

355 Vanderbilt Rd | Biltmore Forest, NC  
Po Box 5352 | Biltmore Forest, NC 28803  
P (828) 274-0824 | F (828) 274-8131

[www.biltmoreforest.org](http://www.biltmoreforest.org)



George F. Goosmann, III, Mayor  
Fran G. Cogburn, Mayor-Pro Tem  
E. Glenn Kelly, Commissioner  
Doris P. Loomis, Commissioner

Jonathan B. Kanipe,  
Town Manager

## MEMORANDUM

To: Board of Adjustment Members  
From: Jonathan Kanipe, Town Manager  
Re: Board of Adjustment Case Number 4 (MAHEC)  
Date: December 9, 2019

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### Request for Special Use Permit for construction of a Parking Garage

A Special Use Permit is requested for property located at 121 Hendersonville Road (MAHEC) for construction of a 4.5 level parking garage. Section §153.006 Permitted Uses Table of the Zoning Ordinance allows “Medical and dental services” as a Special Use in the R-4 and R-5 districts. Any improvements to such uses is reviewed and approved by the Board of Adjustment via a Special Use Permit.

The parking garage will create 450 additional parking spaces for MAHEC services and programs. Based on the zoning ordinance, the total required parking for the campus is 425 spaces. After construction of the parking garage, the total site parking will total 1056 parking spaces. Although this total is over the zoning ordinance requirement, MAHEC believes the additional spaces are necessary for current and future programs.

The proposed parking garage will be located on the portion of the property sharing a border with Biltmore Farms and the structure will encroach upon Biltmore Farms property. MAHEC has received a letter from Biltmore Farms allowing permission to utilize a certain portion of their property for the parking garage. A MSD sewer line and a stream are present near the proposed construction area, but MAHEC has assured the Town the new structure will comply with required setbacks from these areas.

# Zoning Compliance Application

Town of Biltmore Forest

**Name**

Ron Fagan

**Property Address**

121 Hendersonville Road, Asheville NC 28803

**Phone**

(828) 257-4413

**Email**

ron.fagan@mahec.net

**Parcel ID/PIN Number**

9467-67-3996

## ZONING INFORMATION

**Current Zoning**

R-5

**Lot Size**

50000 sf

**Maximum Roof Coverage**

9,647 square feet (Up to 6 acres)

**Proposed Roof Coverage Total**

37500 sf

**Maximum Impervious Surface Coverage**

3-6 acres (20 percent of lot area)

**Proposed Impervious Surface Coverage**

37500

**Front Yard Setback**

50 feet (R-2, R-3, R-4, and R-5 Districts)

**Side Yard Setback**

15 feet (R-2, R-3, R-4, and R-5 Districts)

**Rear Yard Setback**

20 feet (R-2, R-3, R-4, and R-5 Districts)

**Building Height**

50'

**Description of the Proposed Project**

4.5 level parking deck, 450 parking spaces

**Estimated Start Date**

4/1/2020

**Estimated Completion Date**

1/1/2021

**Estimated Cost of Project**

\$10,000,000.00

**Supporting Documentation (Site Plan, Drawings, Other Information)**

20191028\_MAHEC TOBF SUBMITTAL.pdf

**Applicant Signature**

**Date**

10/28/2019

VBA Fagan

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# Conditional Use Permit Application

Town of Biltmore Forest

**Name**

Ron Fagan

**Address**

MAHEC, 121 Hendersonville Road, Asheville, NC 28803

**Phone**

(828) 257-4413

**Email**

ron.fagan@mahec.net

**Please select the type of conditional use you are applying for:**

Commercial Services, Professional Office Uses, Consumer Services and Retail Businesses

The applicant must show that the proposed use will not materially endanger public health or safety or injure value of adjoining or abutting property. In addition, the proposed use must be in general conformity with the plan of development of the town and be in harmony with scale, bulk, height, coverage, density, and character of the neighborhood.

**Please provide a description of the proposed project:**

4.5 Level parking desk, with 450 parking spaces to allow parking for programs and services at MAHEC.

**Explain why the project would not adversely affect the public interest of those living in the neighborhood:**

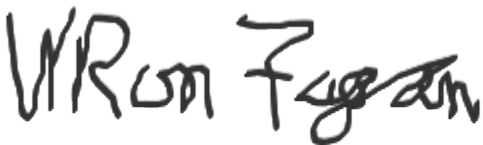
This project will not adversely affect the town and surrounding areas. as there will be no impact on traffic in Biltmore Forest, and after completion the building will blend into the existing campus. It will allow safer traffic flow on campus and provide for the future of health and educational services offered by MAHEC/UNC.

**I hereby certify that all of the information set forth above is true and accurate to the best of my knowledge.**

**Signature**

**Date**

10/28/2019

A handwritten signature in black ink that reads "Ron Fagan". The signature is written in a cursive, slightly stylized font. The first part of the signature, "Ron", is written in a larger, more prominent script, while "Fagan" is written in a smaller, more compact script.



BILTMORE FARMS<sup>SM</sup>  
Established 1897

November 25, 2019

Mr. Ron Fagan  
MAHEC  
121 Hendersonville Rd.  
Asheville, NC 28803

Dear Mr. Fagan,

Please allow this letter to document our permission for you to submit plans for a parking deck that would be partially on our property.

Sincerely,

Lee Thomason  
Biltmore Farms, LLC





WGLA Engineering, PLLC  
 724 5<sup>th</sup> Avenue West  
 Hendersonville, NC 28739  
 (828) 687-7177 wglA.com

NC# P-1342

**MAHEC Parking Deck  
 Existing Stormwater Basin Check  
 11/25/19**

The Existing Stormwater Basin was originally sized for 8 acres impervious per the original MAHEC campus calculations dated 10/31/2007.

**Existing Impervious**

Buildings 1, 2 and 3                      6.27 acres (per survey)

**Building 4 Impervious**

New Impervious area:                      21,812 sf  
 Impervious area removed:                -11,042 sf  
 Net Building 4 Impervious:                10,770 sf  
    = 0.25 acres

**Proposed Parking Deck Impervious**

Proposed Impervious area:                38,310 sf  
 Impervious area to be removed:        - 460 sf  
 Net Proposed Impervious:                **37,850 sf**  
    = 0.87 acres

**Total Existing Impervious Area to Existing BMP**

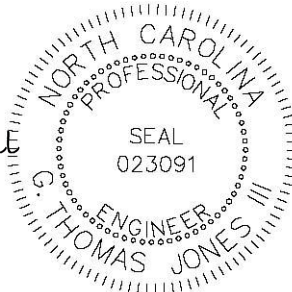
	Existing Impervious	6.27 acres
+	Building 4 Impervious	0.25 acres
+	<u>Proposed Impervious (Deck)</u>	<u>0.87 acres</u>
		<b>7.39 acres &lt; 8 acres (ok)</b>

DocuSigned by:

*G. Thomas Jones III*

0EBB6C62F0C4437...

11/25/2019

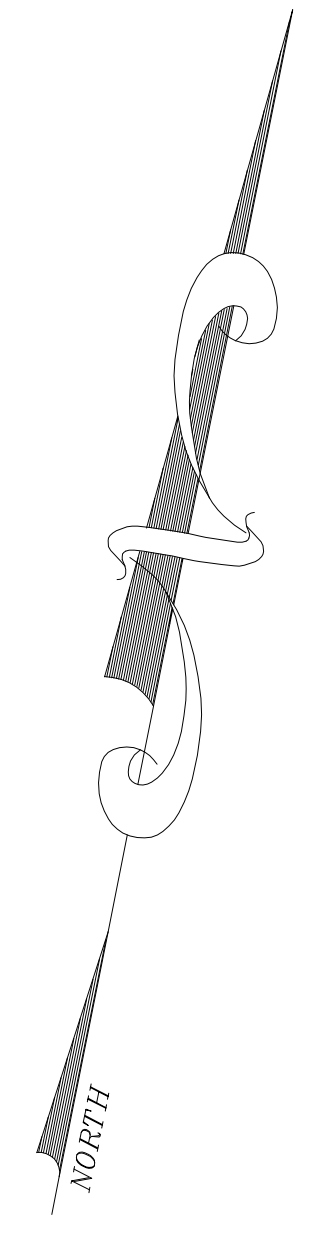


MAHEC PARKING DECK  
TOWN OF BILTMORE FOREST SUBMITTAL  
OCTOBER 28, 2019





E  
D  
C  
B  
A



VANDERBILT ROAD

BILTMORE FARMS, INC  
PIN 9647579876  
D.B. 1222, PG. 645

EXISTING STREAM

PROPOSED  
PARKING STRUCTURE

PROPOSED  
SEWER REROUTE

BILTMORE FARMS, INC  
PIN 9647680485  
D.B. 5040, PG. 1883

DOUBLETREE HOTEL

BILTMORE FARMS  
HOTEL GROUP  
PIN 9647685724  
D.B. 5040, PG. 1883

CITY OF ASHEVILLE  
TOWN OF BILTMORE FOREST

EXISTING TWO STORY  
BUILDING WITH  
PARKING BELOW  
③

EXISTING THREE  
STORY  
BUILDING  
④

EXISTING TWO  
STORY BUILDING  
WITH PARKING  
BELOW  
②

EXISTING TWO STORY  
BUILDING WITH  
PARKING BELOW  
①

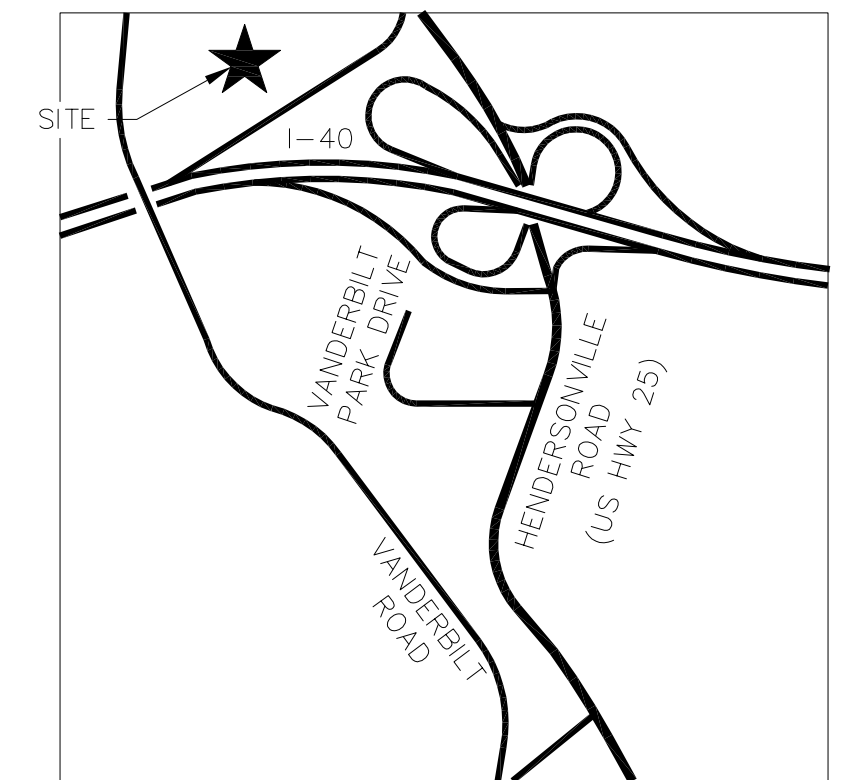
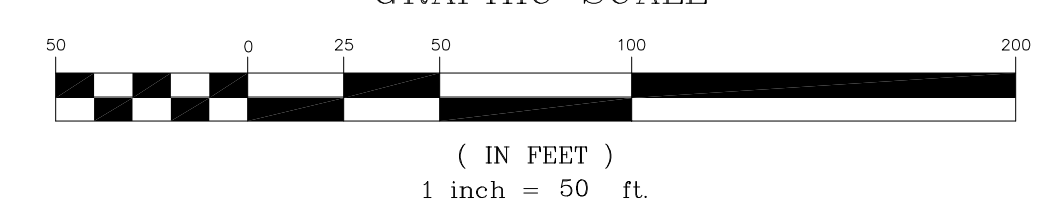
EXISTING ENTRANCE

HAMPTON INN

BILTMORE FARMS  
HOTEL GROUP II, LLC  
PIN 9647689007  
D.B. 5370, PG. 649

INTERSTATE 40  
WESTBOUND ON-RAMP

GRAPHIC SCALE



VICINITY MAP  
SCALE 1"=1,000'

**DEVELOPMENT INFORMATION**

OWNER/DEVELOPER: MOUNTAIN AREA HEALTH EDUCATION CENTER (MAHEC)  
121 HENDERSONVILLE ROAD  
ASHEVILLE, NC 28803  
828-257-4406

CONTACT PERSON: RON FAGAN  
121 HENDERSONVILLE ROAD  
ASHEVILLE, NC 28803  
828-257-4406

NAME OF PROJECT: MAHEC PARKING DECK  
PROJECT ADDRESS: HENDERSONVILLE ROAD

ENGINEER: G. THOMAS JONES III, P.E.  
WGLA ENGINEERING, PLLC  
214 N. KING STREET  
HENDERSONVILLE, NC, 28792  
828-687-7177

ARCHITECT: JOHN KINCHELOE  
LS3P ASSOCIATES LTD.  
227 WEST TRADE STREET  
SUITE 700  
CHARLOTTE, NC 28202  
707-333-6686

PIN #: 9647-67-3996  
DEED REF: D.B. 4581 PG. 1466  
ZONING: R-5 (BILTMORE FOREST)

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**BUILDING SQUARE FOOTAGE**

BUILDING 1: 40,000 EXISTING SF  
BUILDING 2: 50,000 EXISTING SF  
BUILDING 3: 40,000 EXISTING SF  
BUILDING 4: 37,500 EXISTING SF  
167,500 TOTAL SF

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**PARKING**

**NEW PARKING DECK (9) SPACES**

LOSS OF	74
LEVEL 0 -	110
FIRST LEVEL -	110
SECOND LEVEL -	110
THIRD LEVEL -	110
FOURTH LEVEL -	110
TOTAL -	504 NEW SPACES

**EXISTING PARKING - 532 SPACES**

BUILDING 4	16
PARKING DECK 504	

**1052 TOTAL SITE PARKING**

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\*REQUIRED PARKING IS 1 SPACE PER 300 SF OF OFFICE + 1 SPACE PER 400 SF OF ASSEMBLY (TOWN OF BILTMORE FOREST)  
ESTIMATED REQUIRED PARKING - 425 SPACES

**MAHEC**

**PARKING DECK**

**WGLA Engineering**

724 5th Avenue West  
HENDERSONVILLE, NC 28739  
(828) 687-7177 WGLA.COM  
NC LICENSE P-1342

**LS3P**

227 WEST TRADE STREET SUITE 700  
CHARLOTTE, NORTH CAROLINA 28202  
TEL. 704.333.6686 FAX 704.333.2926  
WWW.LS3P.COM

**Preliminary Not For Construction**

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**REVISIONS:**

No.	Description	Date
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PROJECT: 9202-166670  
SCO ID: 16-15954-01B  
DATE: 10-25-19  
DRAWN BY: GTC  
CHECKED BY: GTJ

**PRELIMINARY SITE PLAN**

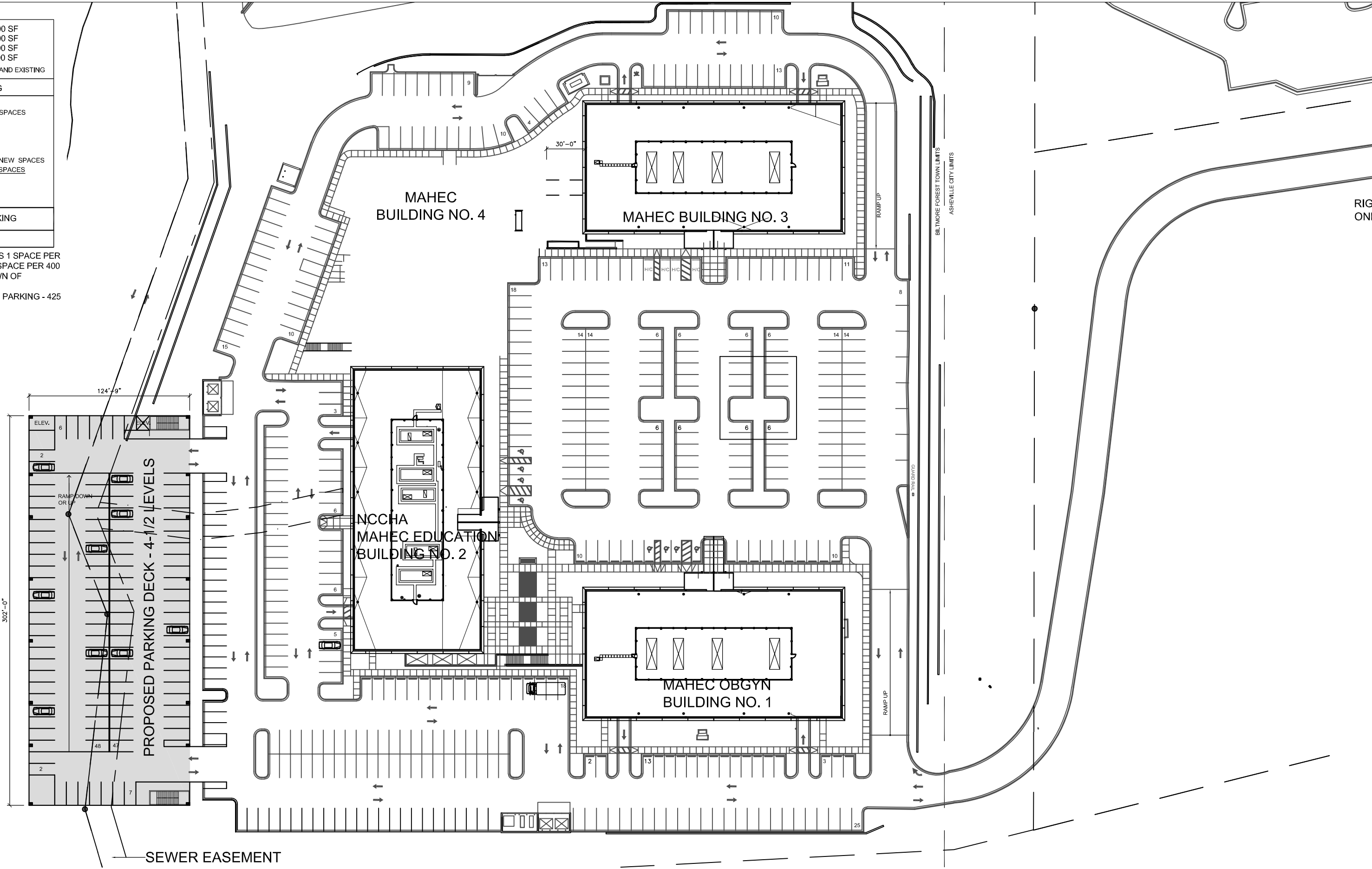
**C-100**

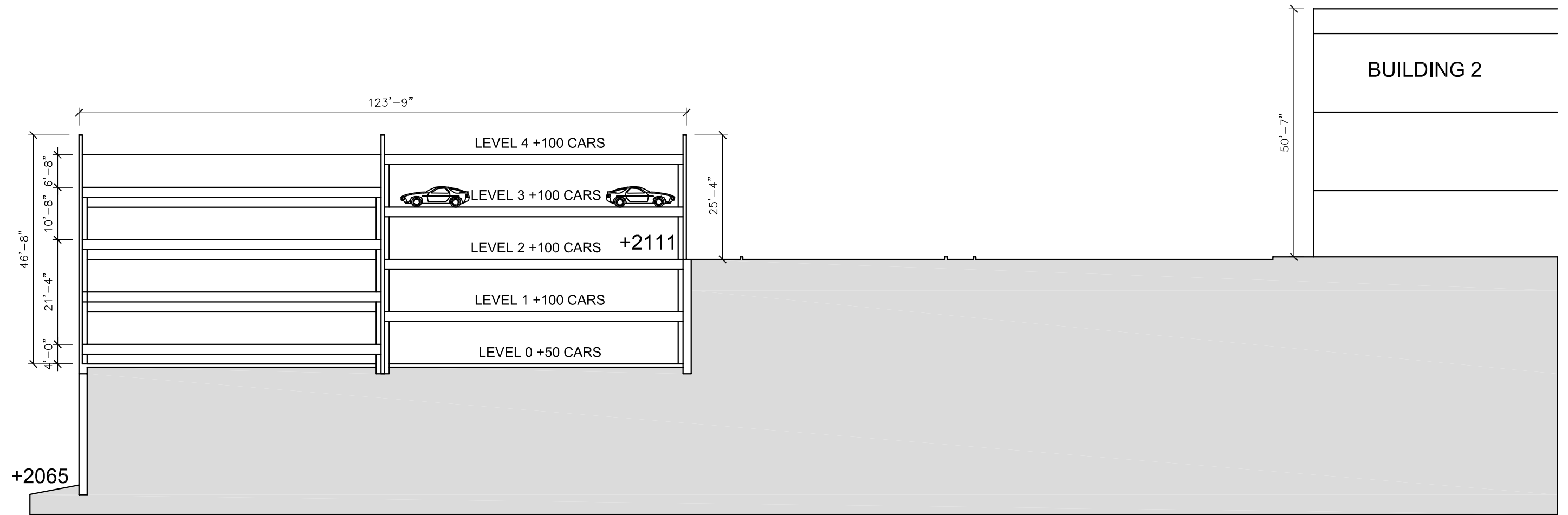




BUILDING 1 - 40,000 SF	
BUILDING 2 - 50,000 SF	
BUILDING 3 - 40,000 SF	
BUILDING 4 - 37,500 SF	
167,500 TOTAL SQ. FT. NEW AND EXISTING	
NEW PARKING	
NEW PARKING DECK	
LOSS OF	(10) SPACES
LEVEL 0 -	50
FIRST LEVEL -	100
SECOND LEVEL -	100
THIRD LEVEL -	100
FOURTH LEVEL -	100
TOTAL -	450 NEW SPACES
EXISTING PARKING -	531 SPACES
PROPOSED PARKING	
BUILDING 4	16
PARKING DECK	450
997 TOTAL SITE PARKING	

\*REQUIRED PARKING IS 1 SPACE PER 300 SF OF OFFICE + 1 SPACE PER 400 SF OF ASSEMBLY (TOWN OF BILTMORE FOREST)  
ESTIMATED REQUIRED PARKING - 425 SPACES





PARKING DECK SECTION  
 4-1/2 STORY PARKING DECK WITH RAMP LEVELS GOING UP AND DOWN  
 TOTAL PARKING - APPROXIMATELY 450 SPACES

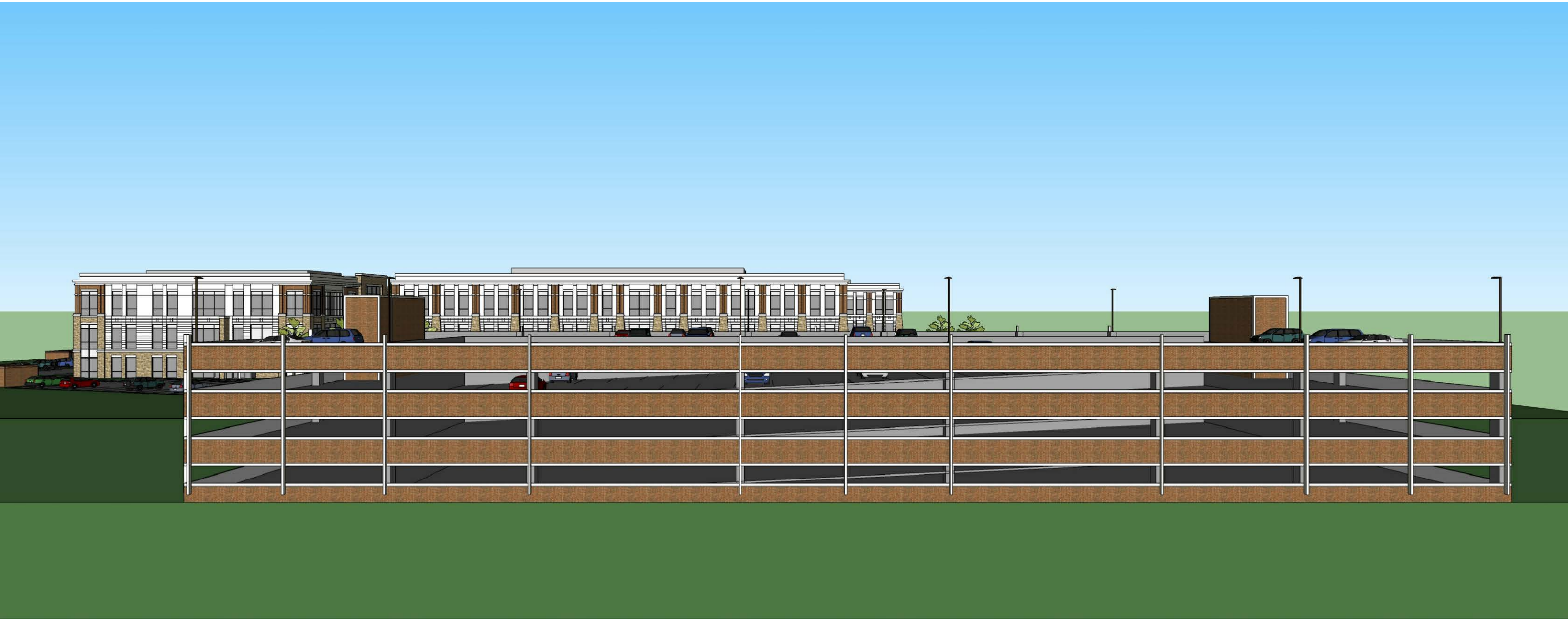


IMAGE 2 - ELEVATION  
NOT TO SCALE  
October 28, 2019

MAHEC PARKING DECK  
119 HENDERSONVILLE RD.





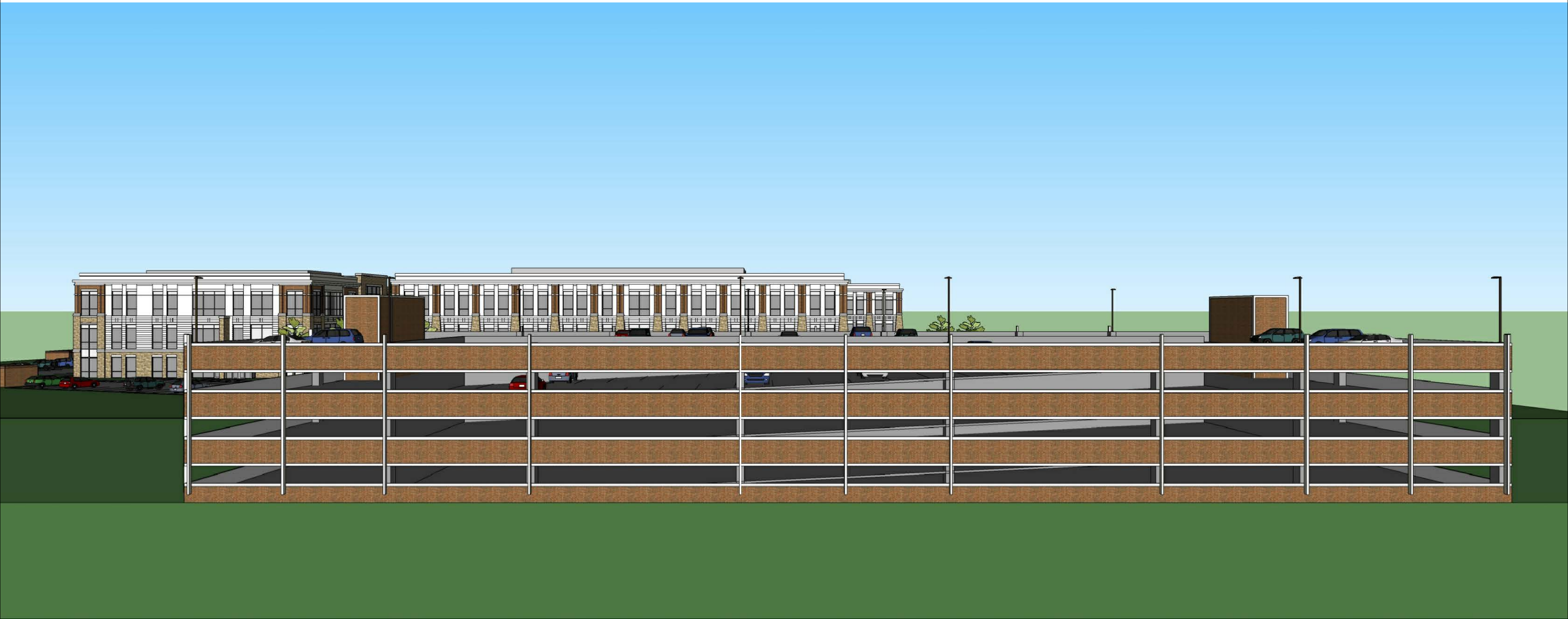


IMAGE 2 - ELEVATION  
NOT TO SCALE  
October 28, 2019

MAHEC PARKING DECK  
119 HENDERSONVILLE RD.



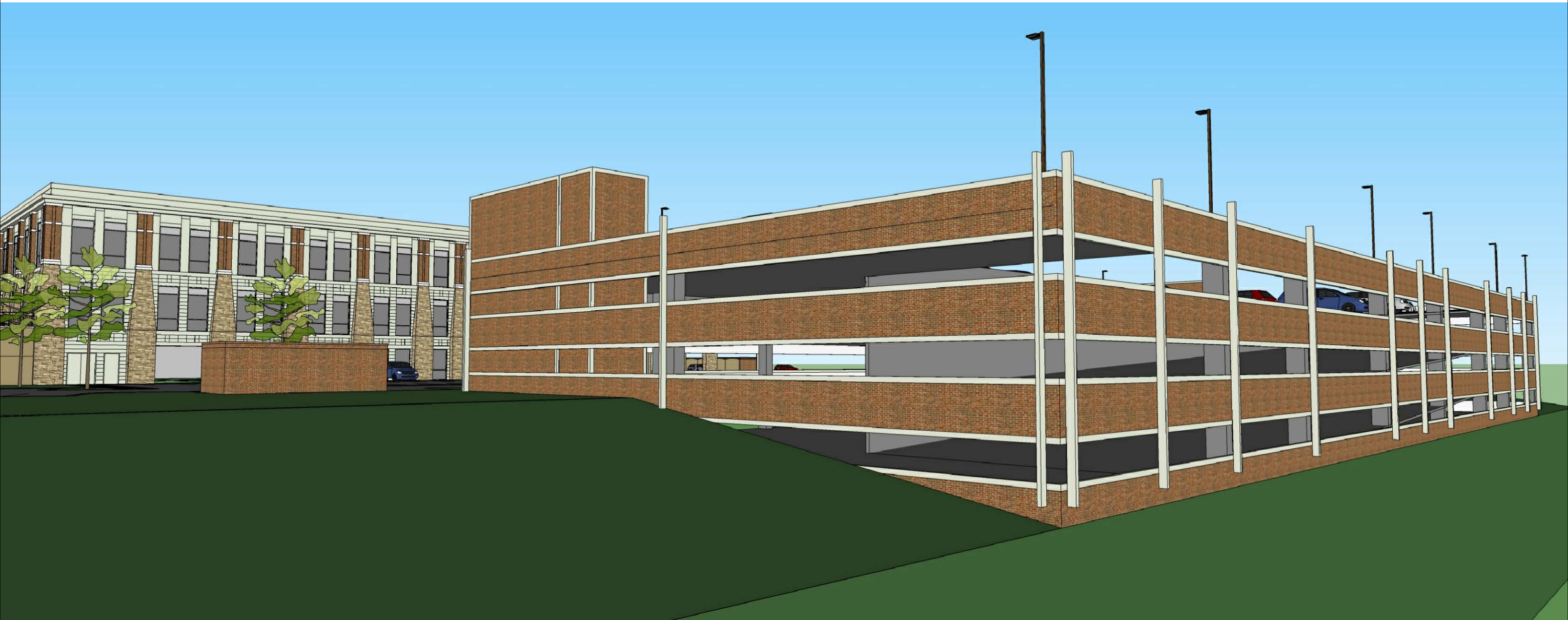


IMAGE 3 - PERSPECTIVE  
NOT TO SCALE  
October 28, 2019

MAHEC PARKING DECK  
119 HENDERSONVILLE RD.







IMAGE 2 - ELEVATION

NOT TO SCALE  
October 28, 2019

MAHEC PARKING DECK  
119 HENDERSONVILLE RD.

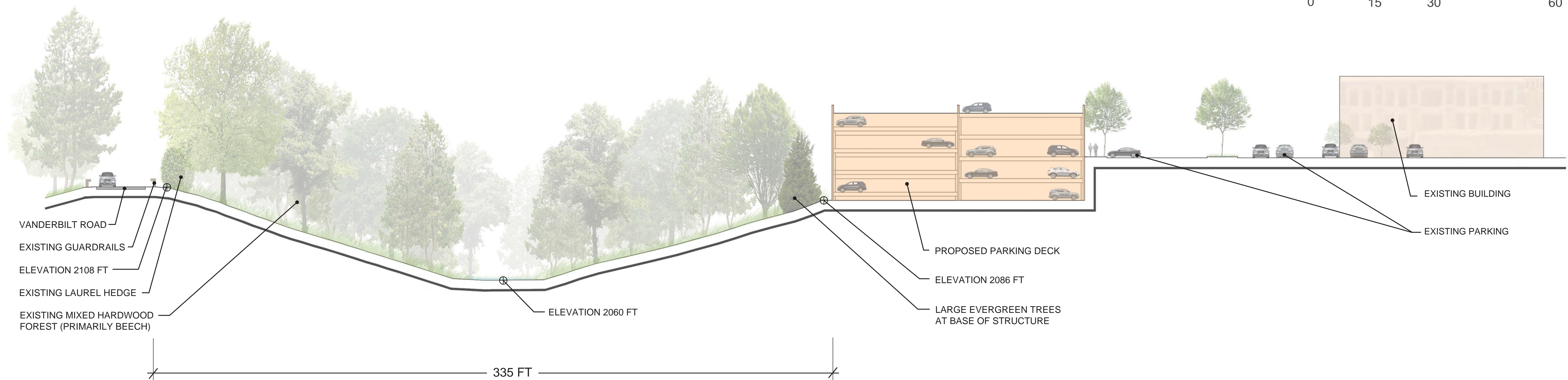
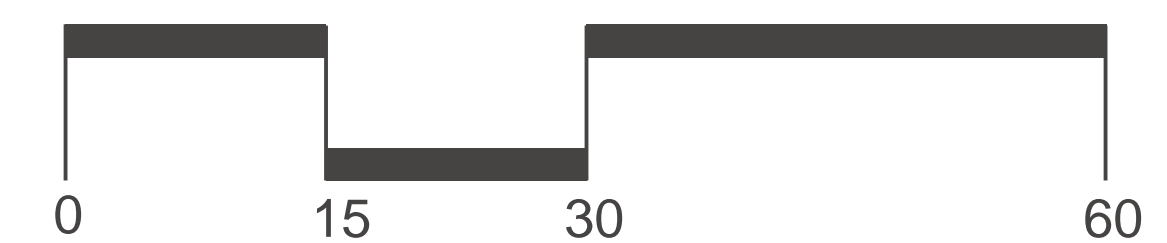
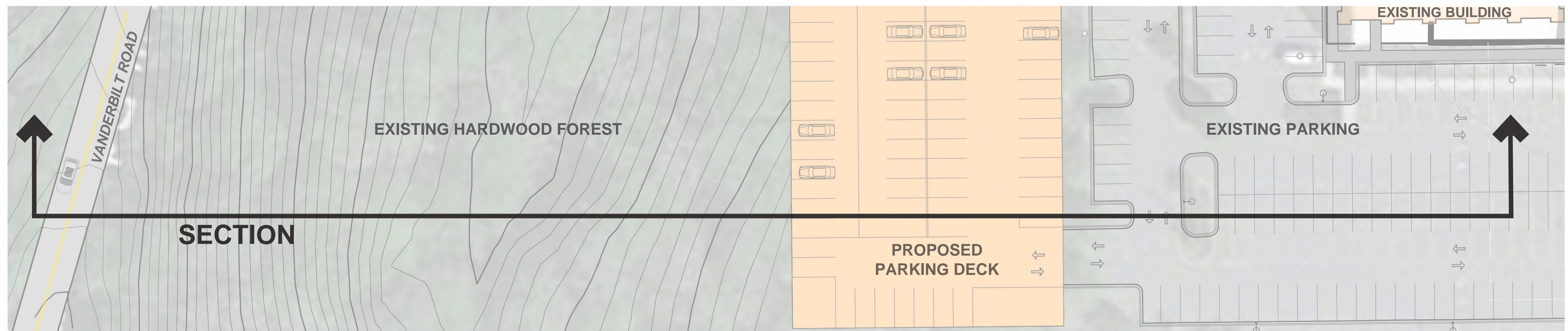




IMAGE 5 - OVERALL SITE PLAN  
NOT TO SCALE  
October 28, 2019

MAHEC PARKING DECK  
119 HENDERSONVILLE RD.





# MAHEC PARKING DECK STUDY 119 HENDERSONVILLE ROAD

NOVEMBER 7, 2019

