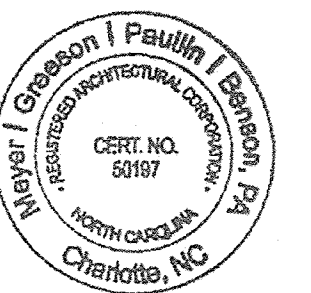
BACK ELEVATION



LIVING ROOM CATHEDRAL CLU



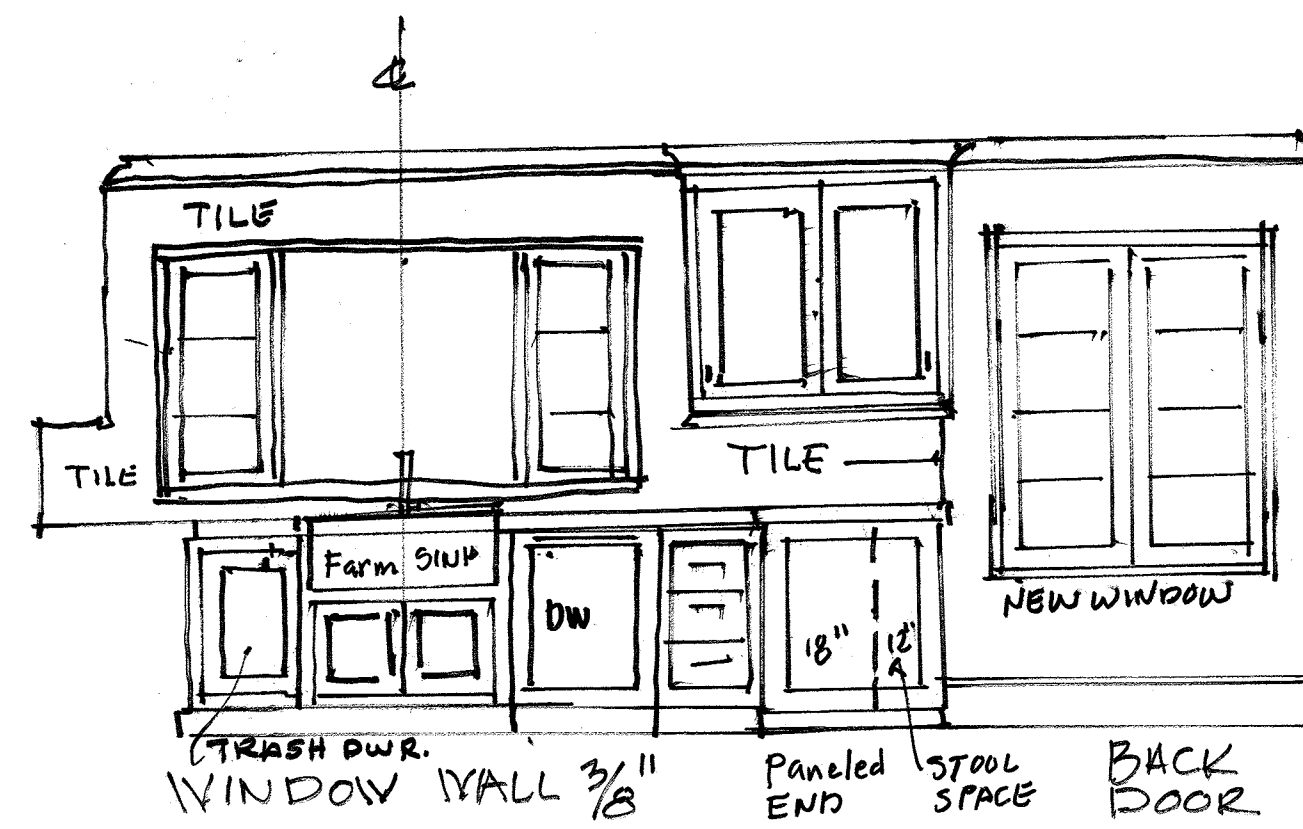
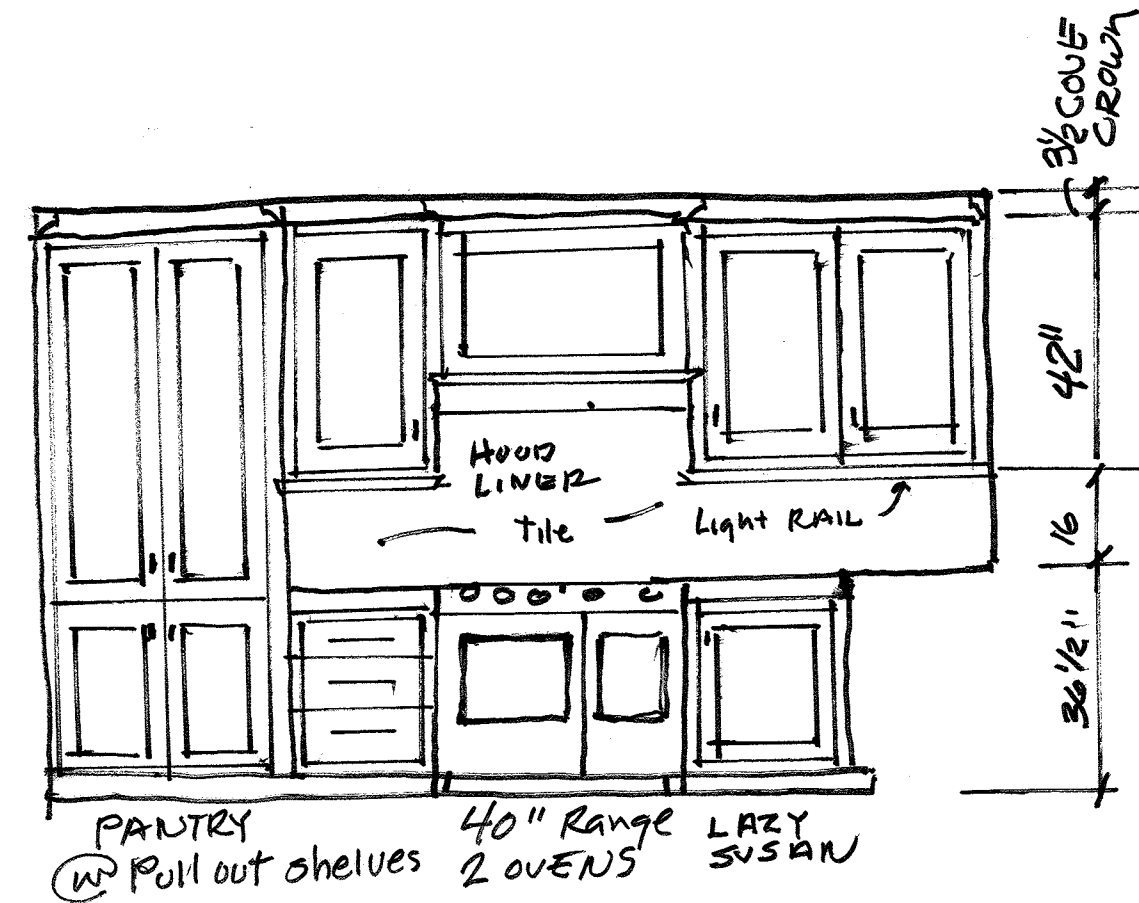
SECTION @ DINING ROOM.



NOT FOR CONSTRUCTION

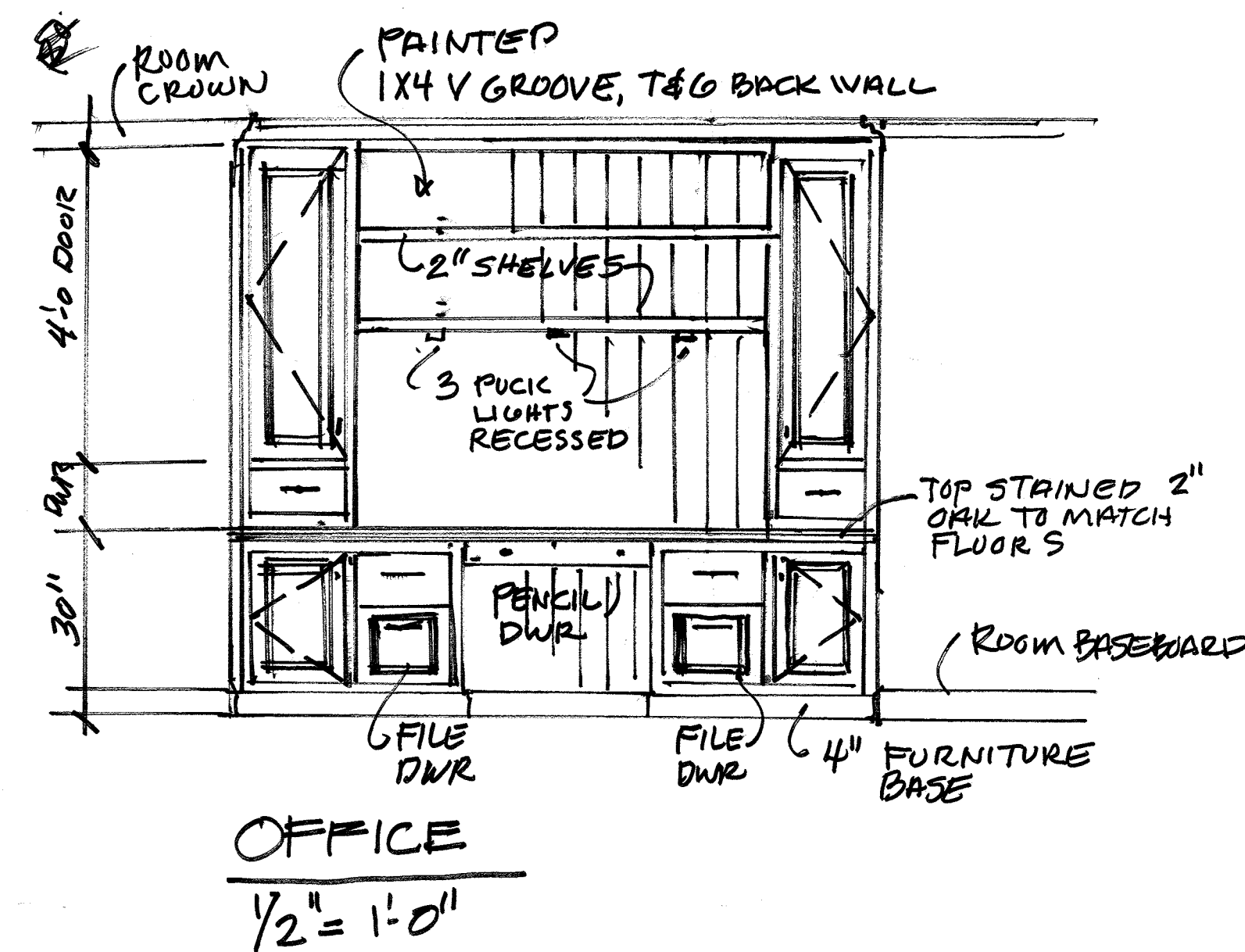
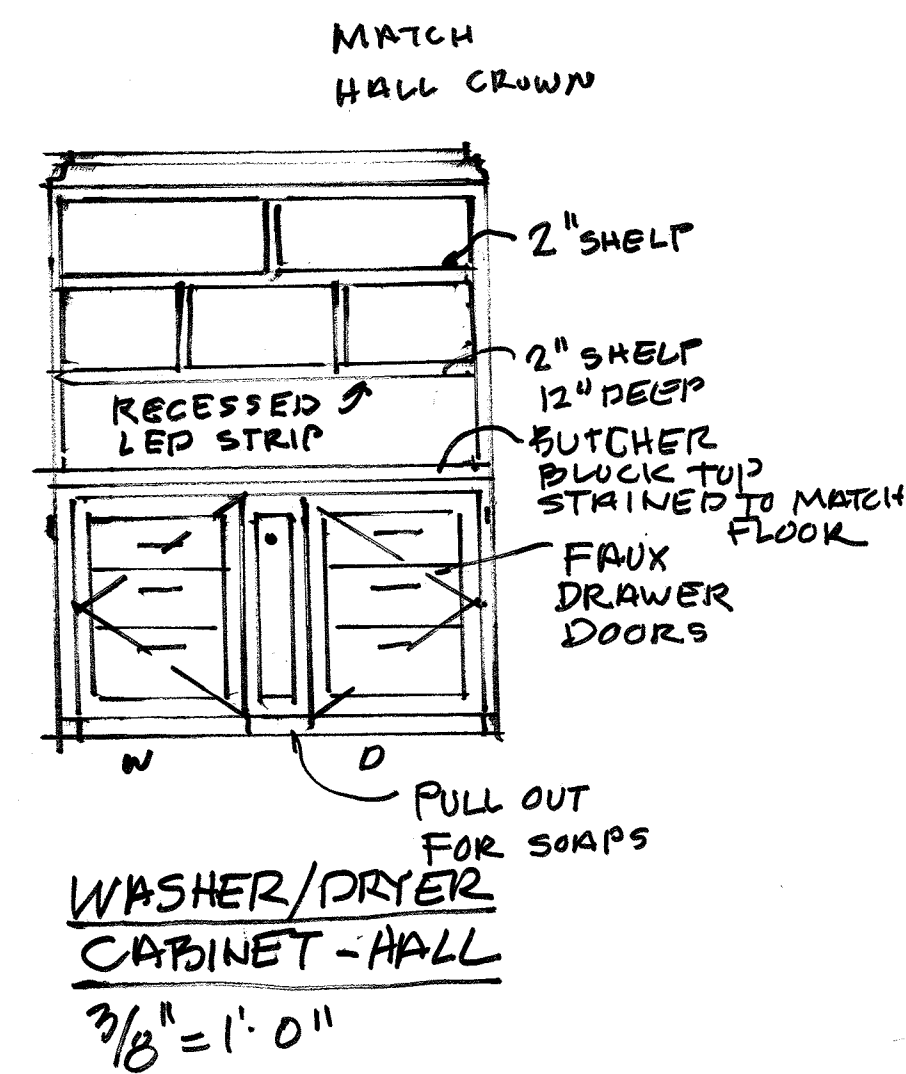
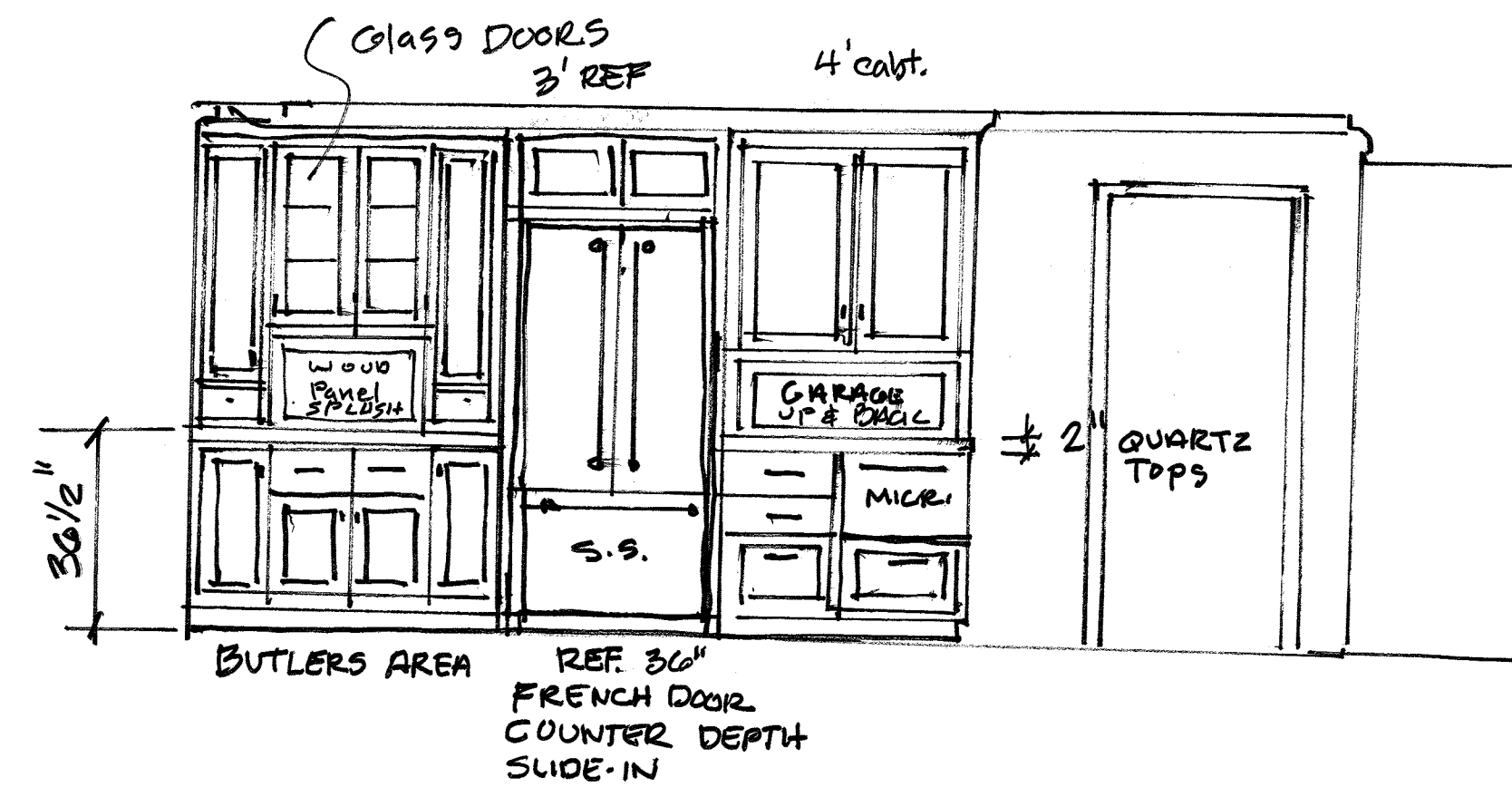
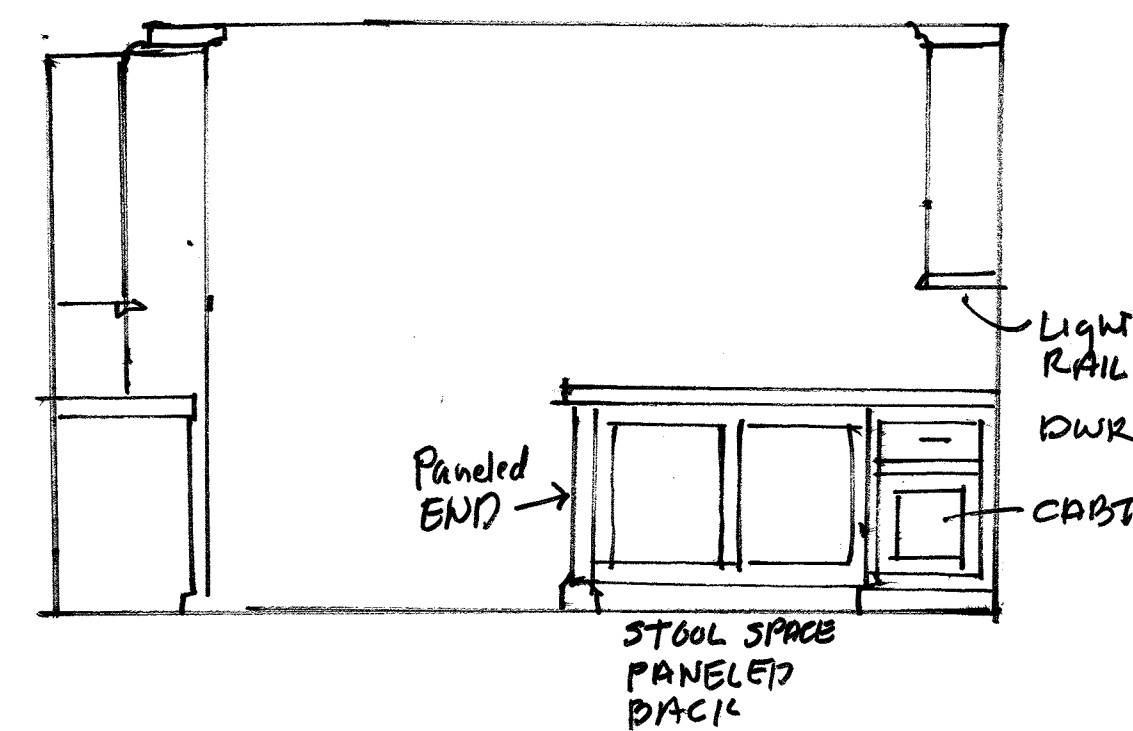
Elevation & Sections	Revisions:
07 December 2020	
SG	
200??	
	A-2.1

Lori Lassiter
314 Vanderbilt Road
Biltmore Forest, North Carolina



KITCHEN
3/8" = 1'-0"

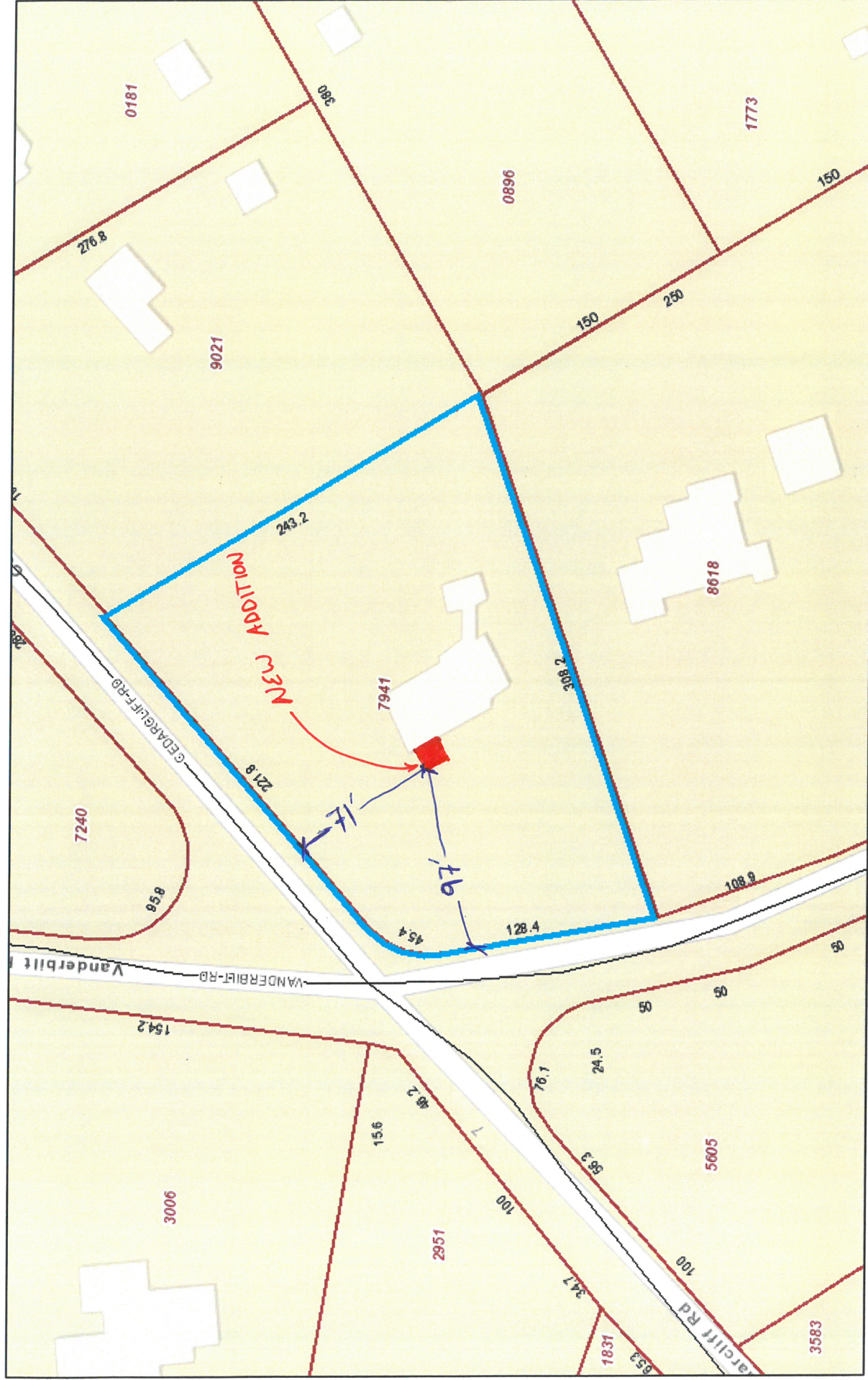
INSET PAINTED
SHACKER STYLE DOORS



NOT FOR CONSTRUCTION

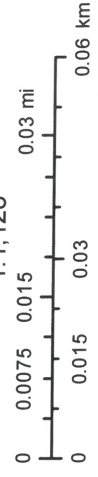
Interior Elevations	Revisions:
07 December 2020	
SG	
2007?	
	A-4.0

Lassiter Lot



January 26, 2021

1:1,128



Sources: Esri, HERE, Garmin, USGS, Intermap, INCREMENT P, NRCan, Esri Japan, METI, Esri China (Hong Kong), Esri Korea, Esri (Thailand),

Site Pics for proposed addition @ 314 Vanderbilt Rd.

- Pictures taken below are in reference to the proposed 16'8" x 12'8" addition to existing house.
- Please note in the pics below: Orange flags represent corners of proposed addition; white spray-painted lines & blue flags indicate footprint of proposed addition.

Right Side Elevation of proposed addition. Looking towards Cedar Cliff Road



Look at Front Elevation of existing; with Vanderbilt Road to my back



Left Side elevation. With Cedar cliff road to my back



Corner of proposed addition looking out towards Vanderbilt Road.



Zoning Compliance Application

Town of Biltmore Forest

Name

Edward Hicks

Property Address

17 Frith Dr

Phone

(828) 301-6848

Email

ebhicks@gmail.com

Parcel ID/PIN Number

9646 91 0747 00000

ZONING INFORMATION

Current Zoning

R-1

Lot Size

1.25999

Maximum Roof Coverage

5,060 square feet (Up to 1.2 acres)

Proposed Roof Coverage Total

4508

Maximum Impervious Surface Coverage

1-3 acres (25 percent of lot area)

Proposed Impervious Surface Coverage

6040sq ft., including driveway on Stuyvesant Rd extension essmt.

Front Yard Setback

60 feet (R-1 District)

Side Yard Setback

20 feet (R-1 District)

Rear Yard Setback

25 feet (R-1 District)

Building Height

40' max, current and projected is 30'

Description of the Proposed Project

Drop about 4' and add 12 feet of additional deck in the rear of the house; replace existing decking with trex to match new deck. Change the steps to the ground to a new location.

Extend existing screen porch out 12 feet parallel to the new deck, re-roof with same shingles make and color as original back to the valleys to best match older shingles.

Estimated Start Date

2/14/2021

Estimated Completion Date

5/7/2021

Estimated Cost of Project

\$65,000.00

Supporting Documentation (Site Plan, Drawings, Other Information)

Hicks Permit DOCS 1-20-2015.pdf

Sketches of proposed project.pdf

Applicant Signature

A handwritten signature in black ink, appearing to read "Ed Hicks". The signature is written in a cursive, flowing style. The first name "Ed" is written with a large, looped 'E' and a small 'd'. The last name "Hicks" is written with a large 'H' and a cursive 'i', followed by 'c', 'k', 's'.

Date

1/26/2021

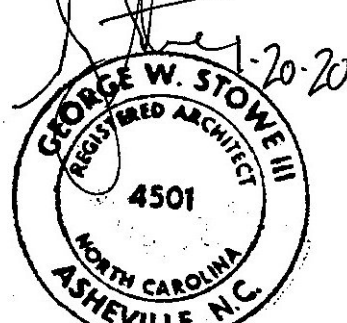


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A-4	BUILDING SECTIONS	01-20-2015
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A-6	FOUNDATION PLAN, NOTES	01-20-2015
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ID.2	UPPER AND LOWER FLOOR LIGHTING/ ELECT. PLANS, LEGEND	01-20-2015



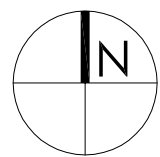
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184 East Chestnut Street • Asheville, NC 28801
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gstowearchitect@bellsouth.net
www.GeorgeStoweArchitect.com



DATE:
12-22-2014 BID DOC
REVISIONS:
01-20-2015 PERMIT DOC

Residence for:
ED & CULLEN HICKS
Billmore Forest, NC
Frith Drive

SITE



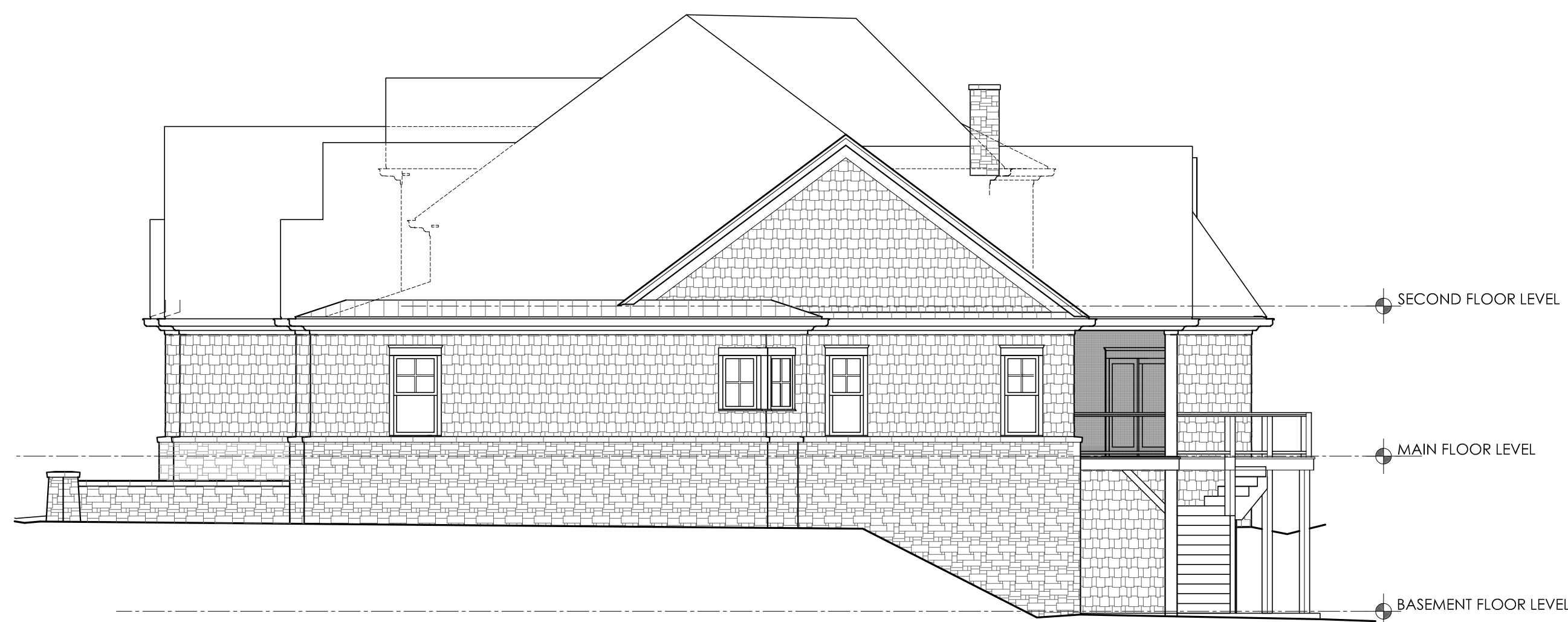


1 Front (North) Elevation
A3 Scale: 1/4" = 1'-0"

NOTE: DOWNSPOUTS NOT SHOWN. SEE ROOF
PLAN FOR PRELIMINARY LOCATIONS. A STORM
WATER SYSTEM SHALL BE INSTALLED



2 Side (East) Elevation
A3 Scale: 1/8" = 1'-0"



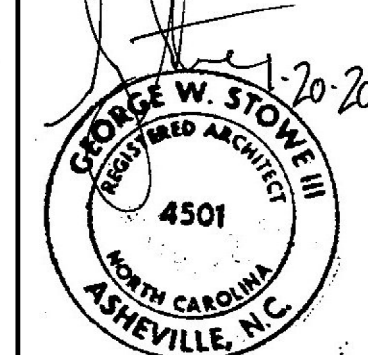
3 Side (West) Elevation
A3 Scale: 1/8" = 1'-0"



3 Rear (South) Elevation
A3 Scale: 1/8" = 1'-0"



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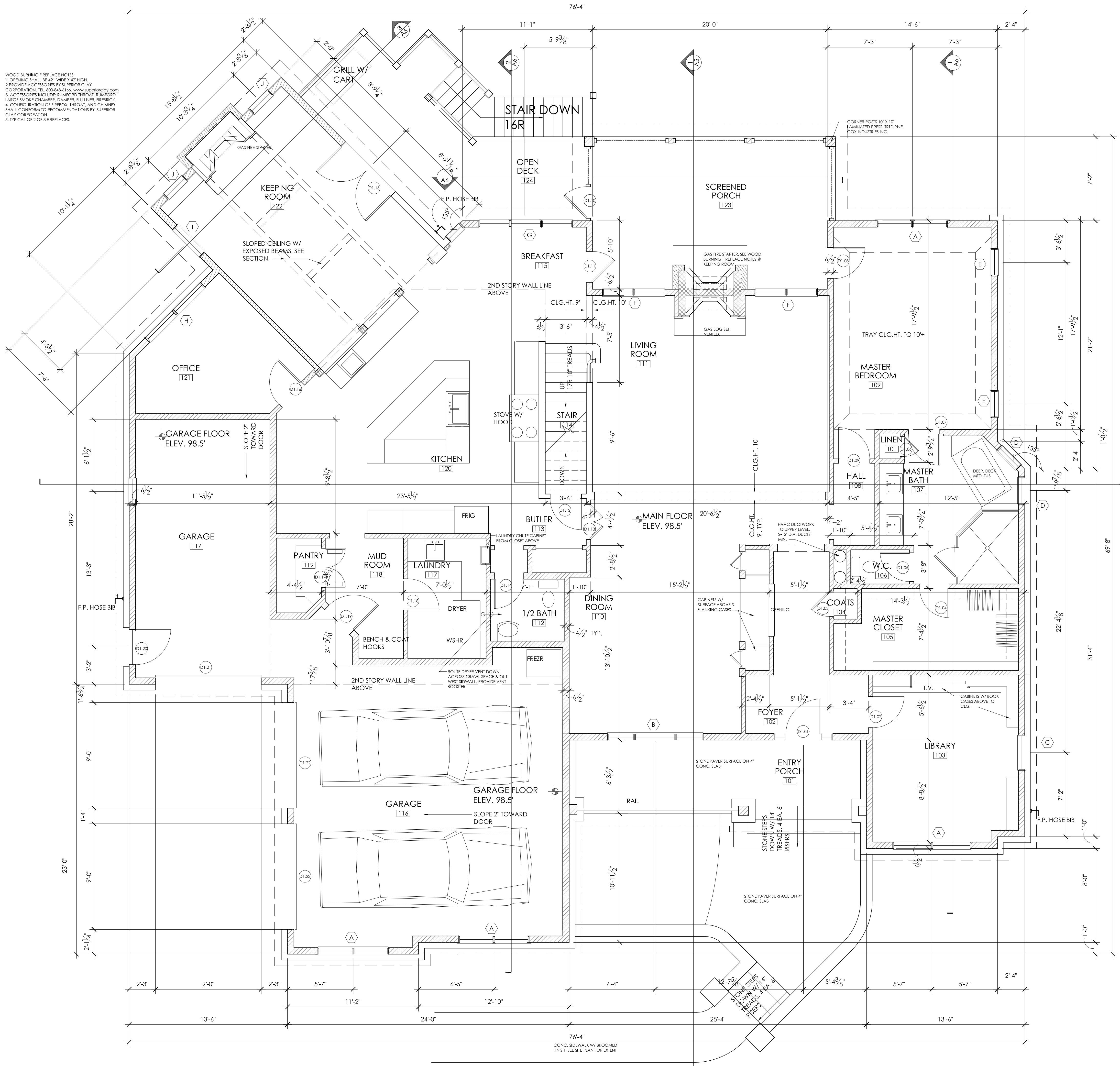
New Residence for

Ed and Cullen Hicks

Blirmore Forest, NC

Fifth Drive

A1



FINISH SCHEDULE					
ROOM #	ROOM NAME	FLOOR	WALLS	TRIM	CLNG.
102	FOYER		WOOD		
103	LIBRARY		CERAMIC TILE		
104	COAT CLOSET		SEALED CONCRETE		
105	MASTER CLOSET			PAINTED GYP. BD.	
106	MASTER W.C.			PAINTED WAINSCOT	
107	MASTER BATH			PAINTED WOOD TRIM	
108	HALL			STAINED WOOD TRIM	
109	MASTER BEDROOM			PAINTED GYP. BD.	
110	DINING ROOM			STAINED WOOD BEAMS	
111	LIVING ROOM				
112	1/2 BATH				
113	BUTLER				
114	SMALL GARAGE				
115	BREAKFAST				
116	LARGE GARAGE				
117	LAUNDRY				
118	MUDROOM				
119	PANTRY				
120	KITCHEN				
121	OFFICE				
122	KEEPING ROOM				
201	HALL				
202	BEDROOM #1				
203	CLOSET #1				
204	LINEN CLOSET				
205	BATHROOM #1				
206	CLOSET #2				
207	BATHROOM #2				
208	BEDROOM #2				
209	OFFICE				
210	CLOSET #3				
301	EXERCISE/ DEN				
302	BATH #3				
303	SHOP				

LEGEND

WOOD FRAMED WALL, INTERIOR WALLS 2" X 4" @ 16' C/C, UNO

WOOD FRAMED WALL W/ STONE VENEER WATERTABLE. EXTERIOR WALLS 2" X 6" @ 16' C/C W/ R-19 F.G. INSUL.

CONCRETE MASONRY WALL W/ NATURAL STONE VENEER

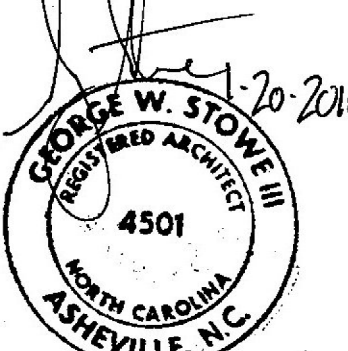
MAIN FLOOR AREA HEATED 2,912 S.F.
UPPER FLOOR AREA HEATED 1,157 S.F.
LOWER FLOOR AREA HEATED 1,196 S.F.
TOTAL HEATED 5,265 S.F.

3 CAR GARAGE 884 S.F.
DECK 266 S.F.
COVERED PORCHES (ENTRY AND SCREEN) 430 S.F.

1 Main Level Plan
A2 Scale: 1/4" = 1'-0"



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www.GeorgeStoweArchitect.com



DATE:
12-22-2014 Bid Doc
REVISIONS:
01-20-2015 PERMIT DOC

New Residence for
Ed and Cullen Hicks
Billmore Forest, NC
Fifth Drive

A2

DOOR SCHEDULE

(SUBMIT PRODUCT INFORMATION FOR REVIEW)

MARK	SIZE (W x H)	DOOR TYPE	FRAME	HDWR. GROUP	DETAIL	FIRE RATING	NOTES
D1.01	3'-0" x 6'-8" x 1 3/4"	A	Wd.	i	X/AX	-	SIDELITES
D1.02	2'-8" x 6'-8" x 1 3/8"	B	-	-	-	-	-
D1.03	2'-2" x 6'-8" x 1 3/8"	B	-	-	-	-	-
D1.04	2'-6" x 6'-8" x 1 3/8"	B	-	-	-	-	-
D1.05	2'-6" x 6'-8" x 1 3/8"	B	-	-	-	-	-
D1.06	1'-8" x 6'-8" x 1 3/8"	B	-	-	-	-	-
D1.07	2'-8" x 6'-8" x 1 3/8"	B	-	-	-	-	-
D1.08	2'-8" x 6'-8" x 1 3/8"	D	-	-	-	-	-
D1.09	2'-8" x 6'-8" x 1 3/8"	B	-	-	-	-	-
D1.10	2'-8" x 6'-8" x 1 1/4"	E	-	-	-	-	-
D1.11	2'-8" x 6'-8" x 1 3/4"	D	-	-	-	-	-
D1.12	2'-8" x 6'-8" x 1 3/8"	B	-	-	-	-	-
D1.13	PAIR-EA 1'-8" x 6'-8" x 1 3/8"	B	-	-	-	-	-
D1.14	2'-6" x 6'-8" x 1 3/8"	B	-	-	-	-	-
D1.15	PAIR-EA 3'-0" x 6'-8" x 1 3/4" HDGL	D	-	-	-	-	-
D1.16	2'-8" x 6'-8" x 1 3/8"	B	-	-	-	-	-
D1.17	PAIR-EA 1'-8" x 6'-8" x 1 3/8"	B	-	-	-	-	SHELVING ACC.
D1.18	2'-8" x 6'-8" x 1 3/8"	B	-	-	-	-	-
D1.19	3'-0" x 6'-8" x 1 3/4"	F	-	-	-	20 MIN.	-
D1.20	3'-0" x 6'-8" x 1 3/4"	C	-	-	-	-	-
D1.21	9'-0" x 7'-0"	G	-	-	-	-	-
D1.22	9'-0" x 7'-0"	G	-	-	-	-	-
D1.23	9'-0" x 7'-0"	G	-	-	-	-	-
-	-	-	-	-	-	-	-
D2.01	2'-8" x 6'-8" x 1 3/8"	B	-	-	-	-	-
D2.02	2'-8" x 6'-8" x 1 3/8"	B	-	-	-	-	-
D2.03	2'-8" x 6'-8" x 1 3/4"	C	-	-	-	-	-
D2.04	2'-8" x 6'-8" x 1 3/8"	B	-	-	-	-	-
D2.05	2'-8" x 6'-8" x 1 3/8"	B	-	-	-	-	-
D2.06	2'-6" x 6'-8" x 1 3/8"	B	-	-	-	-	-
D2.07	2'-6" x 6'-8" x 1 3/8"	B	-	-	-	-	-
D2.08	2'-6" x 6'-8" x 1 3/8"	B	-	-	-	-	-
D2.09	2'-6" x 6'-8" x 1 3/4"	C	-	-	-	-	-
D2.10	2'-6" x 6'-8" x 1 3/8"	B	-	-	-	-	-
D2.11	2'-6" x 6'-8" x 1 3/8"	B	-	-	-	-	-
-	-	-	-	-	-	-	-
D B.01	2'-8" x 6'-8" x 1 3/4"	D	-	-	-	-	-
D B.02	3'-0" x 6'-8" x 1 3/4"	C	-	-	-	-	-
D B.03	2'-6" x 6'-8" x 1 3/8"	B	-	-	-	-	-
D B.04	3'-0" x 6'-8" x 1 3/4"	C	-	-	-	-	-
D B.05	3'-0" x 6'-8" x 1 3/4"	B	-	-	-	-	-
D B.06	PAIR-EA 3'-0" x 6'-8" x 1 3/4"	C	-	-	-	-	-
D B.07	2'-6" x 6'-8" x 1 3/8"	B	-	-	-	-	-

DOOR TYPES

A. PELLA WOOD AND GLASS DOOR SYSTEM, PRELIMINARY SELECTION: PELLA HTC 500, 30" X 80" W/ DENTIL SHELF, W/ 2 EACH 12" SIDELIGHTS. SALES REP: JORG RONKE, PELLA CAROLINA, INC. 828-231-7373 cell.

B. INTERIOR, WOOD, STYLE AND RAIL DOOR

C. INSULATED FIBERGLASS DOOR SYSTEM EQUAL TO 'JELD WEN' SMOOTH-PRO EXTERIOR CRAFTSMAN 3-LIGHT, 2 PANEL.

D. FRENCH, ALL GLASS ENTRY SYSTEM, DESIGN BASIS 'PELLA' IN-SWING, CLAD DESIGNER SERIES.

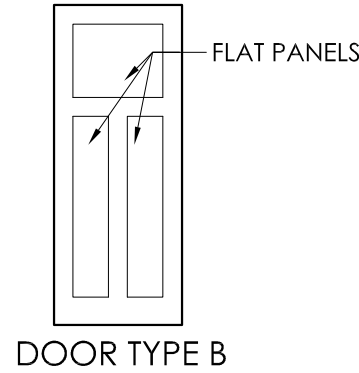
E. WOOD, STYLE AND RAIL, SCREEN DOOR

F. WOOD, FIRE RATED DOOR SYSTEM

G. OVERHEAD DOOR SYSTEM WITH OPERATOR

HARDWARE SPECIFICATIONS

TO BE SELECTED BY OWNER. SEE ALLOWANCE SCHEDULE



WINDOW SCHEDULE

(SUBMIT PRODUCT INFORMATION FOR REVIEW)

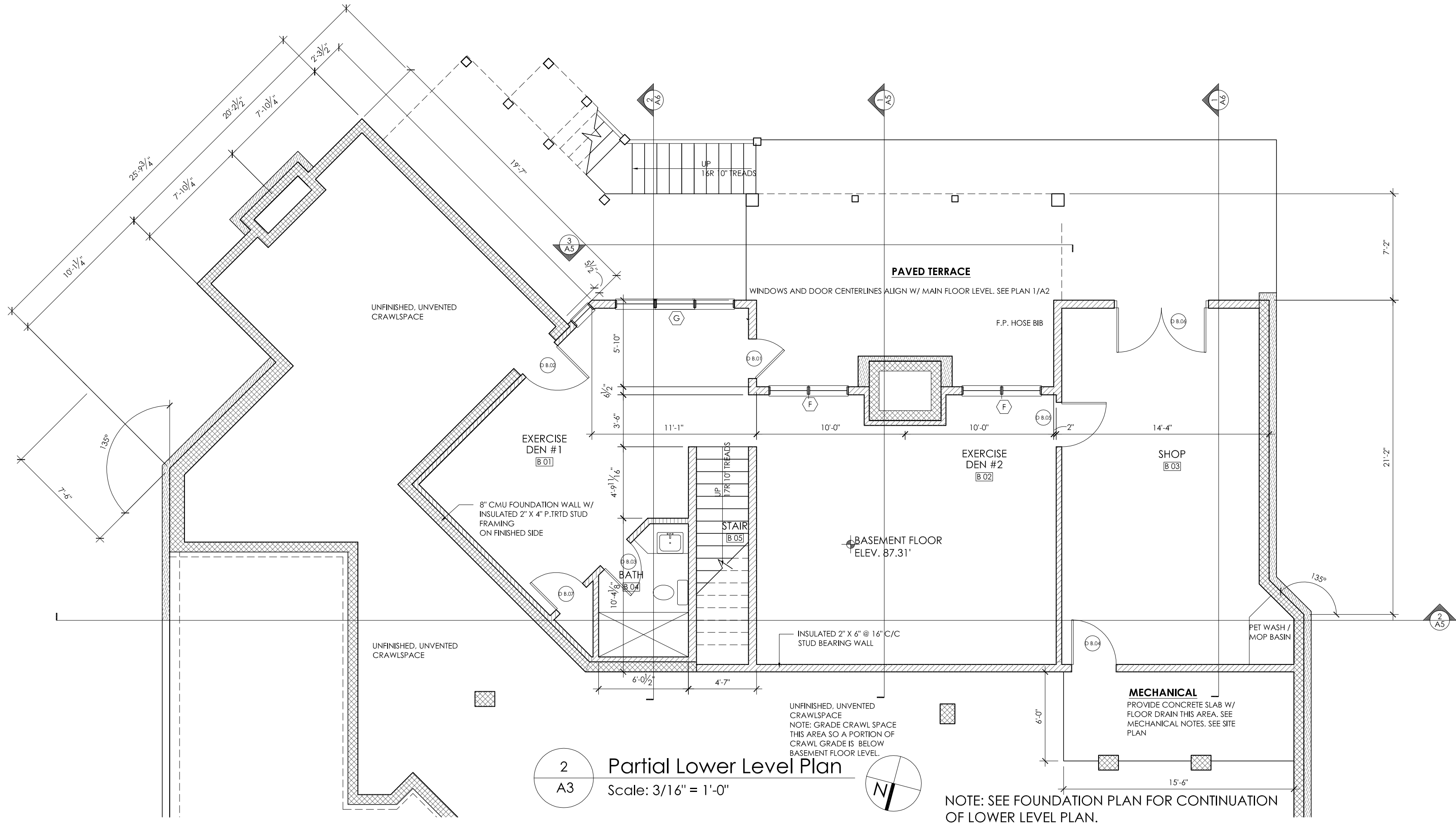
MARK	R.O. SIZE (W x H)	TYPE	MODEL #	NOTES
A	4' 11-1/2" X 5' 6"	PAIR DOUBLE-HUNG	PAIR 29.5 X 65.5	
B	VERIFY	D.H., FIXED, D.H.	TRIPLE 27.5 X 65.5 / 41 X 71.5 / 27.5X65.5	
C	3' 0" X 5' 6"	DOUBLE-HUNG	35.5 X 65.5	
D	2' 5-3/4" X 3'-5"	CASEMENT	2941	TEMPERED GLASS
E	2' 4" X 5' 6"	DOUBLE-HUNG	27.5 X 65.5	
F	5' 3-1/2" X 5' 6"	PAIR DOUBLE-HUNG	PAIR 31.5 X 65.5	
G	7' 11" X 5' 6"	TRIPLE DOUBLE-HUNG	TRIPLE 31.5 X 65.5	
H	6' 7-1/2" X 5' 6"	PAIR DOUBLE-HUNG	PAIR 39.5 X 65.5	
I	3' 4" X 5' 6"	DOUBLE-HUNG	39.5 X 65.5	
J	2' 5-3/4" X 2'-11-3/4"	CASEMENT	2935	
K	NOT USED			
L	4'-10-3/4" X 2'-11-3/4"	PAIR CASEMENT	PAIR 2935	EGRESS W/ 3000 PIVOT HARDWR.
-	-	-	-	-
-	-	-	-	-
-	-	-	-	-
-	-	-	-	-

NOTES:

ALL WINDOWS ARE BASED ON PELLA, DESIGNER SERIES, ALUM. CLAD DOUBLE-HUNG AND CASEMENT, AND PICTURE WINDOWS. CLAD COLOR WHITE. SUBMIT SAMPLES. SIMULATED DIVIDED LITE PER ELEVATION DRAWINGS.

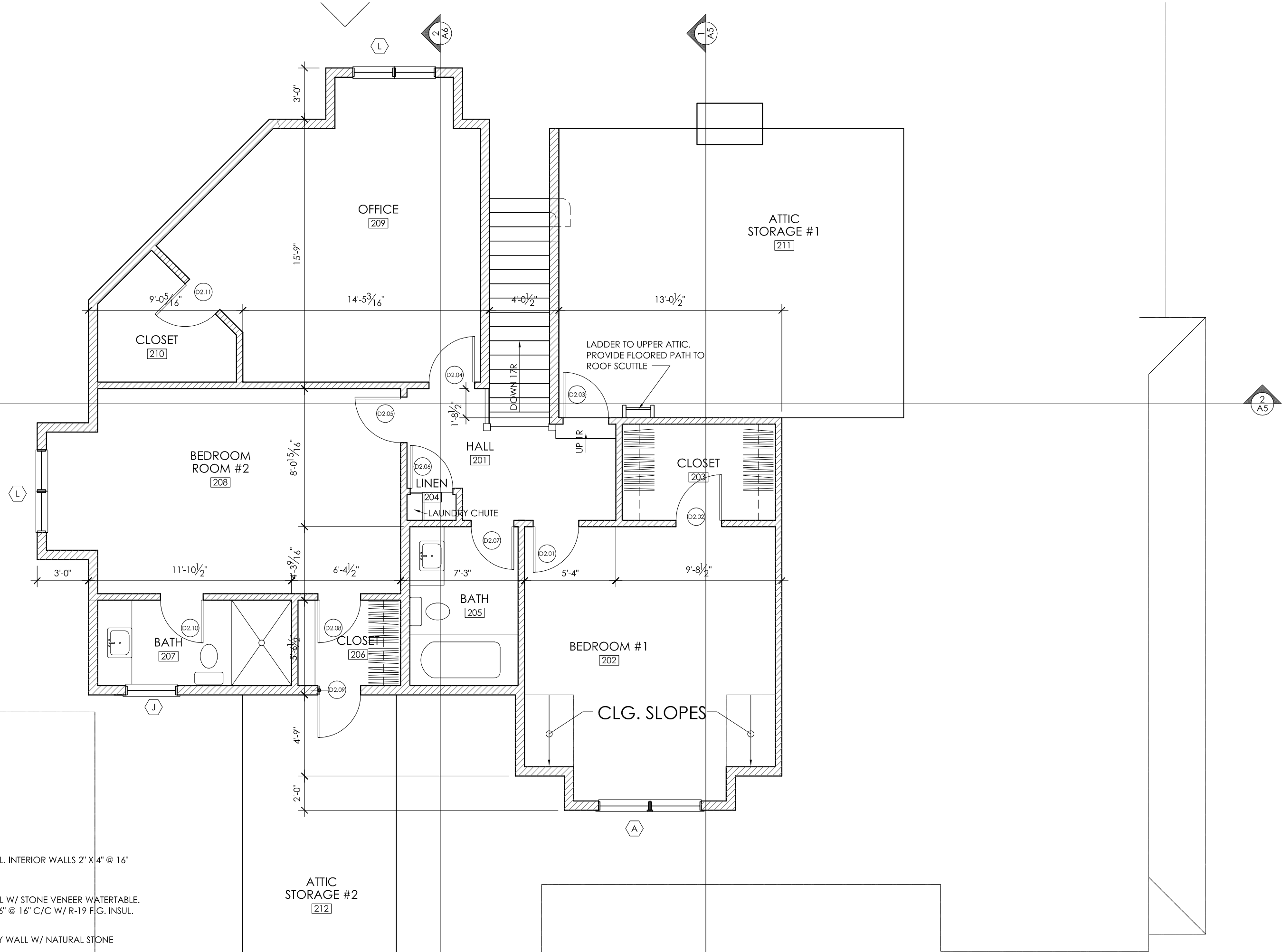
GLAZING SHALL BE DOUBLE PANE. SIMULATED DIVIDED LITE, CLEAR, 5/8" TOTAL THICKNESS I.G. ADVANCE LOW-E ARGON.

SALES REP: JORG RONKE, PELLA CAROLINA, INC. 828-231-7373 cell.

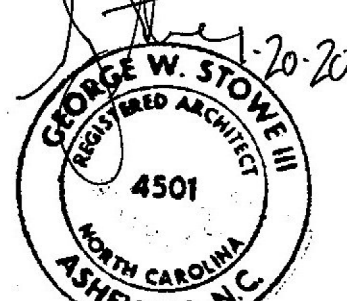


LEGEND

- WOOD FRAMED WALL INTERIOR WALLS 2" X 4" @ 16" C/C. UNO
- WOOD FRAMED WALL W/ STONE VENEER WATERTABLE. EXTERIOR WALLS 2" X 6" @ 16" C/C W/ R-19 FIG. INSUL.
- CONCRETE MASONRY WALL W/ NATURAL STONE VENEER



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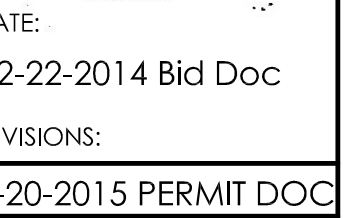
New Residence for
Ed and Cullen Hicks
Blirmore Forest, NC
Frith Drive

A3



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ks
Biltmore Forest, NC

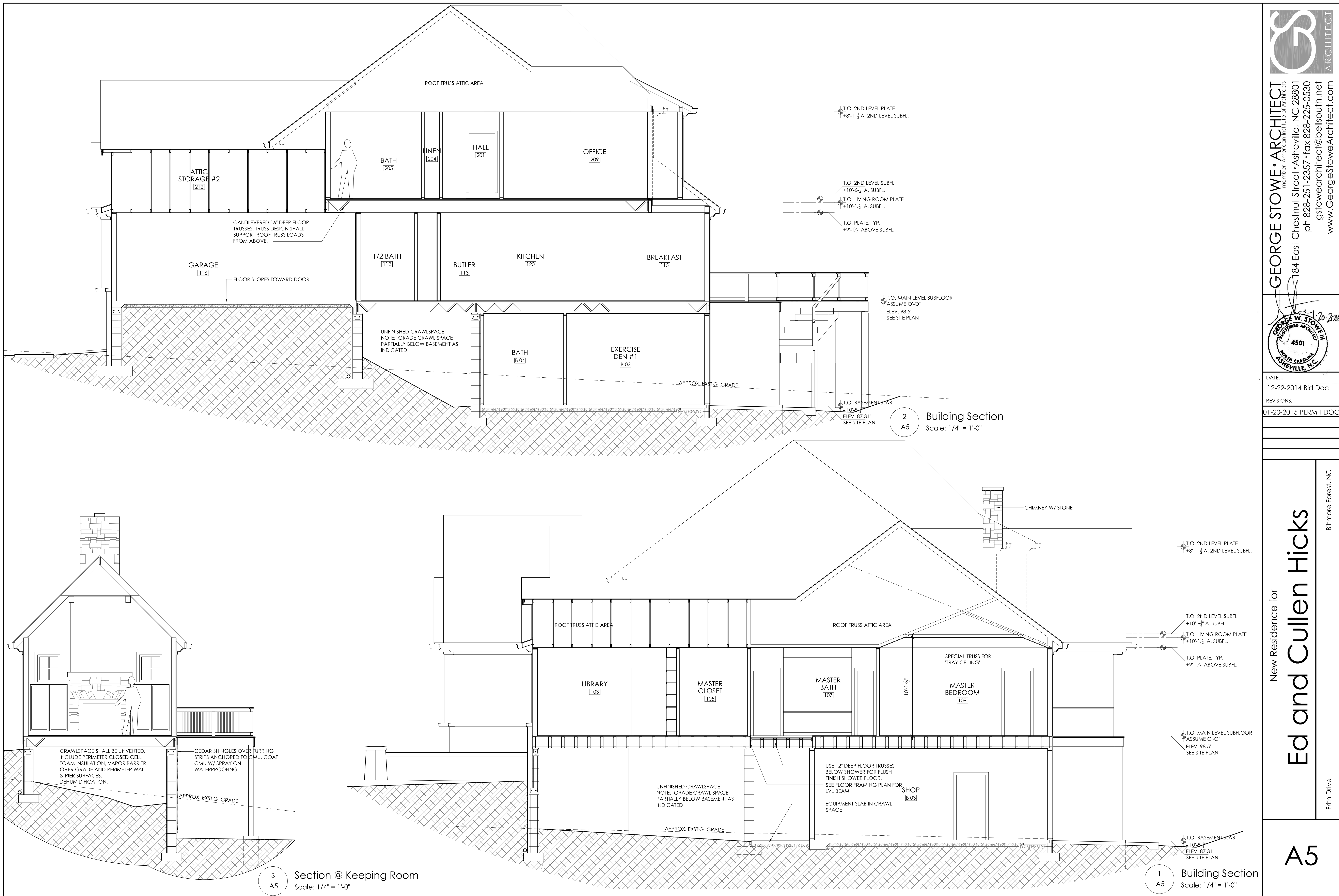
Ed and Cullen Hicks

Biltmore Forest, NC

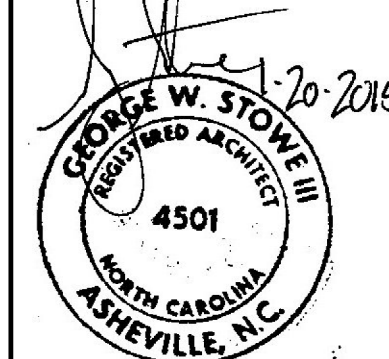
Fifth Drive

A4





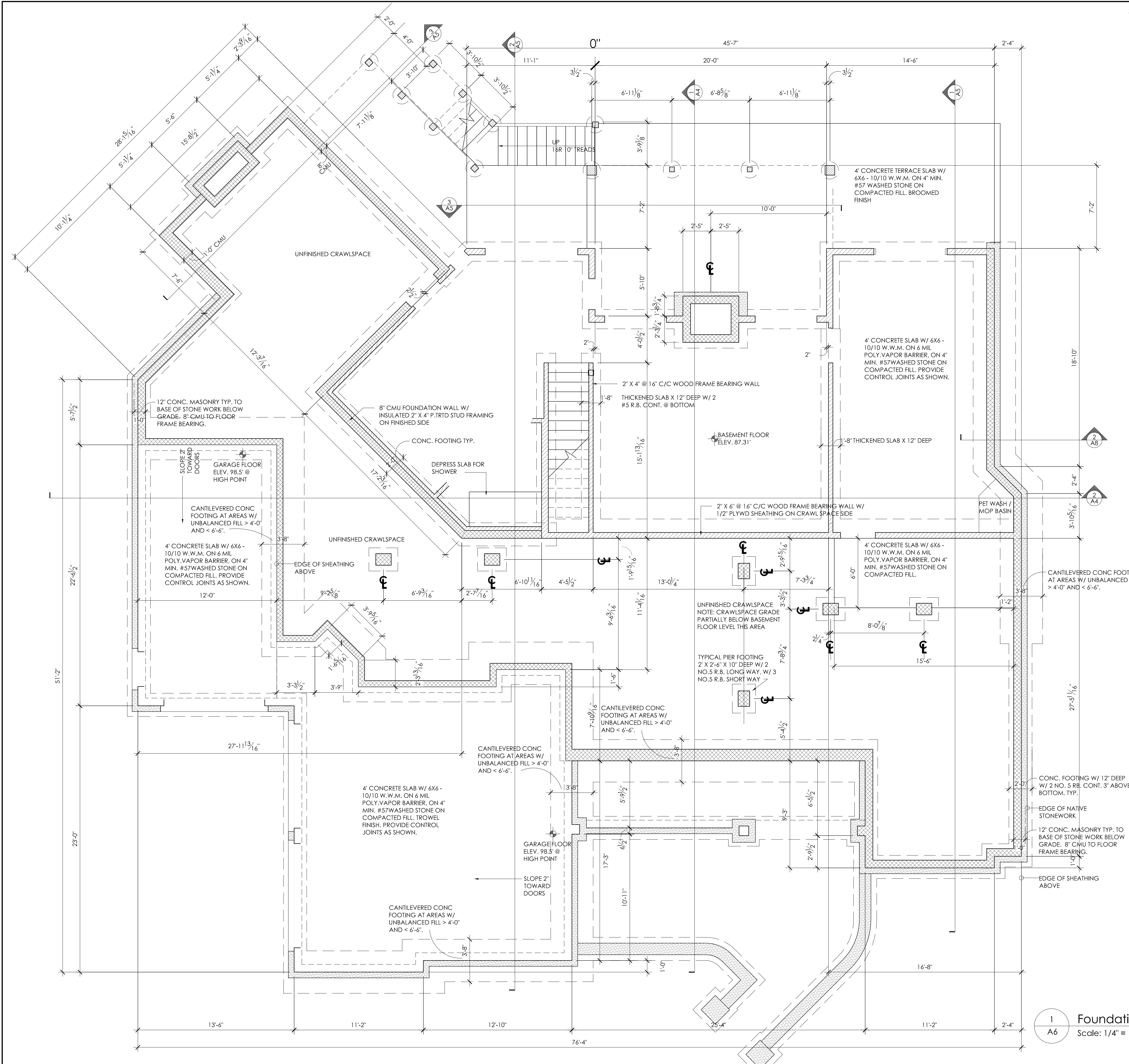
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Blirmore Forest, NC
Fifth Drive

A5



- FOUNDATION NOTES AND SPECIFICATIONS:
1. ASSUMED SOIL BEARING CAPACITY 2000 PSF.
 2. BOTTOM OF FOOTINGS SHALL BE A MIN. OF 24" BELOW FINISH GRADE.
 3. FOOTINGS SHALL BEAR ON FIRM UNDISTURBED SOIL FREE OF DEBRIS AND ORGANIC MATTER.
 4. CONCRETE SHALL HAVE A MIN. COMPRESSIVE STRENGTH OF 3000 PSI AT 28 DAYS. NO CONCRETE SHALL BE POURED WITH TEMP. 40 DEGREES OR BELOW AND FALLING.
 5. CONC. MASONRY UNITS SHALL CONFORM TO ASTM C-90, TYPE II. SIZE AS INDICATED ON DRAWINGS, PLUS SPECIAL SIZES AND SHAPES AS REQ'D.
 6. BOLT FOUNDATION FLOOR PLATES AND STAIR SILL PLATES W/ HOOKED. GALVANIZED ANCHOR BOLTS 5/8" Ø X 12" LONG. BOLTS SHALL CONFORM TO ASTM A-307 OR A-36 UNLESS NOTED OTHERWISE ON DRAWINGS.. INSTALL @ 32" O.C. TYP. OR 16" O.C. @ BASEMENT FNDN. WALLS.
 7. WELDED WIRE FABRIC SHALL CONFORM TO ASTM-185, 6 X 6 NO. 10-10. LAP ONE FULL MESH + 2" AT SPLICES. IMBED IN ALL SLABS ON GRADE. FIBER REINFORCED CONCRETE MAY BE SUBSTITUTED FOR WELDED WIRE FABRIC @ CONTRACTOR'S OPTION.
 8. REINFORCING STEEL SHALL CONFORM TO ASTM A-615 GRADE 40. LAP SPLICE 30 X BAR DIA. PROVIDE CORNER BARS LENGTH = 30 X DIA. PROVIDE CLASS "CC" TENSION SPLICES IN ALL POURED CONCRETE.
 9. ALL REINFORCING SHALL BE HELD SECURELY IN POSITION WITH STANDARD ACCESSORIES DURING PLACEMENT OF CONCRETE.
 10. CONCRETE PLACED IN MASONRY CELLS SHALL HAVE A MIN. COMPRESSIVE STRENGTH OF 3000 PSI @ 28 DAYS AND SHALL CONTAIN PEA GRAVEL IN LIEU OF COARSE AGGREGATE.
 11. PROVIDE TERMITE TREATMENT AS REQUIRED TO PREVENT INFESTATION OF SUBTERRANEAN TERMITES.
 12. SLOPE EXTERIOR GRADE AWAY FROM BUILDING.
 13. CRAWLSPACE SHALL BE UNVENTED. SEE DETAILS.

CONSTRUCTION SHALL BE IN ACCORDANCE WITH N.C. STATE RESIDENTIAL BUILDING CODE AND OTHER APPLICABLE CODES AND STANDARDS.

FRAMING NOTES AND SPECIFICATIONS

1. JOISTS AND RAFTER FRAMING SHALL BE NO. 2 SOUTHERN YELLOW PINE, KILN DRIED WITH 19% MAXIMUM MOISTURE CONTENT. STUDDING SHALL BE SPF SPECIES, STUD GRADE, 19% MAXIMUM MOISTURE CONTENT.
2. WOOD FRAMING IN CONTACT WITH MASONRY OR USED EXPOSED ON EXTERIOR SHALL BE NO. 2 SOUTHERN YELLOW PINE [U.N.O.] PRESSURE IMPREGNATED IN ACCORDANCE WITH AWPA STANDARD U1. USE CATEGORY UC3B FOR DECK AND UC4B FOR BELOW-GRADE POSTS. PRESERVATIVE SHALL BE MINIMUM RETENTION OF 0.09lbs OF PRESERVATIVE PER CUBIC FOOT OF WOOD FOR DECKING AND FRAMING. FOR GROUND CONTACT POSTS, RETENTION SHALL BE 0.14lbs PER CUBIC FOOT. AFTER TREATMENT LUMBER SHALL BE KILN DRIED TO A 19% OR LESS MOISTURE CONTENT.
3. ENGINEERED WOOD PRODUCTS SHALL BE EQUAL TO "LEVEL" PRODUCT MANUFACTURED BY "WEYERHAEUSER". INCLUDING PARALLEL STRAND LUMBER (PSL), 2.0E PARALLAM PSL, SIZES AS NOTED. INSTALL ACCORDING TO MANUFACTURER'S RECOMMENDATIONS. Tel. 1-888-453-8358. www.level.com
4. PROVIDE HOT-DIPPED GALVANIZED STEEL JOIST HANGERS, BEAM SEATS, AND ALL OTHER NECESSARY METAL CONNECTORS BY "SIMPSON STRONG TIE" SIZED TO SUIT FRAMING CONDITIONS, PER ASTM A 653.
5. PROVIDE HOT-DIPPED, ZINC-COATED GALVANIZED STEEL NAILS, BOLTS, AND OTHER FASTENERS, PER ASTM A 153.
6. PLYWOOD FLOOR SYSTEM APA RATED "STURD-I-FLOOR", PLYWOOD SUBFLOOR FOR WOOD JOISTS, UNSANDED, TONGUE AND GROOVE, 4' x 8' x 3/4". EXPOSURE DURABILITY 1, SPAN RATING 48/24.
7. WALL SHEATHING SHALL BE APA SPAN RATED 32/16, 15/32" [CALLED OUT ON DRAWINGS AS 1/2" NOMINAL] x 4' x 8' PLYWOOD.
8. ROOF SHEATHING SHALL BE APA SPAN RATING 40/20, 19/32" [CALLED OUT ON DRAWINGS AS 5/8" NOMINAL] x 4' x 8' PLYWOOD OR OSB SHEATHING.
9. REFER TO DETAILS FOR ADDITIONAL FRAMING NOTES AND SPECIFICATIONS.


- WOOD TRUSS NOTES:
1. ALL DESIGN SHALL CONFORM TO NC STATE RESIDENTIAL BUILDING CODE, CURRENT EDITION.
 2. SHOP DRAWINGS AND CALCULATIONS SHALL BE PREPARED BY, SIGNED AND SEALED BY, NC STATE LICENSED PROFESSIONAL ENGINEER. SHOP DRAWINGS SHALL BE SUBMITTED FOR REVIEW BEFORE PROCEEDING.
 3. ROOF TRUSSES SHALL BE DESIGNED FOR THE FOLLOWING LOADS AS A MIN. AND ALL STRESSES ASSOCIATED WITH HANDLING, TRANSPORTATION, AND ERECTION.
 - a. DEAD LOAD: 10 PSF
 - b. LIVE LOAD: 20PSF
 - c. ATTIC W/ STORAGE: 20PSF
 - d. WIND LOADS (90 MPH) ALL DESIGN SHALL BE INCONFORMANCE TO NC STATE RESIDENTIAL BUILDING CODE 2012.
 4. FLOOR TRUSSES SHALL BE DESIGNED FOR THE FOLLOWING LOADS:
 - a. DEAD LOAD: 15 PSF
 - b. LIVE LOAD: 40 PSF
 - c. MAXIMUM DEFLECTION L/360
 - d. FOR SPANS >20' MAXIMUM DEFLECTION L/480
 4. ALL BRIDGING AND BRACING, INCLUDING ERECTION BRACING, REQUIRED FOR THE FINISHED PRODUCT SHALL BE DESIGNED AND FURNISHED.
 5. SPACING AND LAYOUT OF TRUSSES SHALL BE AS INDICATED ON DRAWINGS.
 6. TRUSS MANUFACTURER SHALL DESIGN AND FURNISH ALL TRUSS TO TRUSS CONNECTIONS.
 7. TRUSS MANUFACTURER, HVAC CONTRACTOR, AND GENERAL CONTRACTOR SHALL COORDINATE TRUSS REQUIREMENTS W/ HVAC UNIT AND DUCTWORK REQUIREMENTS.

NOTE: ADJUST PERIMETER AND CRAWL SPACE GRADES SO THAT UNBALANCED FILL DOES NOT EXCEED 6'-6" VERTICLE HT.

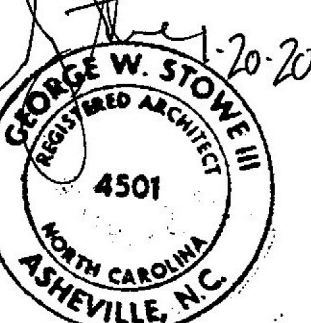
LEGEND

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- WOOD FRAMED WALL W/ STONE VENEER WATERTABLE. EXTERIOR WALLS 2" X 6" @ 16" C/C W/ R-19 F.G. INSUL.
- CONCRETE MASONRY WALL W/ NATURAL STONE VENEER

1
A6 Foundation Plan
Scale: 1/4" = 1'-0"



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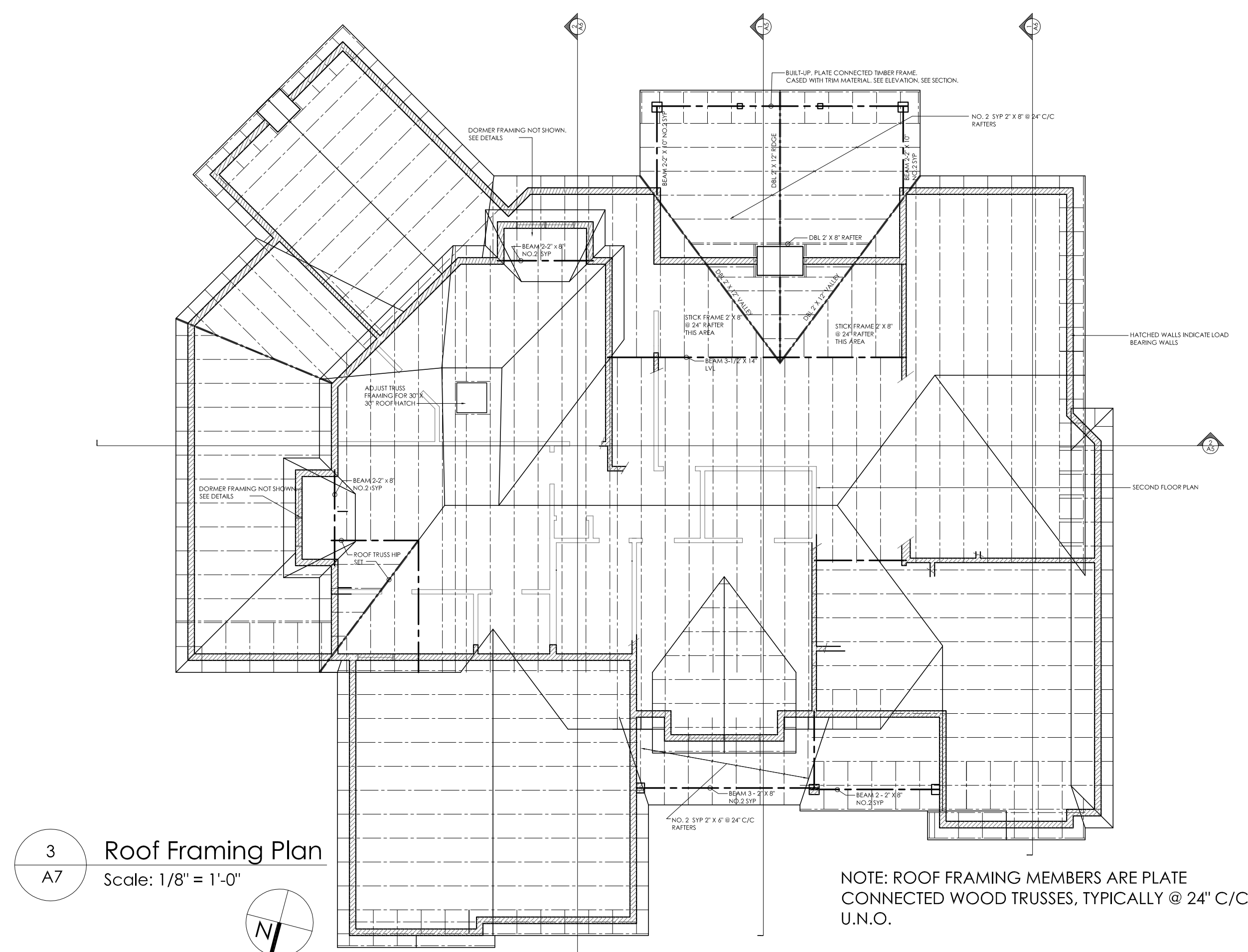
New Residence for

Ed and Cullen Hicks

Billmore Forest, NC

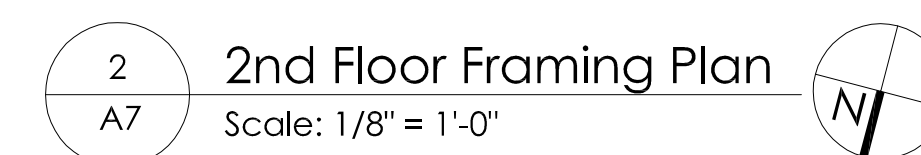
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Frith Drive



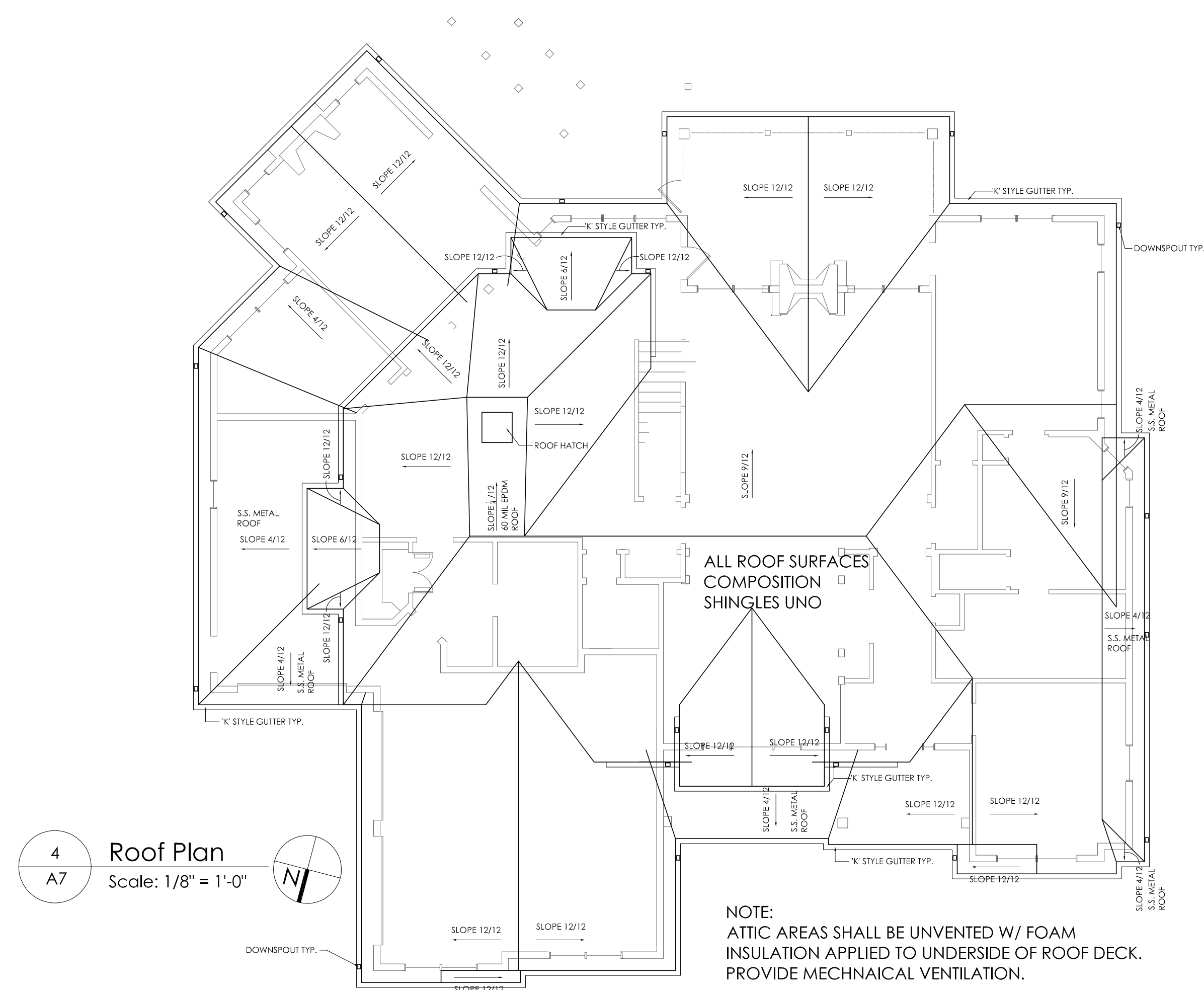
NOTE: ROOF FRAMING MEMBERS ARE PLATE
CONNECTED WOOD TRUSSES, TYPICALLY @ 24" C/C
U.N.O.

ENGINEERED BEAMS ARE 'WEYHAUSER iLEVEL PRODUCTS: 'LVL' MICROLAM 1.9E ; 'PSL' PARALLAM 2.0E ; 'LSL' TIMBERSTRAND 1.3E.

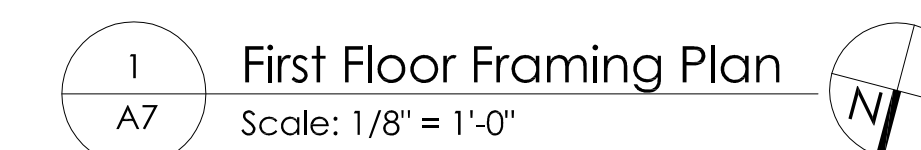


NOTE: FLOOR FRAMING MEMBERS ARE 16" DEEP
PLATE CONNECTED WOOD TRUSSES, TYPICALLY @
16" C/C, U.N.O.

ENGINEERED BEAMS ARE 'WEYHAUSER iLEVEL
PRODUCTS: 'LVL' MICROLAM 1.9E ; 'PSL' PARALLAM
2.0E ; 'LSL' TIMBERSTRAND 1.3E.



NOTE:
ATTIC AREAS SHALL BE UNVENTED W/ FOAM
INSULATION APPLIED TO UNDERSIDE OF ROOF DECK.
PROVIDE MECHNAICAL VENTILATION.



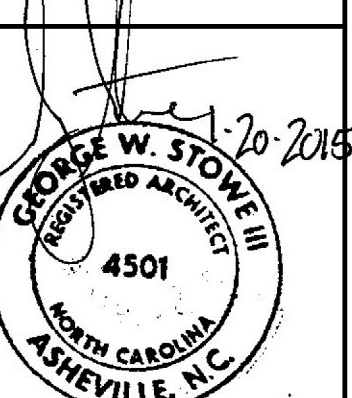
NOTE: FLOOR FRAMING MEMBERS ARE 14" DEEP
PLATE CONNECTED WOOD TRUSSES, TYPICALLY @
16" C/C U.N.O.

ENGINEERED BEAMS ARE 'WEYHAUSER iLEVEL
PRODUCTS: 'LVL' MICROLAM 1.9E; 'PSL' PARALLAM
2.0E; 'LSL' TIMBERSTRAND 1.3E.



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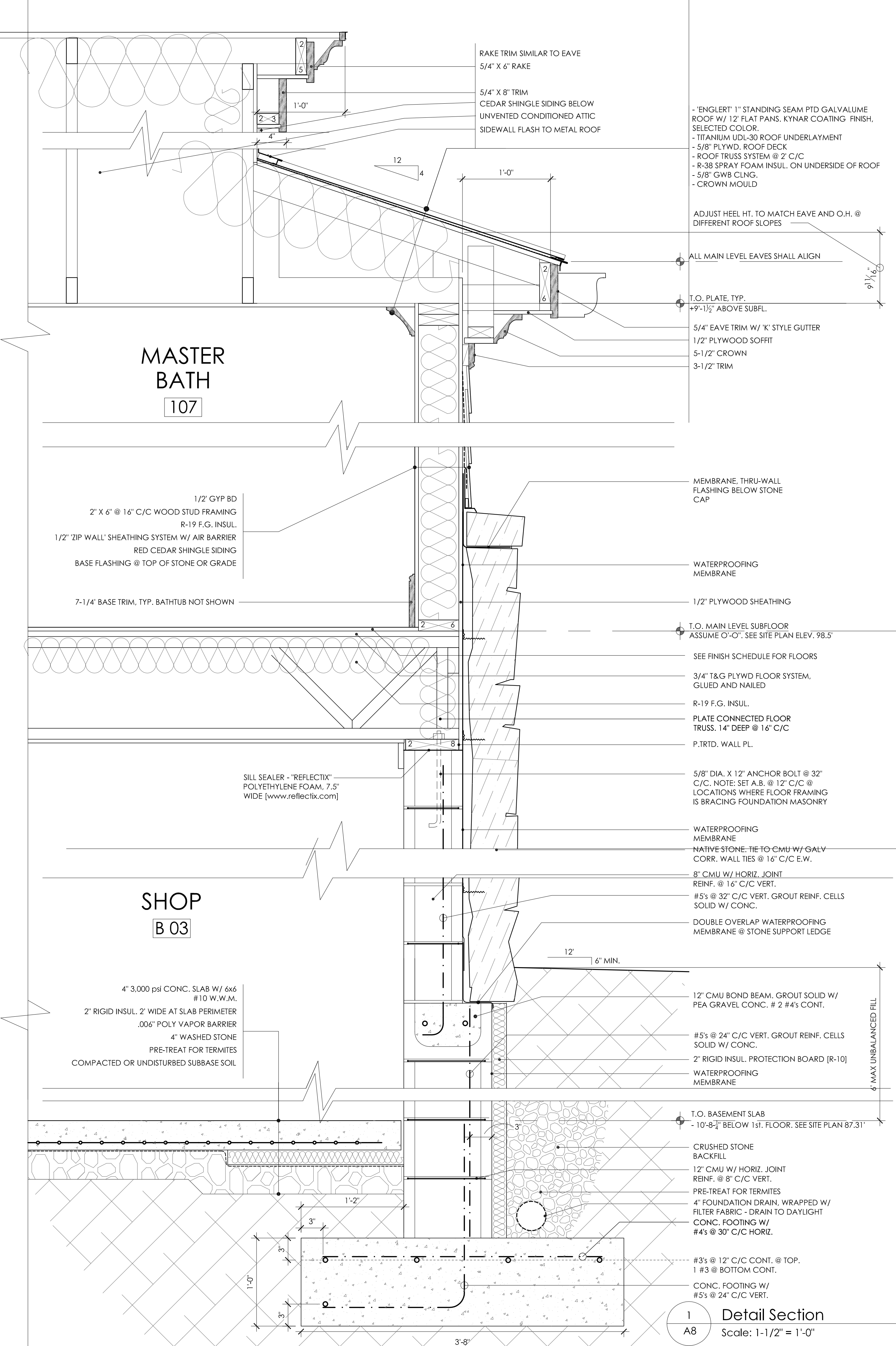
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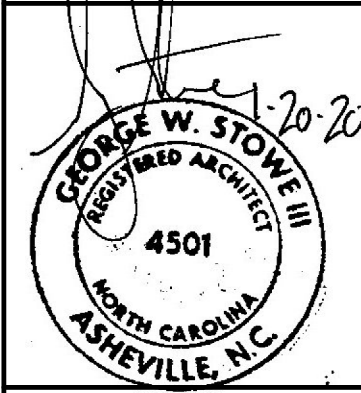
Biltmore Forest, NC

Frith Drive

A7



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New Residence for

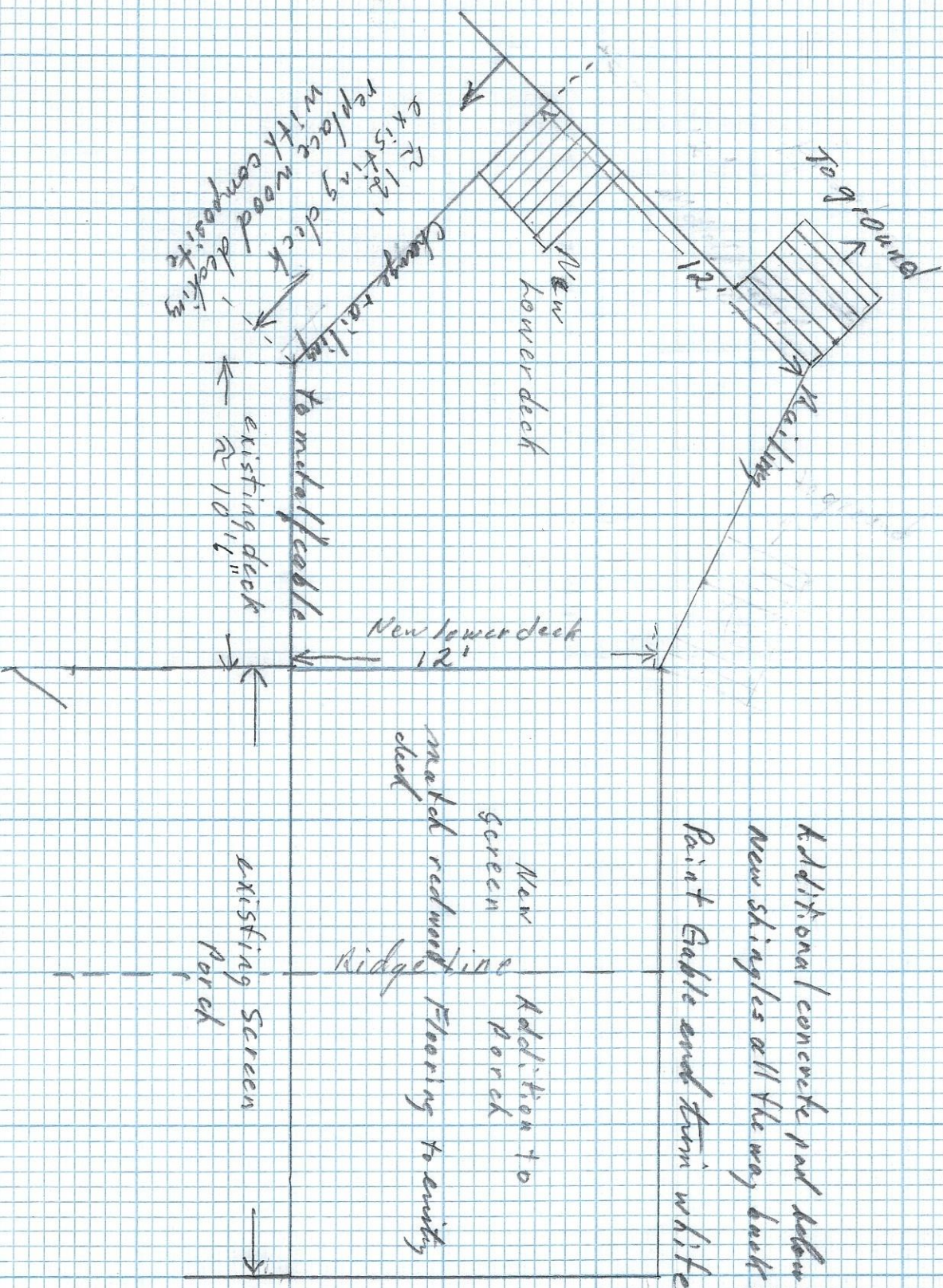
Ed and Cullen Hicks

Billmore Forest, NC

Fifth Drive

A8

Ed's Cullen Nicks



Additional concrete pad below screen?
 New shingles all the way back to valley

Paint Gable and trim white

New Addition to porch

metal redwood flooring to entry deck

Ridge line

existing Screen porch

PEAK IS 30" ABOVE SLAB ON GRADE

10'-6"

9'-0"

10'-6"

30YR DIM. SHINGLES
30# FELT
1/2" OSB W/ 2x12S
2x6 RAFTERS
16' O.C.

1x6 T&G PINE
ON CEILING
MATCH STAIN COLOR

MATCH
FRAMING DETAIL
OF EXISTING

2x10 HEADER

1'-0" OH

SCREENING
BY SCREEN FAZE

8 COURSES
OF CABLE

CABLE DETAIL
OMITTED FOR CLARITY

W/ TRIM BOARD
TO COVER CUT EDGE
OF DECKING
2x6x8 POST (TYP)

3000 PSI
CONCRETE
SLAB FIBERGLASS
REINFORCEMENT
21'-0"

EXISTING GRADE
24x24x8"
18" BELOW
FIN GRADE

Move steps to ground to

SHEET 1 OF 3

NEW ADDITION FOR:
EDCULLEN HICKS
17 FRITH DR.
ASHTON, NC 28803

EXISTING RESIDENCE

EXISTING SCREEN RM

EXIST POST SUPPORTS
TO REMAIN

NEW ADDITION

252 SF

NEW PT 6x6 POSTS (TYP.)

4 1/2" x 12" CONCRETE SLAB
BELOW 3000 PSI
CUT CONTROL JOINTS
CONCRETE LINE - BOTH
DIRECTIONS

GRADE 0 ELEV.

eliminate
landing

7'±

20' (cut to 10'-0")

Deck DIRECTION

2-2x8s

PT 6x6 GIRDER

PT 8x8 GIRDER

2015151600X10

Deck DIRECTION

Deck DIRECTION
20'-0"

260 SF

5'-0"

Deck DIRECTION

20x20x6
WOOD JOIST

0'-21"

20'-0"

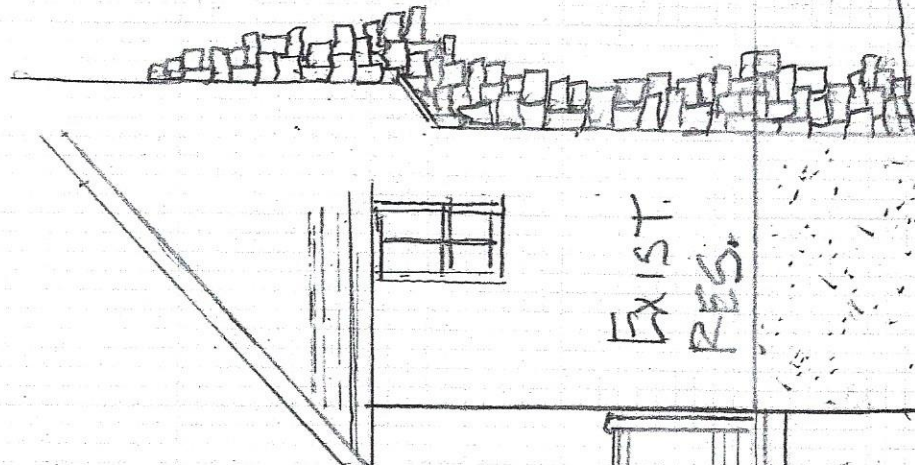
8'-0"

5'-0"

12'-6"

43 SF
70' ELEV.
Move steps to
EXIST. GRADE

SHEET 2 OF 3



EXIST.
RES.

SHEET 3 OF 3

8'-0"

PT LANCE

LOWER DECK
EXIST RES. BEYOND

3/16 SS. CABLE (TYP)

12'-0"

EXIST. GRADE

4'-0"

Move

Zoning Compliance Application

Town of Biltmore Forest

Name

Thomas and Theresa Davis

Property Address

24 Busbee Road

Phone

(828) 775-4643

Email

tzdavis38@gmail.com

Parcel ID/PIN Number

964770272200000

ZONING INFORMATION

Current Zoning

R-1

Lot Size

3 Acres

Maximum Roof Coverage

7,500 square feet (Up to 3 acres)

Proposed Roof Coverage Total

5340 square feet

Maximum Impervious Surface Coverage

3-6 acres (20 percent of lot area)

Proposed Impervious Surface Coverage

15,707 Square Feet or 12% Impervious

Front Yard Setback

60 feet (R-1 District)

Side Yard Setback

20 feet (R-1 District)

Rear Yard Setback

25 feet (R-1 District)

Building Height

25' Max. on the front elevation, 35' Max on the rear elevation

Description of the Proposed Project

Construction of a new single family residence home

Estimated Start Date

3/1/2021

Estimated Completion Date

6/30/2022

Estimated Cost of Project

\$1,750,000.00

Supporting Documentation (Site Plan, Drawings, Other Information)

2021-01-04 Davis DRB Review set.pdf

2021-01-04_Davis Site Plan_Biltmore Forest L1-MSTR.pdf

2021-01-04_Davis Site Plan_Biltmore Forest L2-SITE.pdf

2021-01-04_Davis Site Plan_Biltmore Forest L3-DETL.pdf

Applicant Signature

Themos J Davis
Theresa Davis

Date

1/4/2021

VARIANCE APPLICATION

Town of Biltmore Forest

Name

Thomas & Theresa (Jim & Terry) Davis

Address

24 Busbee Road

Phone

(828) 775-4643

Email

tzdavis38@gmail.com

Current Zoning/Use

Residential

Requested Use

Residential Building Lot

APPLICATION REQUIREMENTS: An application to the Board of Adjustment for a variance must be submitted to the Town of Biltmore Forest Town Manager at least 21 days prior to the meeting at which the application will be considered. A pre-application meeting with Town staff is required prior to application submittal to the Board of Adjustment.

What would you like to do with your property?

We would like to build a new construction single family home on our Lot on Busbee Road. In order to overcome challenges in sighting the house, we would like to have a small portion of our driveway (only) constructed into the rear setback line. Taking into consideration the best for all parties: tree conservation, neighbors privacy, driveway slope, & our view. The proposed house is NOT within the setback requirements.

What does the ordinance require?

Rear setbacks for R-1 are 25 feet:

§ 153.007 DIMENSIONAL REQUIREMENTS.

(A) Table. As Set forth in Ordinance with setbacks of 20'Sides, 25' Rear, 60'Front setbacks

(B) General provisions. The following are footnotes applicable to the table in division (A).

(1) Footnote 1. The minimum lot area for lots not served by public water and/or sewer shall be subject to approval by the County Health Department to ensure the proper operation of septic tanks and wells. In no case, however, shall minimum lot area be less than those specified in the table in division (A).

(2) Footnote 3. The minimum lot width at the street line shall be 125 feet in the R-1 District, and 80 feet in the R-2, R-3, and R-4 Districts.

(3) Footnote 4. On all corner lots, a 30-foot side yard setback is required.

(4) Footnote 5. Accessory structures, including driveways, shall meet all setback requirements.

Notwithstanding the foregoing, setback requirements for driveway entrance columns or driveway entrance walls may be waived or modified by the Board of Adjustment with the granting of a conditional use permit in accordance with § 153.110(C), without the need for a variance pursuant to § 153.110(D).

(5) Footnote 6. Height requirements may be varied upon approval of the Board of Adjustment.

(6) Footnote 7. Whichever is greater, 20,000 square feet, or twice the gross floor area of the building.

(7) Footnote 8. An increase in the side and rear yard setbacks is required for homes (structures) that exceed 25 feet in height. Homes (structures) greater than 25 feet in height shall be setback from the side and rear property lines an additional one and one-half feet for each one foot, or portion thereof, that the home (structure) exceeds 25 feet in height.

(8) Footnote 9. Structures exceeding a roof coverage area of 7,000 square feet shall be set back from side and rear property lines an additional 20% of the required setback for each 500 square feet, or

increment thereof, that the roof coverage areas exceeds 7,000 square feet.

Example: The rear setback for a single story 8,200 square foot house in the R-1 District would be calculated as follows:

$$8,200 - 7,000 = 1,200$$

$$1,200/500 = 2.4 \text{ (round to 3 to account for increment of change)}$$

$$3 \times 20\% = 60\%$$

$$60\% \times 20 = 12$$

$$25 + 12 = 37$$

Rear setback will be 37 feet

(Ord. passed 10-19-1983; Ord. passed 8-12-2013)

BOARD OF ADJUSTMENT: N.C.G.S. 160A-388(D) requires that the Board of Adjustment shall vary the provisions of the Zoning Ordinance only upon a showing of ALL the items below. The Board of Adjustment must follow strict procedure and all determinations must be decided by a concurring vote of four-fifths of the members of the Board. It is important to provide detailed supporting documentation for the Board of Adjustment to review. If necessary, additional sheets may be attached to this application.

REQUIRED FINDINGS: Please provide a thorough response to each.

Unnecessary hardship would result from the strict application of the ordinance.

The hardship of sighting our proposed new construction home without placement of driveway in the rear setbacks are as follows:

- Neighbors privacy: Proposed location places the home as high as possible on the lot, which in turn provides better privacy for each of the neighboring homes.
- the location of the requested driveway variance is sited along border with adjacent property to create the least amount of encroachment and impact on privacy of the homesite.
- Tree conservation: by allowing the driveway in the rear setback, several trees located to the opposite side of the proposed home site will be preserved. If the home were to shift on its axis the northwest (right), additional large diameter poplar trees & a 32" diameter White oak would need to be removed.
- Driveway slope: Our current proposed driveway does not exceed 15% grade at any point which helps improve drainage, allows for more attractive aesthetics and safety.
- View: If the driveway is removed from the rear setback, the home would potentially need to be located further down the hill, which in turn would greatly effect our view, which is was one of the primary draws

The hardship results from conditions that are peculiar to the property, such as location, size, or topography.

The lot lines on the upper portion of the lot area are a bit narrower than that of the rest of the lot. Reasons for placement of house on the upper portion as stated above. The unique shape of lot creates 2 rear borders which both have 25 foot setbacks vs. 1 rear setback.

The hardship did not result from actions taken by the applicant or the property owner.

Proposed only at this point in time

The requested variance is consistent with the spirit, purpose, and intent of the ordinance, such that public safety is secured, and substantial justice is achieved.

The safety of all those using the driveway, including service personnel, Biltmore Forest Town Hall Service personnel, US Postal personnel, etc. will be ensured by having the lowest slope possible.

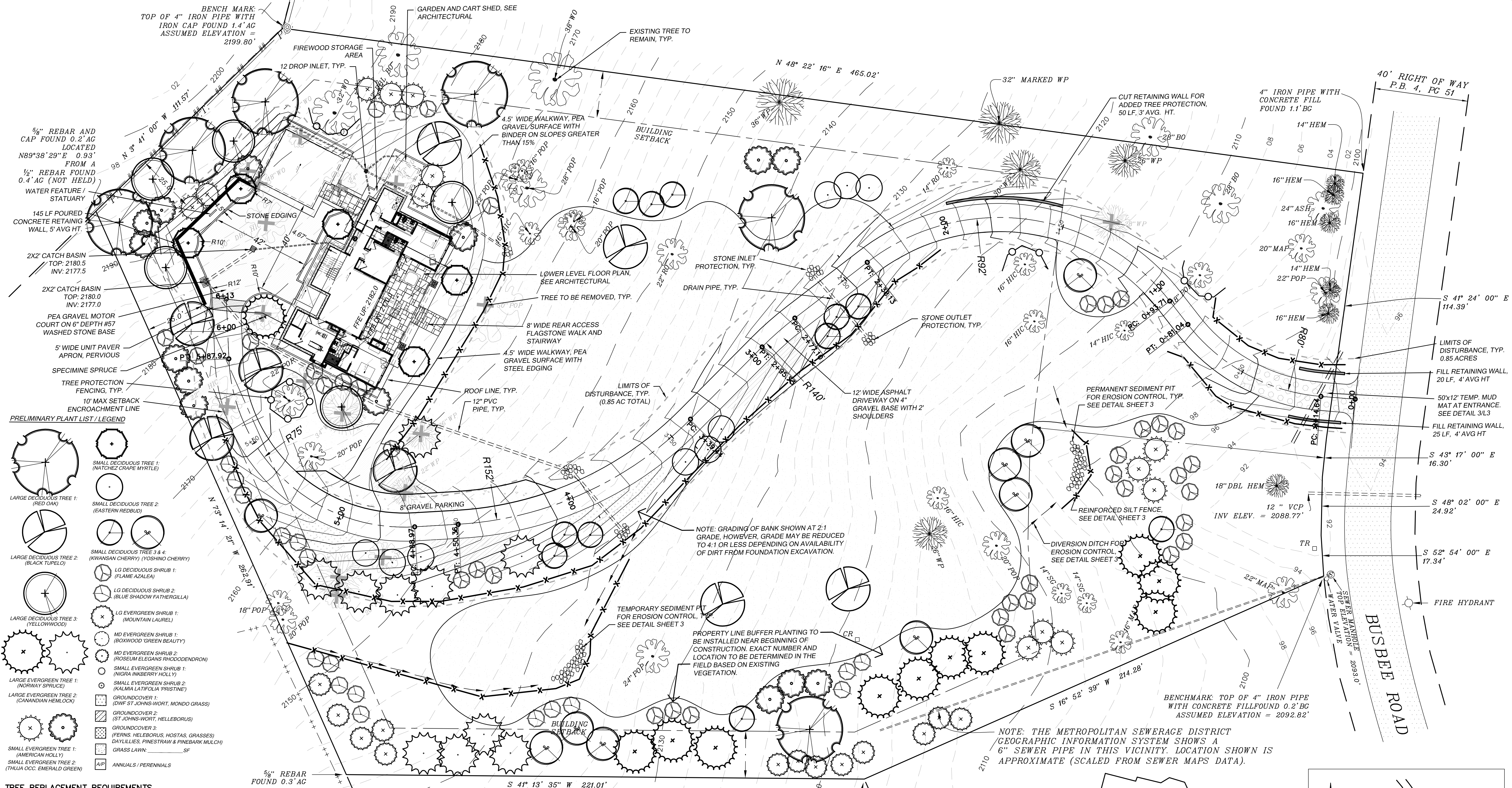
I hereby certify that all of the information set forth above is true and accurate to the best of my knowledge.

Signature

Thomas J. Davis
Theresa Davis

Date

1/4/2021



TREE REPLACEMENT REQUIREMENTS

Size of Existing Tree	Replacement of Protected Tree	Replacement of Un-Protected Tree
6-12" DBH	2 trees	1 tree
13-18" DBH	3 trees	1 tree
19-30" DBH	4 trees	2 trees
30" DBH or greater	5 trees	3 trees

PROTECTED TREES TO BE REMOVED

NO.	Description	Replacement Value
1	24" WO	4 trees
2	24" WO	4 trees
3	16" WO	3 trees
4	18" WO	3 trees
5	22" HIC	4 trees
6	30" DBL HIC	5 trees
7	22" HIC	4 trees
8	20" POP	4 trees
9	22" POP	4 trees
10	50" POP	5 trees
11	32" HIC	5 trees
12	24" WO	4 trees
REPLACEMENT VALUE:		49 Trees

NOTE:
4 SMALL DECIDUOUS TREES ARE EQUIVALENT TO 1 LARGE DECIDUOUS TREE TOWARDS REPLACEMENT VALUE. TOTAL PROPOSED REPLACEMENT VALUE IS 52 TREES

UNPROTECTED TREES TO BE REMOVED

NO.	Description	Replacement Value
1	22" WP (Hazard)	0 trees
2	26" WP (Hazard)	0 trees
3	28" WP (Hazard)	0 trees
4	34" WP (Hazard)	0 trees
5	36" WP (Hazard)	0 trees
6	20" POP (Hazard)	0 trees
REPLACEMENT VALUE:		0 Trees

IMPERVIOUS AREA CALCULATIONS

ALLOWABLE UP TO 25%: 32,670 SF
(3 AC X 43560 X 0.25)
ROOF: 5,462 SF
MOTORCOURT: 2,023 SF
DRIVEWAY: 7,222
ACCESSORY: 1,000 SF
TOTAL: 15,707 SF (12% IMPERVIOUS)

CHECKLIST FOR CONSTRUCTION

1. A Certificate of Zoning Compliance is required prior to lot clearing or work beginning.
2. Any damage done to road shoulders during construction is the responsibility of the contractor. The contractor shall be required to make necessary repairs to bring the road shoulders back to their original condition prior to construction.
3. The contractor is required to ensure that equipment, including tracked equipment (e.g. bulldozers or track hoes), shall not be unloaded or operated on pavement surfaces.
4. Vehicles shall not park or be driven on the edges of the pavement unless receiving prior approval from the Town's Public Works Department. Vehicles and equipment are explicitly prohibited from parking on adjoining property road shoulders.
5. Adequate protective measures shall be taken to prevent soil run off from disturbed ground areas, and particularly, the mud mat protections as denoted in the attached brochure from the NC Sedimentation and Erosion Control Program shall be maintained.
6. Heavy aggregate gravel is to be placed from the edge of the roadway a minimum of 100 feet back into the construction site as per the diagram on the attached brochure.
7. The contractor is responsible for monitoring the driveway gravel conditions and topdress with clean stone when required.
8. The contractor is responsible for inspecting the temporary driveway after heavy rains.
9. The contractor is responsible for delivery trucks and dumpster trucks dragging debris into the roadway, and roadways must be cleaned after deliveries.
10. Gravel must be kept off roadways at all times, and the contractor is responsible for reshaping the pad as necessary for drainage and runoff control.
11. The construction site is to be maintained neatly without accumulation of trash and debris.
12. No overnight parking on Town road shoulders or rights of way.

DOCUMENT REFERENCE NOTE:

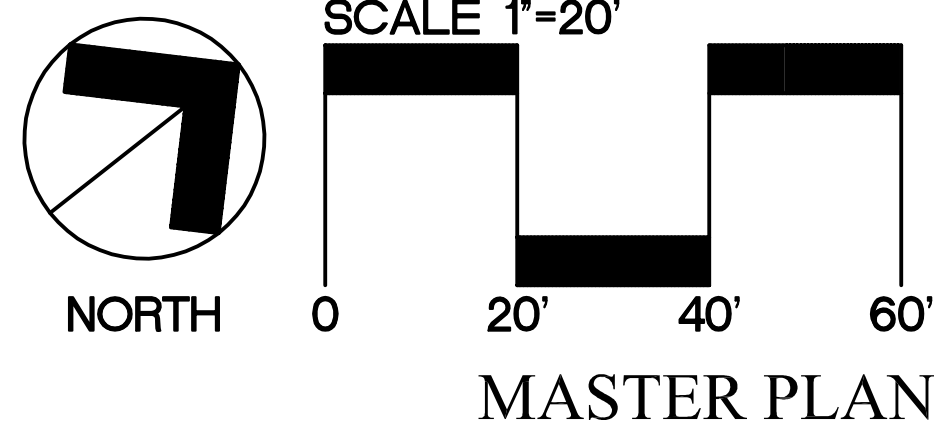
THIS PLAN IS PART OF ARCHITECTURAL PLAN SET SUBMITTED BY HUNTER DENDY, ARCHITECT, ON 12/18/2020. SEE ARCHITECTURAL PLAN SET FOR DIMENSIONS.

ORIGINAL SURVEY ISSUED AND SEALED BY GRAHAM N. DULS, L-4876, ON APRIL 20, 2018. THIS MEDIA SHALL NOT BE CONSIDERED A CERTIFIED SURVEY. SEE THE ORIGINAL DOCUMENT FOR CERTIFICATE AND SEAL.

REFERENCE SHEET L2 & L3 OF THIS DRAWING SET FOR DETAILED SITE PLAN AND CONSTRUCTION DETAILS AND NOTES

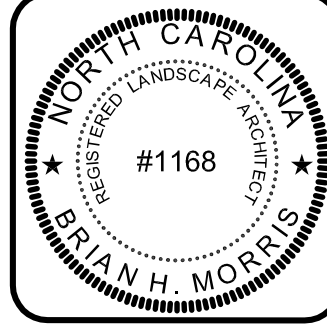
BEFORE YOU DIG
CALL 1-800-632-4949
NC ONE CALL CENTER
ITS THE LAW!

130,668 SF
3.00 Acres
PIN LOT: 9647-70-2722
D.B. 5641, PG. 1924;
P.B. 4, PG. 51



Jim and Terry Davis Residence
Biltmore Forest
Biltmore Forest, North Carolina

Land Planning Studios
Landscape Architects and Land Planners
102 JUSTICE RIDGE ROAD
CANDLER, NORTH CAROLINA 28715
828-712-9429



Sheet Title:
MASTER PLAN
TREE PLANTING PLAN
EROSION CONTROL PLAN

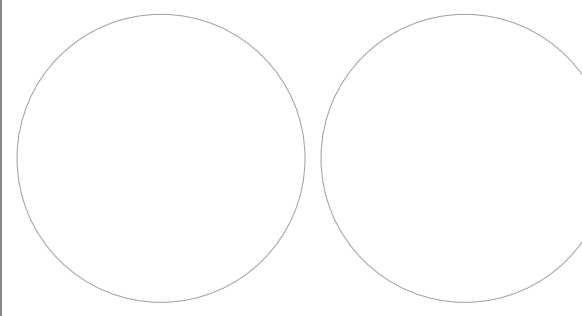
Job Number:

Date:
01/04/2021

Drawn:
BHM

Approved:

Revisions:
01/27/2021



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E1.02	MAIN LEVEL ELECTRICAL PLAN

PRICING SET - NOT FOR CONSTRUCTION

NEW CONSTRUCTION FOR:

DAVIS RESIDENCE

24 BUSBEE ROAD
BILTMORE FOREST, NC 28803

PROJECT NO.

20011

DRAWN BY: HD

CHECKED BY: HD

REVISION SCHEDULE

REV. NO. REV. DATE

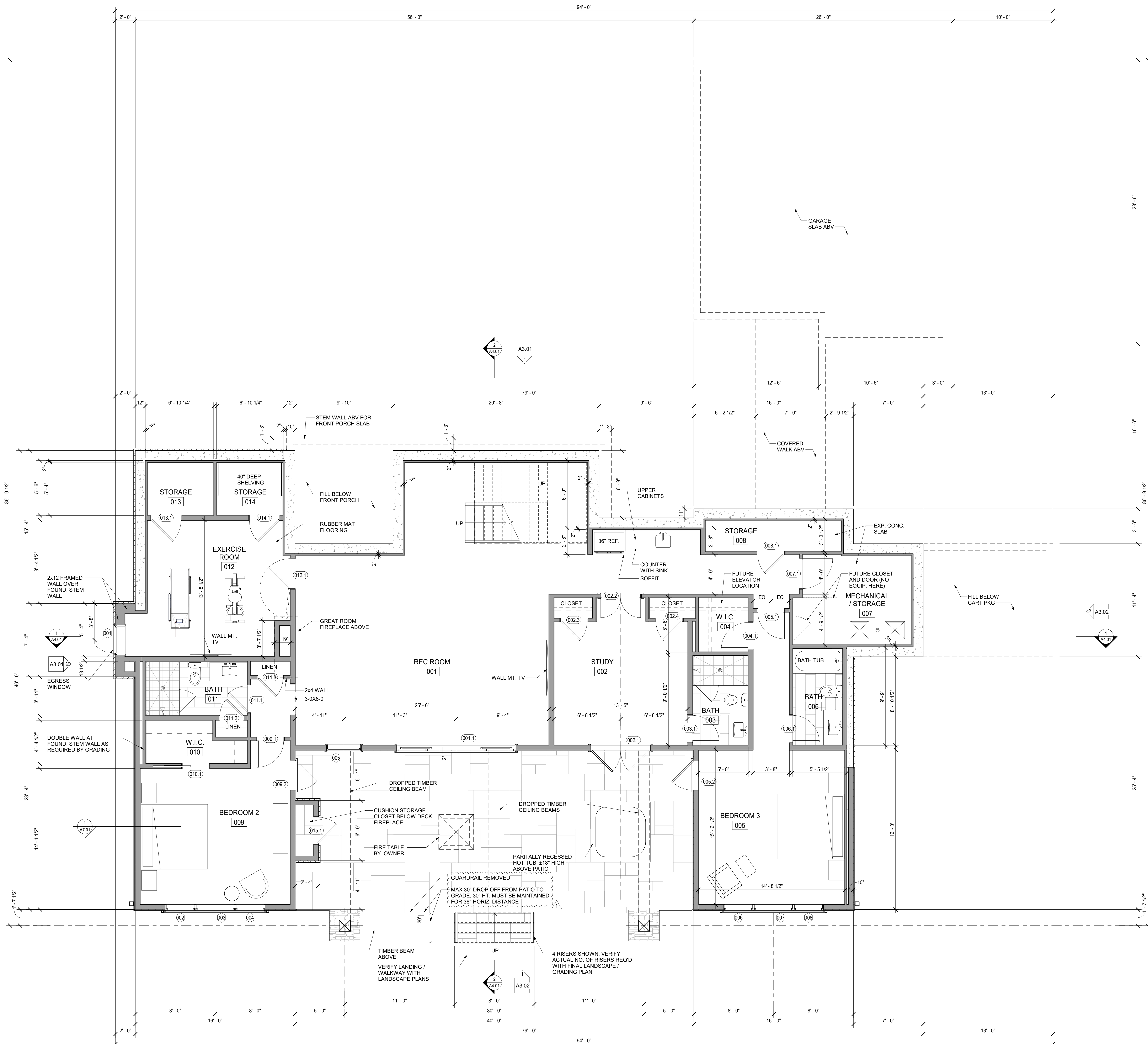
1 1/11/2021

PRICING SET

DATE: 1/8/2021

LOWER LEVEL PLAN

A2.02

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1/4" = 1'-0"

HEATED	
MAIN LEVEL	2403 SF
LOWER LEVEL	2203 SF
	4607 SF

PORCHES	
ML COVERED PORCH	713 SF
LL COVERED PORCH	657 SF
FRONT PORCH	95 SF
	1465 SF

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GARAGE	715 SF
MECHANICAL	187 SF
	902 SF
TOTAL PLANNED AREA	6974 SF

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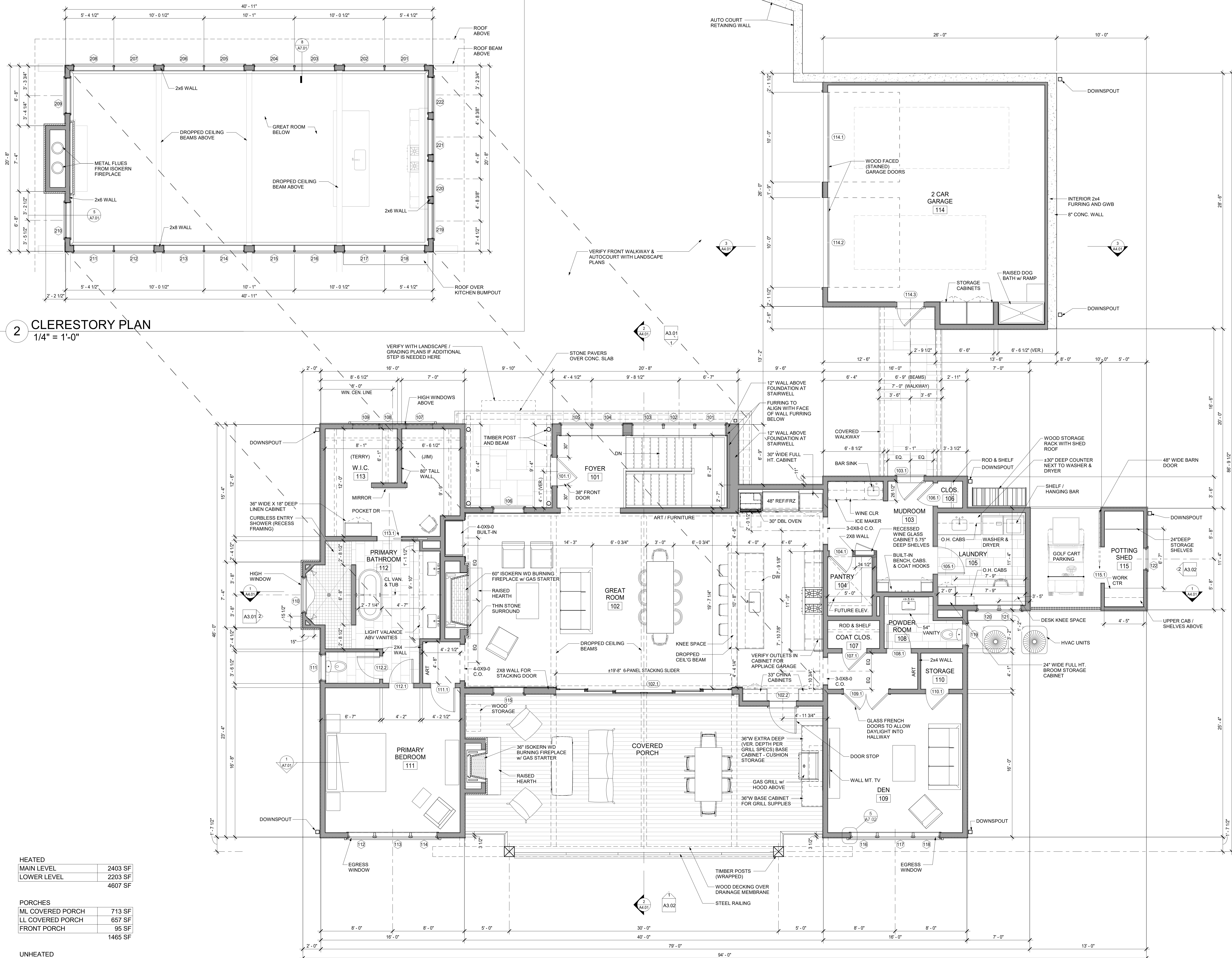
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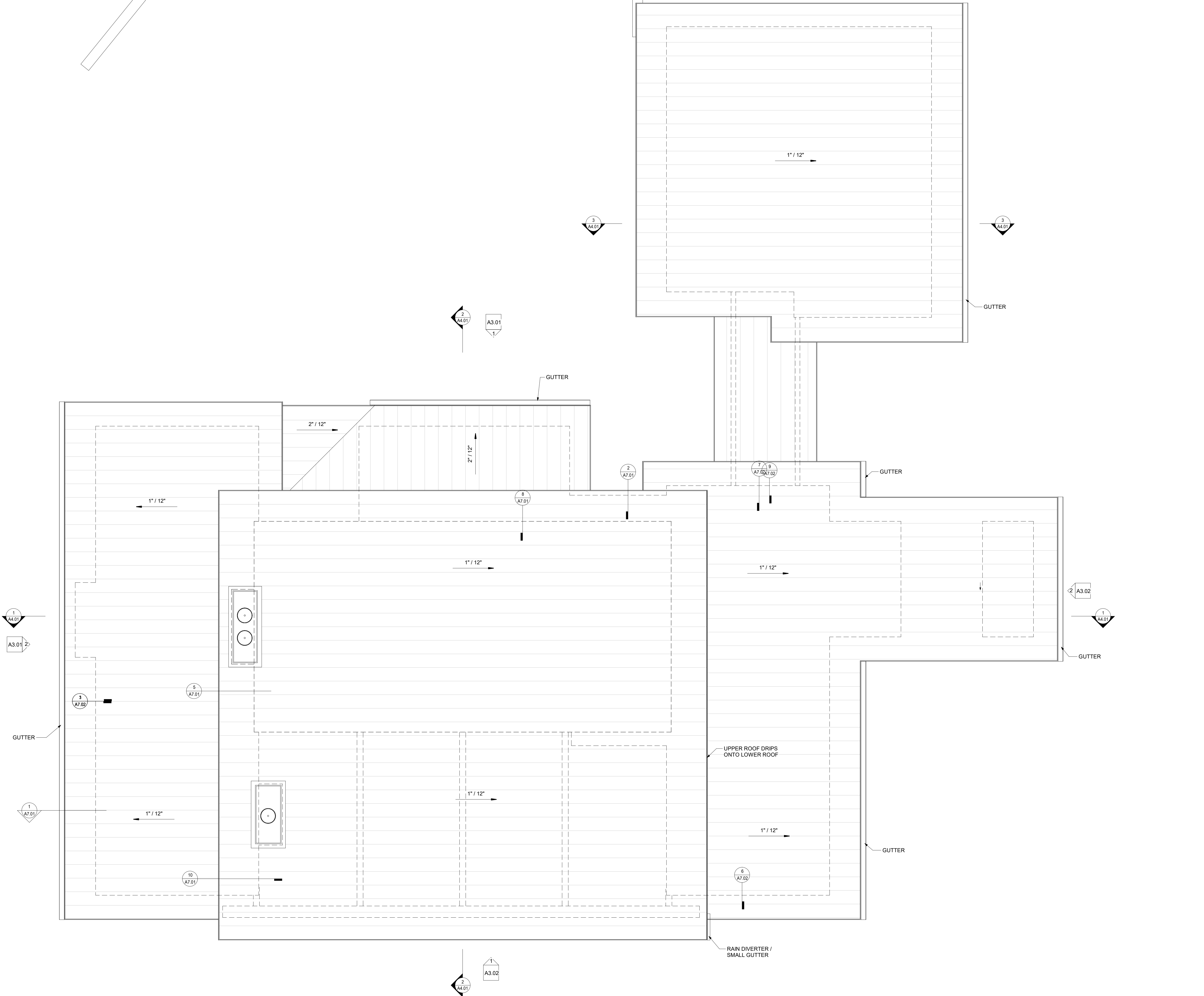
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MAIN LEVEL PLAN

A2.03

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PLOT INFO: 1/11/2021 10:27:27 AM BIM 360://20011 DavisDavis - Cloud Content.txt



1 ROOF PLAN
1/4" = 1'-0"

893 GRAYS HIGHWAY
RIDGELAND, SC 29936
1 HAYWOOD ST, SUITE 421
ASHEVILLE, NC 28801

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DAVIS RESIDENCE
24 BUSBEE ROAD
BILTMORE FOREST, NC 28803

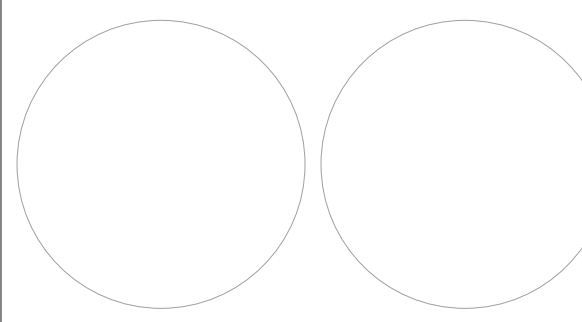
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ROOF PLAN

A2.04

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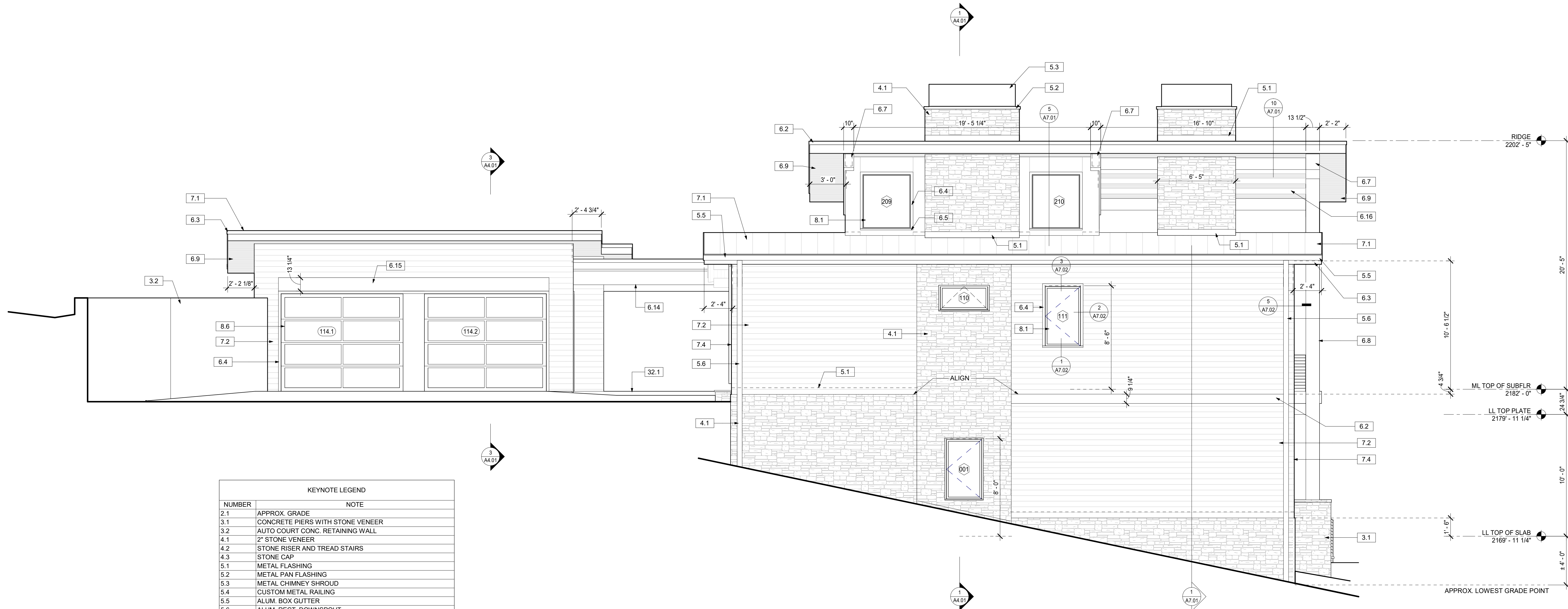
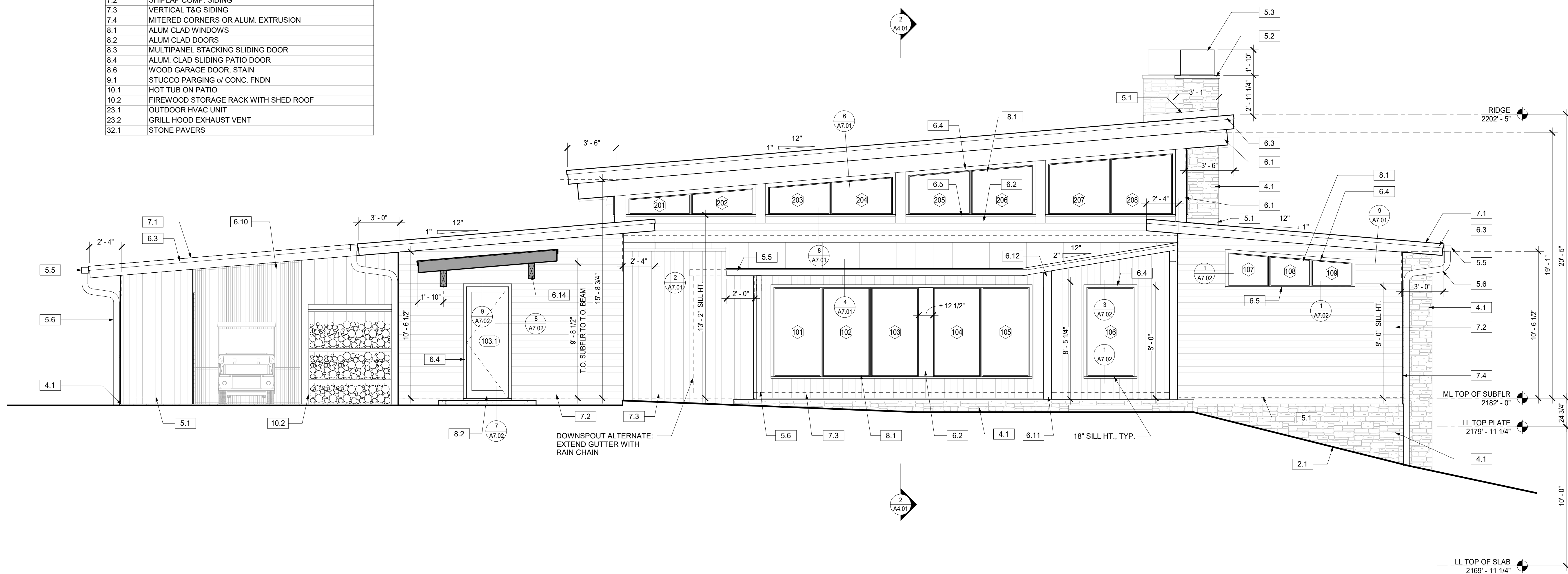
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ELEVATIONS

A3.01

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2 SE ELEVATION
1/4" = 1'-0"1 SW ELEVATION
1/4" = 1'-0"

KEYNOTE LEGEND	
NUMBER	NOTE
2.1	APPROX. GRADE
3.1	CONCRETE PIERS WITH STONE VENEER
3.2	AUTO COURT CONC. RETAINING WALL
4.1	2" STONE VENEER
4.2	STONE RISER AND TREAD STAIRS
4.3	STONE CAP
5.1	METAL FLASHING
5.2	METAL PAN FLASHING
5.3	METAL CHIMNEY SHROUD
5.4	CUSTOM METAL RAILING
5.5	ALUM. BOX GUTTER
5.6	ALUM. RECT. DOWNSPOUT
5.7	STEEL PANELS ON HOOD CHASE
6.1	1.5" COMP. TRIM, STAINED
6.2	5/4 COMP. EXT. TRIM
6.3	5/4 COMP. FASCIA
6.4	5/4x3 COMP. CASING
6.5	1.5" COMP. SILL
6.6	2x3 COMP. TRIM
6.7	TIMBER WRAPPED STRUC. BEAM
6.8	TIMBER WRAPPED STRUC. COL.
6.9	T&G SOFFIT, STAINED
6.10	VERT. WD SLAT SCREEN (CEDAR OR COMP)
6.11	6x6 TIMBER POSTS
6.12	6x10 TIMBER BEAM
6.14	WD BEAM PER STRUC. STAIN
6.15	1.5" COMP. TRIM
6.16	WD CEIL'G BEAMS, STAINED
6.17	PERR. CANT. BEAM SUPPORTING MAIN CANT.
7.1	METAL ROOF OVER LOW SLOPE MEMBRANE
7.2	SHIPLAP COMP. SIDING
7.3	VERTICAL T&G SIDING
7.4	MITERED CORNERS OR ALUM. EXTRUSION
8.1	ALUM. CLAD WINDOWS
8.2	ALUM. CLAD DOORS
8.3	MULTIPANEL STACKING SLIDING DOOR
8.4	ALUM. CLAD SLIDING PATIO DOOR
8.6	WOOD GARAGE DOOR, STAIN
9.1	STUCCO PARING or CONC. FNDN
10.1	HOT TUB ON PATIO
10.2	FIREWOOD STORAGE RACK WITH SHED ROOF
23.1	OUTDOOR HVAC UNIT
23.2	GRILL HOOD EXHAUST VENT
32.1	STONE PAVERS

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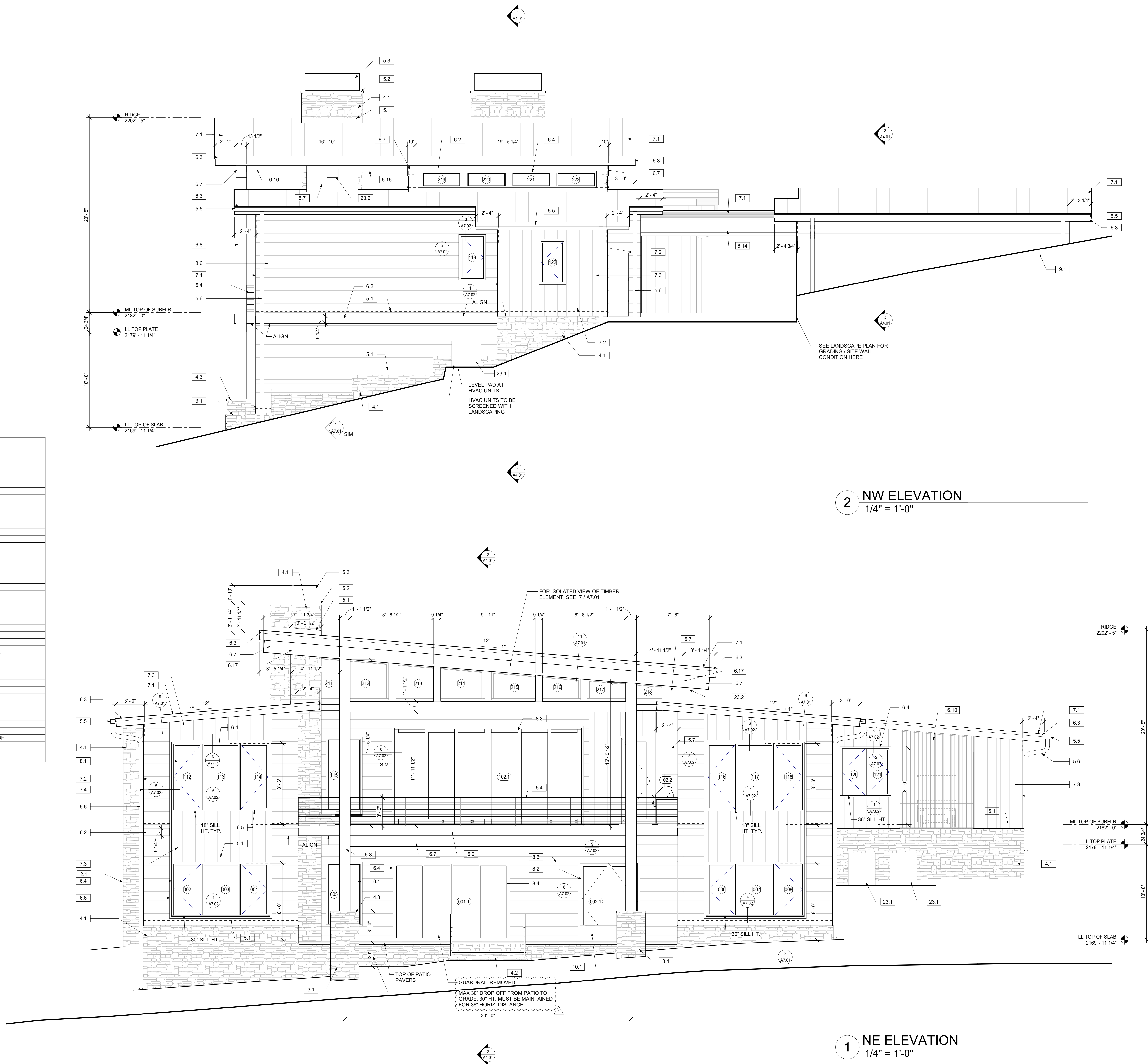
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ELEVATIONS

A3.02

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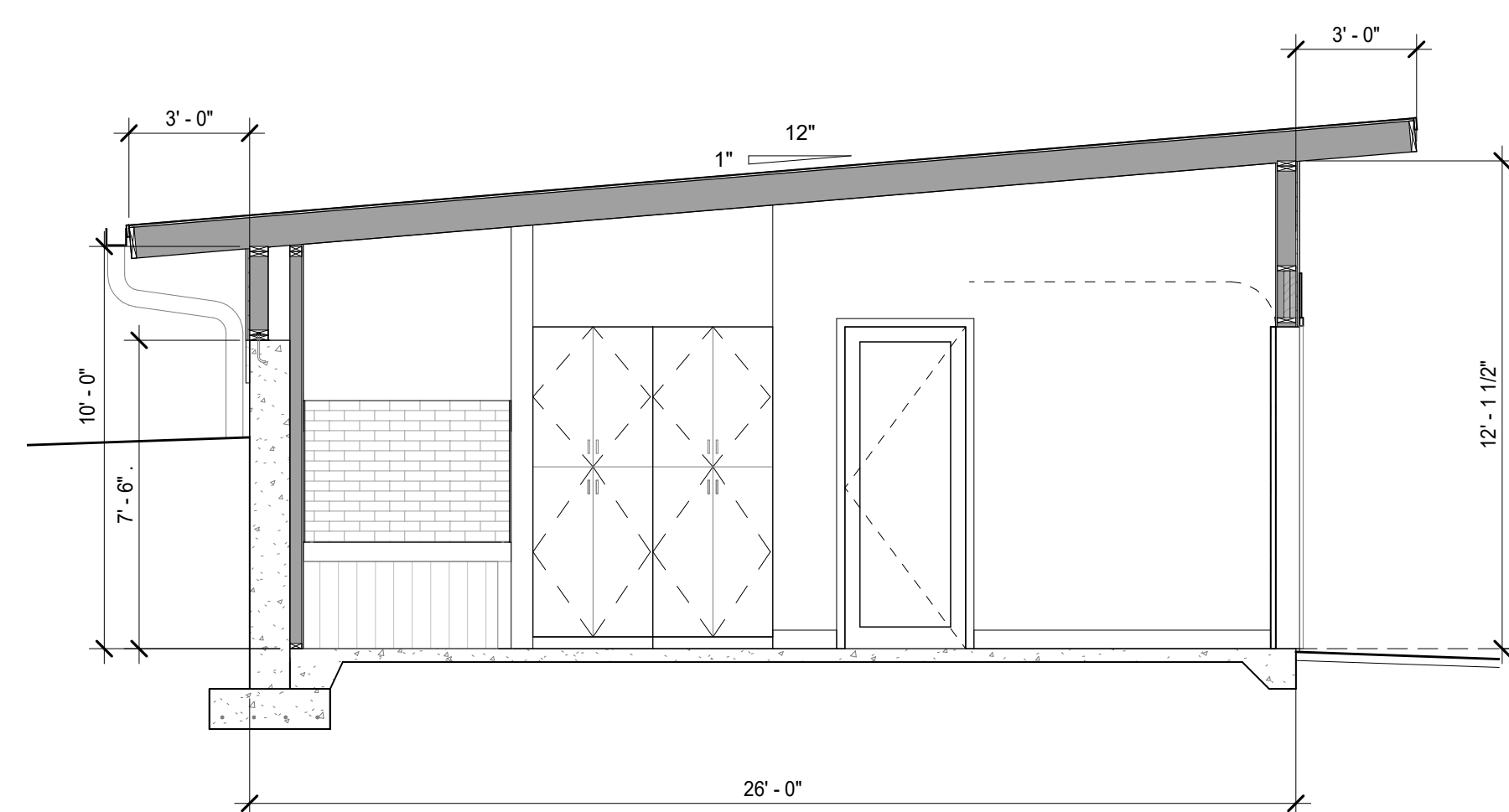
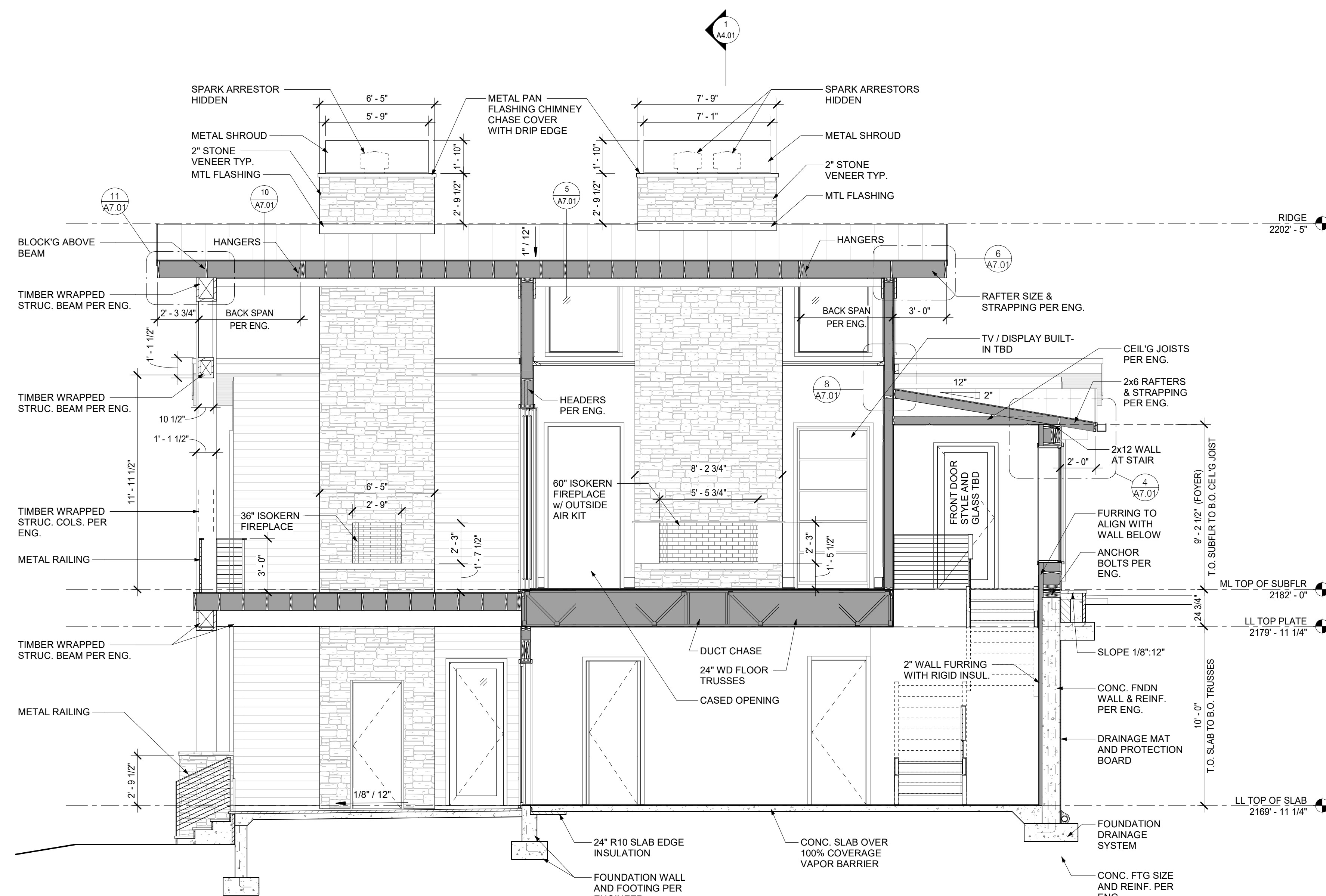
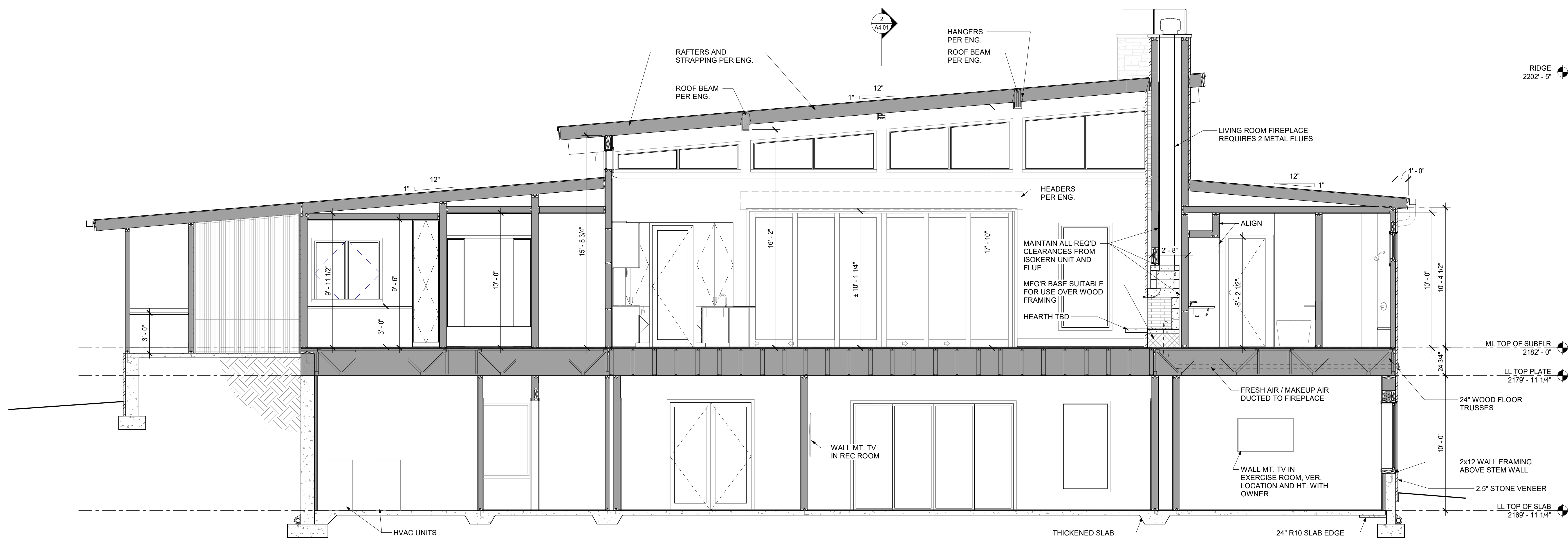
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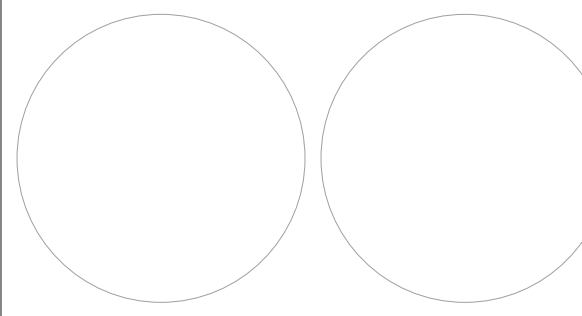
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BUILDING SECTIONS

A4.01

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3 GARAGE SECTION
1/4" = 1'-0"2 BUILDING SECTION 2
1/4" = 1'-0"1 BUILDING SECTION 1
1/4" = 1'-0"



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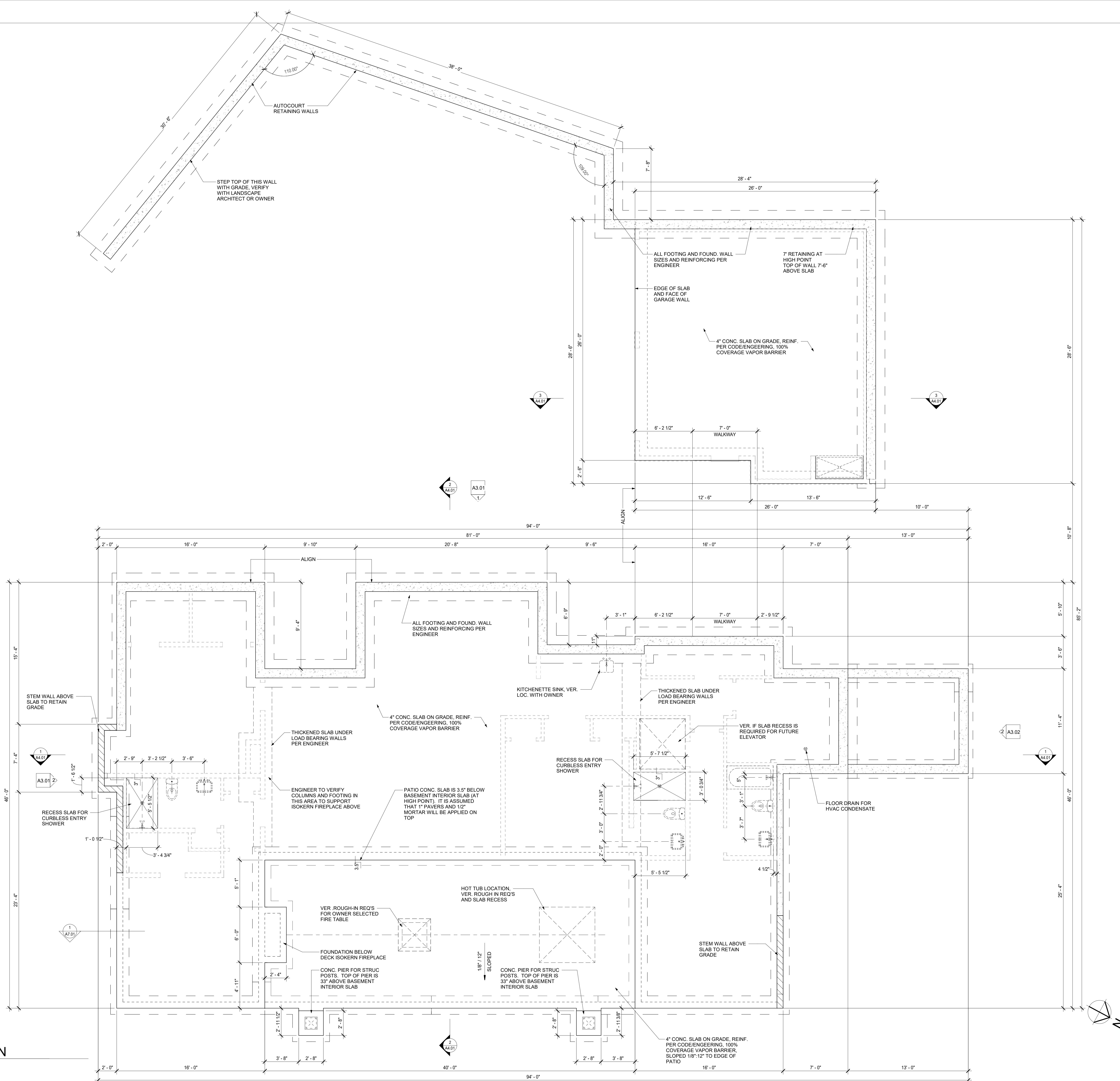
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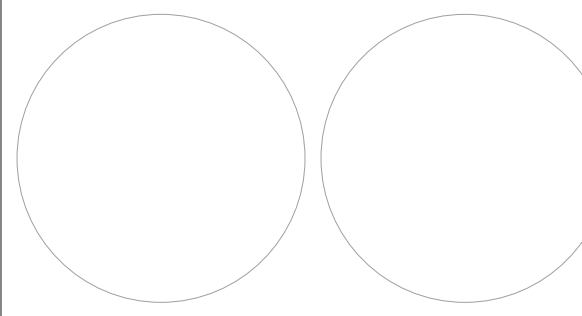
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FOUNDATION LAYOUT
PLAN

A2.01

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1/4" = 1'-0"



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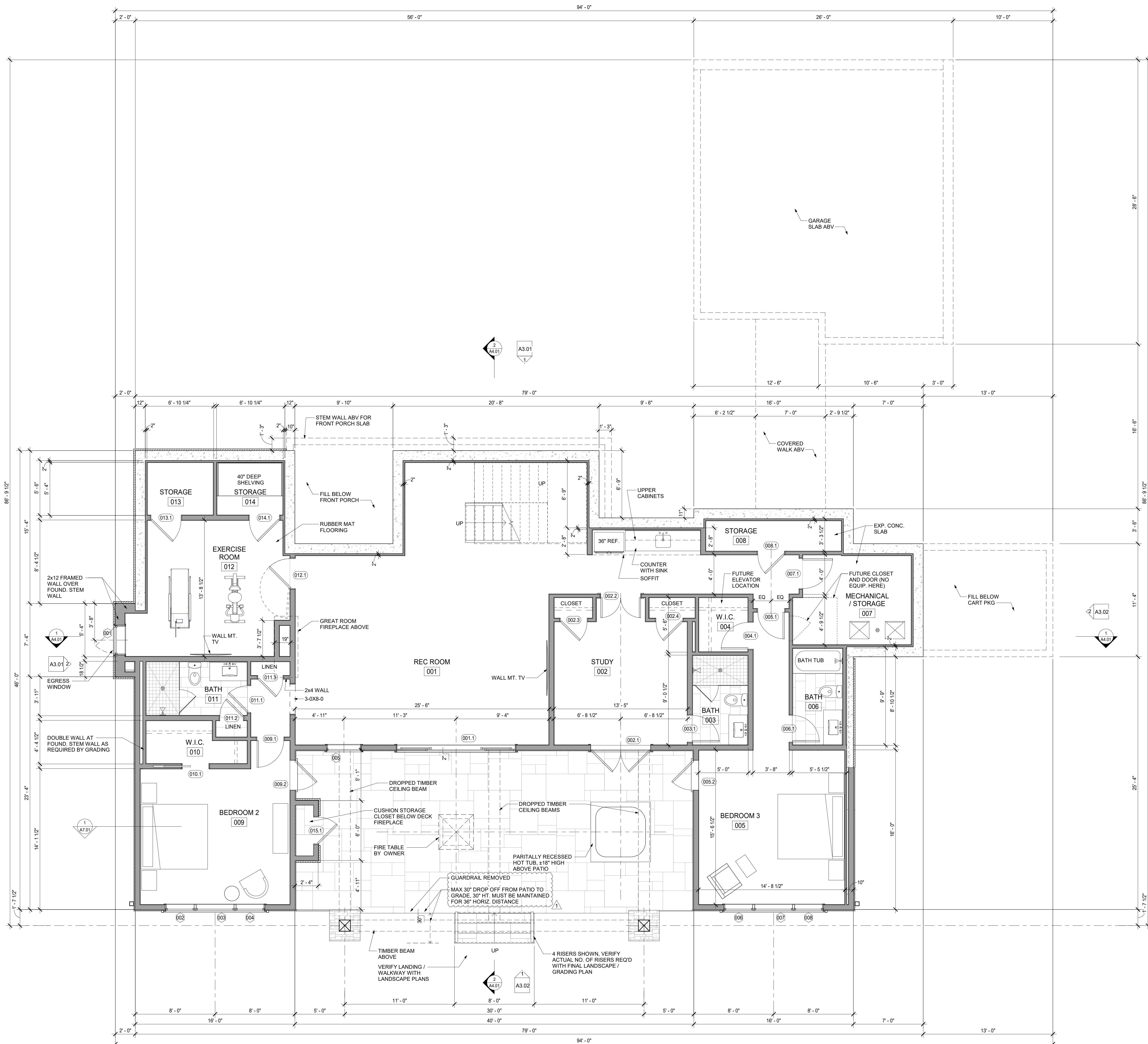
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LOWER LEVEL PLAN

A2.02

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LOWER LEVEL	2203 SF
	4607 SF

PORCHES	
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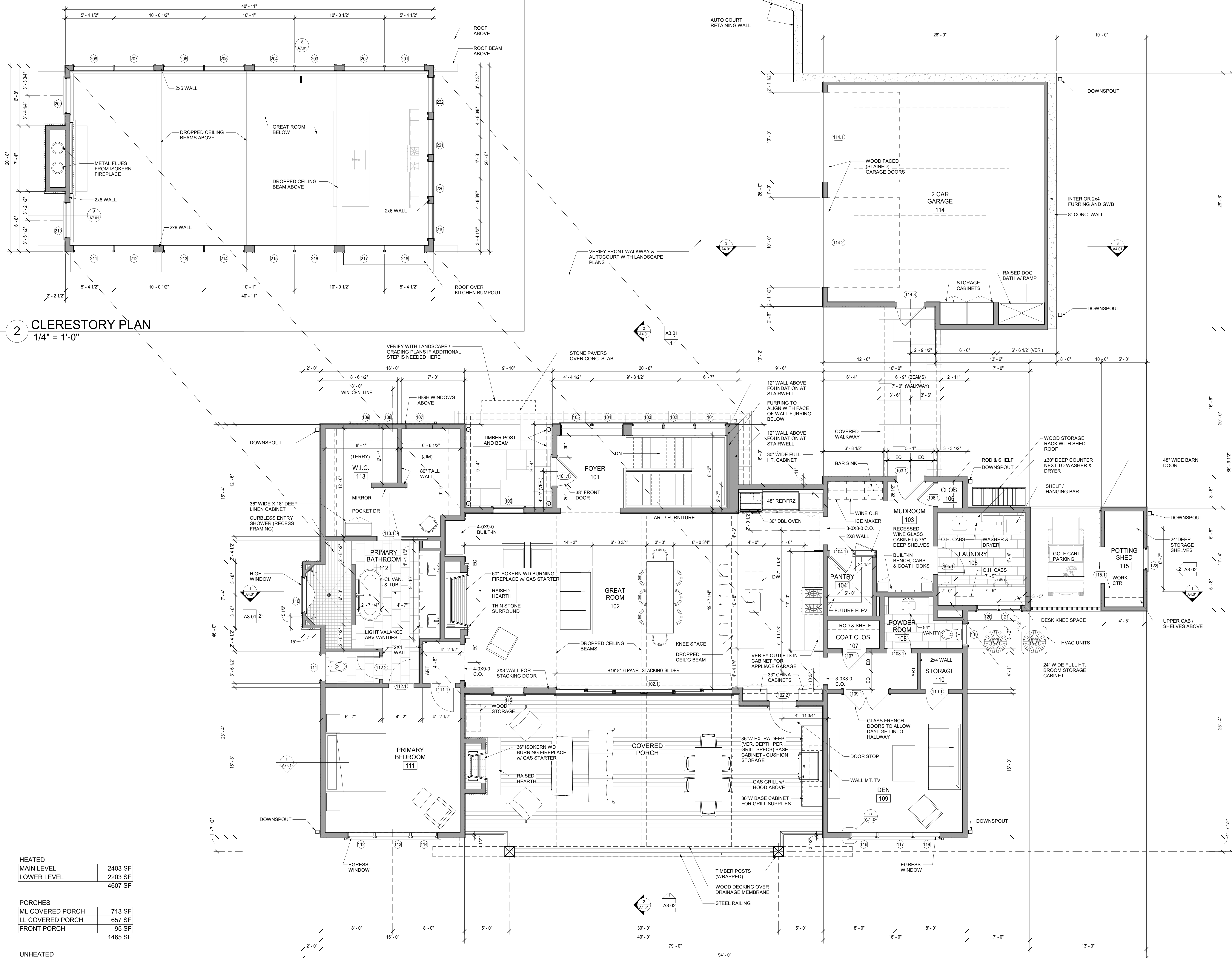
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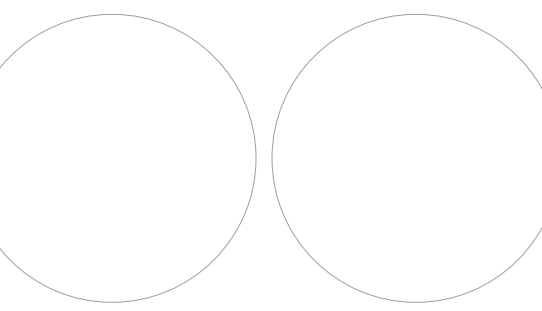
PRICING SET

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MAIN LEVEL PLAN

A2.03

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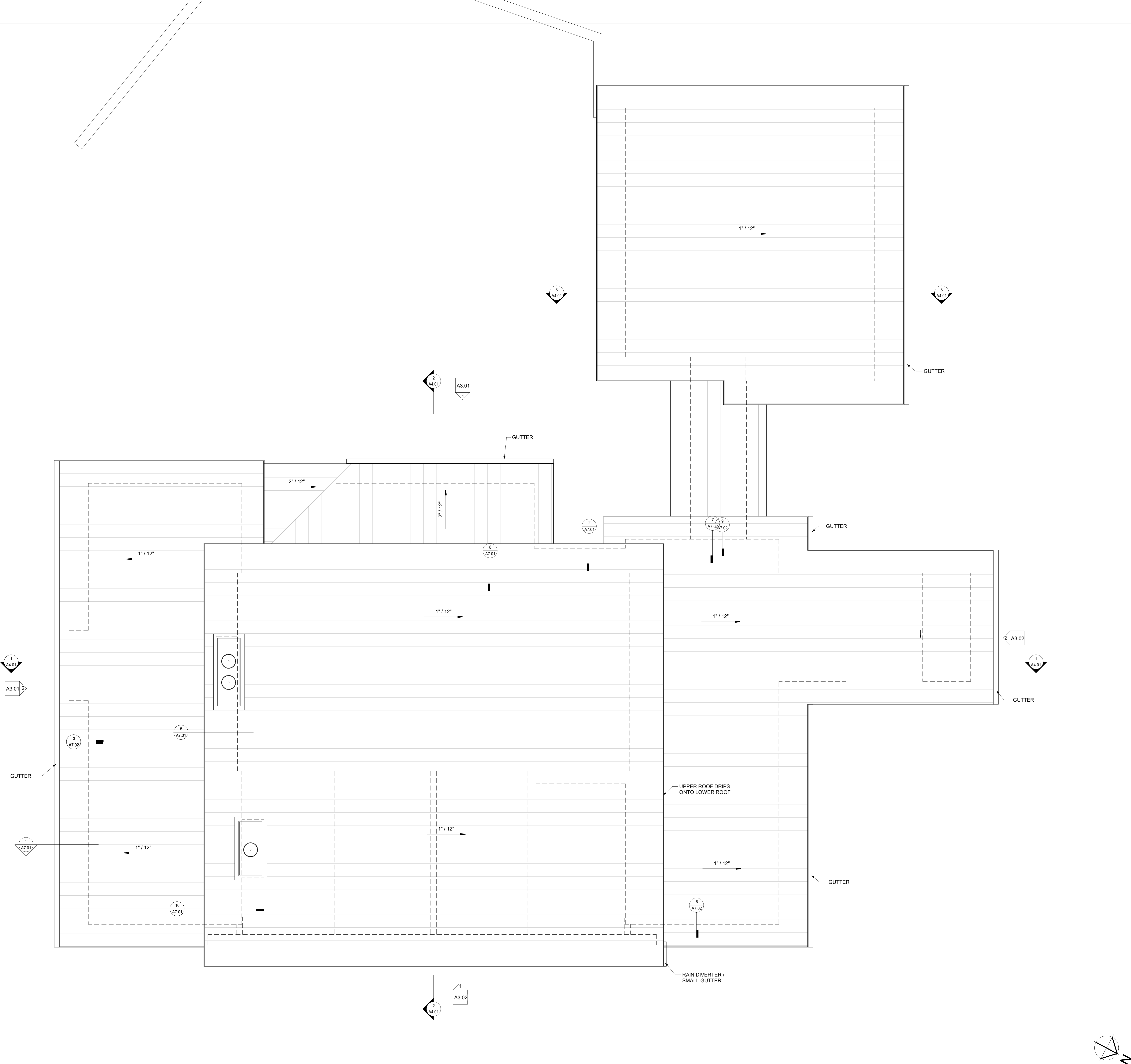
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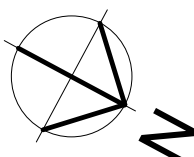
ROOF PLAN

A2.04

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1 ROOF PLAN
1/4" = 1'-0"



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A7.01	DETAILS
A7.02	DETAILS
A8.01	SCHEDULES / WDW DIAGRAMS
E1.01	LOWER LEVEL ELECTRICAL PLAN
E1.02	MAIN LEVEL ELECTRICAL PLAN

PRICING SET - NOT FOR CONSTRUCTION

NEW CONSTRUCTION FOR:

DAVIS RESIDENCE

24 BUSBEE ROAD
BILTMORE FOREST, NC 28803

PROJECT NO.

20011

DRAWN BY: HD

CHECKED BY: HD

REVISION SCHEDULE

REV. NO.

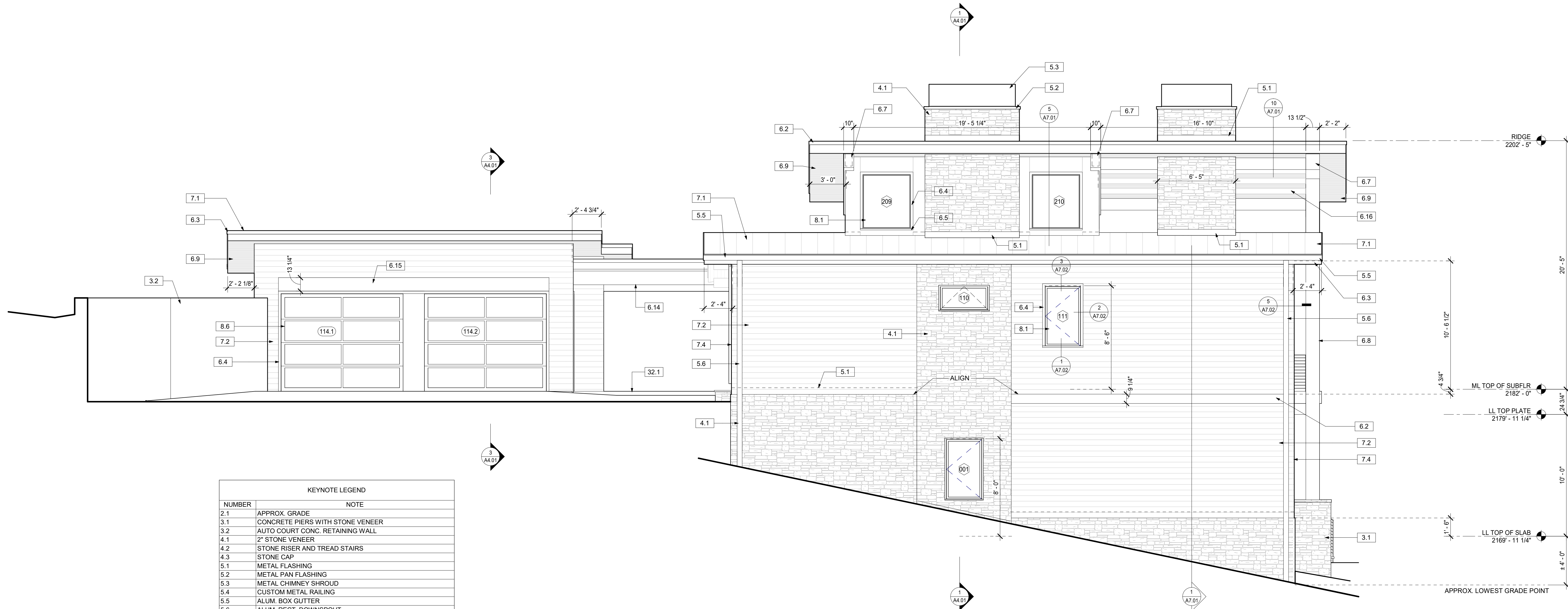
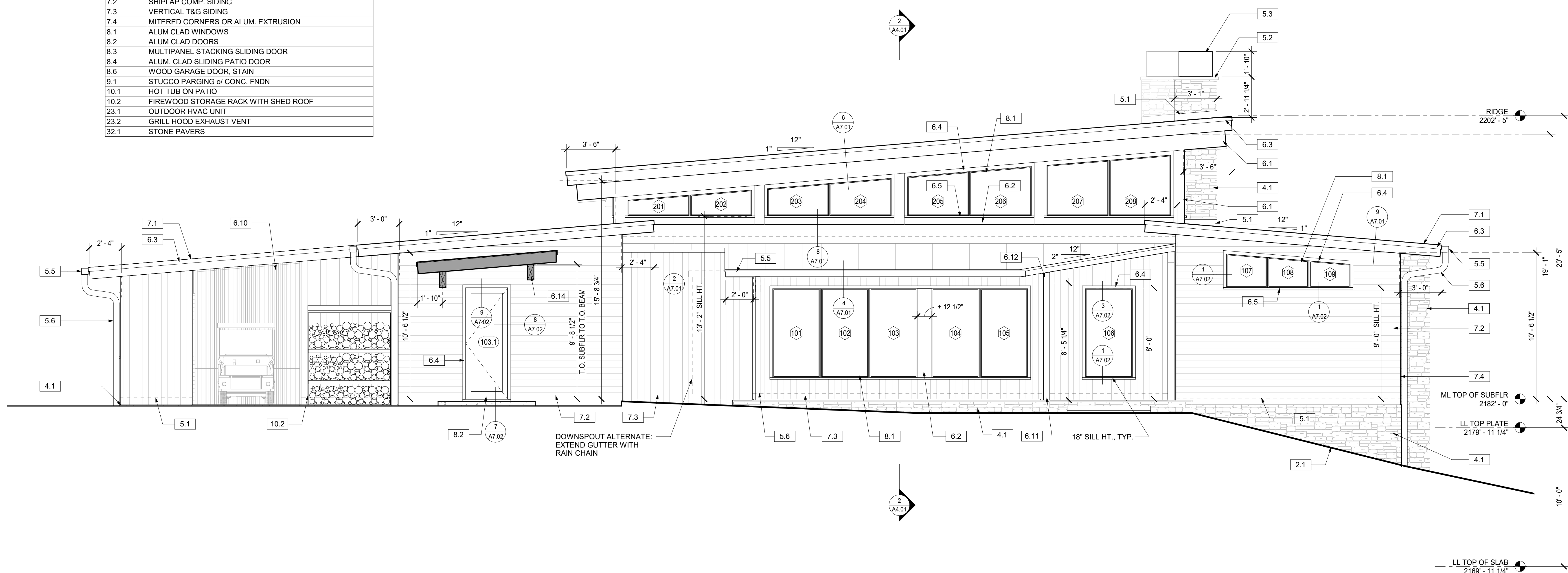
REV. DATE

PRICING SET

DATE: 1/8/2021

ELEVATIONS

A3.01

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WITHOUT FIRST OBTAINING WRITTEN AUTHORIZATION FROM
THE COPYRIGHT OWNER, WOODS DENDY ARCHITECTS, LLC.2 SE ELEVATION
1/4" = 1'-0"1 SW ELEVATION
1/4" = 1'-0"

KEYNOTE LEGEND	
NUMBER	NOTE
2.1	APPROX. GRADE
3.1	CONCRETE PIERS WITH STONE VENEER
3.2	AUTO COURT CONC. RETAINING WALL
4.1	2" STONE VENEER
4.2	STONE RISER AND TREAD STAIRS
4.3	STONE CAP
5.1	METAL FLASHING
5.2	METAL PAN FLASHING
5.3	METAL CHIMNEY SHROUD
5.4	CUSTOM METAL RAILING
5.5	ALUM. BOX GUTTER
5.6	ALUM. RECT. DOWNSPOUT
5.7	STEEL PANELS ON HOOD CHASE
6.1	1.5" COMP. TRIM, STAINED
6.2	5/4 COMP. EXT. TRIM
6.3	5/4 COMP. FASCIA
6.4	5/4x3 COMP. CASING
6.5	1.5" COMP. SILL
6.6	2x3 COMP. TRIM
6.7	TIMBER WRAPPED STRUC. BEAM
6.8	TIMBER WRAPPED STRUC. COL.
6.9	T&G SOFFIT, STAINED
6.10	VERT. WD SLAT SCREEN (CEDAR OR COMP)
6.11	6x6 TIMBER POSTS
6.12	6x10 TIMBER BEAM
6.14	WD BEAM PER STRUC. STAIN
6.15	1.5" COMP. TRIM
6.16	WD CEIL'G BEAMS, STAINED
6.17	PERR. CANT. BEAM SUPPORTING MAIN CANT.
7.1	METAL ROOF OVER LOW SLOPE MEMBRANE
7.2	SHIPLAP COMP. SIDING
7.3	VERTICAL T&G SIDING
7.4	MITERED CORNERS OR ALUM. EXTRUSION
8.1	ALUM. CLAD WINDOWS
8.2	ALUM. CLAD DOORS
8.3	MULTIPANEL STACKING SLIDING DOOR
8.4	ALUM. CLAD SLIDING PATIO DOOR
8.6	WOOD GARAGE DOOR, STAIN
9.1	STUCCO PARING or CONC. FNDN
10.1	HOT TUB ON PATIO
10.2	FIREWOOD STORAGE RACK WITH SHED ROOF
23.1	OUTDOOR HVAC UNIT
23.2	GRILL HOOD EXHAUST VENT
32.1	STONE PAVERS

INDEX OF DRAWINGS

ARCHITECTURAL	
A2.01	FOUNDATION LAYOUT PLAN
A2.02	LOWER LEVEL PLAN
A2.03	MAIN LEVEL PLAN
A2.04	ROOF PLAN
A3.01	ELEVATIONS
A3.02	ELEVATIONS
A4.01	BUILDING SECTIONS
A7.01	DETAILS
A7.02	DETAILS
A8.01	SCHEDULES / WDW DIAGRAMS
E1.01	LOWER LEVEL ELECTRICAL PLAN
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1

1/11/2021

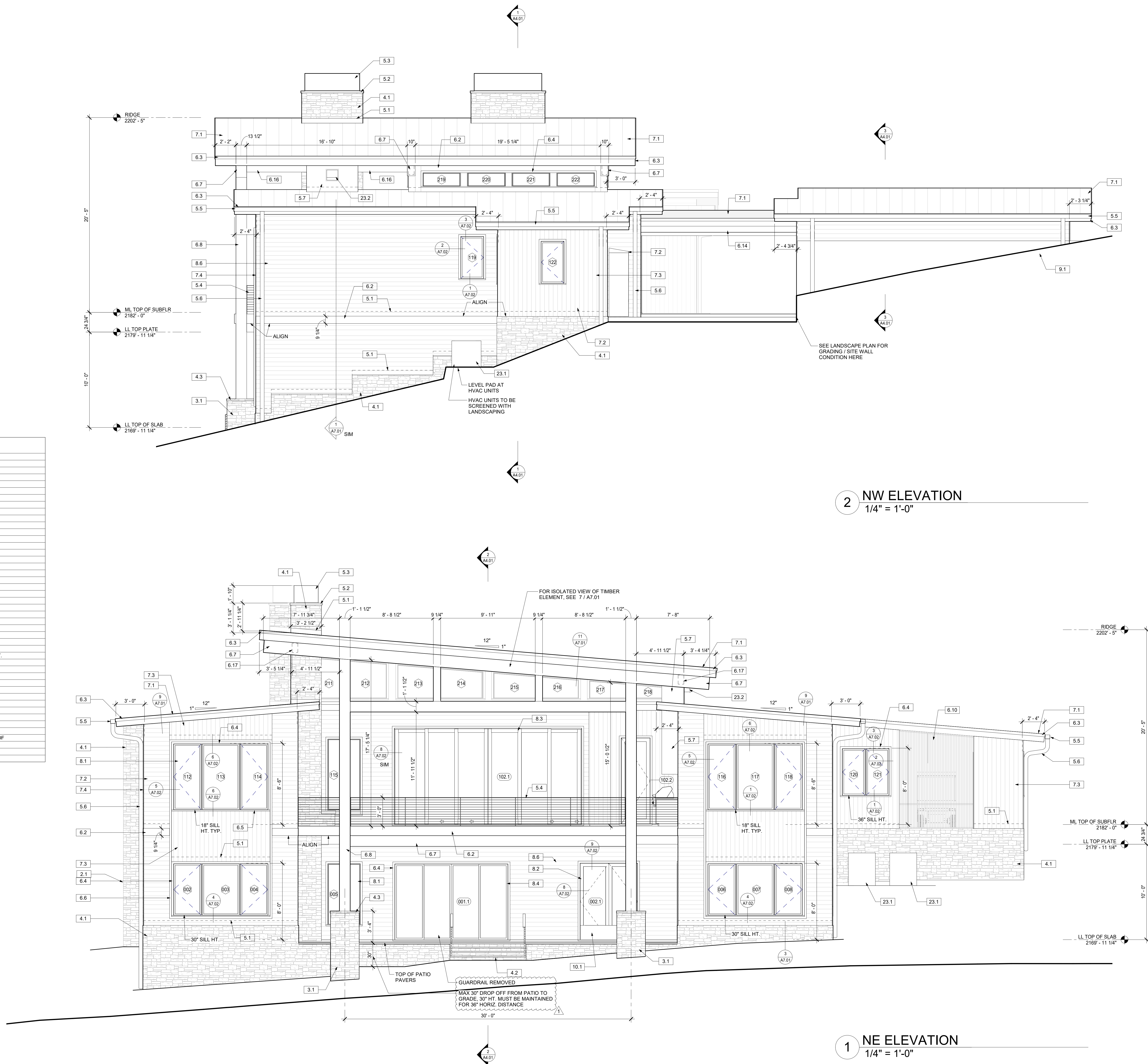
REV. DATE

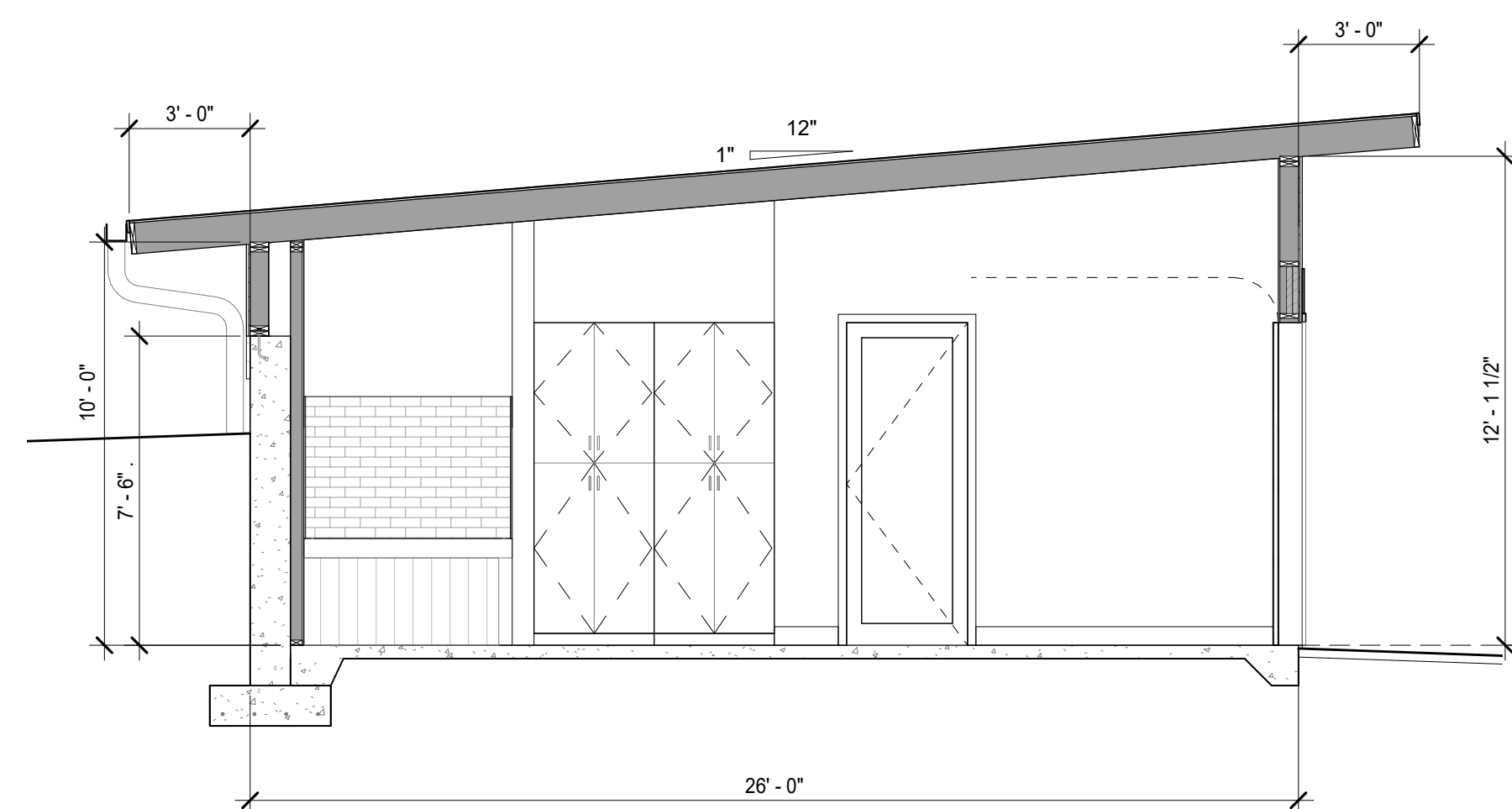
PRICING SET

DATE: 1/8/2021

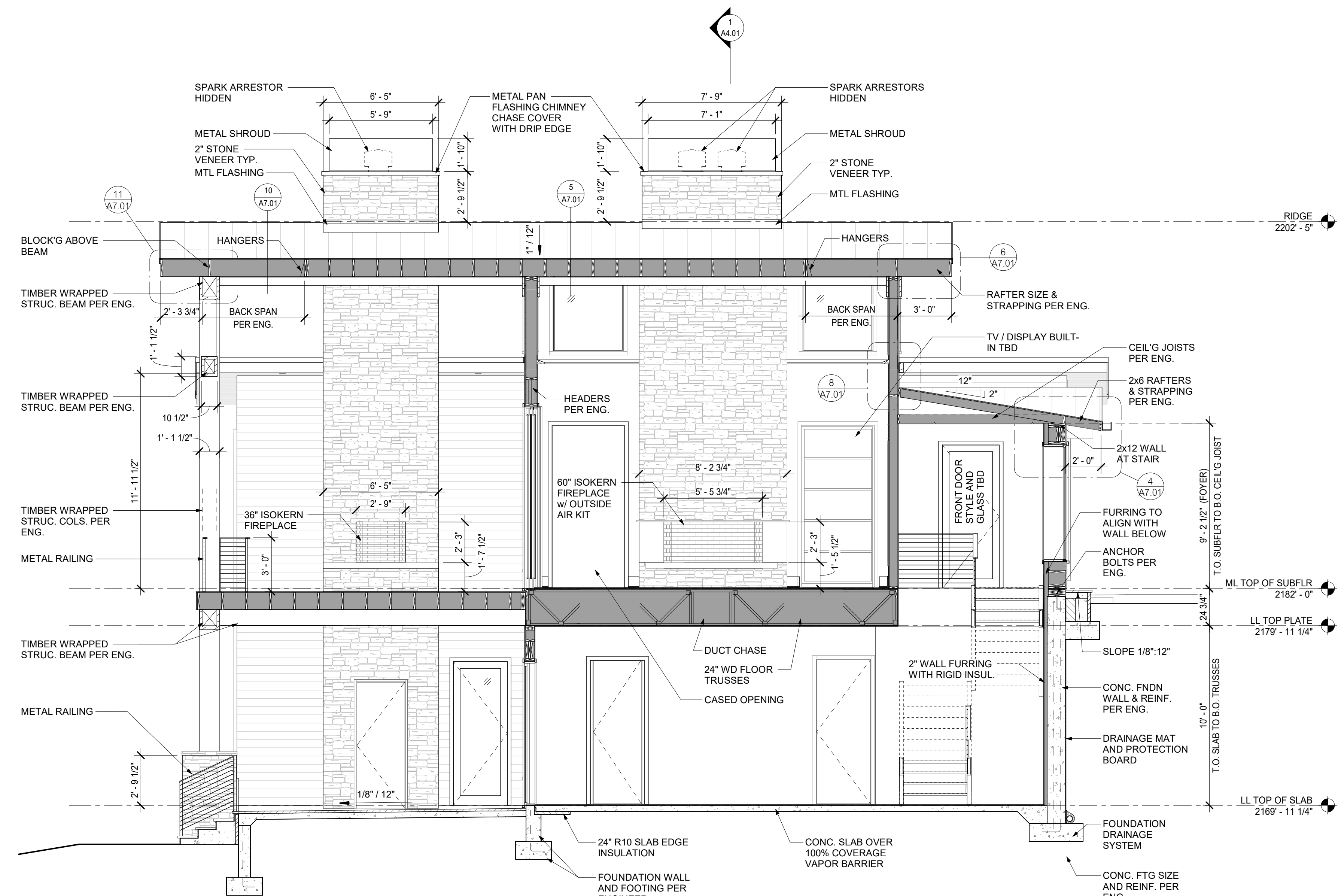
ELEVATIONS

A3.02

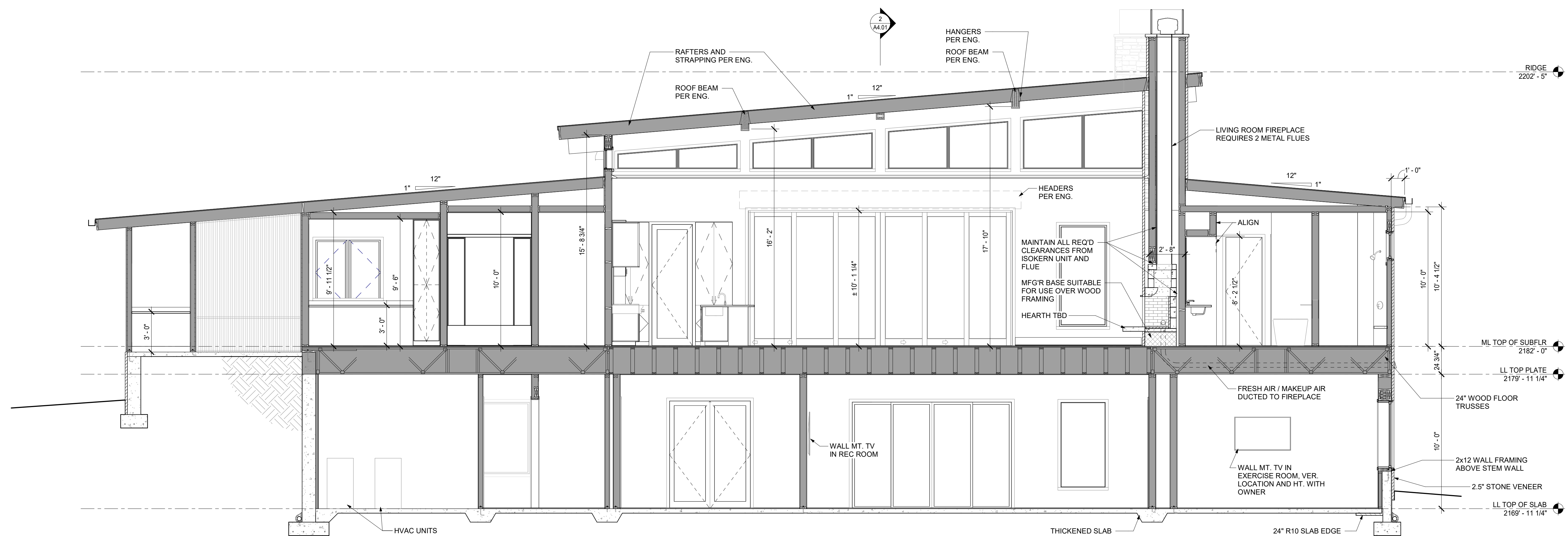
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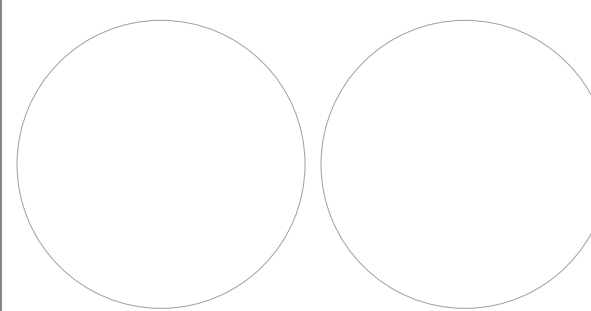
3 GARAGE SECTION
1/4" = 1'-0"



2 BUILDING SECTION 2
1/4" = 1'-0"



1 BUILDING SECTION 1
1/4" = 1'-0"



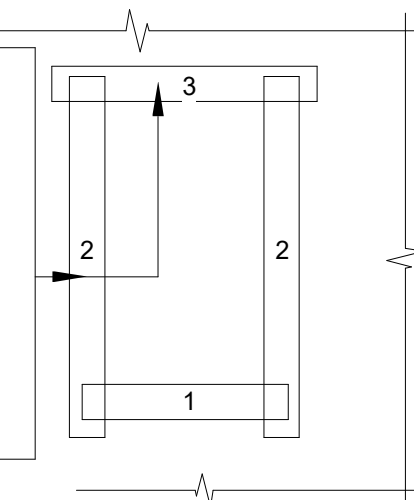
INDEX OF DRAWINGS

ARCHITECTURAL	
A2.01	FOUNDATION LAYOUT PLAN
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INSTALL ZIP TAPE

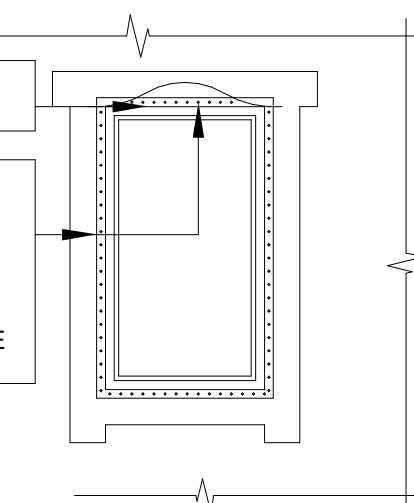
(MIN. OF 8" WIDE)
DIRECTLY TO PLYWOOD
SHEATHING AND
FRAMING, WRAPPING
OPENING, BEGINNING W/
SILL, THEN JAMBS AND
FINALLY HEAD. LAP ALL
WORK IN DIRECTION OF
WATER FLOW. NOTE:
CUT ZIP TAPE FLUSH W/
INSIDE OF HEADER.
- DO NOT TURN
TAPE UP AT INSIDE
FACE OF HEADER.

STEP 1

ZIP TAPE FROM STEP 1
SHOWN DOTTED.

INSTALL WINDOW IN OPNG.
WITH NAILING FLANGE TIGHT
AGAINST ZIP SHITG AT
JAMBS AND SILL AND
AGAINST ZIP TAPE FROM
STEP 1 AT HEAD. NAIL FLANGE
INTO FRAMING THROUGH

STEP 2

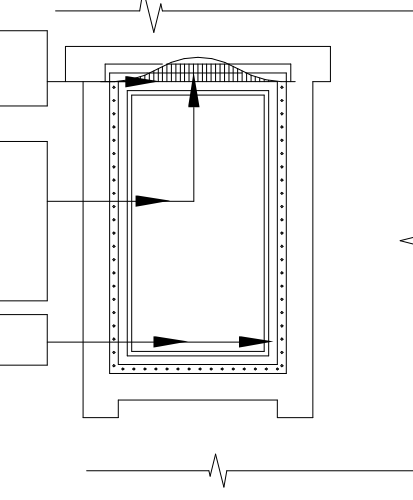
ZIP TAPE FROM STEP 1
SHOWN DOTTED.

METAL HEAD FLASHING -
INSTALL OVER NAILING FL.

WITH UPSTANDING LEG OF
FLASHING TIGHT AGAINST
ZIP TAPE FROM STEP 1.

WINDOW UNIT INSTALLED
AS SHOWN

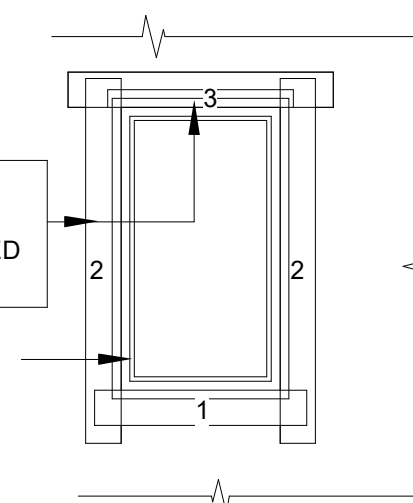
STEP 3



INSTALL ZIP TAPE AROUND
OPENING IN ORDER INDICATED

WINDOW UNIT FROM STEP 3

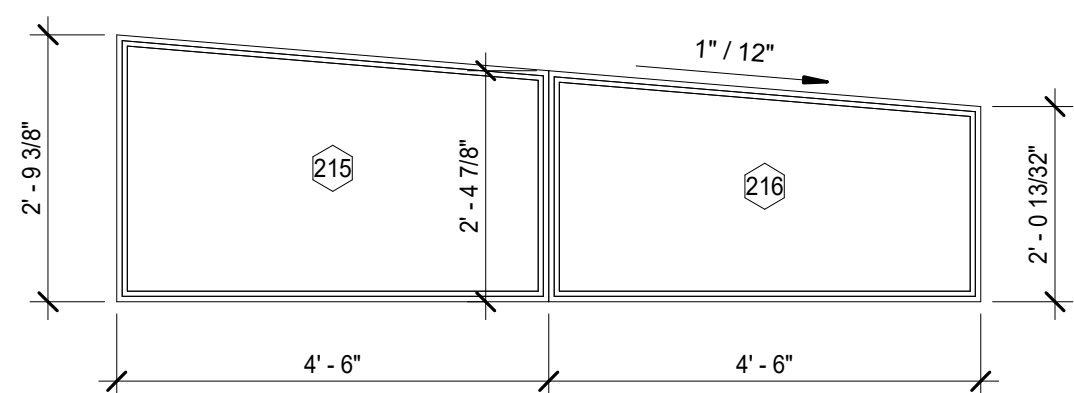
STEP 4



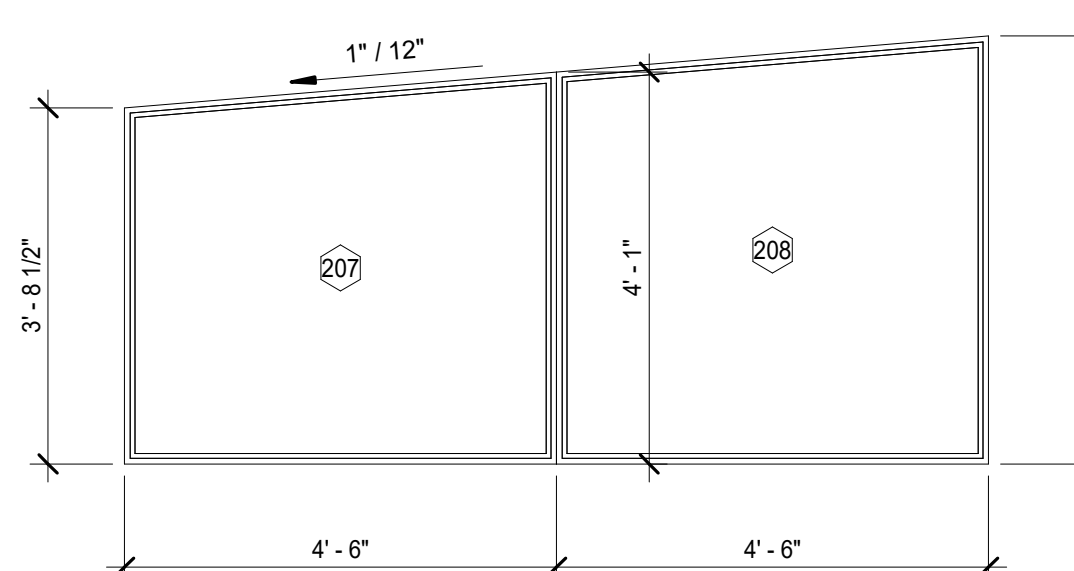
WINDOW INSTALL SEQUENCE

TRAPEZOID WINDOW UNITS:

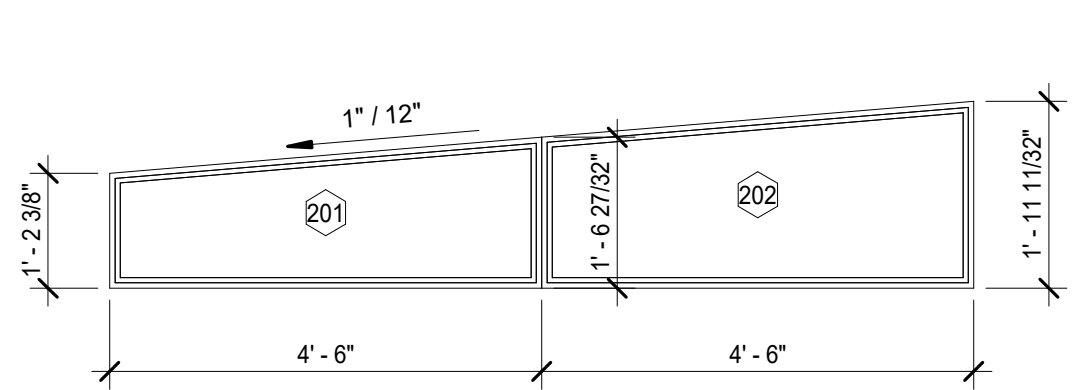
(ALL UNITS AS SEEN FROM THE EXTERIOR)



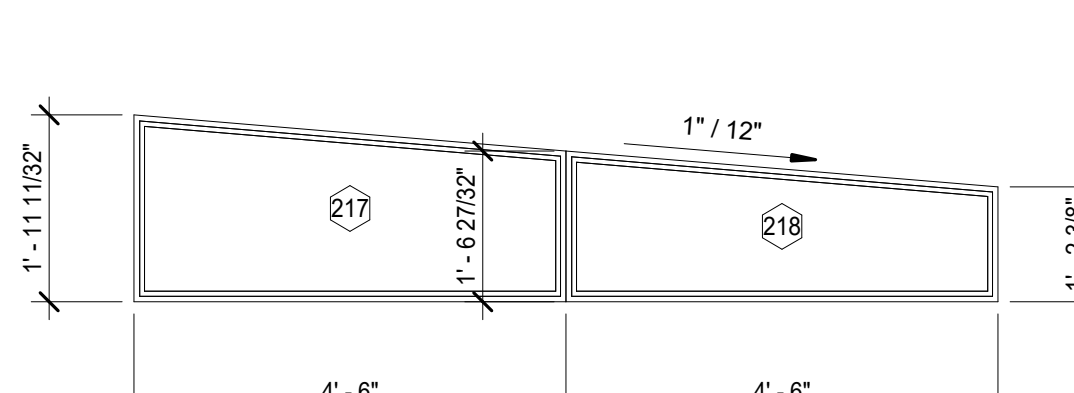
UNITS 215 & 216



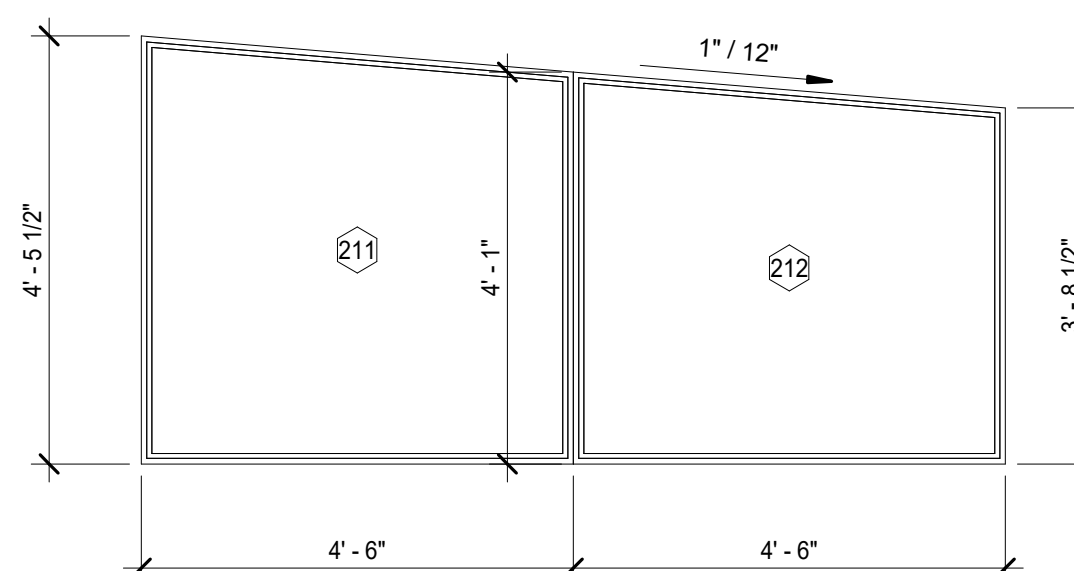
UNITS 207 & 208



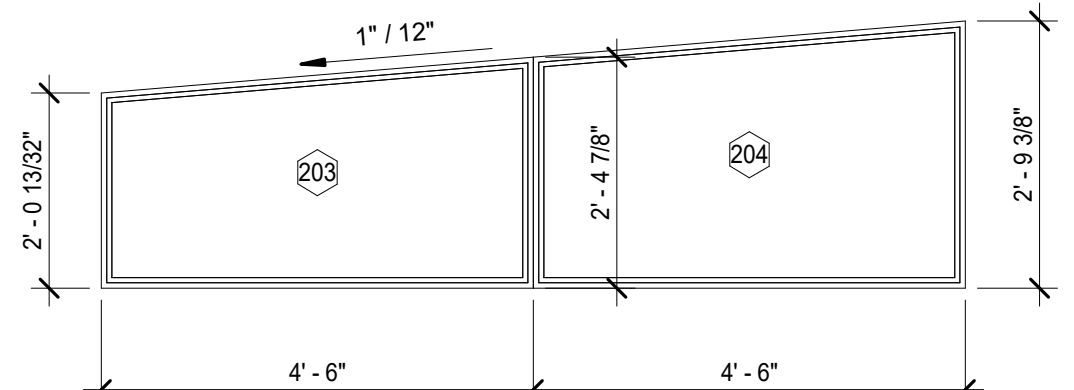
UNITS 201 & 202



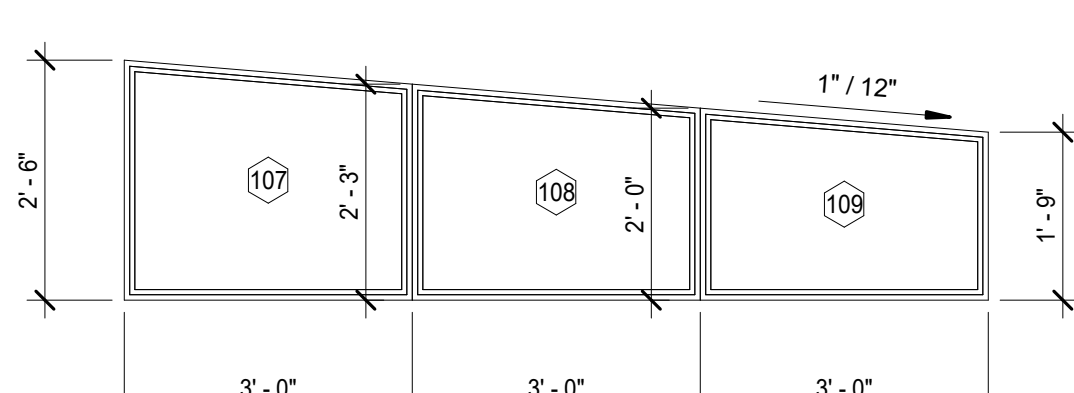
UNITS 217 & 218



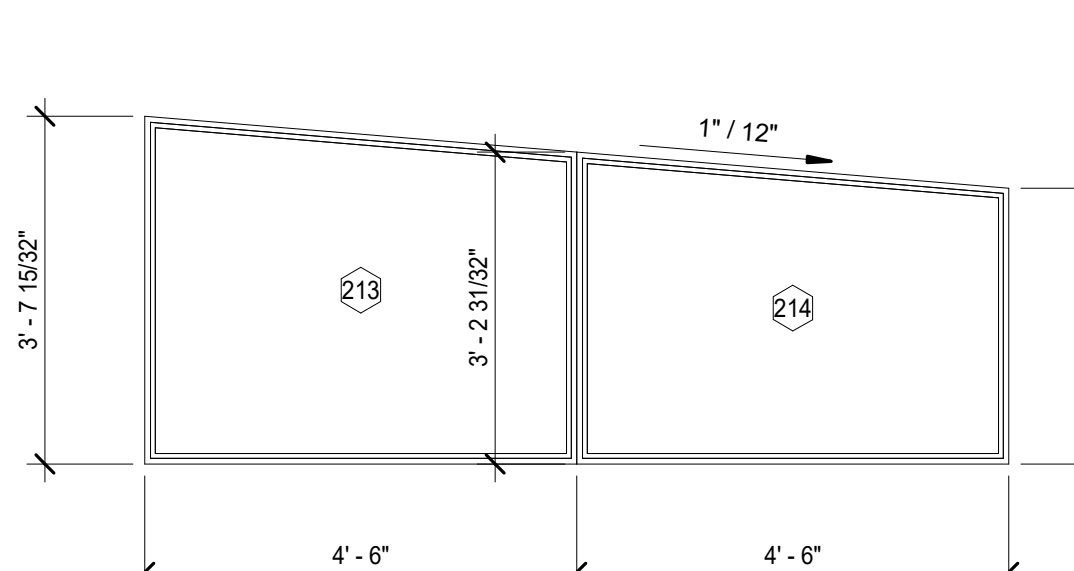
UNITS 211 & 212



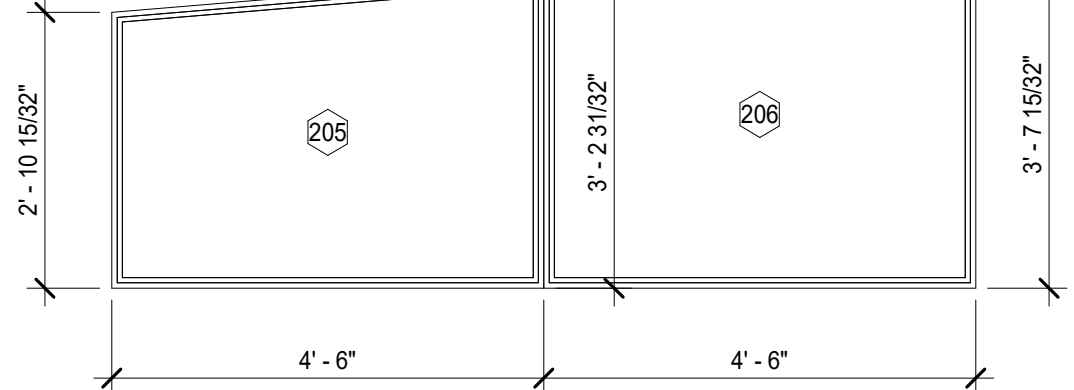
UNITS 203 & 204



UNITS 107, 108 & 109



UNITS 213 & 214



UNITS 205 & 206

WINDOW SCHEDULE

NO.	TYPE	NOMINAL UNIT SIZE			GLASS TYPE	OPERABLE	HEAD	JAMB	SILL	COMMENTS
		WIDTH	HEIGHT	HEAD HT. A.F.F.						
001	CAS	3'-0"	5'-0"	5'-0"	INSULOW-E	Y				
002	CAS	3'-0"	5'-6"	5'-6"	INSULOW-E	Y				
003	FIXED CAS.	4'-0"	5'-6"	5'-6"	INSULOW-E	N				
004	CAS	3'-0"	5'-6"	5'-6"	INSULOW-E	Y				
005	FIXED CAS.	3'-6"	5'-6"	5'-6"	INSULOW-E	N				
006	CAS	3'-0"	5'-6"	5'-6"	INSULOW-E	Y				
007	FIXED CAS.	4'-0"	5'-6"	5'-6"	INSULOW-E	N				
008	CAS	3'-0"	5'-6"	5'-6"	INSULOW-E	Y				
101	FIXED CAS.	3'-6"	5'-6"	5'-6"	INSULTEMPERED	N				
102	FIXED CAS.	3'-6"	5'-6"	5'-6"	INSULTEMPERED	N				
103	FIXED CAS.	3'-6"	5'-6"	5'-6"	INSULTEMPERED	N				
104	FIXED CAS.	3'-6"	5'-6"	5'-6"	INSULTEMPERED	N				
105	FIXED CAS.	3'-6"	5'-6"	5'-6"	INSULTEMPERED	N				
106	FIXED CAS.	3'-6"	5'-6"	5'-6"	INSULOW-E	N				SEE DIAGRAM
107	TRAPEZOID	3'-0"	2'-3"	10'-3"	INSULOW-E	N				SEE DIAGRAM
108	TRAPEZOID	3'-0"	2'-0"	10'-0"	INSULOW-E	N				SEE DIAGRAM
109	TRAPEZOID	3'-0"	1'-9"	9'-9"	INSULOW-E	N				SEE DIAGRAM
110	AWN	4'-0"	2'-0"	5'-6"	INSULTEMPERED	Y				
111	CAS	3'-0"	5'-0"	5'-6"	INSULOW-E	Y				
112	CAS	3'-0"	7'-0"	5'-6"	INSULOW-E	Y				EGRESS
113	FIXED CAS.	4'-0"	7'-0"	5'-6"	INSULOW-E	N				
114	CAS	3'-0"	7'-0"	5'-6"	INSULOW-E	Y				
115	FIXED D.S.	3'-6"	7'-6"	9'-0"	INSULOW-E	N				
116	CAS	3'-0"	7'-0"	5'-6"	INSULOW-E	Y				
117	FIXED CAS.	4'-0"	7'-0"	5'-6"	INSULOW-E	N				
118	CAS	3'-0"	7'-0"	5'-6"	INSULOW-E	Y				EGRESS
119	CAS	2'-6"	4'-6"	5'-6"	INSULOW-E	Y				
120	CAS	2'-6"	5'-0"	5'-6"	INSULOW-E	Y				
121	CAS	2'-6"	5'-0"	5'-6"	INSULOW-E	Y				
122	CAS	2'-6"	4'-6"	5'-6"	INSULOW-E	Y				
201	TRAPEZOID	4'-6"	1'-2 3/8"	14'-4 3/8"	INSULOW-E	N				SEE DIAGRAM
202	TRAPEZOID	4'-6"	1'-6 27/32"	14'-8 27/32"	INSULOW-E	N				SEE DIAGRAM
203	TRAPEZOID	4'-6"	2'-0 13/32"	15'-2 13/32"	INSULOW-E	N				SEE DIAGRAM
204	TRAPEZOID	4'-6"	2'-4 7/8"	15'-6 7/8"	INSULOW-E	N				SEE DIAGRAM
205	TRAPEZOID	4'-6"	2'-10 15/32"	16'-0 15/32"	INSULOW-E	N				SEE DIAGRAM
206	TRAPEZOID	4'-6"	3'-2 31/32"	16'-4 31/32"	INSULOW-E	N				SEE DIAGRAM
207	TRAPEZOID	4'-6"	3'-8 1/2"	16'-10 1/2"	INSULOW-E	N				SEE DIAGRAM
208	TRAPEZOID	4'-6"	4'-1"	17'-3"	INSULOW-E	N				SEE DIAGRAM
209	FIXED D.S.	4'-0"	4'-6"	17'-8"	INSULOW-E	N				
210	FIXED D.S.	4'-0"	4'-6"	17'-8"	INSULOW-E	N				
211	TRAPEZOID	4'-6"	4'-1"	17'-3"	INSULOW-E	N				SEE DIAGRAM
212	TRAPEZOID	4'-6"	3'-8 1/2"	16'-10 1/2"	INSULOW-E	N				SEE DIAGRAM
213	TRAPEZOID	4'-6"	3'-2 31/32"	16'-4 31/32"	INSULOW-E	N				SEE DIAGRAM
214	TRAPEZOID	4'-6"	2'-10 15/32"	16'-0 15/32"	INSULOW-E	N				SEE DIAGRAM
215	TRAPEZOID	4'-6"	2'-4 7/8"	15'-6 7/8"	INSULOW-E	N				SEE DIAGRAM
216	TRAPEZOID	4'-6"	2'-0 13/32"	15'-2 13/32"	INSULOW-E	N				SEE DIAGRAM
217	TRAPEZOID	4'-6"	1'-6 27/32"	14'-8 27/32"	INSULOW-E	N				SEE DIAGRAM
218	TRAPEZOID	4'-6"	1'-2 3/8"	14'-4 3/8"	INSULOW-E	N				SEE DIAGRAM
219	FIXED D.S.	4'-0"	1'-6"	14'-8"	INSULOW-E	N				
220	FIXED D.S.	4'-0"	1'-6"	14'-8"	INSULOW-E	N				
221	FIXED D.S.	4'-0"	1'-6"	14'-8"	INSULOW-E	N				
222	FIXED D.S.	4'-0"	1'-6"	14'-8"	INSULOW-E	N				

DOOR AND FRAME SCHEDULE

DOOR AND FRAME SCHEDULE											
NO.	TYPE	SIZE			DOOR			FRAME			COMMENTS
		WD	HGT	THK	MATERIAL	FINISH	GLAZING	MATERIAL	FINISH		
001.1	D	12'-0"	8'-0"	2 1/4"	WOOD/CLAD	TBD	FULL	WOOD/CLAD	TBD	4 PANEL SLIDING PATIO DOOR	
002.1	H	6'-0"	8'-0"	1 3/4"	WOOD/CLAD	TBD	FULL	WOOD/CLAD	TBD	EXTERIOR FRENCH DOOR	
002.2	J	4'-0"	8'-0"	1 3/4"	TBS	PAINT	NA	WOOD	PAINT	INTERIOR DOUBLE DOOR	
002.3	E	2'-8"	8'-0"	1 3/4"	TBS	PAINT	NA	WOOD	PAINT	TYPICAL INTERIOR DOOR	
002.4	E	2'-8"	8'-0"	1 3/4"	TBS	PAINT	NA	WOOD	PAINT	TYPICAL INTERIOR DOOR	
003.1	E	2'-8"	8'-0"	1 3/4"	TBS	PAINT	NA	WOOD	PAINT	TYPICAL INTERIOR DOOR	
004.1	E	2'-8"	8'-0"	1 3/4"	TBS	PAINT	NA	WOOD	PAINT	TYPICAL INTERIOR DOOR	
005.1	E	2'-8"	8'-0"	1 3/4"	TBS	PAINT	NA	WOOD	PAINT	TYPICAL INTERIOR DOOR	
005.2	B	3'-0"	8'-0"	1 3/4"	WOOD/CLAD	TBD	FULL	WOOD/CLAD	TBD	SINGLE EXTERIOR GLASS DOOR	
006.1	E	2'-8"	8'-0"	1 3/4"	TBS	PAINT	NA	WOOD	PAINT	TYPICAL INTERIOR DOOR	
007.1	E	3'-0"	8'-0"	1 3/4"	TBS	PAINT	NA	WOOD	PAINT	WEATHERSTRIPPING	
008.1	E	2'-8"	8'-0"	1 3/4"	TBS	PAINT	NA	WOOD	PAINT	WEATHERSTRIPPING	
009.1	E	2'-8"	8'-0"	1 3/4"	TBS	PAINT	NA	WOOD	PAINT	TYPICAL INTERIOR DOOR	
009.2	B	3'-0"	8'-0"	1 3/4"	WOOD/CLAD	TBD	FULL	WOOD/CLAD	TBD	SINGLE EXTERIOR GLASS DOOR	
010.1	F	2'-8"	8'-0"	1 3/4"	TBS	PAINT	NA	WOOD	PAINT	INTERIOR POCKET DOOR	
011.1	E	2'-8"	8'-0"	1 3/4"	TBS	PAINT	NA	WOOD	PAINT	TYPICAL INTERIOR DOOR	
011.2	E	2'-4"	8'-0"	1 3/4"	TBS	PAINT	NA	WOOD	PAINT	TYPICAL INTERIOR DOOR	
011.3	E	2'-6"	8'-0"	1 3/4"	TBS	PAINT	NA	WOOD	PAINT	TYPICAL INTERIOR DOOR	
012.1	E	3'-0"	8'-0"	1 3/4"	TBS	PAINT	NA	WOOD	PAINT	TYPICAL INTERIOR DOOR	
013.1	E	3'-0"	8'-0"	1 3/4"	TBS	PAINT	NA	WOOD	PAINT	TYPICAL INTERIOR DOOR	
014.1	E	3'-0"	8'-0"	1 3/4"	TBS	PAINT	NA	WOOD	PAINT	TYPICAL INTERIOR DOOR	
015.1	M	2'-8"	7'-0"	1 3/4"	TBS	PAINT	NA	WOOD	PAINT	EXTERIOR CLOSET DOOR	
101.1	A	3'-2"	8'-0"	1 3/4"	WOOD	STAINED	TBD	WOOD	STAINED	STAINED FRONT DOOR	
102.1	C	19'-7 3/8"	10'-2 3/8"	2 1/4"	WOOD/CLAD	TBD	FULL	WOOD/CLAD	TBD	MULTI-PANEL STACKING SLIDER	
102.2	B	3'-0"	9'-0"	1 3/4"	WOOD/CLAD	TBD	FULL	WOOD/CLAD	TBD	SINGLE EXTERIOR GLASS DOOR	
103.1	B	3'-0"	8'-0"	1 3/4"	WOOD/CLAD	TBD	FULL	WOOD/CLAD	TBD	SINGLE EXTERIOR GLASS DOOR	
104.1	E	2'-6"	8'-0"	1 3/4"	TBS	PAINT	NA	WOOD	PAINT	TYPICAL INTERIOR DOOR	
105.1	E	3'-0"	8'-0"	1 3/4"	TBS	PAINT	NA	WOOD	PAINT	TYPICAL INTERIOR DOOR	
106.1	E	2'-6"	8'-0"	1 3/4"	TBS	PAINT	NA	WOOD	PAINT	TYPICAL INTERIOR DOOR	
107.1	E	2'-8"	8'-0"	1 3/4"	TBS	PAINT	NA	WOOD	PAINT	TYPICAL INTERIOR DOOR	
108.1	E	2'-8"	8'-0"	1 3/4"	TBS	PAINT	NA	WOOD	PAINT	TYPICAL INTERIOR DOOR	
109.1	G	5'-0"	8'-0"	1 3/4"	WOOD	STAINED	FULL	WOOD	PAINT	INTERIOR GLASS FRENCH DOOR	
110.1	E	2'-6"	8'-0"	1 3/4"	TBS	PAINT	NA	WOOD	PAINT	TYPICAL INTERIOR DOOR	
111.1	E	2'-8"	8'-0"	1 3/4"	TBS	PAINT	NA	WOOD	PAINT	TYPICAL INTERIOR DOOR	
112.1	E	2'-8"	8'-0"	1 3/4"	TBS	PAINT	NA	WOOD	PAINT	TYPICAL INTERIOR DOOR	
112.2	E	2'-6"	8'-0"	1 3/4"	TBS	PAINT	NA	WOOD	PAINT	TYPICAL INTERIOR DOOR	
113.1	F	2'-8"	8'-0"	1 3/4"	TBS	PAINT	NA	WOOD	PAINT	INTERIOR POCKET DOOR	
114.1	K	10'-0"	8'-0"	1 1/2"	WOOD	STAINED	NA	WOOD	PAINT	WOOD GARAGE DOOR	
114.2	K	10'-0"	8'-0"	1 1/2"	WOOD	STAINED	NA	WOOD	PAINT	WOOD GARAGE DOOR	
114.3	B	3'-0"	8'-0"	1 3/4"	WOOD/CLAD	TBD	FULL	WOOD/CLAD	TBD	SINGLE EXTERIOR GLASS DOOR	
115.1	L	4'-0"	8'-0"	1 1/2"	WOOD	STAINED	NA	WOOD	PAINT	WOOD BARN DOOR, WITH SLIDING TRACK HARDWARE	

NEW CONSTRUCTION FOR:

DAVIS RESIDENCE

24 BUSBEE ROAD
BILTMORE FOREST, NC 28803

PROJECT NO.

20011

DRAWN BY: HD

CHECKED BY: HD

REVISION SCHEDULE

REV. NO.

REV. DATE

1

1/11/2021

PRICING SET

DATE: 1/8/2021

SCHEDULES / WDW
DIAGRAMS

A8.01

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