

PROPOSED AGENDA

Meeting of the Design Review Board
To be held Thursday, August 18, 2016 at 5:30 p.m.

- I. Chairman Johnson will call the meeting to order.
- II. Approval of Minutes from meetings held April 28, 2016, May 19, 2016, and July 14, 2016
- III. Design Review Board Presentations
 1. Jim and Susan Selmensberger, 422 Vanderbilt Road, presenting a proposal to locate a well head in the rear yard and to relocate a children's play set in the side yard in conformity with the zoning ordinance.
 2. David Nelson and Martha Barnes-Nelson, 100 Chauncey Circle, are presenting a revised site plan, elevations and floor plan, for their new residence.
 3. George and Tara Off, 7 Forest Road, are presenting plans to screen an existing back porch, include a small extension of the shed roof in conjunction with the relocation of cellar stairs, and adding doors from master bedroom to existing deck.
 4. Charles and Marjorie Scott, 58 Chauncey Circle, are presenting plans for a new residence.
- IV. Adjourn



MEMORANDUM
AUGUST 18, 2016

To: Design Review Board
From: Jonathan Kanipe, Town Administrator
Re: Agenda Item Number II – Minutes Approval
Date: August 16, 2016

Minutes from the April 28th, May 19th, and July 14th, 2016 meetings are included for your approval. The need to approve three sets of minutes arises from several factors. First, the minutes from April were held over until June because the membership at the May meeting was not present and able to comment on the authenticity of the minutes (see note from May minutes). We had no June meeting, so these minutes for both April and May were pushed until July. The minutes were not provided at the July meeting, so all three sets are now available for your review and approval at this meeting.

Thank you for your patience and accommodation in reviewing these all at once.

MINUTES OF THE TOWN OF BILTMORE FOREST
DESIGN REVIEW BOARD MEETING OF APRIL 28, 2016

Those in attendance: Mr. Bruce Johnson, Chairman
 Mr. Fred Groce
 Mr. Art Garst
 Mrs. Andrea Eglinton
 Mr. Jonathan Kanipe, Town Administrator

Chairman Johnson called the meeting to order at 5:31 p.m.

Mrs. Marcia Schroeder, 320 Vanderbilt Road, presented plans for an addition to an existing log cabin accessory structure in the rear yard. Mrs. Schroeder has a planned 150 square foot addition (approximate) on the back. Mrs. Schroeder presented a poplar bark that may be placed on the exterior, or it may be cedar shake. Mrs. Schroeder reviewed the plans for a metal roof to tie into the existing cedar shake roof. The plans for the addition include adding plumbing to the area for a kitchenette and bathroom. The plan was approved.

Mr. Groce noted that it was impressive how well they tied it into the existing cabin. Mr. Garst indicated that he liked the poplar bark a great deal. Mr. Johnson said that he used that frequently, and if maintained, it would be a better long term than cedar shake. Mr. Johnson indicated that there was a supplier in Boone or the High Country that was very reputable and could treat the boards.

Mr. Robert Griffin, representing the Morrisons at 388 Vanderbilt Road, began to present plans for this renovation. Mr. Griffin indicated that he was contacted initially to see if the existing house could be retrofitted. Mr. Griffin said that the layout of the home – it was an initial ranch style home with the front door facing the golf course – was not conducive to just refurbishing the home.

Mr. Griffin then began to speak about the plans for the new home and presented some additional 3-D renderings. Mr. Griffin indicated that the new home was approximately 6,000 square feet. Mr. Griffin discussed the plans for the home, which included a full, below grade

basement. Mr. Griffin reviewed the plans for the exterior, including stucco siding. He noted that once it stains it will look like cast stone.

Mr. Johnson asked about the roof and Mr. Griffin indicated that it would be gray blend slate. There were no variances needed for the home, just a Conditional Use Permit for a retaining wall and entrance columns. Mr. Griffin indicated there would be substantial new vegetation planted in the front yard. Mr. Griffin indicated that the setbacks on the property were adjusted and brought in due to the height of the home.

Mr. Griffin noted that the existing cabin on the property would remain and they would use berms to make sure that it did not overtake the home when driving onto the property. Some discussion ensued on the existing log cabin.

Mr. Garst questioned how much the grade would rise from the drive and Mr. Griffin said it would be approximately 8-10 feet. The project was approved. Mr. Johnson asked when the project would be finished, and Mr. Griffin indicated that they hoped to finish construction documents in 3-4 months. The project is planned for completion by December 2017. They can't start any site work until all of the retaining walls are built. The driveway they are taking out gives them a great site layout. I don't think there will be any parking in the street.

Mr. Johnson and Mr. Kanipe discussed the plans for 327 Vanderbilt Road for Jim and Megan Dugan who were not present. They are planning an addition to the rear of their residence. They are adding a bedroom and bathroom. The Board reviewed the elevations provided by the Dugans. They will match the shingles as well. The project was approved.

Mr. Johnson began to discuss construction guidelines and proposed that the Town consider reviewing those that The Ramble subdivision utilizes. Mr. Johnson asked the Board to review the document and mark up the document. He believes these guidelines would help clarify the rules and make sure that the Town, contractor, and homeowner all know what will need to be done on the property. Mr. Johnson asked Mr. Kanipe to send these guidelines out to the Board members.

The meeting was adjourned at 6:04 p.m.

The next meeting of the Design Review Board was scheduled for Thursday, May 19th, 2016 at 5:30 pm. There being no further business, Chairman Johnson, adjourned the meeting at 6:04 pm.

Bruce Johnson, Chairman

Jonathan Kanipe, Zoning
Administrator

MINUTES OF THE TOWN OF BILTMORE FOREST
DESIGN REVIEW BOARD MEETING OF MAY 19, 2016

Those in attendance: Mr. Bruce Johnson, Chairman
 Mrs. Gay Coleman
 Mrs. Trudy Cappiello

Chairman Johnson called the meeting to order at 5:31 p.m. The minutes from April 28, 2016 were postponed for approval due to lack of Board members present.

Jim and Sherry Taylor of 324 Vanderbilt presented plans for a courtyard. Mrs. Taylor presented the plan to the Board. Mr. Johnson asked if there was a site plan with the house on it. Mrs. Taylor showed Mr. Johnson where the house is located on the plan. Mrs. Taylor showed the Board where the driveway came in and where the property line was located. Mrs. Taylor pointed out it was going on the property line and that the project was already approved by the Board of Adjustment. The project was approved. .

Hubert and Pat Wood of 12 Hemlock Road are requesting an extension of an existing retaining wall. Mr. Wood showed the Board the plans. The masonry wall will extend to retain the bank as it drops off. The brick will match the house. The project was approved.

Tal and Paige Frankfurt of 30 Cedarcliff Road are requesting approval of a fence in the side and rear yard with two gates. Mr. Frankfurt presented the plans to the Board. The fence was approved.

Jeff Pace of 891 Hendersonville Road is presenting plans for a white picket fence. Plans were presented to the Board by Mr. Pace. Mr. Pace agreed to plant rhododendron as a barrier. The project was approved.

George and Barbara Groome, 13 Cedar Chine Road, are presenting plans for a renovation of an existing screen porch into an enclosed, conditioned sunroom. Plans were presented to the Board. The project was approved.

Douglas and Terry Ellington, 7 Deerfield Road, are presenting plans for a master bath and closet addition with storage on a lower level. The plans were presented to the Board. The only change is that it will be 14'x26' instead of 12'x22'. Mr. Johnson asked for a new floor plan but there was not one available. The windows in the entire house will also be replaced. Mr. Johnson made suggestions on quality windows to buy. The project was approved.

The meeting was adjourned at 6:32 p.m.

The next meeting of the Design Review Board was scheduled for Thursday, June 16th, 2016 at 5:30 pm. There being no further business, Chairman Johnson, adjourned the meeting at 6:04 pm.

Bruce Johnson, Chairman

Jonathan Kanipe, Zoning
Administrator

MINUTES OF THE TOWN OF BILTMORE FOREST
DESIGN REVIEW BOARD MEETING OF JULY 14, 2016

Those in attendance: Mr. Jonathan Kanipe, Town Administrator
 Mr. Bruce Johnson, Chairman
 Mr. Fred Groce
 Mrs. Andrea Eglinton
 Mr. Art Garst

Chairman Johnson called the meeting to order at 5:34 p.m. There were no minutes from June due to there being no meeting during that month.

The project for Kenneth Williams was put to the back of the agenda since he was not present at the beginning of the meeting.

Mr. Charles and Mrs. Simone Reynolds, 24 Cedarcliff Road, were called forward to present a proposal for a detached garage. Mr. John Yurko, architect, presented the design of the new garage. This was the demo of an existing carport (which would then be enclosed) and the proposed addition of a detached garage.

In addition to the detached garage, a double dormer would be changed to a single dormer. Mr. Groce asked whether the garage would even be visible from the road. Mr. Yurko said very little, if any, would be visible from the road. The garage would be notched into the face of an existing retaining wall. The garage portion at grade is buried and at top is a mother-in-law suite that is accessed by grade from the high side of the existing grade. Mr. Yurko expects little disturbance, but the grade works very well for the garage. The effect on the existing grade and existing vegetation is minimal.

Mr. Reynolds mentioned they were willing to perform additional landscaping if necessary, but noted there was existing buffering as-is. Mr. Groce verified the new enclosed carport would be brick, and Mr. Yurko said that was correct. There is an additional dormer on the rear of the building that would allow an egress window into the rear of the house.

Mr. Yurko discussed the garage addition which is 746 square feet and 25 feet high, both in compliance with the ordinance. Mrs. Eglinton asked whether the trim on the garage would match the trim on the house. Mr. Yurko said that all trim would match the existing home.

Mr. Groce said this would improve the home. There were no additional comments and the project was approved.

Mr. Johnson asked what the schedule was for construction, and Mr. Reynolds said he hoped approximately one month away. Mr. Johnson then noted the Town's new construction guidelines, and some discussion ensued regarding the new policy.

Mr. Robert Hayes, 24 Niagara Drive, came forward to present his plans for a new patio roof. Mr. Hayes relayed that the patio had never been covered, but received a significant amount of sun due to being southern exposure. Mr. Hayes informed the Board that he had worked with the builder of the home to work on the appropriate materials for the new doors and patio. Mr. Hayes went over the plans and the trim color which will most likely be black to match the interior.

Mr. Johnson asked about the roof materials, and Mr. Hayes indicated it was a metal, standing seam roof. Mr. Hayes indicated he was unsure whether it would be guttered or not, but he hoped to achieve some guttering that could be deposited into his cistern. There were no comments about the project and it was approved.

Ms. Amy Fahmy, representing Tucker and Barbara Veach, 20 Cedarcliff Road, was called forward to present the new plans for a driveway realignment and low stone retaining wall. Ms. Fahmy reviewed the plans for the driveway, which included a loop to come back into the existing driveway. There was an additional low retaining wall on the Western edge of the property. Mr. Groce indicated that this would make the flow of the driveway much easier. There were no additional questions, and the project was approved.

Ms. Fahmy then began discussion of the renovations made at 1 Stuyvesant Road, the Holl residence. Mr. Groce asked about the work that was already occurring, and Mr. Kanipe relayed

that they had received approval for the replacement of the concrete pool decking and replacement of an existing timber retaining wall. This was used for access into the property for maintenance.

Ms. Fahmy then began the review of each individual component of the project. She began with the low, stone retaining wall, and proceeded to discuss the 4 foot tall black metal fencing around the pool. Ms. Fahmy relayed that the Board of Adjustments had requested she move the black metal fencing on the southern end of the property closer to the pool (in the existing location of the white vinyl fence). The fence ties in at the pool house.

Ms. Fahmy then began to discuss the new deck to replace an old deck. The older deck had a larger footprint, and they were unsure as of yet what the type of material for the deck would be. The awning would be a simple sunbrella that would be black and white stripe. Mr. Garst asked whether the low stone wall would resemble the existing wall bordering the property. Ms. Fahmy said that no, this would be a flat, Tennessee stone wall. There would also be quite a bit of evergreen screening so it would not be seen.

Mr. Kanipe asked about the timeline for the project. Ms. Fahmy said they hoped to be finished by October.

Ms. Fahmy then discussed the built-in fireplace which the Board of Adjustments agreed to hear at the last meeting. The fireplace will be placed into the existing stone wall. Mr. Johnson commented that caution should be used on the flue of open air to the fireplace. This could result in a backdraft, and there should be a ratio used to get the exact dimensions. The project was approved.

The Board considered the project for Kenneth Williams, 19 Ridgefield Place. Mr. Kanipe explained the plans for Kenneth Williams due to Mr. Williams not being present. Mr. Kanipe showed where the house would be in conjunction with the pool that is already situated on the property. Mr. Kanipe showed where the Leland Cypress trees were placed on the property. Mr.

Kanipe showed the 2015 aerial view of the property. The front part of the garage will be by the first Leland Cypress tree that was pointed out on the aerial view map.

Mr. Johnson noted that a color board needed to be presented. Mr. Johnson noted there was stone veneer, board and batten, and fiberglass shingles. There was a stone base and stone corners, with the entire garage being stone.

The plan looked ok but Mr. Johnson noted that a color board (for roof and exterior) needed to be presented as well as the types of material for the roof. The project was approved on the condition of the color of the shingle and the stone. A picture of the color being used would be suitable to show.

The next meeting of the Design Review Board was scheduled for Thursday, August 18th, 2016 at 5:30 pm. There being no further business, Chairman Johnson, adjourned the meeting at 6:15 pm.

Bruce Johnson, Chairman

Jonathan Kanipe, Zoning
Administrator



MEMORANDUM
AUGUST 18, 2016

To: Design Review Board
From: Jonathan Kanipe, Town Administrator
Re: Agenda Item Number – 422 Vanderbilt Road
Date: August 16, 2016

Mr. and Mrs. Selmensberger received approval from the Board of Adjustments to locate a well head in the rear yard of their property. They also received approval from the Board to relocate a children's play set from the front yard and have agreed to move into the side yard where it will be in compliance with the ordinance.

In both instances, the Selmensbergers have agreed to heartily buffer each installation so that it will not be visible from the road or neighboring property owners.

Zoning Application

Property Identification

Name

James and Susan Selmensberger

Address

422 Vanderbilt Road, Asheville, North Carolina 28803

Phone

(828) 713-0900

Email

jim@palladiumbuilders.com

Zoning

R-1

Lot Size (Acres)

2.22

Email -Submission Verification

jim@palladiumbuilders.com

Scope of Project-Roof Coverage

Does the project include increasing roof coverage?

No

Is the proposed roof coverage greater than the permitted maximum roof coverage?

No

Scope of Project-Impervious Surface

Does the project include increasing the impervious surface coverage?

No

Scope of Project-Setbacks

Does any part of the project fall within the front yard?

No

Does any part of the project fall within the side/rear yard setback(s)?

Yes

An application for a variance to encroach the side/rear yard setback(s) will be required in addition to this zoning application.

Scope of Project-Accessory Structures

Does the project include a detached structure or building?

No

Will there be more than the approved number of

accessory structures/buildings?

No

Project Description

Brief Description of Project

Drill a well for the purpose of irrigation. The well is being proposed in the north west corner of the property as shown on the attached survey. The proximity of the well is being requested as shown for the following reasons:

- 1) Close proximity to incoming power necessary to energize the well pump.
- 2) Close proximity to main water feed and back flow to irrigation system.
- 3) Drill rig will be able to access the site with minimal damage to existing yard.
- 4) Crane or drill rig can access well site in the future for maintenance with minimal to no damage to existing yard.
- 5) The location is the most obscure site that meets the requirements of 1-4 above.

Estimated Cost of Project

5,000

Estimated Completion Date

8/19/2016

Please attach any drawings, renderings, photographs or other supporting documentation.

422 Vanderbilt Survey.pdf

Variance Application

I hereby petition the Board of Adjustment for a variance(s) from the provisions of the Zoning Ordinance for the real property stated below.

Name

James and Susan Selmensberger

Property Address

422 Vanderbilt Road

Email

jim@palladiumbuilders.com

Phone

(828) 713-0900

Email-Submission Verification**Variance to Zoning Ordinance Section(s) (Select all that apply)**

1103 Required Yards & Other Spaces

N.C.G.S. 160A-388(D) requires that the Board of Adjustments shall vary the provisions of the Zoning Ordinance only upon a showing of ALL the following:

- 1) Unnecessary hardship would result from the strict application of the ordinance.
- 2) The hardship results from conditions that are peculiar to the property, such as location, size, or topography. Hardships resulting from conditions that are common to the neighborhood or the general public, may not be the basis for granting a variance.
- 3) The hardship did not result from actions taken by the applicant or the property owner. The act of purchasing property with knowledge that circumstances exist that may justify the granting of a variance shall not be regarded as a self-created hardship.
- 4) The requested variance is consistent with the spirit, purpose, and intent of the ordinance, such that public safety is secured, and substantial justice is achieved.

State specific hardship that results in variance request to not comply with the Zoning Ordinance

Drill a well for the purpose of irrigation within the left side setback. The well is being proposed in the Northwest corner of the property as shown on the survey. The proximity of the well is being requested for the following reasons:

- 1) Close to incoming power necessary to energize the well pump.
- 2) Close to main water feed and back flow to existing irrigation system.
- 3) Drill rig can access site with minimal damage to existing yard.
- 4) Crane or drill rig will be able to access well for future maintenance with minimal disturbance to existing yard.
- 5) The well head will be least visible to the public and neighbors at the requested site.
- 6) The existing house and garage are located close to the side and rear setbacks. Buncombe County's Health Department mandates that all wells must be drilled a minimum of 25' from structures. If we wish to satisfy 1-5 above, it necessitates drilling the well in the 30' side setback.

State what conditions are peculiar to the property that require a variance.

The property is 2.22 acres +/- but the home and garage are built close to the rear and left side setbacks. Buncombe County's Health Department mandates that wells are drilled at least 25' from structures. If we drill a well in an area that can be most obscured from public and neighbors' view, is in reasonable proximity

to existing power, is in reasonable proximity to the existing irrigation main and backflow, and is in an area that a well truck and future crane can access without considerable damage to property, we are limited to a few areas at the left and back of the property.

Did the hardship result from actions taken by the applicant or property owner?

No

State how the requested variance is consistent with the spirit, purpose, and intent of the ordinance.

The proposed well site is consistent with the spirit of the ordinance as we are, in good faith, defining a location for the well that will cause no disturbance to the community of Biltmore Forest. The well head will be hidden from view by the existing topography and foliage as well as any additional plantings necessary to obscure it. The location being requested has also been reviewed by numerous professionals and was determined to be the most practical area for the reasons described above.

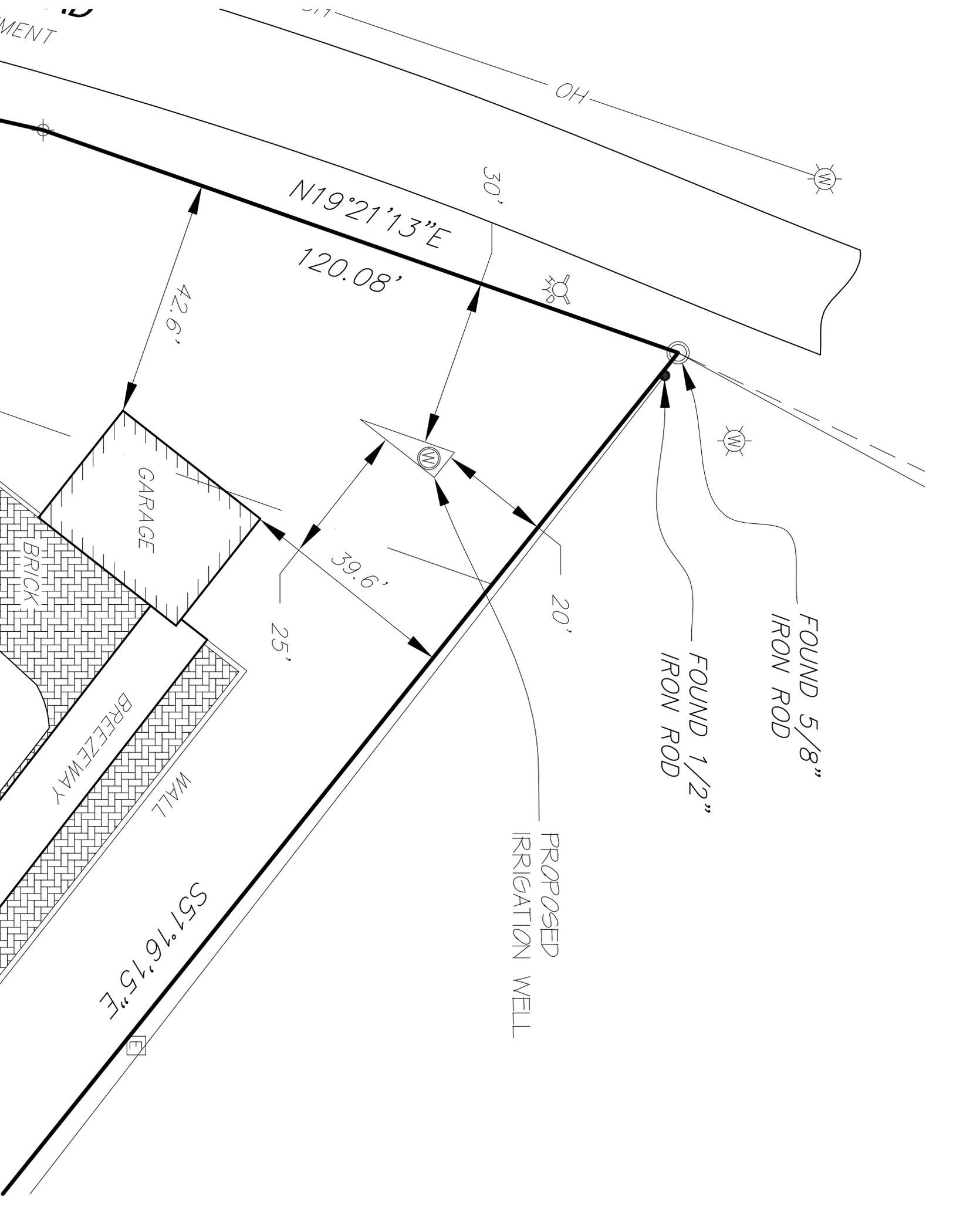
In granting any variance, the Board of Adjustment may prescribe appropriate conditions and safeguards in conformity with the Zoning Ordinance. Violations of the provisions of the variance granted including any conditions or safeguards which are part of the granting of the variance, shall be deemed a violation of the Zoning Ordinance. I hereby certify that the information set forth above is true and accurate to the best of my knowledge.

Signature

Date

8/1/2016





Zoning Application

Property Identification

Name

James and Susan Selmensberger

Address

422 Vanderbilt Road, Asheville, North Carolina 28803

Phone

(828) 713-0900

Email

jim@palladiumbuilders.com

Zoning

R-1

Lot Size (Acres)

2.22

Email -Submission Verification

Scope of Project-Roof Coverage

Does the project include increasing roof coverage?

No

Is the proposed roof coverage greater than the permitted maximum roof coverage?

No

Scope of Project-Impervious Surface

Does the project include increasing the impervious surface coverage?

No

Scope of Project-Setbacks

Does any part of the project fall within the front yard?

No

Does any part of the project fall within the side/rear yard setback(s)?

Yes

An application for a variance to encroach the side/rear yard setback(s) will be required in addition to this zoning application.

Scope of Project-Accessory Structures

Does the project include a detached structure or building?

Yes

An application for a conditional use permit will be required in addition to this zoning application.

Will there be more than the approved number of

An application for a variance to exceed the permitted

accessory structures/buildings?

Yes

number of accessory structures and a conditional use permit for an accessory structure will be required in addition to this zoning application.

Project Description

Brief Description of Project

Recently relocated our residence to 422 Vanderbilt and moved the children's swing set from 21 White Oak Road to 422 Vanderbilt Road. The set was temporarily placed in the South East corner of the lot and was reconditioned to closely blend in with the natural surroundings until we can determine with the board where it can be located.

Estimated Cost of Project

1,000

Estimated Completion Date

8/1/2016

Please attach any drawings, renderings, photographs or other supporting documentation.

Conditional Use Permit Application

I hereby petition the Board of Adjustment to issue a Conditional Use Permit for:

Name

James and Susan Selmensberger

Property Address

422 Vanderbilt Road

Phone

(828) 713-0900

Email

jim@palladiumbuilders.com

Type of Conditional Use

802.07 Accessory Buildings

Email-Submission Verification

jim@palladiumbuilders.com

Description of Project

Locate a children's swing set at 422 Vanderbilt Road.

Explain why the project would not adversely affect the public interest of those living in the neighborhood:

The swing set will be located out of view of the public and neighbors of 422 Vanderbilt.

I certify that the information presented by the undersigned in this application is accurate to the best of my knowledge, information and belief.

Signature



Date

8/1/2016

Variance Application

I hereby petition the Board of Adjustment for a variance(s) from the provisions of the Zoning Ordinance for the real property stated below.

Name

James and Susan Selmensberger

Property Address

422 Vanderbilt Road

Email

jim@palladiumbuilders.com

Phone

(828) 713-0900

Email-Submission Verification

Variance to Zoning Ordinance Section(s) (Select all that apply)

1104 Accessory Structures & Accessory Buildings

N.C.G.S. 160A-388(D) requires that the Board of Adjustments shall vary the provisions of the Zoning Ordinance only upon a showing of ALL the following:

- 1) Unnecessary hardship would result from the strict application of the ordinance.
- 2) The hardship results from conditions that are peculiar to the property, such as location, size, or topography. Hardships resulting from conditions that are common to the neighborhood or the general public, may not be the basis for granting a variance.
- 3) The hardship did not result from actions taken by the applicant or the property owner. The act of purchasing property with knowledge that circumstances exist that may justify the granting of a variance shall not be regarded as a self-created hardship.
- 4) The requested variance is consistent with the spirit, purpose, and intent of the ordinance, such that public safety is secured, and substantial justice is achieved.

State specific hardship that results in variance request to not comply with the Zoning Ordinance

422 Vanderbilt is a unique and beautiful property. The lot size is 2.22 acres +/- but the home and garage are located close to the North and West setbacks. As a result, there is no room to place a swing set for the children behind the home. We have temporarily placed the set in the Southeast corner of the lot as it is obscured most from the public and neighbors in that location. Once a permanent home is located for the set we will execute a landscape plan to further obscure it from view.

State what conditions are peculiar to the property that require a variance.

Due to the position of 422 on this plat of land, there is no room to to place this accessory structure behind a line parallel to the rear of the principal structure. This property also has an existing accessory building on property. There was conversation about attaching the swing set to the existing accessory building but the aesthetics of such an addition is not desirable.

Did the hardship result from actions taken by the applicant or property owner?

No

State how the requested variance is consistent with the spirit, purpose, and intent of the ordinance.

The Selmensberger family is asking for permission to place this structure in an area other than a line

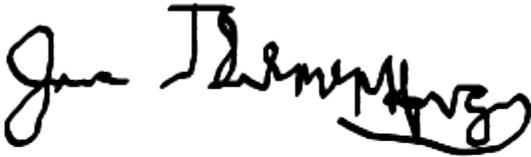
parallel to the rear of the principal structure as the principal structure is built on the rear setbacks. Any location behind this line would fall in the rear setbacks. There is also not an optimal area within these setbacks that would obscure the swing set from view as well as locations in the wooded area to the right of the home. We are requesting an area that can be obstructed from view with current topography, landscaping as well as further landscaping.

In granting any variance, the Board of Adjustment may prescribe appropriate conditions and safeguards in conformity with the Zoning Ordinance. Violations of the provisions of the variance granted including any conditions or safeguards which are part of the granting of the variance, shall be deemed a violation of the Zoning Ordinance. I hereby certify that the information set forth above is true and accurate to the best of my knowledge.

Signature

Date

8/1/2016

A handwritten signature in black ink, appearing to read "Joe Thompson". The signature is written in a cursive style with a large initial "J" and "T".



REVIEW OFFICER

STATE OF NORTH CAROLINA
COUNTY OF BUNCOMBE

REVIEW OFFICER
OF BUNCOMBE COUNTY, CERTIFY THAT THE MAP OR PLAT
TO WHICH THIS CERTIFICATION IS AFFIXED MEETS ALL
STATUTORY REQUIREMENTS FOR RECORDING.

REVIEW OFFICER

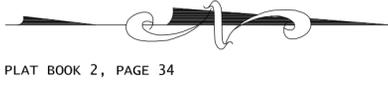
DATE

REGISTER OF DEEDS

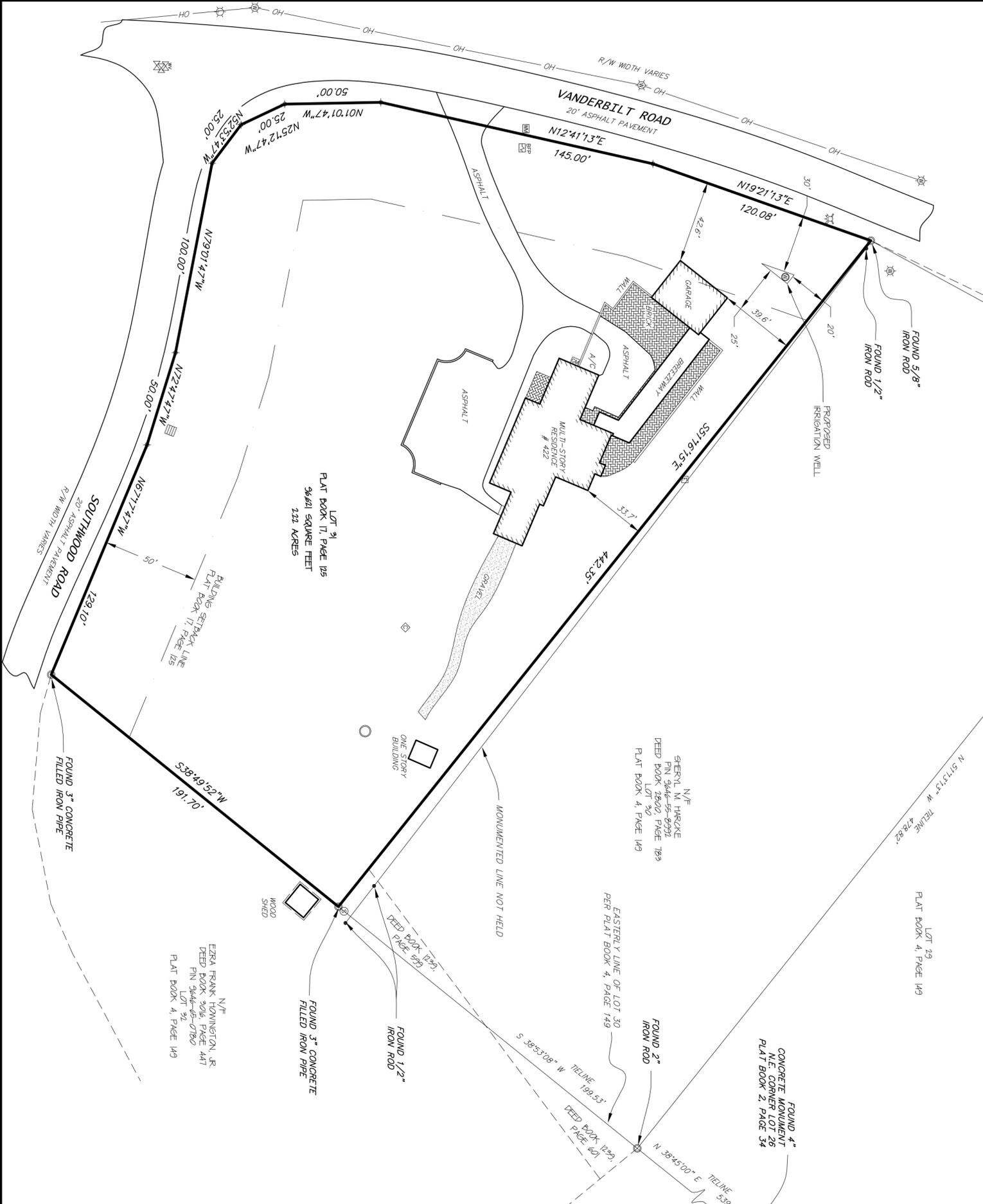
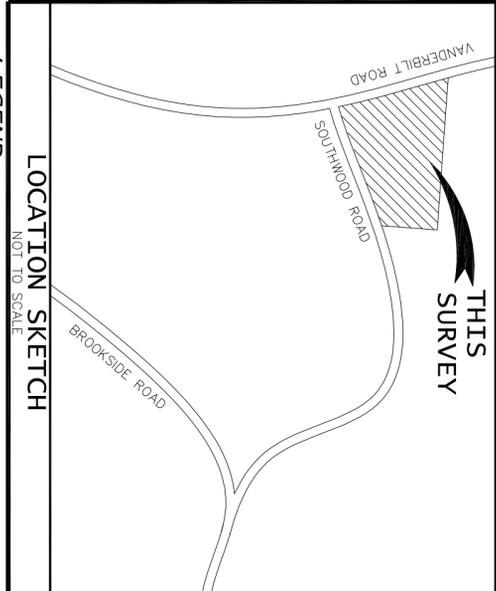
STATE OF NORTH CAROLINA
COUNTY OF BUNCOMBE

PLAT BOOK _____ PAGE _____
FILED FOR REGISTRATION ON THE _____ DAY OF _____
2016 AT _____

REGISTER OF DEEDS, BUNCOMBE COUNTY
DEPUTY/ASSISTANT



PLAT BOOK 2, PAGE 34



LEGEND

- △ CENTRAL ANGLE
- L ARC LENGTH
- R RADIUS
- R/W RIGHT OF WAY
- FOUND IRON PIN
- FOUND STONE
- LIGHT POLE
- WOOD POWER POLE
- PROPERTY LINE
- FIRE HYDRANT
- BACKFLOW PREVENTER
- SQUARE FEET
- BOUNDARY LINE NOT SURVEYED
- ⊕ RIGHT OF WAY LINE POINT NOT SET
- SET 5/8" IRON ROD WITH L-4379 CAP
- LINE NOT TO SCALE
- CHD CHORD
- BRG BEARING
- DRN DRAINAGE MANHOLE
- SANITARY MANHOLE
- WATER METER
- WATER VALVE
- CATCH BASIN
- CLEAN OUT
- ELECTRIC RISER
- ELECTRIC METER
- GM GAS METER
- N/F NOW OR FORMERLY
- OH OVERHEAD WIRE

NOTES

- 1.) THIS SURVEY IS OF AN EXISTING PARCEL OR PARCELS OF LAND
- 2.) THE BEARINGS SHOWN HEREON ARE BASED ON PLAT BOOK 2, PAGE 34 AND ARE REFERENCED TO THE EASTERLY LINE OF LOTS 29-26 OF SAID PLAT BOOK HAVING A BEARING OF S89°48'00"W.
- 3.) THE LANDS SHOWN HEREON WERE NOT ABSTRACTED FOR EASEMENTS, RIGHT OF WAYS OR OWNERSHIPS.
- 4.) THE RATIO OF PRECISION OF THE UNBALANCED TRAVERSE MEETS OR EXCEEDS 1 : 10,000.
- 5.) THE SUBJECT PROPERTY IS NOT LOCATED WITHIN A SPECIAL FLOOD HAZARD AREA AS DETERMINED BY FEMA.
- 6.) THE FEATURE SYMBOL LOCATIONS ARE TO THE CENTER OF THE SYMBOL AND MAY BE ENLARGED FOR CLARITY.
- 7.) UNDERGROUND FOUNDATIONS AND/OR UNDERGROUND UTILITIES HAVE NOT BEEN LOCATED.
- 8.) BEARINGS AND DISTANCES SHOWN IN PARENTHESES REPRESENT DEED AND/OR PLAT VALUES.
- 9.) ACREAGE COMPUTED BY THE COORDINATE METHOD.
- 10.) THERE ARE NO NORTH CAROLINA GEODETIC CONTROL POINTS WITHIN 2000 FEET OF THIS SITE.

REFERENCES

DEED BOOK 5418, PAGE 583
PLAT BOOK 17, PAGE 125

ZONING

R-1
SETBACKS:
FRONT: 60'
SIDE: 20'
CORNER SIDE: 30'
REAR: 25'

CERTIFICATE

I, KEITH R. SANDERS, CERTIFY THAT THIS PLAT WAS DRAWN UNDER MY DIRECT SUPERVISION FROM AN ACTUAL SURVEY MADE UNDER MY SUPERVISION (DEED DESCRIPTION RECORDED IN BOOK 5418, PAGE 583, BUNCOMBE COUNTY REGISTRY); THAT THE BOUNDARIES NOT SURVEYED ARE CLEARLY INDICATED AS DRAWN FROM INFORMATION FOUND IN THE BUNCOMBE COUNTY REGISTRY (SEE REFERENCES); THAT THE RATIO OF PRECISION AS CALCULATED IS 1 : 10,000+; THAT THIS PLAT WAS PREPARED IN ACCORDANCE WITH G.S. 47-30 AS AMENDED.
WITNESS MY ORIGINAL SIGNATURE, REGISTRATION NUMBER AND SEAL THIS 20TH DAY OF JULY, A.D. 2016.

Keith R. Sanders
KEITH R. SANDERS
PROFESSIONAL LAND SURVEYOR # 1-4379
STATE OF NORTH CAROLINA

PROJECT: 16-0071	DATE: 07/18/16	BOUNDARY SURVEY FOR: JIM AND SUSAN SELMENSBERGER PIN # 9646-55-7784 DEED BOOK 5418, PAGE 583 TOWN OF BILTMORE FOREST, BUNCOMBE COUNTY, NORTH CAROLINA		510 AVENA ROAD, BLACK MOUNTAIN, NORTH CAROLINA, 28711 (828) 669-2777 C-2384	NO.	REVISION	DATE	BY
	DRAWN: KRS CHECKED: KRS F.B. #: TDS SCALE: 1" = 40' 16-0071.DWG				SHEET: 1 OF 1			



MEMORANDUM
AUGUST 18, 2016

To: Design Review Board
From: Jonathan Kanipe, Town Administrator
Re: Agenda Item Number – 100 Chauncey Circle
Date: August 16, 2016

Mr. Nelson and Mrs. Barnes-Nelson are presenting revised plans to the Board for their new residence at 100 Chauncey Circle. If you recall, the original approvals for this home occurred in October 2014. The applicants have requested and received two extensions of their permit from the Board while they worked on finalizing their plans.

These revised drawings are presented to the Design Review Board for approval and the applicants hope to begin the construction process very shortly after the Board's review. I included the prior approval for your comparison, and the following information was provided by Mr. Nelson and Mrs. Barnes-Nelson.

As mentioned when we saw you last week we have made a few changes to our house design since our last meeting with the Biltmore Forest DRC.

- The roof has changed from parapet with faux overhangs to a very low slope truss system.
- Window height has been reduced.
- Studio is now connected to house.
- Colors are updated.

Below we've attached a couple of documents that allow the DRC to view the changes.

Elevations:

Please see attached elevations. In addition to the color variations and control joints (both functional and decorative) we also plan a stucco texture change (it will be subtle) between white sections (both upper and lower on the house as well as courtyard wall) which will be a bit more grainy and dark colors (gray black and green) which will be smoother.

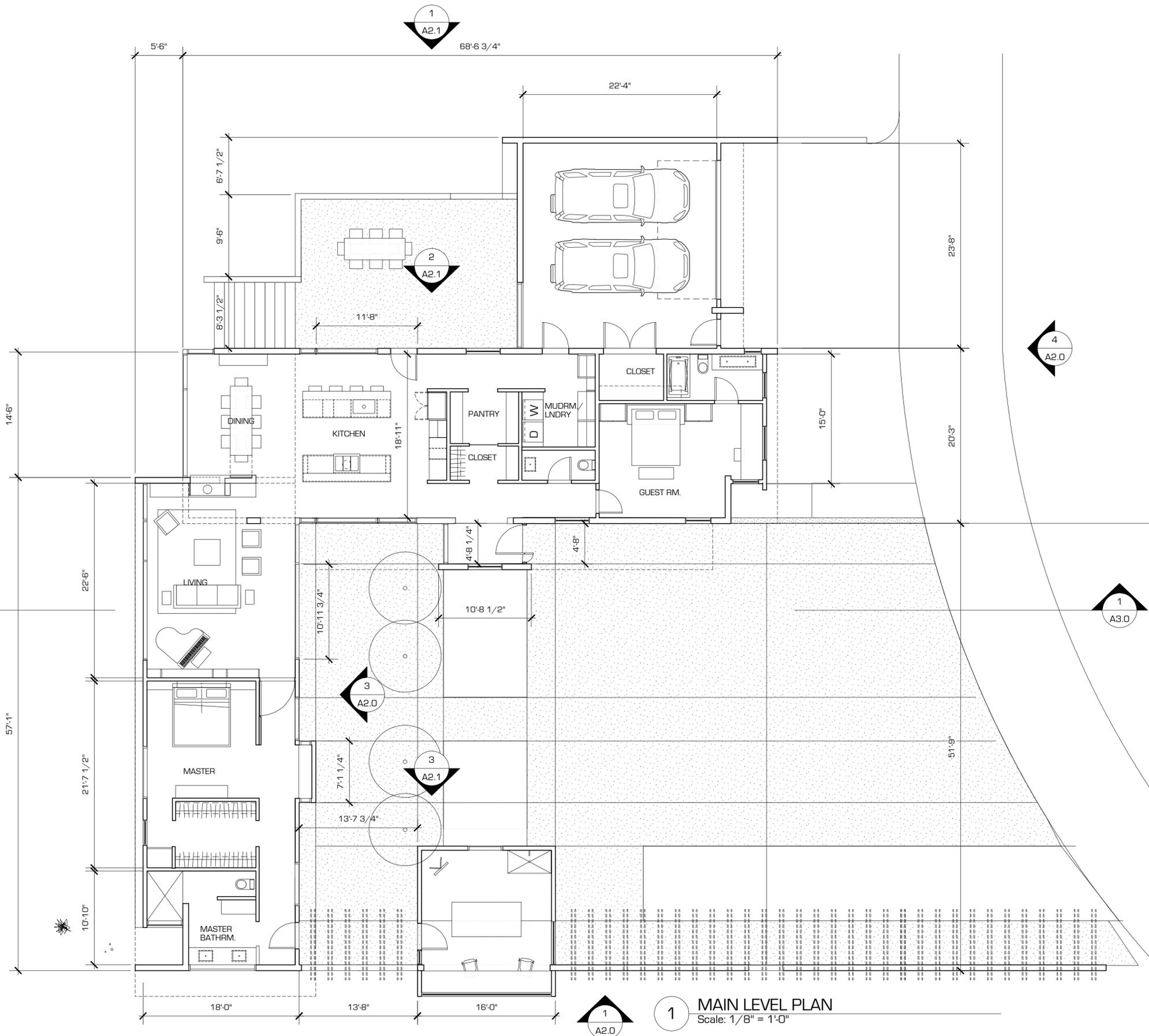
White = SW 7006 (extra white) or equivalent

Gray = BM 2132 - 30 (Black Horizon) or equivalent

Green = BM 406 (Huntington Green) or equivalent

We are not sure yet of the impact on paint colors when used as stucco coating but do not expect it to be significant.

Box gutters and downspouts are also shown on the elevations.



1 MAIN LEVEL PLAN
Scale: 1/8" = 1'-0"

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MAIN HOUSE	2414 S. F.
GARAGE	530 S. F.
MECH.	176 S. F.



S A I
Siegman Associates, Inc.
Design + Construction Mngmt.
4 Morance Ave., Asheville, NC 28904
828.253.1819 • www.sai-design.net

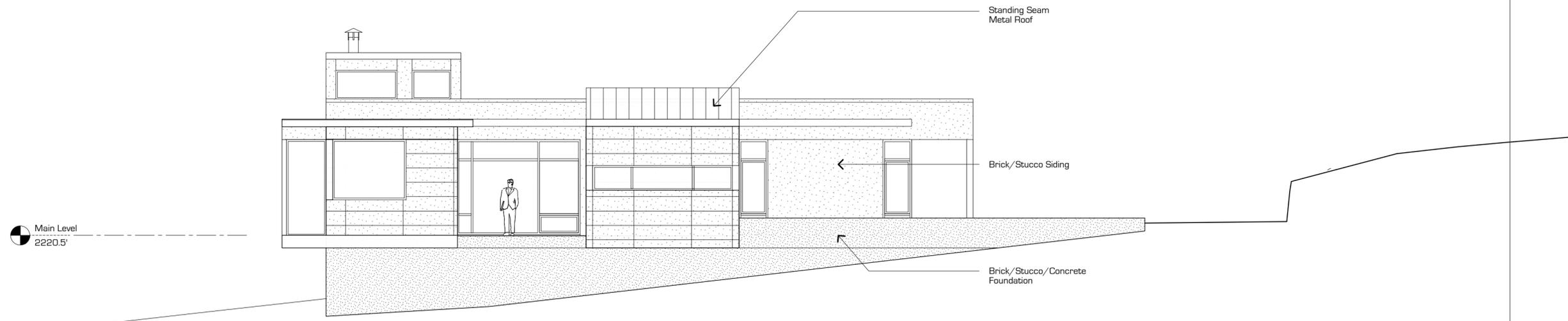
BARNES - NELSON
100 CHAUNCEY CRL
- Ramble Biltmore Forest, NC
PRINTED DATE: 05/21/14
Date: 10/31/14
Time: 5:00:35 PM
File name: BN 14-0804-Plans.wxd

PRELIMINARY REVIEW T OF B 08.11.14
REVIEW TOB DRC 10.09.14

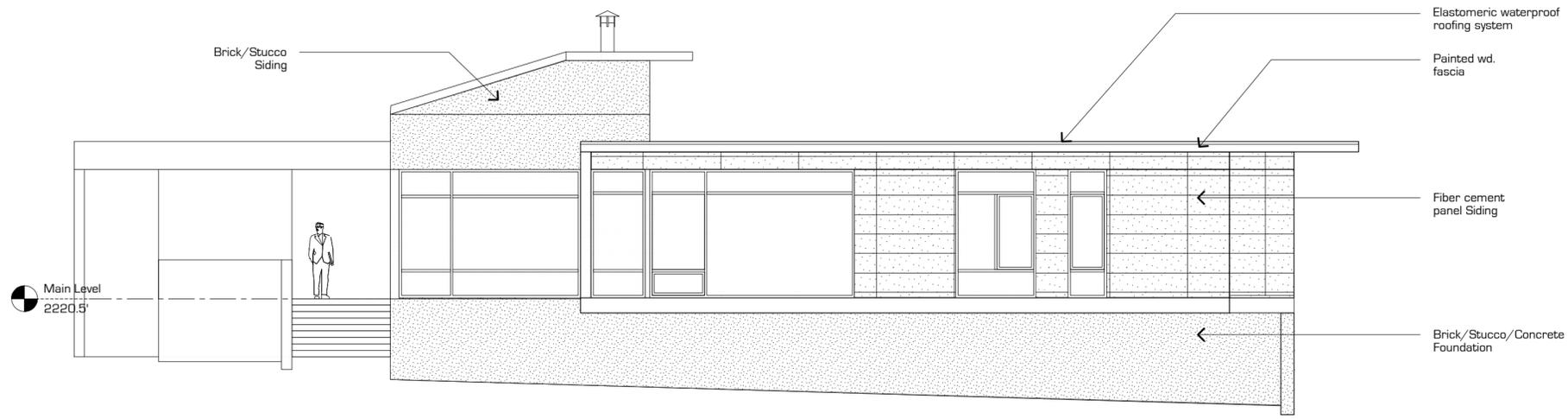
DRWG. NO.

A1.0

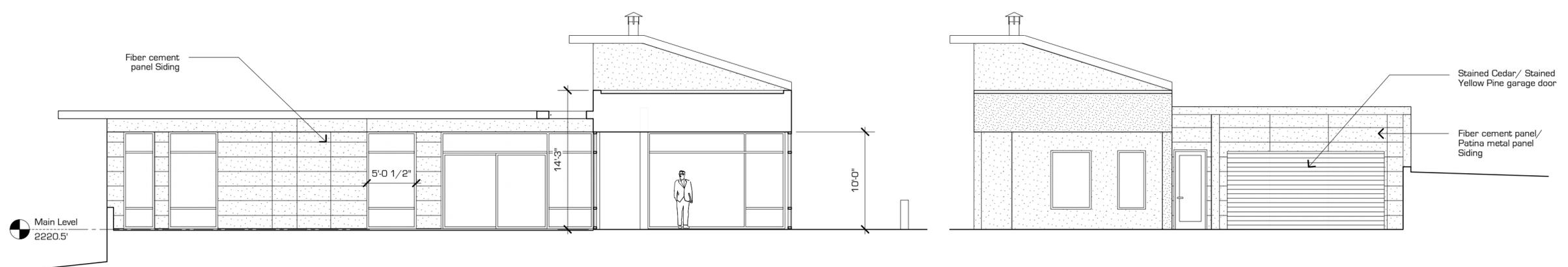
SCALE: AS NOTED



1 ELEVATION
Scale: 1/8" = 1'-0"



2 ELEVATION
Scale: 1/8" = 1'-0"



3 ELEVATION
Scale: 1/8" = 1'-0"

4 ELEVATION
Scale: 1/8" = 1'-0"

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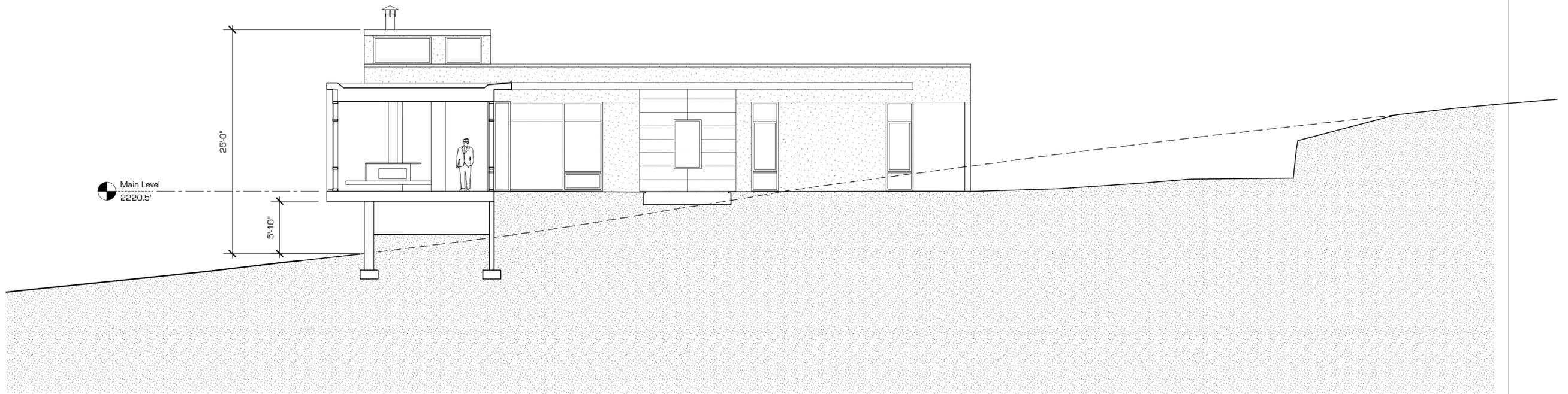
S A I
Siegman Associates, Inc.
Design + Construction Mngmt.
4 Moranco Ave. Asheville, NC 28904
828.253.1819 • www.saidesign.net

BARNES - NELSON
100 CHAUNCEY CRL
- Ramble Billmore Forest, NC
PRINTED DATE: 05/10/14
Date: 10/3/14
Time: 5:00:35 PM
File name: BN 14-0804-Plans.wxd
DATE: 05.21.14

PRELIMINARY REVIEW T OF B 08.11.14
REVIEW TOB DRC 10.09.14

DRWG. NO.
A2.0

SCALE: AS NOTED



1 SITE SECTION
Scale: 1/8" = 1'-0"

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Design + Construction Mngmt.
4 Morance Ave. Asheville, NC 28904
828.253.1819 • www.saidesign.net

BARNES - NELSON
100 CHAUNCEY CRL
- Ramble Biltmore Forest, NC

PRINTED DATE:
Date: 10/31/14
Time: 5:00:35 PM
File name: BN 14-0804-Plans.wxd

DATE: 05.21.14

PRELIMINARY REVIEW T OF B 08.11.14
REVIEW TOB DRC 10.09.14

DRWG. NO.

A3.0

SCALE: AS NOTED

100 Chauncey Circle PROPOSED MATERIAL PALETTE

OCTOBER 3, 2014

1. Galvalume Standing Seam roof
2. Stucco
3. Cement Panel
4. Patina metal siding
5. Blue-Black Brick
6. Finished Concrete foundation
7. Ipe
8. Fiber cement Panel
9. Cedar Siding
10. Stained Yellow Pine soffit

Prepared by Siegman Associates, Inc.









Zoning Application

Property Identification

Name

George and Tara Off

Address

7 Forest Road, Asheville, North Carolina 28803

Phone

(610) 570-3933

Email

georgewoff@gmail.com

Zoning

R-1

Lot Size (Acres)

1.24

Email -Submission Verification

georgewoff@gmail.com

Scope of Project-Roof Coverage

Does the project include increasing roof coverage?

Yes

What is the proposed roof coverage?

6

Is the proposed roof coverage greater than the permitted maximum roof coverage?

No

Scope of Project-Impervious Surface

Does the project include increasing the impervious surface coverage?

No

Scope of Project-Setbacks

Does any part of the project fall within the front yard?

No

Does any part of the project fall within the side/rear yard setback(s)s?

No

Scope of Project-Accessory Structures

Does the project include a detached structure or building?

No

Will there be more than the approved number of

accessory structures/buildings?

No

Project Description

Brief Description of Project

1. Screen existing back porch, relocate cellar stairs for safety, and add doors from house to back porch.
2. Small extension of shed roof to cover entrance to new cellar stairs at back of garage. Architect, Tad Dotson, doesn't believe this will trigger roof coverage calculation since small 6sf extension does not add impervious (it's over existing concrete patio).
3. Add doors from master bedroom to existing deck.

Estimated Cost of Project

75,000

Estimated Completion Date

1/31/2017

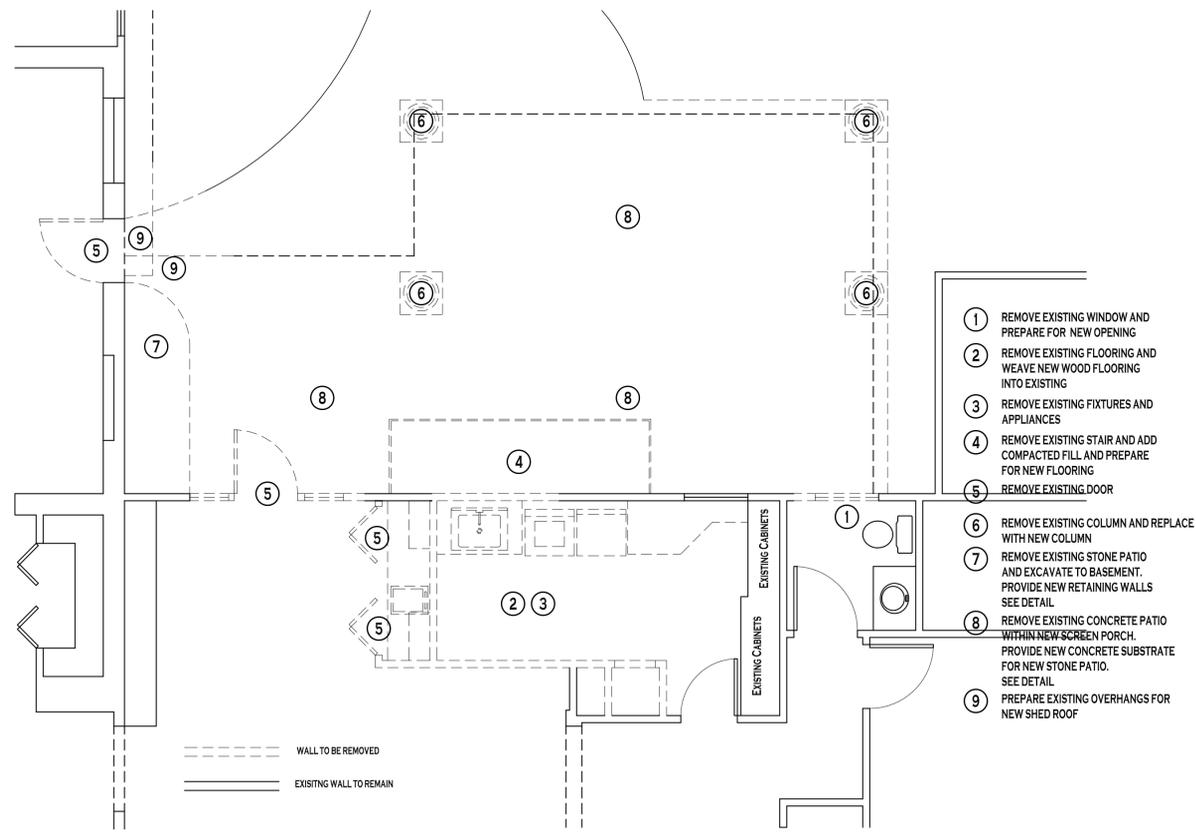
Please attach any drawings, renderings, photographs or other supporting documentation.

Back Porch Drawings #6 07 14 2016.pdf

Existing Back Porch.jpg

Existing Front Deck off Master Bedroom.jpg

Existing Deck off Master Bedroom and Office.jpg



- 1 REMOVE EXISTING WINDOW AND PREPARE FOR NEW OPENING
- 2 REMOVE EXISTING FLOORING AND WEAVE NEW WOOD FLOORING INTO EXISTING
- 3 REMOVE EXISTING FIXTURES AND APPLIANCES
- 4 REMOVE EXISTING STAIR AND ADD COMPACTED FILL AND PREPARE FOR NEW FLOORING
- 5 REMOVE EXISTING DOOR
- 6 REMOVE EXISTING COLUMN AND REPLACE WITH NEW COLUMN
- 7 REMOVE EXISTING STONE PATIO AND EXCAVATE TO BASEMENT. PROVIDE NEW RETAINING WALLS SEE DETAIL
- 8 REMOVE EXISTING CONCRETE PATIO WITHIN NEW SCREEN PORCH. PROVIDE NEW CONCRETE SUBSTRATE FOR NEW STONE PATIO. SEE DETAIL
- 9 PREPARE EXISTING OVERHANGS FOR NEW SHED ROOF

4 DEMOLITION PLAN
SCALE: 1/4" = 1'-0"

GENERAL NOTES:
ALL WORK TO CONFORM TO ALL APPLICABLE CODES & ORDINANCES.

ALL EXTERIOR DOORS TO BE WEATHERSTRIPPED.

EXTERIOR WOOD TO BE TREATED APPEARANCE GRADE. COORDINATE STAINS & PAINTS W/ OWNER.

INTERIOR GYPSUM BOARD TO BE TAPED, SPACKLED, AND SANDED AND RECEIVE 1 COAT LATEX PRIMER AND 2 COATS FLAT LATEX PAINT UNLESS OTHERWISE NOTED. COLOR BY OWNER.

INSULATION IN EXTERIOR WALL TO BE 3 1/2" FIBERGLASS BATT (R-15) W/ KRAFT PAPER VAPOR BARRIER. INSULATION IN SLOPING ROOF SECTIONS TO BE BATT INSULATION R-38. INSULATION ABOVE FLAT CEILING TO BE BATT INSULATION R-38.

NEW FLOORING 3/4" TONGUE & GROOVE PLYWOOD. GLUE W/ CONSTRUCTION GRADE ADHESIVE AND FASTEN WITH 1 1/4" SCREWS @ 8" C.C.

ALL PLUMBING INSTALLED PER CODE. WASTE AND WATER PIPING TO BE PVC SCHEDULE 40. PROVIDE ADDITIONAL 12" AIR CHAMBER TO PREVENT WATER SHOCK @ ALL PIPING TO CONTROL VALVES. INSTALL DISCONNECT VALVES @ ALL FIXTURES.

THE EXTENT TO WHICH MATERIALS WILL BE REPAIRED AND RE-USED WILL BE DETERMINED BY THE CONTRACTOR IN THE FIELD AND VERIFIED BY THE OWNER, ARCHITECT AND/OR ENGINEER.

BEFORE BEGINNING WORK, AND THROUGHOUT THE COURSE OF THE WORK, INSPECT AND VERIFY THE LOCATION AND CONDITION OF EVERY ITEM AFFECTED BY THE WORK AS PRESCRIBED IN THE FOLLOWING DRAWINGS, AND REPORT DISCREPANCIES TO THE ARCHITECT AND/OR ENGINEER BEFORE DOING WORK RELATED TO THAT BEING INSPECTED.

BEFORE BEGINNING WORK AT THE SITE, INSPECT THE EXISTING BUILDING AND DETERMINE THE EXTENT OF EXISTING FINISHES, SPECIALTIES, CASEWORK, EQUIPMENT, AND OTHER ITEMS WHICH MUST BE REMOVED OR REPAIRED.

INCIDENTAL WORK MAY ALSO BE NECESSARY IN AREAS NOT SHOWN ON THE DRAWINGS DUE TO CHANGES AFFECTING MECHANICAL, ELECTRICAL, PLUMBING, OR OTHER SYSTEMS. SUCH INCIDENTAL WORK IS ALSO A PART OF THIS CONTRACT.

REPAIR, PATCH, AND FINISH OR REFINISH AS APPLICABLE. TO MATCH ADJACENT EXISTING FINISHES, THOSE EXISTING SURFACES DAMAGED OR NEWLY EXPOSED DURING PERFORMANCE OF THE WORK.

DETERMINE LOCATION OF PARTITIONS NOT DIMENSIONED BY THEIR RELATION TO COLUMN FACE OR CENTER, WINDOW JAMB OR MULLION, OR OTHER SIMILAR FIXED ITEM.

DIMENSIONS TO NEW STUD PARTITIONS ARE TO FACE OF STUD.

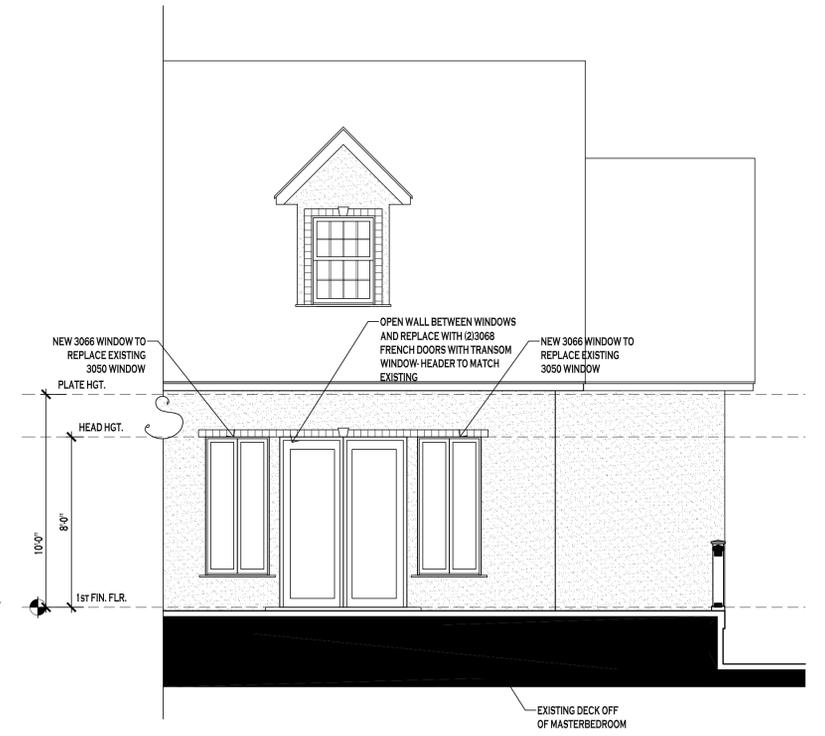
WHERE PERMANENT REMOVAL OF EXISTING MILLWORK, CASEWORK, CABINETS, ACCESSORIES, EQUIPMENT OR FURNISHINGS IS REQUIRED, AND PREVIOUSLY CONCEALED SURFACES ARE TO REMAIN EXPOSED, PATCH SUCH SURFACES TO MATCH ADJACENT EXPOSED SURFACES. WHERE SUCH SURFACES ARE SCHEDULED TO RECEIVE NEW FINISHES, PREPARE THE SURFACES TO RECEIVE THE NEW FINISHES.

WHERE CONDUITS, DUCTS, PIPES, AND SIMILAR ITEMS ARE SHOWN TO BE INSTALLED IN EXISTING WALLS, NEATLY CHASE THE WALLS OR PARTITIONS, INSTALL THE ITEMS, AND PATCH THE WALLS OR PARTITIONS TO MAKE THE INSTALLATION NOT DISCERNIBLE IN THE FINISHED WORK.

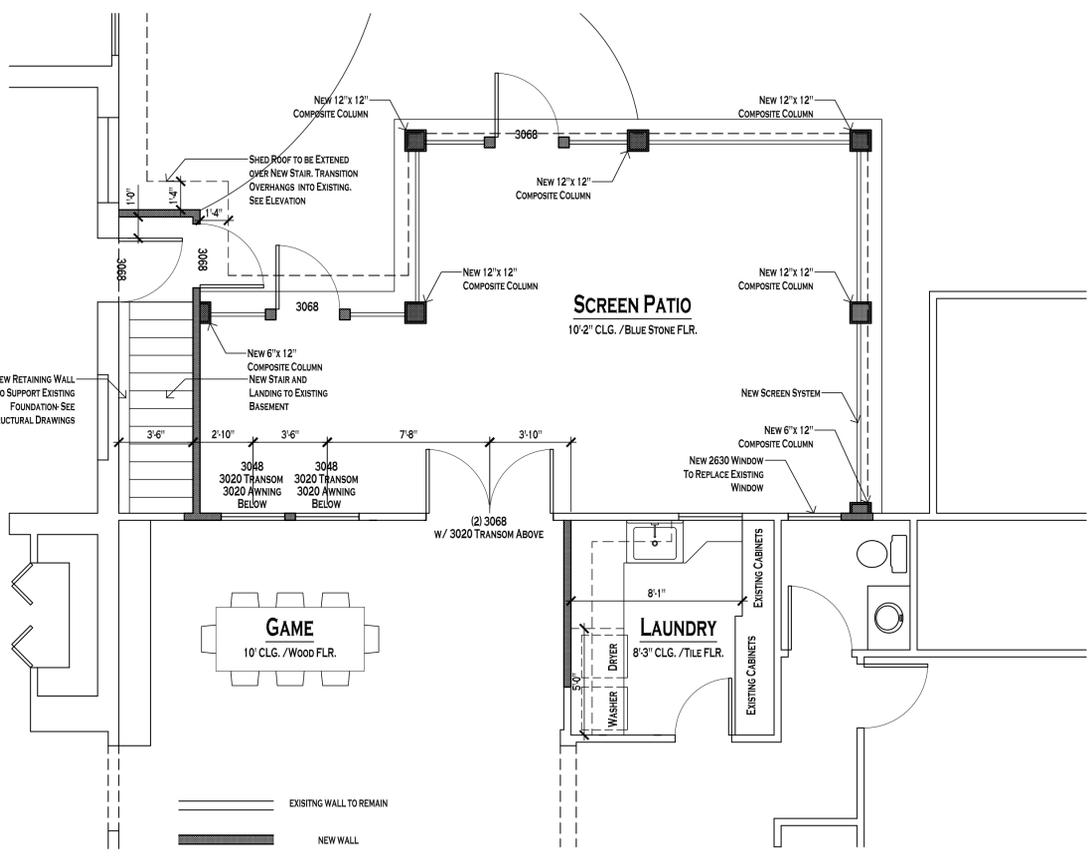
JUNCTURES BETWEEN EXISTING MASONRY AND PATCHES OR EXTENSIONS SHALL BE MADE TO CLEAN-CUT LINES OR NEATLY TOOTHED IN.

SALVAGE REMOVED CMU: CLEAN AND REUSE APPROVED UNITS FOR FILLING IN OPENINGS IN CMU AND FOR BUILDING NEW CMU WALLS. DO NOT USE DAMAGED CMU. PROVIDE NEW CMU WHERE APPROVED SALVAGED CMU IS NOT AVAILABLE INSUFFICIENT QUANTITY TO CARRY OUT THE NEW WORK.

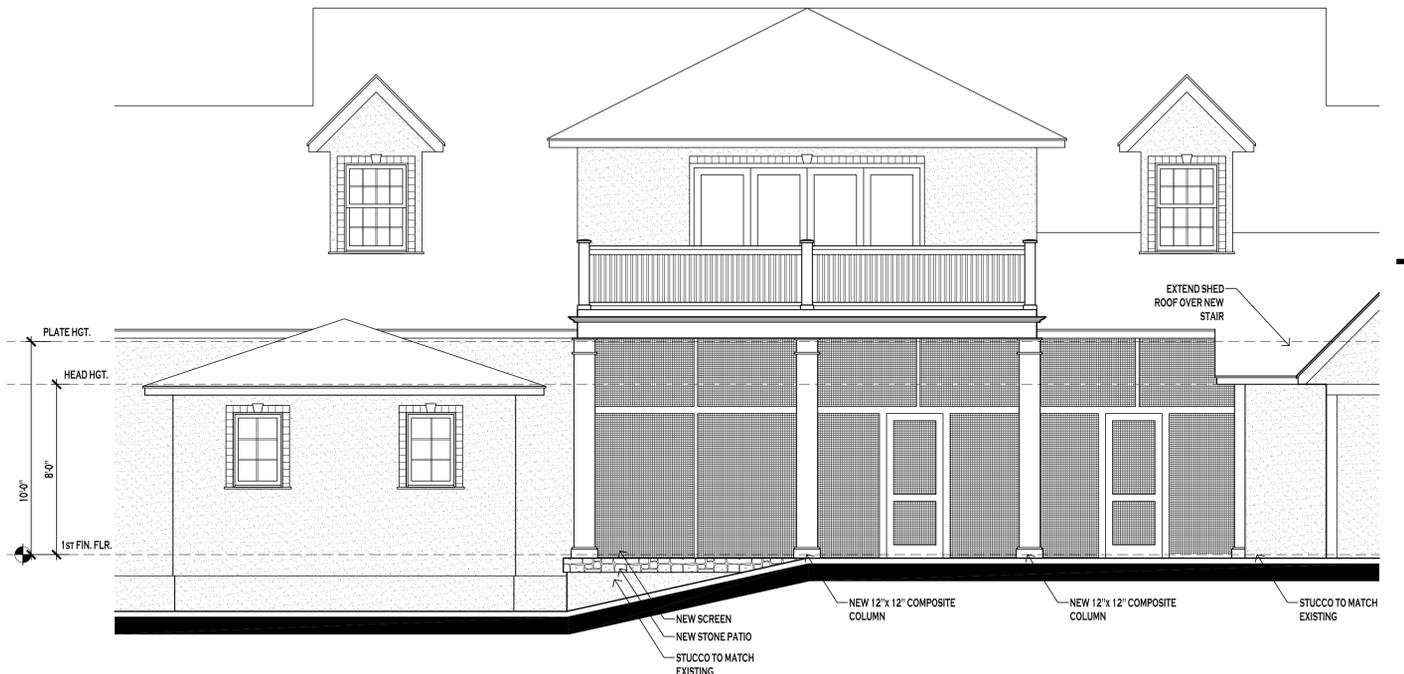
SEE ATTACHED PLANS (BY OTHERS) FOR EXISTING CONDITIONS/PARTITIONS/ELEVATIONS, ETC.



2 RIGHT FRONT ELEVATION @ MASTER BEDROOM
SCALE: 1/4" = 1'-0"



3 NEW FLOOR PLAN
SCALE: 1/4" = 1'-0"



1 REAR ELEVATION
SCALE: 1/4" = 1'-0"



T.A.D. ARCHITECT, PLLC
4 Maplewood Road
Asheville, NC 28804
v. 828.649.PLAN (7526)
e. tad@tadarchitect.com
w. www.tadarchitect.com



NOT FOR CONSTRUCTION

DRAWING NOTE:
Scale as stated herein are valid on the original drawing. The dimensions of which are 24" x 36".

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CLIENT
Tara and George Off
7 Forest Road
Asheville, NC 28803
m. 610.716.3757
m. 610.570.3933
e. taramoff@gmail.com
e. georgewoff@gmail.com

PROJECT
1608.01- Off Residence-Renovation

7 Forest Road

DRAWN BY
TAD

ISSUE
07.12.2016- Design Development

RE-ISSUE
00.00.2016 (1)- Amendment #1

SHEET DESCRIPTION
Floor Plans- Concept #1

A1.1









MEMORANDUM
AUGUST 18, 2016

To: Design Review Board
From: Jonathan Kanipe, Town Administrator
Re: Agenda Item – 7 Forest Road
Date: August 16, 2016

Mr. and Mrs. Off are presenting plans for a renovation to their existing residence. These renovations include the following:

1. Screen existing back porch, relocation cellar stairs for safety, and add doors from house to back porch.
2. Small extension of shed roof to cover entrance to new cellar stairs at back of garage.
3. Add doors from master bedroom to existing deck.

The Offs have included drawings and photos of the house, as it is presently constructed, for the Board to review in consideration of this proposal.

Zoning Application

Property Identification

Name

Charles & Marjorie Scott

Address

58 Chauncey Circle, Biltmore Forest, North Carolina 28803

Phone

(770) 914-8900

Email

chascot1@aol.com

Zoning

R-3

Lot Size (Acres)

1.00

Email -Submission Verification

tomh@christopherphelps.com

Scope of Project-Roof Coverage

Does the project include increasing roof coverage?

Yes

What is the proposed roof coverage?

3,613

Is the proposed roof coverage greater than the permitted maximum roof coverage?

No

Scope of Project-Impervious Surface

Does the project include increasing the impervious surface coverage?

Yes

What is the proposed impervious surface coverage?

5,779

Is the proposed impervious surface coverage greater than the permitted maximum impervious surface coverage?

No

Scope of Project-Setbacks

Does any part of the project fall within the front yard?

No

Does any part of the project fall within the side/rear yard setback(s)?

No

Scope of Project-Accessory Structures

Does the project include a detached structure or building?

No

Will there be more than the approved number of accessory structures/buildings?

No

Project Description

Brief Description of Project

New construction of single story residence with attached garage.

Estimated Cost of Project

550,000

Estimated Completion Date

6/1/2017

Please attach any drawings, renderings, photographs or other supporting documentation.

01-Lot 16 - Scott - Final Site Plan 7-27-16.pdf

02-Lot 16 - Scott - Prelim. Landscape Plan 7-27-16.pdf

02-A-1-FIRST FLR PLAN.pdf

03-A-2-FRONT ELEVATION.pdf

04-A-3-LEFT ELEVATION.pdf

05-A-4-RIGHT ELEVATION.pdf

06-A-5-REAR ELEVATION.pdf

Note:
 Survey Info Provided
 By NC Survey, P.C.
 (828) 252-1530

Cloos Landscape Architecture, P.A.
 47 YELLOWWOOD LANE, HORSE SHOE, NC 28742
 PHONE: 828-243-1070 - EMAIL: gct00@msnr.com

Wright Family
 Custom Homes
 P.O. Box 25067
 Asheville, NC 28813

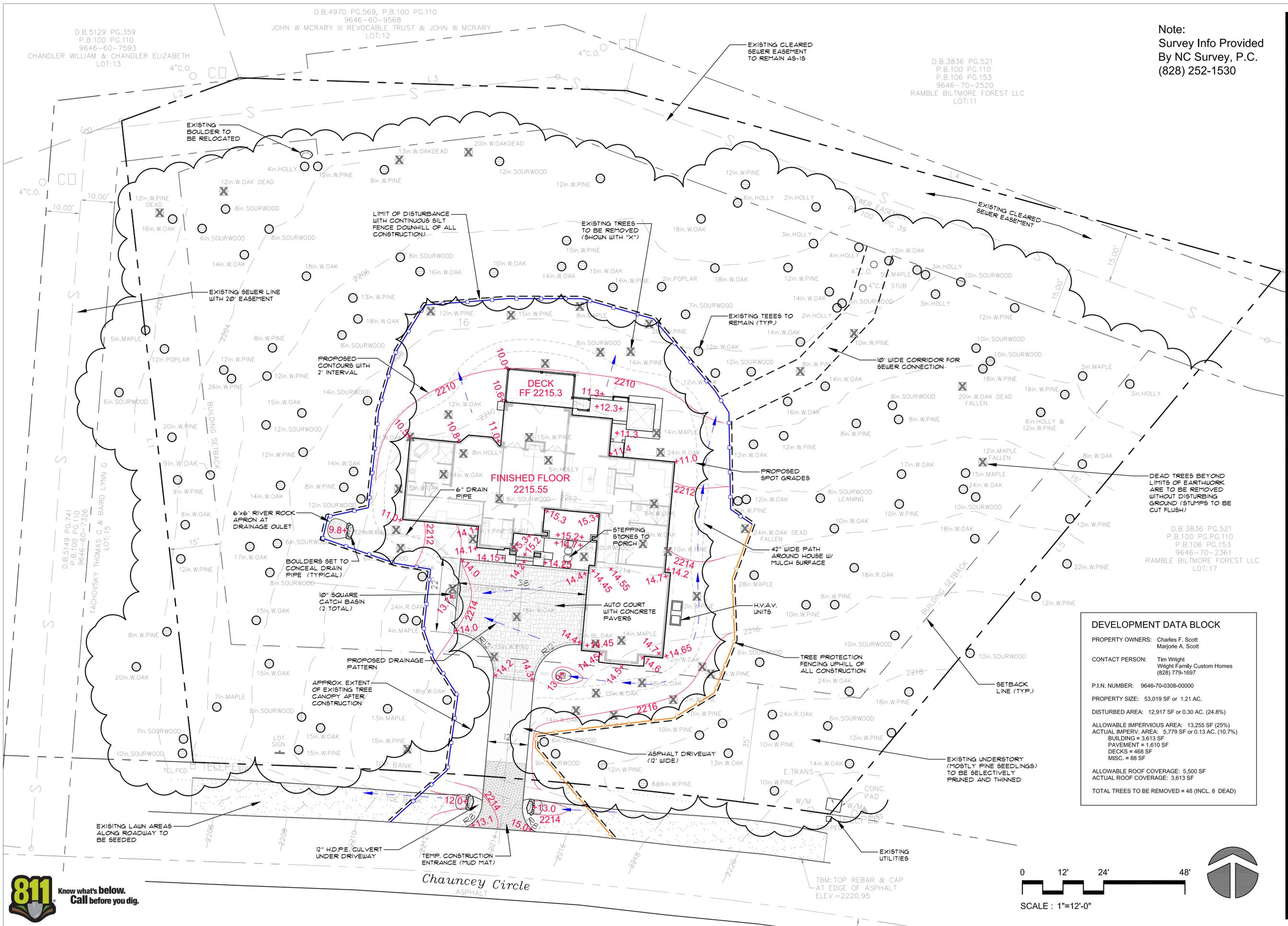


Charles & Marjorie Scott Residence
 58 Chauncey Circle, Lot 16
 The Ramble at Biltmore Forest

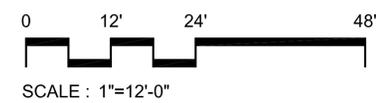
Final Site Plan

Date: July 27, 2016

SP-1



DEVELOPMENT DATA BLOCK	
PROPERTY OWNERS:	Charles F. Scott Marjorie A. Scott
CONTACT PERSON:	Tim Wright Wright Family Custom Homes (828) 779-1697
P.I.N. NUMBER:	9646-70-0308-0000
PROPERTY SIZE:	53,019 SF or 1.21 AC.
DISTURBED AREA:	12,917 SF or 0.30 AC. (24.8%)
ALLOWABLE IMPERVIOUS AREA:	13,255 SF (25%)
ACTUAL IMPERV. AREA:	5,779 SF or 0.13 AC. (10.7%)
BUILDING =	3,613 SF
PAVEMENT =	1,610 SF
DECKS =	468 SF
MISC. =	88 SF
ALLOWABLE ROOF COVERAGE:	5,500 SF
ACTUAL ROOF COVERAGE:	3,613 SF
TOTAL TREES TO BE REMOVED =	48 (INCL. 8 DEAD)



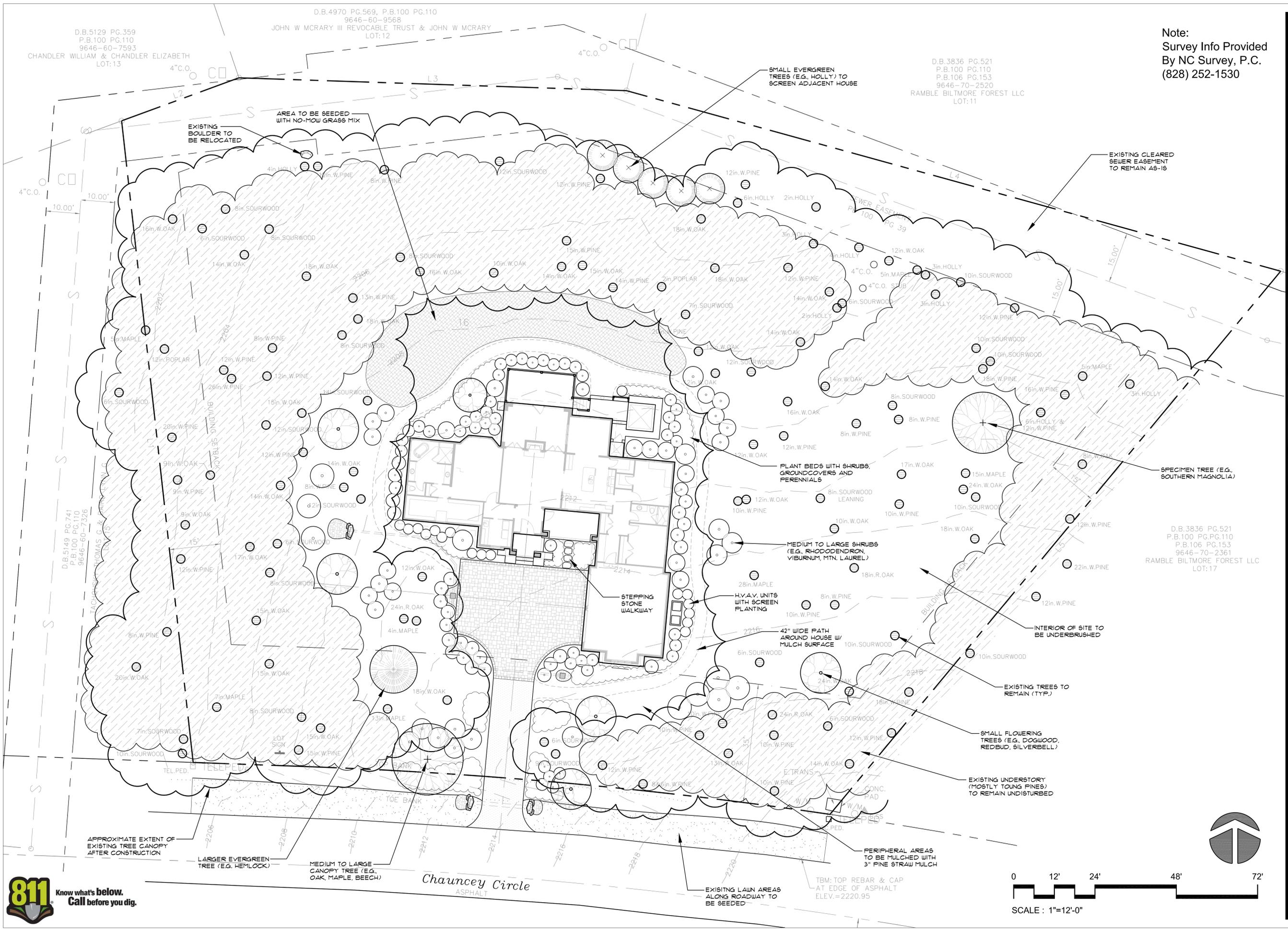
Note:
 Survey Info Provided
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 (828) 252-1530

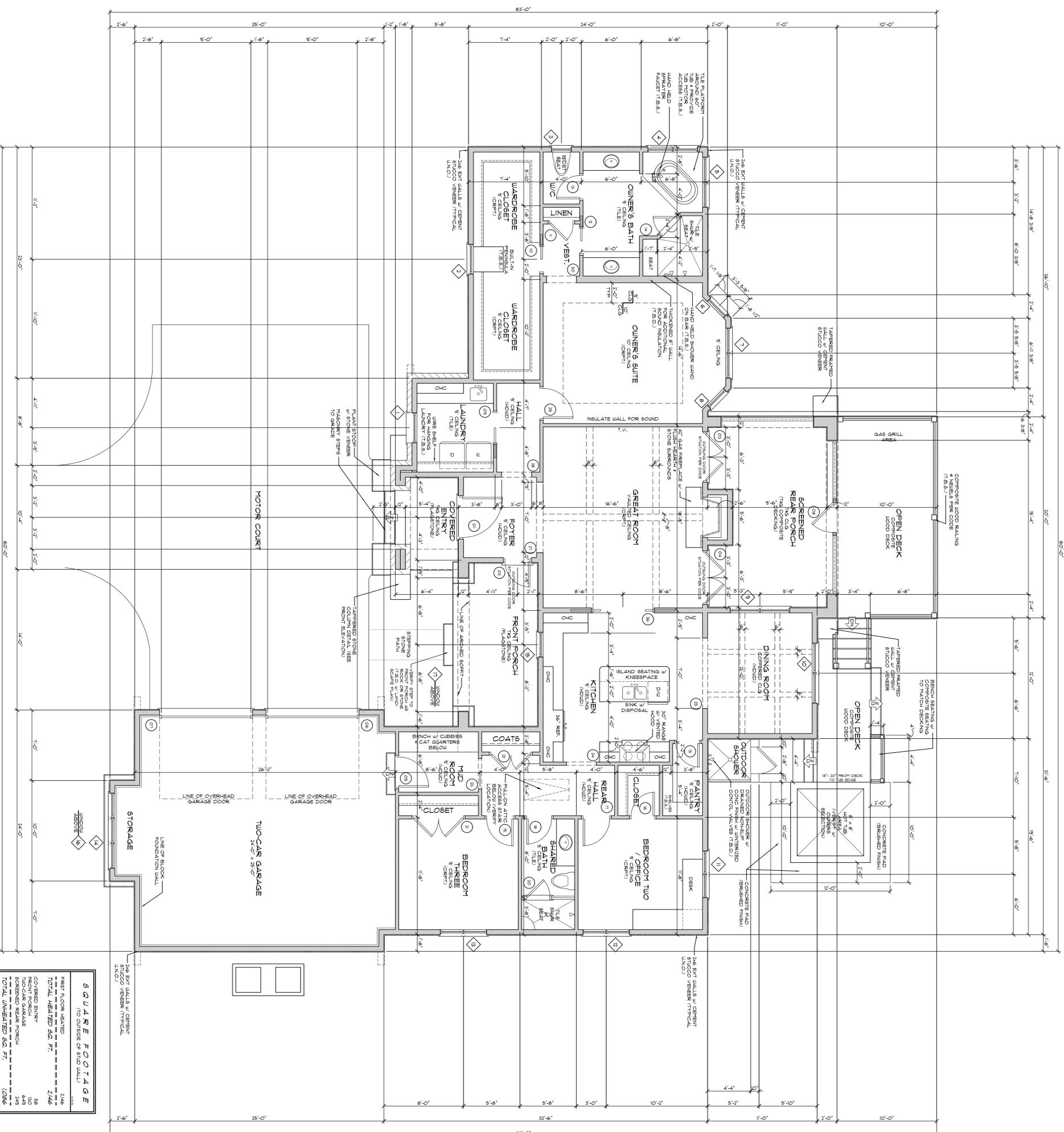
Cloos Landscape Architecture, P.A.
 47 YELLOWWOOD LANE, HORSE SHOE, NC 28742
 PHONE: 828-243-1070 - EMAIL: gct00@msnr.com

Wright Family
 Custom Homes
 P.O. Box 25067
 Asheville, NC 28813

Charles & Marjorie Scott Residence
 58 Chauncey Circle, Lot 16
 The Ramble at Biltmore Forest

Preliminary
 Landscape Plan
 Date: July 27, 2016
 LP-1





NO.	WIDTH	HEIGHT	NOTES
01	4'-0"	8'-0"	SINGLE INTERIOR CLOSET DOOR
02	2'-6"	5'-0"	SINGLE INTERIOR FRENCH DOOR
03	5'-0"	8'-0"	TWIN EXTERIOR FRENCH DOORS
04	5'-0"	8'-0"	TWIN EXTERIOR FRENCH DOORS
05	3'-0"	8'-0"	SINGLE INTERIOR SOLID CORE 20 MIN (FIRE) INTERIOR PANEL
06	9'-0"	8'-0"	SINGLE OVERHEAD GARAGE DOOR (CONCRETE SLAB)
07	9'-0"	8'-0"	SINGLE OVERHEAD GARAGE DOOR (CONCRETE SLAB)
08	3'-0"	8'-0"	EXTERIOR SCREEN DOOR (T.B.S.)
09	3'-0"	8'-0"	SINGLE INTERIOR FRENCH DOOR (T.B.S.)
10	2'-6"	8'-0"	SINGLE INTERIOR FRENCH DOOR (T.B.S.)
11	2'-6"	8'-0"	SINGLE INTERIOR FRENCH DOOR (T.B.S.)
12	2'-6"	8'-0"	SINGLE INTERIOR FRENCH DOOR (T.B.S.)
13	2'-6"	8'-0"	SINGLE INTERIOR FRENCH DOOR (T.B.S.)
14	2'-6"	8'-0"	SINGLE INTERIOR FRENCH DOOR (T.B.S.)
15	2'-6"	8'-0"	SINGLE INTERIOR FRENCH DOOR (T.B.S.)
16	2'-6"	8'-0"	SINGLE INTERIOR FRENCH DOOR (T.B.S.)
17	2'-6"	8'-0"	SINGLE INTERIOR FRENCH DOOR (T.B.S.)
18	2'-6"	8'-0"	SINGLE INTERIOR FRENCH DOOR (T.B.S.)
19	2'-6"	8'-0"	SINGLE INTERIOR FRENCH DOOR (T.B.S.)
20	2'-6"	8'-0"	SINGLE INTERIOR FRENCH DOOR (T.B.S.)
21	2'-6"	8'-0"	SINGLE INTERIOR FRENCH DOOR (T.B.S.)
22	2'-6"	8'-0"	SINGLE INTERIOR FRENCH DOOR (T.B.S.)
23	2'-6"	8'-0"	SINGLE INTERIOR FRENCH DOOR (T.B.S.)
24	2'-6"	8'-0"	SINGLE INTERIOR FRENCH DOOR (T.B.S.)
25	2'-6"	8'-0"	SINGLE INTERIOR FRENCH DOOR (T.B.S.)
26	2'-6"	8'-0"	SINGLE INTERIOR FRENCH DOOR (T.B.S.)
27	2'-6"	8'-0"	SINGLE INTERIOR FRENCH DOOR (T.B.S.)
28	2'-6"	8'-0"	SINGLE INTERIOR FRENCH DOOR (T.B.S.)
29	2'-6"	8'-0"	SINGLE INTERIOR FRENCH DOOR (T.B.S.)
30	2'-6"	8'-0"	SINGLE INTERIOR FRENCH DOOR (T.B.S.)

NO.	WIDTH	HEIGHT	NOTES
01	3'-0"	4'-0"	SINGLE CABINET WINDOW
02	3'-0"	4'-0"	SINGLE CABINET WINDOW
03	3'-0"	4'-0"	SINGLE CABINET WINDOW
04	2'-6"	4'-0"	TWIN CABINET WINDOW
05	2'-6"	4'-0"	TWIN CABINET WINDOW
06	2'-6"	4'-0"	TWIN CABINET WINDOW
07	2'-6"	4'-0"	TWIN CABINET WINDOW
08	3'-0"	4'-0"	TWIN CABINET WINDOW
09	3'-0"	4'-0"	TWIN CABINET WINDOW
10	3'-0"	4'-0"	TWIN CABINET WINDOW
11	2'-6"	4'-0"	TWIN CABINET WINDOW
12	2'-6"	4'-0"	TWIN CABINET WINDOW
13	2'-6"	4'-0"	TWIN CABINET WINDOW
14	2'-6"	4'-0"	TWIN CABINET WINDOW
15	2'-6"	4'-0"	TWIN CABINET WINDOW
16	2'-6"	4'-0"	TWIN CABINET WINDOW
17	2'-6"	4'-0"	TWIN CABINET WINDOW

5 SQUARE FOOTAGE (TO OUTSIDE OF STUD WALL)	3146
TOTAL HEATED SQ. FT.	2146
COVERED ENTRY	58
TWO-CAR GARAGE	648
SCREENED REAR PORCH	218
TOTAL UNHEATED SQ. FT. (PER STRUCTURAL DRAWINGS)	1086
TOTAL UNDER ROOF SQ. FT.	3232

GENERAL FLOOR PLAN NOTES

- SEE SHEET 011 FOR ADDITIONAL FINISHING NOTES.
- PROVIDE TERRAZZO TREATMENT UNDER ALL CONCRETE SLABS.
- PROVIDE 1/2" DRYWALL SEPARATION BETWEEN WALLS OF GARAGE & HOUSE. PROVIDE 3% OF GARAGE FLOOR SLOPE ON CEILING OF GARAGE (TABLE ROOMS).
- BUILD UP FLOOR AREAS AS REQUIRED TO HAVE FLUSH FLOOR FINISHES AT DIFFERENT TERRAZZO LEVELS.
- ALL ANGLED WALLS ARE 45 DEGREE (UNO.C.) UNLESS DIMENSIONED OTHERWISE.
- ALL INTERIOR DOORS ARE 8' FROM WALL.
- ALL EXTERIOR & INTERIOR STUD WALLS TO BE 2x6 @ 16" O.C. (UNO.C.).
- DOORS BEING HEAVIER THAN ALL DOORS (PER STRUCTURAL DRAWINGS).
- UNO.C. UNLESS NOTED OTHERWISE.

FIRST FLOOR PLAN
SCALE: 1/4" = 1'-0"

PROJECT:

THE SCOTT RESIDENCE

LOT 16 CHAUNCEY CIRCLE THE RAMBLE
BILTMORE FOREST
ASHEVILLE, NORTH CAROLINA

DATE: JULY 05 2016

DESIGN BY: TJH

REVISIONS:

JOB NUMBER: 2016-054

NOTE: GENERAL CONTRACTOR TO VERIFY ALL DIMENSIONS AND ANGLES IN FIELD.

BOYERS

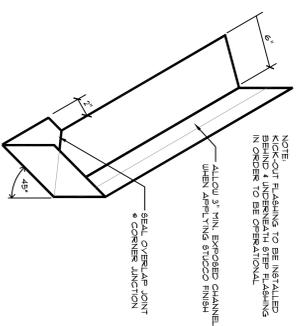
2108 South Blvd., Suite 114, Charlotte, NC 28203
Tel. 704.377.5569, Fax. 704.377.6909

INSPIRING HOMES FOR LIFE

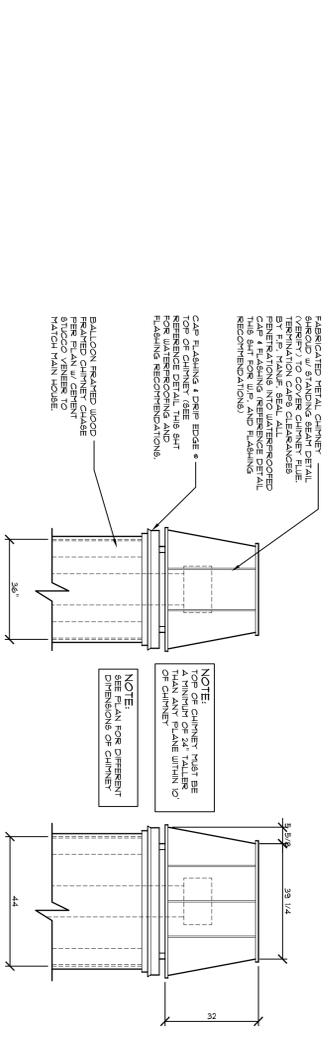
PHelps

SHEET A-1

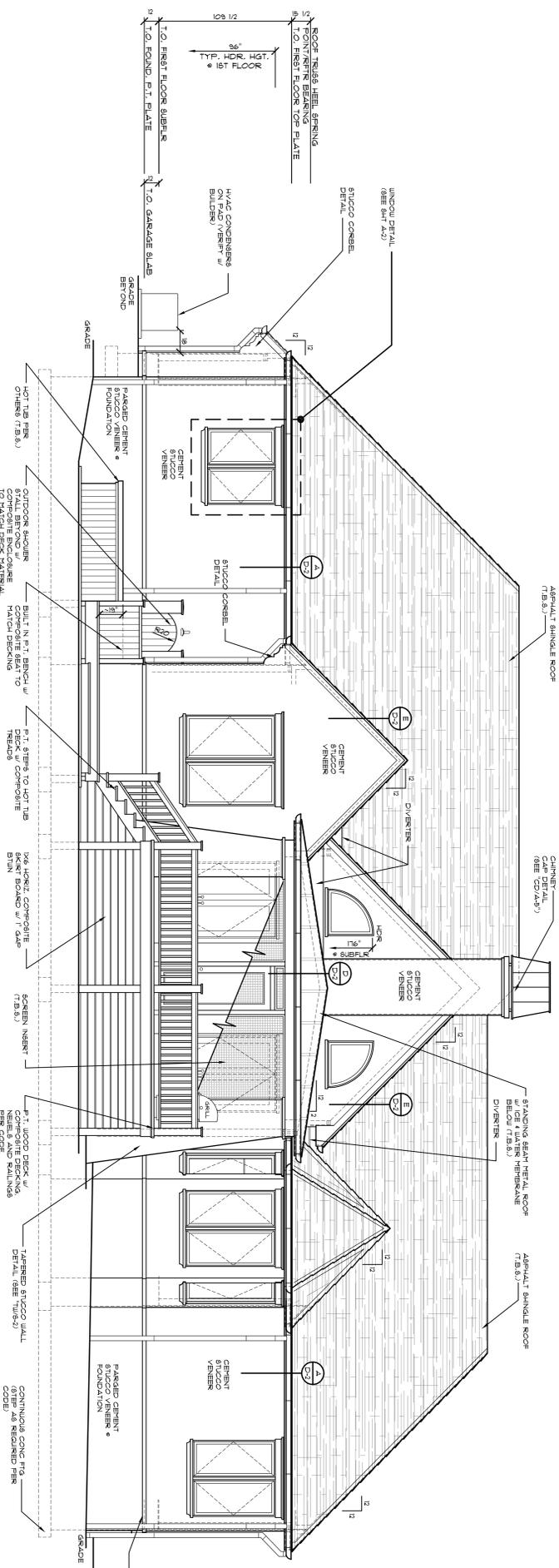
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TYPICAL KICKOUT FLASHING DETAIL
SCALE: NTS



CD CHIMNEY CAP DETAIL
SCALE: 1/2" = 1'-0"



REAR ELEVATION
SCALE: 1/4" = 1'-0"

QUEEN Installation Instructions for B-Vent applications

CONTENTS: Includes 1 each each of: (1) Queen Vent and related Weather Shield (2) Queen Vent Flashing (3) Queen Vent Gasket (4) Queen Vent Gasket Sealant (5) Queen Vent Gasket Sealant (6) Queen Vent Gasket Sealant (7) Queen Vent Gasket Sealant (8) Queen Vent Gasket Sealant (9) Queen Vent Gasket Sealant (10) Queen Vent Gasket Sealant

WARNING: Read and understand all instructions before installation. Failure to follow instructions may result in property damage, injury, or death.

CAUTION: Do not use Queen Vent Flashing on roofs with a slope less than 12:12.

STEP 1: Prepare the roof surface. Remove any existing flashing or debris. Clean the roof surface.

STEP 2: Install the Queen Vent Flashing. Apply the flashing to the roof surface, ensuring it is properly sealed.

STEP 3: Install the Queen Vent. Place the vent on the roof surface, ensuring it is properly aligned and sealed.

RECOMMENDED ATTACHMENTS: Queen Vent Flashing, Queen Vent Gasket Sealant, Queen Vent Gasket Sealant.

CHIMNEY CAP REFERENCE DETAIL: SCALE: NTS

PROJECT: **THE SCOTT RESIDENCE**
LOT 16 CHAUNCEY CIRCLE THE RAMBLE
BILTMORE FOREST
ASHEVILLE, NORTH CAROLINA

Christopher PHELPS
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SHEET A-5
15

OWNER: STRUCTURAL INTEGRITY ENGINEERING, P.A.
16000 Revereport Way, Suite 200
NC Corporate Center, NC, Cary
DATE: JULY 22 2016
DESIGN BY: TJH
JOB NUMBER: 2016-054

NOTE: GENERAL CONTRACTOR TO VERIFY ALL DIMENSIONS AND ANGLES IN FIELD.

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MEMORANDUM
AUGUST 18, 2016

To: Design Review Board
From: Jonathan Kanipe, Town Administrator
Re: Agenda Item – 58 Chauncey Circle
Date: August 16, 2016

Mr. Charles and Mrs. Marjorie Scott, 58 Chauncey Circle, are presenting plans for a new residence. Review of the plans indicated that there are no accessory structures or buildings and that the proposed siting of the home is in conformity with all setbacks. The plans are in compliance with the Town's impervious surface and roof coverage requirements as well.

The Scotts have provided a detailed site plan, landscape plan, elevation drawings, floor plans, and roof plans for the Board's review.