



To: Members of the Board of Adjustment, Applicants & Neighboring Property Owners
From: Jonathan B. Kanipe, Zoning Administrator
Date: June 29, 2016
Re: Board of Adjustment Meeting at 4 p.m.

Applicants:

You or your representative **must** be present at this meeting or your application will not be reviewed.

Members of the Board of Adjustment & the Zoning Administrator may visit the property prior to the meeting.

You or your representative **must** also attend the Design Review Board meeting on the **Thursday, July 14th at 5:30pm** to complete the approval process.

Certificates of Zoning Compliance will be issued after review and approval from the Board of Adjustment & Design Review Board.

Neighbors:

You are receiving this notice because your property is adjacent to an applicant on this month's agenda.

You may review applications & plans for the projects on this agenda at Town Hall M-F 9am-5pm.

You are invited to attend the scheduled meeting and make comment.

The following items of business are scheduled to be addressed by the Biltmore Forest Board of Adjustment on Monday, July 11, 2016 at 4:00pm in the Town Hall Board Room.

1. The meeting will be called to order and roll call will be taken.
2. The minutes of the May 16, 2016 meeting will be presented for approval.
3. Hearing of Cases (Evidentiary Hearings, Deliberations & Determinations):

Case 1: Mr. Kenneth Williams, 19 Ridgefield Place, request a conditional use permit for the construction of a new residence.

Case 2: Mr. Charles Reynolds, 24 Cedarcliff Road, requests a conditional use permit to allow construction of a detached garage.

Case 3: Mr. Norwood and Mrs. Sidney Thornton, 6 Southwood Road, request a conditional use permit to construct a detached garage in advance of construction commencing on a new residence.

Case 4: Mr. Tucker and Mrs. Barbara Veach, 20 Cedarcliff Road, request a conditional use permit and variance approval to allow construction of a dry stacked retaining wall and new driveway within the front yard and setbacks.

Case 5: Dr. Blair and Mrs. Gabriel Holl, 1 Stuyvesant Road, request a conditional use permit and variance approval to construct a stone wall and black metal and wood fence within the side yard setbacks, and will replace existing retaining wall and fencing. The project also includes the replacement of an existing deck, awning, and a conditional use request for a new, low stone retaining wall.

4. Adjourn.

MINUTES OF THE BOARD OF ADJUSTMENT MEETING
HELD MONDAY, MAY 16, 2016

The Board of Adjustment met at 4:00 p.m. on Monday, May 16, 2016.

Members present: Goosmann, Landau, Kieffer, Groce, Pearlman, and Chandler. Mr. Jonathan Kanipe, Zoning Administrator, was present. Mr. William Clarke, Town Attorney, was also in attendance.

Chairman Goosmann called the meeting to order at 4:03 p.m.

Chairman Goosmann swore in the following:

Mr. James Taylor
Mrs. Sherry Taylor
Mr. George Stowe
Mr. Tal Frankfurt
Mrs. Paige Frankfurt
Mr. Jeff Pace
Mr. Curtis Foltz

Motion was made to approve the meeting minutes from April 25, 2016 by Mr. Lowell Pearlman. The motion was seconded by Mrs. Lynn Kieffer and unanimously approved.

Mr. & Mrs. Shenk were not present at the beginning of the meeting, Mr. Goosmann moved forward to the next project.

HEARING (Evidentiary):

Mr. James Taylor & Mrs. Sherry Taylor presented plans for the brick wall located in the side yard setback. Mrs. Taylor reviewed the drainage issues present and the overall plan for the wall itself. Mrs. Rhoda Groce shepherded the discussion and asked for the rationale for the hardship, and Mrs. Taylor reviewed the reasoning for the request, due to drainage and other erosion issues.

Mr. Chandler asked whether the wall would be landscaped, and Mrs. Taylor said that it would be landscaped and buffered on both sides of the wall. Mrs. Taylor indicated that the neighbor, Mr. Kassinger, would like to landscape his side of the wall from 328 Vanderbilt Road.

DELIBERATION & DETERMINATION

Mrs. Groce recited the facts of the case, and noted that the neighbors have provided written approval and agreed to provide more landscaping if necessary.

Mr. James and Sherry Taylor of 324 Vanderbilt Road are requesting a Variance for construction of a brick wall within the side yard setback. It will be placed around the south and eastern sides of their parking courtyard. The original courtyard was in place prior to the purchase of their home, and during rain events, the slope of the eastern property line allows water to run into the courtyard without being absorbed into the ground. This causes standing water in the parking area of up to 3 inches. The neighbors have written a letter of approval.

Mr. Lowell Pearlman made a motion to approve the variance to construct a brick wall be granted to Mr. James and Mrs. Sherry Taylor of 324 Vanderbilt Road. The facts as recited by Rhoda Groce and her summation be accepted as findings and facts to support this grant. The Board has inspected this site and no neighboring property owner has objected.

Mr. Pearlman moved that granting the variance based upon the foregoing findings of fact, satisfied the applicable Sections of 1005.04 and paragraphs one through four, and would not be contrary to the public interest where, owing to special conditions, a literal enforcement of the provisions of this Ordinance would, in this case, result in a practical difficulty or unnecessary hardship. He further moved the Board to find that the spirit of the ordinance would be observed, public safety and welfare secured and substantial justice done. The applicant has been informed that he/she is to report to the Zoning Administrator within seven (7) days of completion of the project in order that the Zoning Administrator can determine that the project has been completed in accordance with plans submitted to the Town.

The motion was seconded by Mr. Robert Chandler. The motion passed unanimously.

HEARING (Evidentiary):

Mr. George Stowe, architect representing Hubert and Pat Wood of 12 Hemlock Road, was present to discuss the proposed retaining wall extension. Mr. Chandler shepherded the case and advised Mr. Stowe to present the rationale for extending the masonry part of the retaining wall to surround the existing driveway turnaround area. The existing area is already within the side yard setback. Mr. Stowe reviewed why they would like to extend the wall. Mr. Stowe indicated that he would like to have this to allow for a more formalized drive, as well as providing for more retaining wall on this side of the project. Mr. Stowe indicated that this would allow for the soil and dirt to be retained. Mr. Pearlman asked whether the additional area was going to be more aesthetic than or for more practical purposes. Mr. Chandler echoed this and asked what the hardship was, or whether this more of something desired. Mr. Stowe said this was something the owners would like to do.

Mr. Clarke reiterated that this would qualify as a hardship since it would be retaining soil and since the driveway was already in place within the side yard setback. Mr. Chandler verified that this request was before the Board of Adjustment as a result of the driveway already existing within the side yard setback.

Mr. Chandler asked if the area was buffered already, and Mr. Stowe said they would be willing to buffer or screen the area more if required by the Board. Mr. Stowe indicated he would relay this to them, but that he believed this was the case.

Mr. Chandler recited the facts. Mr. Hubert and Pat Wood of 12 Hemlock Road are requesting a variance to allow an extension of a wall into the side yard setback

Mrs. Lynn Kieffer made a motion to approve the variance as requested. The motion was seconded by Rhoda Groce. The Board approved the request unanimously.

DELIBERATION & DETERMINATION

Mr. Chandler recited the facts of the case. Mr. Hubert Wood and Mrs. Pat Wood of 12 Hemlock Road are requesting a Conditional Use Permit and Variance to extend their previously approved masonry retaining wall into the Northern, side yard setback. Mr. and Mrs. Wood have indicated that by extending this retaining wall to enclose the existing paved driveway, it would help screen and buffer the drive and their vehicles from the neighbors at 10 Hemlock Road. The wall would step down as it encroaches into the setback and would reduce from approximately three (3) feet high to two (2) feet high.

Mrs. Lynn Kieffer made a motion to approve the Variance as requested be granted to Hubert and Pat Wood of 12 hemlock Road for an additional footage masonry wall to extend in the side yard setback. The facts as recited by Robert Chandler and her summation be accepted as findings and facts for this grant. The Board has inspected this site and no neighboring property owner has objected.

Mrs. Kieffer moved that granting the variance based upon the foregoing findings of fact, satisfied the applicable Sections of 1005.04 and paragraphs one through four, and would not be contrary to the public interest where, owing to special conditions, a literal enforcement of the provisions of this Ordinance would, in this case, result in a practical difficulty or unnecessary hardship. She further moved the Board to find that the spirit of the ordinance would be observed, public safety and welfare secured and substantial justice done. The applicant has been informed that he/she is to report to the Zoning Administrator within seven (7) days of completion of the project in order that the Zoning Administrator can determine that the project has been completed in accordance with plans submitted to the Town.

The motion was seconded by Rhoda Groce. There was no additional deliberation. The motion passed unanimously.

HEARING (Evidentiary):

Mr. Tal & Mrs. Paige Frankfurt of 30 Cedarcliff Road were called forward in regards to a Variance request for a wrought iron fence for a portion of the side and rear yard, followed by a chain link fence in the rear yard nearest the storage shed, and then continue wrought iron on the far western side of the property. The Frankfurts indicated that they were prepared to landscape and buffer the area if necessary.

Mr. Pearlman shepherded the discussion and reviewed the proposal for the two different types of fencing. The Frankfurts reviewed that the structures already in place were within the rear and side yard setbacks already and moving the fence in compliance with the setback would result in constructing the fence through the structures. Mr. Pearlman verified that two types of fencing will be approved at this project. The wrought iron fence will be at the East side of the house. Chain link will follow and then become wrought iron on the West side of the house. Mr. Pearlman asked for clarification where the chain link will start and end. Mr. and Mrs. Frankfurt pointed it out in the drawings. Mr. and Mrs. Frankfurt said they spoke to Mr. Himan and they were ok with the fence addition. Mr. Pearlman asked for the hardship. Mrs. Frankfurt said they have tried invisible fencing but the dog has been so resistant to the fence that he kept getting shocked. The invisible fence company is actually refunding their money for the fence.

DELIBERATION & DETERMINATION

Mr. Pearlman recited the facts of the case and noted that the Frankfurts indicated that the hardship was present as a result of the existing structures within the setback already, and that locating the fence anywhere closer in from the setback would result in the removal of additional trees.

Tal & Paige Frankfurt are applying for a Conditional Use Permit and Variance request at 30 Cedarcliff Road for new fence construction for fencing in the rear and side yard setback. Chain link would be included on the West and rear part. There are two types of fence, one being chain link and the other being wrought iron. Restricting access from the driveway to the rear of the house. The hardship is they want the dog to stay closer to home and existing structure of the setback and

the side to avoid removing trees currently buffering the adjacent property. They will minimize the setback on the side yard they share with the homeowner.

Mr. Frankfurt made two amendments to the facts, there was only a small portion that was chain link and that there was going to be a small gate on the western side of the property.

Mr. Chandler moved that a Conditional Use Permit and Variance be granted to Tal and Paige Frankfurt at 30 Cedarcliff Road. A Conditional Use Permit for new fence construction and variance for fencing in the rear and side yard setback. The facts as recited by Lowell Pearlman and his summation be accepted as findings and facts to support this grant. The Board has inspected this site and no neighboring property owner has objected.

Mr. Chandler moved that granting this Conditional Use Permit (a) would not materially endanger the public health or safety if located where proposed and developed according to the plans as submitted and improved, (b) met all required conditions and specifications of the Town of Biltmore Forest Zoning Ordinance, (c) would not substantially injure the value of adjoining or abutting property, and (d) would be in general conformity with the plan of development of the Town of Biltmore Forest and its environs as set forth in Sections 1005.03 (2) and (3) of the above ordinance. The applicant has been informed that he is to report to the Zoning Administrator within seven (7) days of completion of the project in order that the Zoning Administrator can determine that the project has been completed in accordance with plans submitted to the Town.

Further, Mr. Chandler moved that granting the variance based upon the foregoing findings of fact, satisfied the applicable Sections of 1005.04 and paragraphs one through four, and would not be contrary to the public interest where, owing to special conditions, a literal enforcement of the provisions of this Ordinance would, in this case, result in a practical difficulty or unnecessary hardship. He further moved the Board to find that the spirit of the ordinance would be observed, public safety and welfare secured and substantial justice done. The applicant has been informed that he/she is to report to the Zoning Administrator within seven (7) days of

completion of the project in order that the Zoning Administrator can determine that the project has been completed in accordance with plans submitted to the Town.

The motion was seconded by Mrs. Groce. There were no additional comments and the motion passed unanimously.

HEARING (Evidentiary):

Mr. Jeff Pace, 891 Hendersonville Road, came forward to discuss the Variance request for a fence within the front and side yard. Mr. Pace is in due diligence to purchase the home. Mrs. Kieffer shepherded the discussion. Mr. Pace noted that it was 185 linear feet of fencing to be installed within the front yard to tie into the rear corner of the house. Mr. Pace said that he would like to do this because of the amount of traffic and speed of traffic on Hendersonville Road. Mr. Pace noted that he would like to construct this in order to protect his children from the road.

Mrs. Kieffer indicated that this area and hill was probably the highest hill from a residence along Hendersonville Road, and that was a fear that even a child on a bike or rolling down the hill would go into Hendersonville Road. Mrs. Kieffer ran through the potential for additional landscaping and buffering the fence from the roadway. Mr. Pace said that they would be willing to do this. A significant amount of vegetation will need to be cleared out. Mr. Pace indicated the fence would be 38 feet from the front setback in the front corner which is the closest corner to the road, and approximately 8-10 feet from the property line on the North side. Mrs. Kieffer asked if it would be compliant and Mr. Pace said it would be pretty close.

DELIBERATION & DETERMINATION

Mrs. Kieffer reviewed the facts of the case. Jeff Pace of 891 Hendersonville Road is requesting a Conditional Use Permit for new fence construction and a variance for fencing in the front yard setback for 185 linear square feet of fencing to be installed within the front yard to tie into the rear corner of the house. The hardship is that this lot is significant higher than other yards

facing Hendersonville Road and there is a fear that a small child or ball could easily travel into the path of oncoming traffic. This fence will provide them protection and safety for yard play. It is in compliant with the side yard setback.

Mrs. Groce made a motion to approve the Conditional Use Permit and Variance be granted to Mr. Jeff Pace of 891 Hendersonville Road and that the facts as recited by Lynn Kieffer and her summation be accepted as findings and facts to support this grant. The Board has inspected this site and no neighboring property owner has objected.

Mrs. Groce moved that granting this Conditional Use Permit (a) would not materially endanger the public health or safety if located where proposed and developed according to the plans as submitted and improved, (b) met all required conditions and specifications of the Town of Biltmore Forest Zoning Ordinance, (c) would not substantially injure the value of adjoining or abutting property, and (d) would be in general conformity with the plan of development of the Town of Biltmore Forest and its environs as set forth in Sections 1005.03 (2) and (3) of the above ordinance. The applicant has been informed that he is to report to the Zoning Administrator within seven (7) days of completion of the project in order that the Zoning Administrator can determine that the project has been completed in accordance with plans submitted to the Town.

Further, Mrs. Groce moved that granting the Variance based upon the foregoing findings of fact, satisfied the applicable Sections of 1005.04 and paragraphs one through four, and would not be contrary to the public interest where, owing to special conditions, a literal enforcement of the provisions of this Ordinance would, in this case, result in a practical difficulty or unnecessary hardship. He further moved the Board to find that the spirit of the ordinance would be observed, public safety and welfare secured and substantial justice done. The applicant has been informed that he/she is to report to the Zoning Administrator within seven (7) days of completion of the project in order that the Zoning Administrator can determine that the project has been completed in accordance with plans submitted to the Town.

The motion was seconded by Mr. Chandler and unanimously approved.

HEARING (Evidentiary):

Mr. Curtis Foltz, 89 Chauncey Circle, came forward to present his plans for a Conditional Use Permit and Variance for a previously tabled fence. Mrs. Groce shepherded the discussion. Mrs. Groce asked about buffering for the fence. Mr. Foltz indicated that they would do whatever was necessary in regards to buffering, but their landscape architect indicated that rhododendron and mountain laurel (two to three per fence opening) would be best. Mr. Foltz said this would be installed roughly 3-5 feet off of the fence and within their property line. They were not encroaching the side yard setback.

Mr. Pearlman asked about the decision to construct the fence without the approval of the Town. Mr. Foltz said that he had lived in nine homes in seven different states, always in a planned community and always had a fence. He believed they had gone through the process required by the Ramble, and did not even realize they lived in the Town of Biltmore Forest and not in greater Asheville. They asked their listing agent and selling agent if a fence could be installed, and they said yes with approval from the Ramble. His first understanding of the involvement of the Town of Biltmore Forest was when he was contacted by the Town.

Mr. Pearlman noted that there were comments from a neighbor regarding the fence, but that the issue related to landscaping was approved to screen the fence. Mr. Foltz indicated that he would screen the fence as necessary.

DELIBERATION & DETERMINATION

Mrs. Groce recited the facts. Mr. Curtis Foltz and Mrs. Donna Foltz of 89 Chauncey Circle is applying for a Conditional Use Permit and Variance and Mr. Foltz agreed to buffer the property from adjoining neighbors and along the rear Ramble common area that borders the Deerfield Retirement Community. The fence is set back 15' from the side property line and 4-20' from the rear property line with approximately 330' of fencing. The fence will be stained or painted gray as

necessary but the applicant is going to give it 6 months to see if the fence looks more natural with age.

Mr. Pearlman made a motion to approve the Conditional Use Permit and Variance be granted to Curtis and Donna Foltz of 89 Chauncey Circle for a fence. The facts as recited by Rhoda Groce and her summation be accepted as findings and facts to support this grant. The Board has inspected this site and one neighboring property owner expressed concerns, but Mr. Foltz has agreed to buffer the fence to alleviate concerns from this side of the property.

Mr. Pearlman moved that granting this Conditional Use Permit (a) would not materially endanger the public health or safety if located where proposed and developed according to the plans as submitted and improved, (b) met all required conditions and specifications of the Town of Biltmore Forest Zoning Ordinance, (c) would not substantially injure the value of adjoining or abutting property, and (d) would be in general conformity with the plan of development of the Town of Biltmore Forest and its environs as set forth in Sections 1005.03 (2) and (3) of the above ordinance. The applicant has been informed that he is to report to the Zoning Administrator within seven (7) days of completion of the project in order that the Zoning Administrator can determine that the project has been completed in accordance with plans submitted to the Town.

Further, Mr. Pearlman moved that granting the Variance based upon the foregoing findings of fact, satisfied the applicable Sections of 1005.04 and paragraphs one through four, and would not be contrary to the public interest where, owing to special conditions, a literal enforcement of the provisions of this Ordinance would, in this case, result in a practical difficulty or unnecessary hardship. He further moved the Board to find that the spirit of the ordinance would be observed, public safety and welfare secured and substantial justice done. The applicant has been informed that he/she is to report to the Zoning Administrator within seven (7) days of completion of the project in order that the Zoning Administrator can determine that the project has been completed in accordance with plans submitted to the Town.

The motion was seconded by Lynn Kieffer and unanimously approved.

HEARING (Evidentiary):

The Board took up the matter of the Shenk case for tree removal and landscaping at 18 Cedar Hill Road.

DELIBERATION & DETERMINATION

Mr. Pearlman made a motion and Rhoda Groce seconded. The matter was approved.

NEW BUSINESS

The Zoning Amendment package was discussed by Mr. Clarke. Mr. Pearlman asked whether more specificity was needed to be included in what was an accessory structure which replaced accessory use. Mr. Pearlman asked for clarification on what defines an accessory structure. He asked for a more specific definition. Mr. Clarke said he would work on this a bit more. Mr. Clarke reviewed the changes regarding lots fronting on two streets. The definition of front yard is on the second page of the document. The visibility will be taken into consideration for front and side yard of the street. When considering an application for a Conditional Use and Variance on a lot that falls on two streets, visibility issues will be considered on both sides. Visibility issues are important to consider. The Finger property was used as the prime example. Another example used was near the Shenk property near 18 Cedar Hill. Mr. Clarke said it is just clarifying and showing where a lot will be visible from two streets.

Mr. Clarke referenced section 153.029 explains the Town is a unique community and no new chain link fences will be allowed and also mentioned existing chain link fencing. These proposed changes will eventually go to the Planning Board and the Board of Commissioners which

will be followed by a Public Hearing. Mr. Clarke said he would be available for comments or questions regarding these changes to the Zoning Amendment package.

The meeting was adjourned at 5:17 p.m.

The next meeting of the Board of Adjustment was scheduled for Monday, July 11th 2016 at 4:00 p.m.

ATTEST:

Greg Goosmann
Chairman

Jonathan B. Kanipe
Town Administrator



MEMORANDUM
JULY 11, 2016

To: Board of Adjustment
From: Jonathan Kanipe, Town Administrator
Re: Case 1 – 19 Ridgefield Place
Date: July 1, 2016

Case 1

Property Owner: Kenneth Williams
Property Address: 19 Ridgefield Place
Zoning District: R-2
Lot Size: 0.91 +/- acres
Application Request: Construction of New Residence on Lot with Existing Accessory Structure

Mr. Williams requests permission from the Board to construct a new residence on the lot at 19 Ridgefield Place. You will recall that last year the Board approved the driveway entrance for Mr. Williams to allow access into the property from Ridgefield Place. The Board of Adjustments approved the lot in question for subdivision in 2013. This resulted in the creation of a lot that already had a swimming pool on it. Swimming pools, per the Zoning Ordinance, are considered an accessory structure. After reviewing with Mr. Clarke, it seemed appropriate for the Board to consider this application since it involved the primary residence on the lot with an existing accessory structure.

The proposed house design meets the ordinance requirements in regards to size allowances and is designed to be in conformity with the setbacks. There are topographical and dimensional issues with the lot that dictate the placement and orientation of the home. There are no additional accessory structures presented in conjunction with this plan, and there are no issues with the maximum roof coverage or impervious surface requirements being fulfilled.

Please let me know if you have questions regarding the previous history of this lot. I am more than happy to provide meeting minutes, surveys, and other plats that were presented during that initial discussion for review as you consider Mr. Williams's request.



ZONING APPLICATION

Required for Board of Adjustment & Design Review Board

DATE
6-28-16

PROPERTY IDENTIFICATION

Owner Name	Property Address	PIN	Zoning	Lot Size (Acres)
Kenneth Williams	19 Ridgefield PL	9646-94-7898	R-4	0.91 AC

CONTACT INFORMATION

Applicant (if not owner) _____ Email Coby Law Care @ aol.com
 Mailing Address PO. Box 777 ARDEN N.C. 28704
 Phone (Primary) 828 301-3379 Phone (Alt) _____

PROPERTY REQUIREMENTS

Maximum Permitted Roof Coverage 0.91 AC = 4,682 SF Rear Yard Setback 20'
 Maximum Permitted Impervious Surface Coverage 27.5% x 39,629.6 = 10,900 Side Yard Setback 15'

SCOPE OF PROJECT

Does the project include increasing roof coverage? Yes No
 If yes, what is the proposed roof coverage? _____

Is the proposed roof coverage greater than the permitted maximum roof coverage? Yes No

Does the project include increasing the impervious surface coverage? Yes No
 If yes, what is the proposed impervious surface coverage? 2,507-House | 2,572-Drive | 12,893-Pad Existing

Is the proposed impervious surface greater than the permitted maximum impervious surface coverage? Yes No

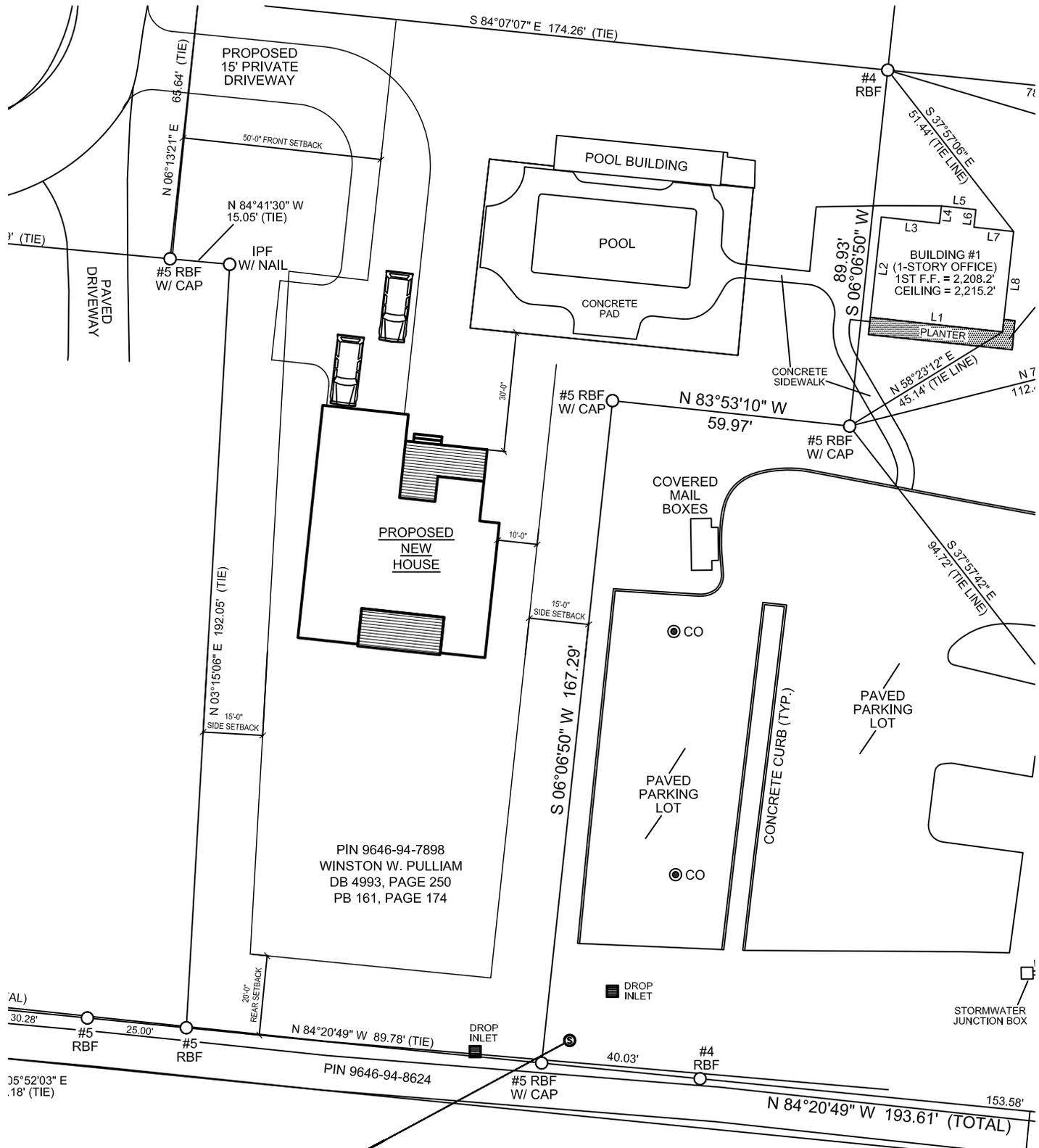
Will any part of the project fall within the front yard? Yes No

Will any part of the project fall within the side yard or rear yard setback? Yes No

DESCRIPTION OF PROJECT

Brief Description of Project
New single-family residence with new driveway. Pool and pool house are existing.

Estimated Cost of Project _____ Estimated Completion Date _____



35°52'03" E
 .18' (TIE)

AL)

30.28'

#5 RBF

25.00'

#5 RBF



MEMORANDUM
JULY 11, 2016

To: Board of Adjustment
From: Jonathan Kanipe, Town Administrator
Re: Case 2 – 24 Cedarcliff Road
Date: July 1, 2016

Case 2

Property Owner: Charles Reynolds
Property Address: 24 Cedarcliff Road
Zoning District: R-1
Lot Size: 1.372 +/- acres
Application Request: Conditional Use Permit Request for Accessory Building

Mr. Reynolds requests permission from the Board to construct a new detached garage on the rear of his property. The detached garage would be the one allowed accessory building on Mr. Reynolds's lot. The proposed garage is in compliance with the maximum accessory building allowance, conforms to all setback requirements, and meets the impervious surface requirements of the zoning ordinance.

There is no variance approval required since this is the only accessory building on the property and all parameters of the ordinance are met.

Zoning Application

Property Identification

Name

Charles Reynolds

Address

24 Cedarcliff Rd., Biltmore Forest, North Carolina 28803

Phone

(828) 275-4102

Email

jey@yda-online.com

Zoning

R-1

Lot Size (Acres)

1.372

Email -Submission Verification

jey@yda-online.com

Scope of Project-Roof Coverage

Does the project include increasing roof coverage?

Yes

What is the proposed roof coverage?

742

Is the proposed roof coverage greater than the permitted maximum roof coverage?

No

Scope of Project-Impervious Surface

Does the project include increasing the impervious surface coverage?

Yes

What is the proposed impervious surface coverage?

742

Is the proposed impervious surface coverage greater than the permitted maximum impervious surface coverage?

No

Scope of Project-Setbacks

Does any part of the project fall within the front yard?

No

Does any part of the project fall within the side/rear yard setback(s)s?

No

Scope of Project-Accessory Structures

Does the project include a detached structure or building?

Yes

An application for a conditional use permit will be required in addition to this zoning application.

Will there be more than the approved number of accessory structures/buildings?

No

Project Description

Brief Description of Project

The project includes renovations to the existing residence that do not increase the footprint or impervious area, as well as a proposed garage that adds 742 sf of impervious area to the site.

Estimated Cost of Project

225,000

Estimated Completion Date

11/30/2016

Please attach any drawings, renderings, photographs or other supporting documentation.

11510 Permit Binder 2.pdf

Conditional Use Permit Application

I hereby petition the Board of Adjustment to issue a Conditional Use Permit for:

Name

John Yurko

Property Address

24 Cedarcliff Rd., Biltmore Forest NC

Phone

(828) 275-4102

Email

jey@yda-online.com

Type of Conditional Use

802.07 Accessory Buildings

Email-Submission Verification

jey@yda-online.com

Description of Project

The project to renovate the residence at 24 Cedarcliff Rd. includes the addition of a stand-alone garage with guest quarters on a half-story above. This 742 sf. structure falls within the definition of an "Accessory Building" under 802.07 and within the allowable conditions under 1104. There are no existing Accessory Buildings currently on the property

Explain why the project would not adversely affect the public interest of those living in the neighborhood:

The project is a detached garage, which is a standard accessory structure in Biltmore Forest. The guest quarters above the garage is contained in a half-story, keeping the massing of the building to a minimum. The garage is designed with similar details to the existing residence it will serve.

I certify that the information presented by the undersigned in this application is accurate to the best of my knowledge, information and belief.

Signature



Date

6/22/2016

February 5, 2016
Permit Set

Reynolds Residence

24 Cedar Cliff Rd., Asheville, NC

Architect:
John Yurko AIA
Yurko Design & Architecture PA
20 Tipton Lane
Weaverville, NC 28787
yurkodesign@gmail.com
828-275-4102

Drawing Schedule

- T1 Title
- C1.1 Site Survey
- A1.1 Rec. Room Plans Elevations
- A1.2 Rec. Room Sections
- A1.3 Master Bedroom Plans
- A1.4 Floor 2 Plans
- A1.5 Garage Plans
- A1.6 Garage Elevations
- A1.7 Garage Sections

1. IT IS UNDERSTOOD AND AGREED THAT YURKO DESIGN & ARCHITECTURE'S BASIC SERVICES UNDER OUR AGREEMENT DO NOT INCLUDE FULL-TIME CONSTRUCTION OBSERVATION OR REVIEW OF THE OWNER, CONTRACTOR'S GENERAL CONTRACTOR OR ANY SUBCONTRACTOR'S PERFORMANCE. CLIENT ACKNOWLEDGES THE IMPORTANCE OF SUCH SERVICES AND SHOULD THE CLIENT HAVE SUCH SERVICES PERFORMED BY A PARTY OTHER THAN YURKO DESIGN AND ARCHITECTURE, THEN CLIENT SHALL ASSUME FULL RESPONSIBILITY FOR INTERPRETATION OF THE CONTRACT DOCUMENTS AND FOR CONSTRUCTION OBSERVATION AND SHALL WAIVE ANY CLAIMS AGAINST YURKO DESIGN & ARCHITECTURE THAT MAY BE IN ANY WAY CONNECTED THERETO.

2. IN ADDITION, IF YURKO DESIGN & ARCHITECTURE DOES NOT PERFORM FULL-TIME CONSTRUCTION OBSERVATION, CLIENT SHALL TO THE FULLEST EXTENT PERMITTED BY LAW INDEMNIFY AND HOLD DESIGN PROFESSIONAL HARMLESS FROM ANY LOSS, CLAIM OR COST, INCLUDING REASONABLE ATTORNEY'S FEES AND COSTS OF DEFENSE, ARISING OR RESULTING FROM THE PERFORMANCE OF SUCH SERVICES BY OTHER PERSONS OR ENTITIES AND FROM ANY AND ALL CLAIMS ARISING FROM MODIFICATIONS, CLARIFICATIONS, INTERPRETATIONS, ADJUSTMENTS OR CHANGES MADE TO THE CONTRACT DOCUMENTS TO REFLECT CHANGED FIELD OR OTHER CONDITIONS.

IMPORTANT NOTE
THESE DRAWINGS ARE PROVIDED BY THE ARCHITECT TO THE OWNER WHO WILL BE WORKING CLOSELY WITH A BUILDER. THEY ARE LIMITED IN SCOPE AND DETAIL TO ONLY THE NECESSARY INFORMATION REQUIRED TO SECURE A BUILDING PERMIT. THE OWNER AND BUILDER ARE RESPONSIBLE FOR ALL PORTIONS OF THE DESIGN NOT SPECIFICALLY DESIGNED, DETAILED OR CALLED FOR IN THESE DRAWINGS AND FOR OBSERVATION AND ADMINISTRATION OF THE CONSTRUCTION CONTRACT. THE OWNER AND BUILDER ARE RESPONSIBLE FOR ANY COORDINATION AND/OR MODIFICATIONS NECESSARY TO MEET THE REQUIREMENTS OF ANY GOVERNMENT AGENCY HAVING JURISDICTION OVER ANY PORTION OF THE PROJECT. THE WORK OF ANY DESIGN PROFESSIONALS AND/OR SUBCONTRACTORS WHICH ARE OR SHOULD BE INVOLVED IN THE PROJECT, AND SOUND CODE-COMPLIANT CONSTRUCTION PRACTICES.

THESE PLANS HAVE BEEN LICENSED BY YURKO DESIGN & ARCHITECTURE PA FOR USE IN THE CONSTRUCTION OF ONE BUILDING ONLY BY THE CUSTOMER NAMED IN THE LICENSE WATERMARK PRINTED ON THE FACE OF THE PLANS (THE "LICENSED CLIENT"). USE OF THESE PLANS IS SUBJECT TO THE CONDITIONS OF LICENSE ACCEPTED BY THE LICENSED CUSTOMER. USE OF ANY PART OF THE PLANS BY ANY PARTY OTHER THAN THE LICENSED CUSTOMER - EXCEPT ON LOAN BY THE LICENSED CUSTOMER TO THIRD PARTIES AS NECESSARY TO ASSIST THE LICENSED CUSTOMER IN LICENSED CONSTRUCTION - IS STRICTLY PROHIBITED.

YURKO DESIGN & ARCHITECTURE PA WILL NOT BE RESPONSIBLE FOR ANY DAMAGES RELATING TO THE ACCURACY AND OVERALL INTEGRITY OF THE PLANS IN EXCESS OF THE LICENSE FEE PAID FOR THEIR USE. WRITTEN DIMENSIONS ON THESE DRAWINGS SHALL HAVE PRECEDENCE OVER SCALED DIMENSIONS. LICENSED CUSTOMERS SHALL VERIFY AND BE RESPONSIBLE FOR ALL DIMENSIONS AND CONDITIONS ON THE CONSTRUCTION SITE SPECIFICALLY INCLUDING ADAPTATION OF THESE PLANS TO MEET SPECIFIC SITE CONDITIONS. YURKO DESIGN & ARCHITECTURE PA SHALL NOT BE RESPONSIBLE FOR THE CONSEQUENCES OF ANY ALTERATIONS OF THESE PLANS.

THESE PLANS WERE DESIGNED AND DRAFTED BY YURKO DESIGN & ARCHITECTURE PA TO MEET AVERAGE CONDITIONS AND CODES IN THE STATE OF NORTH CAROLINA AT THE TIME THEY WERE DESIGNED. BECAUSE CODES AND REGULATIONS CAN CHANGE AND MAY VARY FROM JURISDICTION TO JURISDICTION, YURKO DESIGN & ARCHITECTURE PA CANNOT AND DOES NOT WARRANT THE PLANS' COMPLIANCE WITH LOCAL CODES AND REGULATIONS. THE LICENSED CUSTOMER IS RESPONSIBLE FOR CONSULTING WITH LOCAL BUILDING OFFICIALS TO DETERMINE THE SUITABILITY OF THESE PLANS TO THEIR SPECIFIC SITE AND APPLICATION. FURTHERMORE, THE LICENSED CUSTOMER IS RESPONSIBLE FOR ALL CONSTRUCTION IN STRICT COMPLIANCE WITH ALL GOVERNING CITY, COUNTY, STATE, AND FEDERAL LAWS AND REGULATIONS APPROPRIATE TO THE CONSTRUCTION SITE.

YURKO DESIGN & ARCHITECTURE PA DISCLAIMS ALL OTHER WARRANTIES EXPRESS OR IMPLIED, INCLUDING MERCHANTABILITY OR FITNESS OF PURPOSE. YURKO DESIGN & ARCHITECTURE PA IS NOT LIABLE FOR INCIDENTAL, SPECIAL, OR INDIRECT DAMAGES OF ANY KIND, INCLUDING BUT NOT LIMITED TO LOSS OF ANTICIPATED PROFITS, BUSINESS OPPORTUNITY, OR OTHER ECONOMIC LOSS ARISING OUT OF THE USE OF SERVICES OR ANY CONSTRUCTION PLANS RECEIVED FROM YURKO DESIGN & ARCHITECTURE PA.

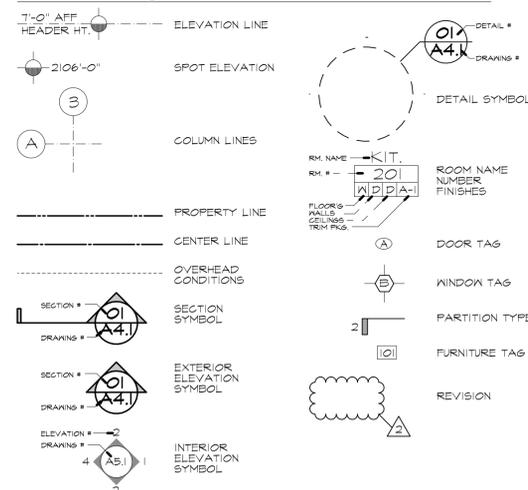
RECEIPT OF AND PAYMENT FOR THE FULL SET OF CONSTRUCTION DOCUMENTS FOR THIS HOME DESIGN FROM YURKO DESIGN & ARCHITECTURE PA CONSTITUTES ACKNOWLEDGEMENT OF AND AGREEMENT TO THE ABOVE CONDITIONS BY THE LICENSED CUSTOMER.

NOTICE DUTY OF COOPERATION: YURKO DESIGN & ARCHITECTURE PA ASSUMES NO LIABILITY FOR ANY HOME CONSTRUCTION FROM THIS PLAN. RELEASE OF THESE PLANS CONTEMPLATES FURTHER COOPERATION AMONG THE OWNER, HIS CONTRACTOR, AND THE DESIGNER. ALTHOUGH THE DESIGNER AND HIS CONSULTANTS PERFORMED THEIR SERVICES WITH DUE CARE AND DILIGENCE, THEY CANNOT GUARANTEE PERFECTION. ANY AMBIGUITY OR DISCREPANCY DISCOVERED BY THE LICENSED CUSTOMER DURING HIS USE OF THESE PLANS SHALL BE REPORTED IMMEDIATELY TO THE DESIGNER. FAILURE TO NOTIFY THE DESIGNER SHALL RELIEVE THE DESIGNER FROM RESPONSIBILITY FOR ALL CONSEQUENCES. DEVIATIONS FROM THE PLANS WITHOUT THE CONSENT OF THE DESIGNER ARE UNAUTHORIZED AND SHALL RELIEVE THE DESIGNER OF RESPONSIBILITY FOR ALL CONSEQUENCES ARISING OUT OF SUCH CHANGES. ONLY QUALIFIED DESIGNER, ARCHITECT, OR STRUCTURAL ENGINEER SHOULD ATTEMPT TO MODIFY ANY PORTION OF THIS DESIGN.

abbreviations

AFF	ABOVE FINISH FLOOR	MAX.	MAXIMUM
ARCH	ARCHITECT	MTL.	METAL
B.O.	BOTTOM OF	MIN	MINIMUM
BLDG	BUILDING	MISC	MISCELLANEOUS
CTR	CENTER	N/A	NOT APPLICABLE
CONC.	CONCRETE	NTS	NOT TO SCALE
CONT.	CONTINUOUS	OC	ON CENTER
DEMO	DEMOLITION	FTD	PAINTED
DTL	DETAIL	FLMBS	PLUMBING
DIA	DIAMETER	FLYWD	PLYWOOD
DIM	DIMENSION	LBS	POUNDS
DN	DOWN	RCP	REFLECTED CEILING PLAN
DS	DOWNSPOUT	REQ'D	REQUIRED
DWG	DRAWING	R	RISER
ELEC	ELECTRICAL	RM	ROOM
ELEV	ELEVATION	SC	SOLID CORE
EXIST.	EXISTING	SQ	SQUARE
ETR	EXISTING TO REMAIN	SF	SQUARE FEET
F.F.	FINISH FLOOR	TLT	TOILET
FEC	FIRE EXTINGUISHER CABINET	T.O.	TOP OF
FA	FIRE ALARM	TYP	TYPICAL
GWB	GYPSUM WALL BOARD	UON	UNLESS OTHERWISE NOTED
HT	HEIGHT	VEN	VENEER
HC	HOLLOW CORE	VIF	VERIFY IN FIELD
HORZ	HORIZONTAL	WC	WATER CLOSET
INSUL	INSULATION	WNDW	WINDOW
INT	INTERIOR	WD	WOOD
LAV	LAVATORY		

symbols legend



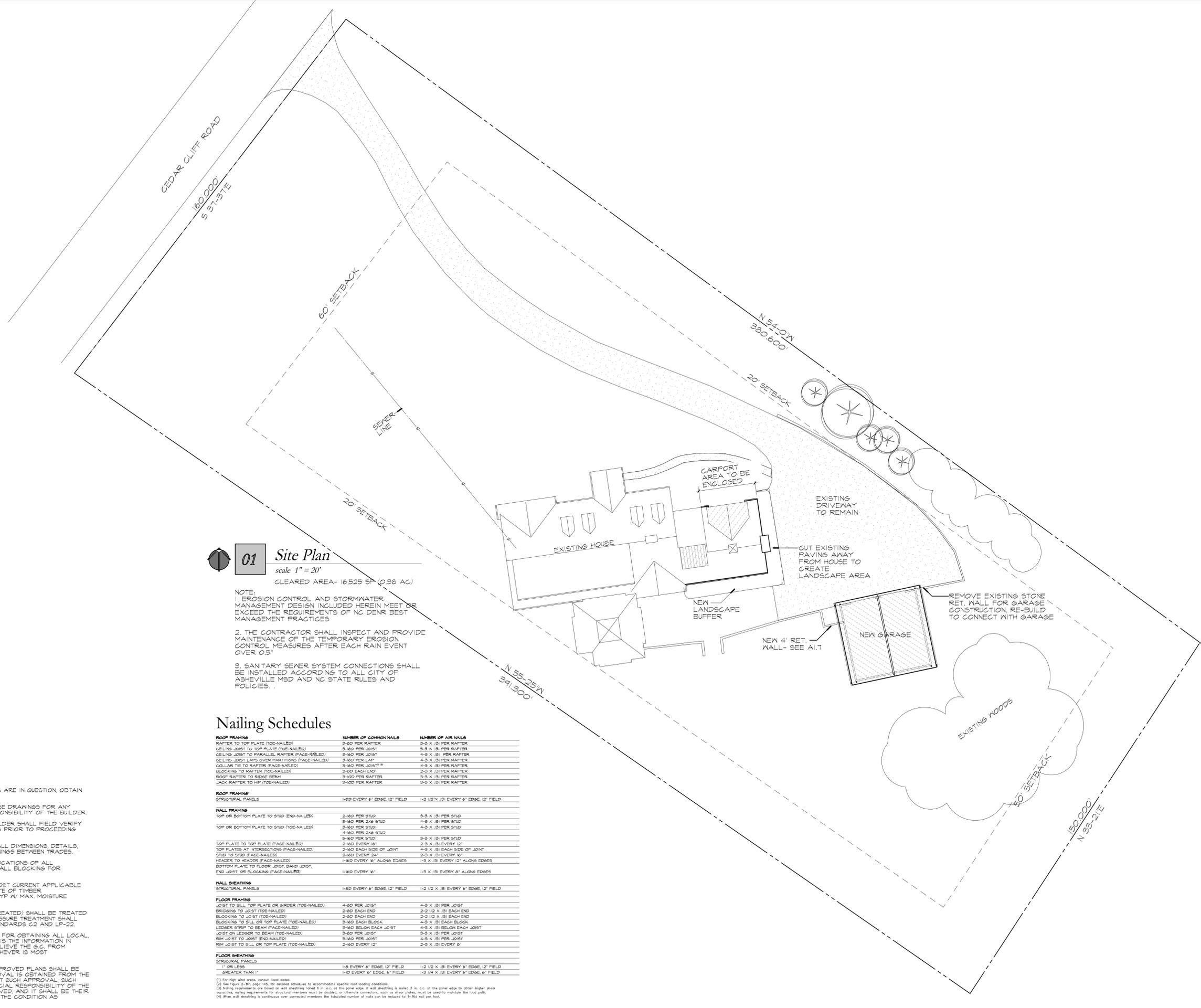
building code notes

BUILDING CODE:	2012 IRC
ACCESSIBILITY CODE:	N/A
ZONING:	N/A
OCCUPANCY CLASSIFICATION:	N/A
CONSTRUCTION TYPE:	RESIDENTIAL
HEATED AREA:	4566 SF
MAX. OCCUPANTS:	N/A
SPRINKLERED:	N/A

Renovations and
Additions to the
Reynolds Residence
24 Cedar Cliff Rd.
Asheville, NC

yurko
DESIGN & ARCHITECTURE

T1
title



01 Site Plan
 scale 1" = 20'
 CLEARED AREA- 16,525 SF (0.38 AC)

- NOTE:
 1. EROSION CONTROL AND STORMWATER MANAGEMENT DESIGN INCLUDED HEREIN MEET OR EXCEED THE REQUIREMENTS OF NC DENR BEST MANAGEMENT PRACTICES
 2. THE CONTRACTOR SHALL INSPECT AND PROVIDE MAINTENANCE OF THE TEMPORARY EROSION CONTROL MEASURES AFTER EACH RAIN EVENT OVER 0.5"
 3. SANITARY SEWER SYSTEM CONNECTIONS SHALL BE INSTALLED ACCORDING TO ALL CITY OF ASHEVILLE MSD AND NC STATE RULES AND POLICIES.

Nailing Schedules

ROOF FRAMING	NUMBER OF COMMON NAILS	NUMBER OF AIR NAILS
RAFTERS TO TOP PLATE (TOE-NAILED)	3-60 PER RAFTER	3-8 X 3/8 PER RAFTER
CEILING JOIST TO TOP PLATE (TOE-NAILED)	3-60 PER JOIST	5-8 X 3/8 PER RAFTER
CEILING JOIST TO PARALLEL RAFTER (FACE-NAILED)	3-60 PER JOIST	4-8 X 3/8 PER RAFTER
CEILING JOIST LAPS OVER PARTITIONS (FACE-NAILED)	3-60 PER LAP	4-8 X 3/8 PER RAFTER
COLLAR TIE TO RAFTER (FACE-NAILED)	3-60 PER JOIST**	4-8 X 3/8 PER RAFTER
BLOCKING TO RAFTER (TOE-NAILED)	2-80 EACH END	2-8 X 3/8 PER RAFTER
ROOF RAFTER TO RIDGE BEAM	3-60 PER RAFTER	3-8 X 3/8 PER RAFTER
JACK RAFTER TO HIP (TOE-NAILED)	3-60 PER RAFTER	3-8 X 3/8 PER RAFTER
ROOF FRAMING STRUCTURAL PANELS	1-80 EVERY 6" EDGE 12" FIELD	1-2 1/2" X 3/8 EVERY 6" EDGE 12" FIELD
HALL FRAMING		
TOP OR BOTTOM PLATE TO STUD (END-NAILED)	2-60 PER STUD	3-8 X 3/8 PER STUD
CEILING JOIST TO STUD (TOE-NAILED)	3-60 PER STUD	4-8 X 3/8 PER STUD
TOP OR BOTTOM PLATE TO STUD (TOE-NAILED)	3-60 PER STUD	4-8 X 3/8 PER STUD
TOP OR BOTTOM PLATE TO STUD (TOE-NAILED)	4-60 PER 2x6 STUD	4-8 X 3/8 PER STUD
TOP PLATE TO TOP PLATE (FACE-NAILED)	2-60 EVERY 4"	3-8 X 3/8 PER STUD
TOP PLATES AT INTERSECTIONS (FACE-NAILED)	2-60 EACH SIDE OF JOINT	4-8 X 3/8 EACH SIDE OF JOINT
STUD TO STUD (FACE-NAILED)	2-60 EVERY 24"	2-8 X 3/8 EVERY 6"
HEADER TO HEADER (FACE-NAILED)	1-80 EVERY 6" ALONG EDGES	1-8 X 3/8 EVERY 12" ALONG EDGES
BOTTOM PLATE TO FLOOR JOIST, BAND JOIST, END JOIST, OR BLOCKING (FACE-NAILED)	1-80 EVERY 6"	1-8 X 3/8 EVERY 8" ALONG EDGES
HALL SHEATHING		
STRUCTURAL PANELS	1-80 EVERY 6" EDGE 12" FIELD	1-2 1/2" X 3/8 EVERY 6" EDGE 12" FIELD
FLOOR FRAMING		
JOIST TO SILL, TOP PLATE OR BAND (TOE-NAILED)	4-80 PER JOIST	4-8 X 3/8 PER JOIST
BLOCKING TO JOIST (TOE-NAILED)	2-80 EACH END	2-2 1/2" X 3/8 EACH END
BLOCKING TO JOIST (TOE-NAILED)	2-80 EACH END	2-2 1/2" X 3/8 EACH END
BLOCKING TO SILL OR TOP PLATE (TOE-NAILED)	3-60 EACH BLOCK	4-8 X 3/8 EACH BLOCK
LEDGER STRIP TO BEAM (FACE-NAILED)	3-60 BELOW EACH JOIST	4-8 X 3/8 BELOW EACH JOIST
JOIST ON LEDGER TO BEAM (TOE-NAILED)	3-60 PER JOIST	3-8 X 3/8 PER JOIST
RM JOIST TO JOIST (END-NAILED)	3-60 PER JOIST	4-8 X 3/8 PER JOIST
RM JOIST TO SILL OR TOP PLATE (TOE-NAILED)	2-60 EVERY 12"	2-8 X 3/8 EVERY 6"
FLOOR SHEATHING		
STRUCTURAL PANELS	1" OR LESS	1-80 EVERY 6" EDGE 12" FIELD
GREATER THAN 1"	1-40 EVERY 6" EDGE 6" FIELD	1-8 1/4" X 3/8 EVERY 6" EDGE 6" FIELD

- DO NOT SCALE DRAWINGS. IF DIMENSIONS ARE IN QUESTION, OBTAIN CLARIFICATION FROM ARCHITECT.
- ANY UNAUTHORIZED CHANGES FROM THESE DRAWINGS FOR ANY REASON ARE AT THE SOLE RISK AND RESPONSIBILITY OF THE BUILDER.
- PRIOR TO BEGINNING CONSTRUCTION, BUILDER SHALL FIELD VERIFY ALL DIMENSIONS AND ALL SITE CONDITIONS PRIOR TO PROCEEDING WITH CONSTRUCTION.
- THE CONTRACTOR SHALL COORDINATE ALL DIMENSIONS, DETAILS, BIDDING, SPECIFICATIONS, AND SHOP DRAWINGS BETWEEN TRADES.
- BEFORE FRAMING WALLS, CHECK FOR LOCATIONS OF ALL ELECTRICAL SWITCHES, ACCESSORIES, INSTALL BLOCKING FOR MOUNTING LOCKERS.
- ALL LUMBER SHALL CONFORM TO THE MOST CURRENT APPLICABLE SPECIFICATIONS OF THE AMERICAN INSTITUTE OF TIMBER CONSTRUCTION, AND SHALL BE MIN. NO. 2 SYP W/ MAX. MOISTURE CONTENT OF 19%.
- ALL LUMBER NOTED AS PT (PRESSURE TREATED) SHALL BE TREATED WITH WATER-BORNE PRESERVATIVES. PRESERVATIVE TREATMENT SHALL COMPLY WITH REQUIREMENTS OF ANFB STANDARDS G2 AND LP-22.
- GENERAL CONTRACTOR IS RESPONSIBLE FOR OBTAINING ALL LOCAL, STATE, AND FEDERAL PERMITS. IN NO WAY IS THE INFORMATION IN THESE DRAWINGS TO BE CONSTRUED TO RELIEVE THE S.C. FROM CONFORMING TO APPLICABLE CODES, WHICHEVER IS MOST RESTRICTIVE.
- NO STRUCTURAL CHANGES FROM THE APPROVED PLANS SHALL BE MADE IN THE FIELD UNLESS WRITTEN APPROVAL IS OBTAINED FROM THE ARCHITECT. IF CHANGES ARE MADE WITHOUT SUCH APPROVAL, SUCH CHANGES SHALL BE THE LEGAL AND FINANCIAL RESPONSIBILITY OF THE CONTRACTOR OR SUB-CONTRACTOR INVOLVED, AND IT SHALL BE THEIR RESPONSIBILITY TO REPLACE AND REPAIR THE CONDITION AS DIRECTED BY THE ARCHITECT.



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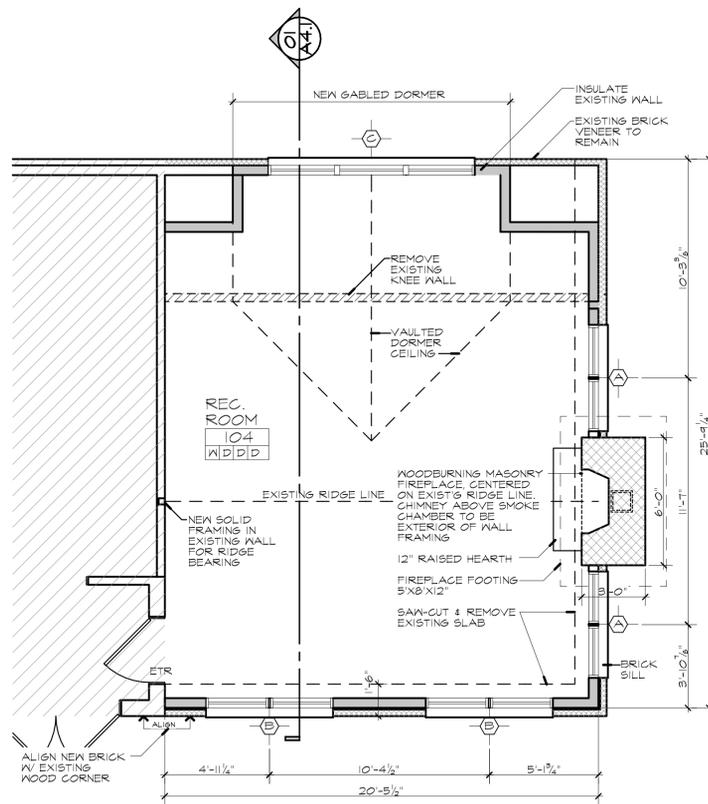
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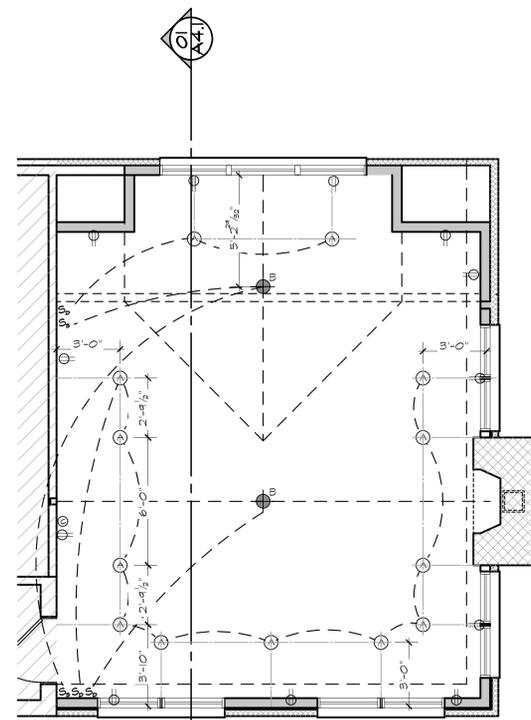
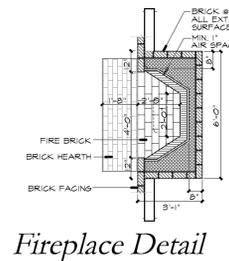
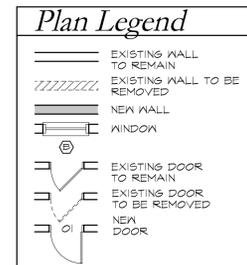
project no. 1154
 designer jey
 drawn by jey
 date 02/05/16
 scale As Shown
 issued for Permit

revisions

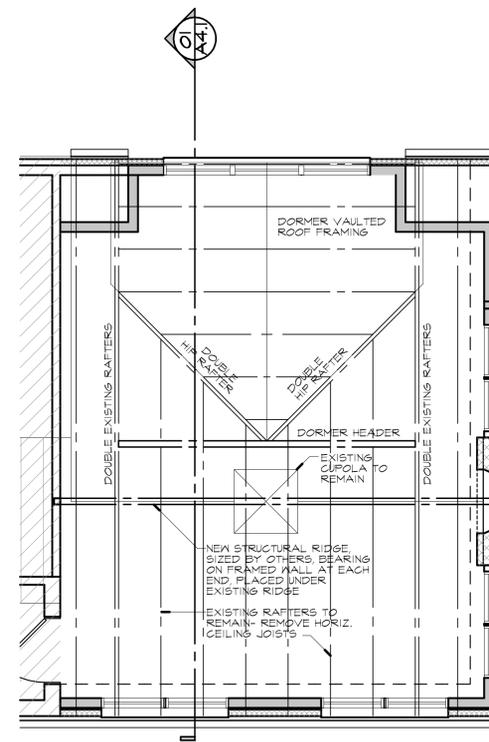
Sheet No. C1.1
 site plan



01 1st Floor Plan @ Rec. Room
scale 1/4" = 1'-0" area = 416 sf



02 Electrical Plan @ Rec. Room
scale 1/4" = 1'-0" area = 416 sf



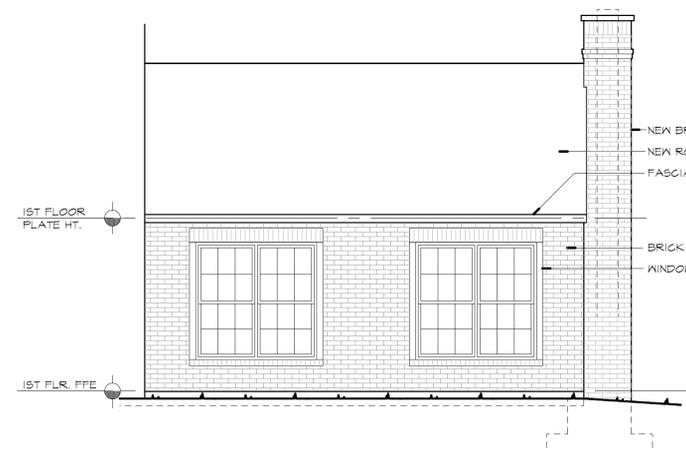
03 Roof Framing Plan @ Rec. Room
scale 1/4" = 1'-0" area = 416 sf

- BEAMS INDICATED AS 1 3/4" THICK ARE MICRO LAM LVL MANUFACTURED BY TRUS-JOIST HACHILLAN. BEAMS INDICATED AS 3", 5", AND 6 3/4" THICK ARE GLULAM BEAMS
- UNLESS INDICATED OTHERWISE, SUPPLY APPROPRIATE METAL BEARING CONNECTORS WHERE CONDITIONS DO NOT ALLOW SUITABLE BEARING FOR FRAMING ELEMENTS
- GANG STUDS AT BEAM OR GIRDER TRUSS BEARING POINTS AS SHOWN IN THE DRAWINGS OR IF NOT SHOWN PER NC BUILDING CODE, QUESTIONABLE CONDITIONS NOT SPECIFICALLY SHOWN SHOULD BE DIRECTED TO THE ARCHITECT.
- BEAMS ARE CONCEALED WITHIN THEIR RESPECTIVE FRAMING SYSTEMS UNLESS SHOWN AS DROPPED OR OTHERWISE IN THE DRAWINGS.
- STRUCTURAL DIMENSION LUMBER (GIRDERS, JOISTS) ARE SIZED BASED ON THE USE OF #2 KD SYF.
- PROVIDE AN ADDITIONAL FRAMING MEMBER UNDER ALL WALLS OR PORTIONS OF WALLS RUNNING PARALLEL TO FRAMING. IF PIPING OR OTHER ELEMENTS PENETRATE THE WALL AT THE SILL, PROVIDE TWO FRAMING MEMBERS SPACED THE WIDTH OF THE WALL TO PERMIT PENETRATIONS INTO THE FLOOR SYSTEM WITHOUT CUTTING THE FRAMING.
- UNDESIGNATED HEADERS ARE 3- 2X12 WITH TWO LAYERS OF 1/2" PLYWOOD.
- WHERE TWO TRUSS SPANS MEET AT BEARING WALLS, BEAMS, OR GIRDERS, BUTT ENDS OF TRUSSES TOGETHER (I.E. ALIGN TRUSSES) TO PROVIDE MAXIMUM FREE AREA FOR DUCTWORK.
- "POT" STANDS FOR METAL-PLATE-CONNECTED WOOD PARALLEL CHORD FLOOR TRUSSES. THESE ARE TO BE BOTTOM CHORD BEARINGS AT ENDS UNLESS NOTED OTHERWISE.
- AT ALL LOCATIONS WHERE A DECK IS ATTACHED TO A FLOOR SYSTEM FRAMED WITH WOOD TRUSSES OR ENGINEERED WOOD PRODUCT JOISTS (I.E. TJI JOISTS OR EQUIVALENT), A REVIEW AND CERTIFICATION FROM A REGISTERED ENGINEER FROM THE TRUSS OR JOIST MANUFACTURING COMPANY IS REQUIRED BY THE NC BUILDING CODE. THE TRUSS MANUFACTURER ENGINEER MUST SPECIFICALLY STATE ON THE TRUSS SHOP DRAWINGS THAT THE DECK ATTACHMENT IS ALLOWED. THE ENGINEER MUST PROVIDE THE METHOD OF ATTACHMENT AND FLASHING DETAILS, AND REVIEW ALL ASSOCIATED DETAILS.
- KEEP HVAC CHASES CLEAR OF FRAMING. HEADER CHASE OPENINGS AS REQUIRED
- PROVIDE SUBTERRANEAN TERMITE CONTROL CHEMICALS USING A METHOD OF PROTECTION AND INSTALLATION APPROVED BY THE NC DEPT. OF AGRICULTURE

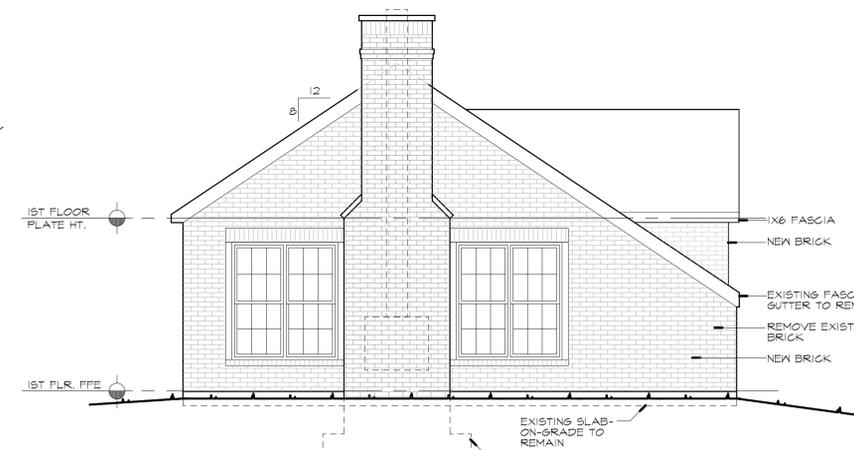
Framing

- CONVENIENCE OUTLETS IN BATHROOMS, KITCHEN, LAUNDRY, OUTDOORS, AND ALL VENT LOCATIONS SHALL BE 6FI. OUTDOOR RECEPTACLES SHALL BE 6FI
- PROVIDE SMOKE DETECTORS WHERE REQUIRED BY CODE.
- ELECTRICAL CONTRACTOR MAY PROPOSE SUBSTITUTIONS FOR LIGHTING FIXTURES. SUBMIT OUT SHEETS FOR OWNER OR ARCHITECT'S APPROVAL
- PROVIDE APPROPRIATE POWER TO ALL APPLIANCES, MOTORS, AND EQUIPMENT, WHETHER SHOWN OR NOT.
- GROUNDING SHALL BE AS FOLLOWS:
 MAIN SERVICE PANEL- #4 COPPER UFER GROUND
 HOT/GOLD/GAS LINES- #4 COPPER GROUND WIRE CONTINUOUS SUBPANELS- SUB FED FROM MAIN SERVICE PANEL
- FOR CIRCUITS AND LOADS IN SINGLE FAMILY DWELLINGS, THE LIGHTING AND APPLIANCE CIRCUITS SHALL BE AS FOLLOWS:
 NEC ARTICLE 220- 914
 A) FOR GENERAL ILLUMINATION (LIGHTING) ONE 15 AMP CIRCUIT FOR EACH 300 SF OF LIVING AREA (LOAD 3 WATTS PER SF)
 B) FOR SMALL APPLIANCE LOADS IN KITCHEN, PANTRY, FAMILY ROOM, AND EATING AREAS, TWO OR MORE 20 AMP APPLIANCE CIRCUITS. IN ADDITION TO THE LIGHTING BRANCH CIRCUITS, SHALL BE PROVIDED FOR ALL RECEPTACLE OUTLETS IN THESE ROOMS AND SUCH CIRCUITS SHALL HAVE NO OTHER OUTLETS
 C) RECEPTACLE OUTLETS SUPPLIED BY AT LEAST TWO APPLIANCE RECEPTACLE BRANCH CIRCUITS SHALL BE INSTALLED IN THE KITCHEN.
 D) AT LEAST ONE 20 AMP BRANCH CIRCUIT SHALL BE PROVIDED FOR THE LAUNDRY RECEPTACLE
 E) ADDITIONAL CIRCUITS ARE REQUIRED FOR THE FURNACE, GARBAGE DISPOSAL, RANGE, OVEN, AND DISHWASHER
- N/A
- OWNER SHALL PROVIDE LOCATIONS OF ANY ADDITIONAL OUTLETS, SWITCHES, CONNECTIONS, LIGHTS, SUBPANELS, ETC. NOT SHOWN ON PLANS
- ALL WORK SHALL BE IN ACCORDANCE WITH THE LATEST EDITION OF THE NATIONAL ELECTRIC CODE.

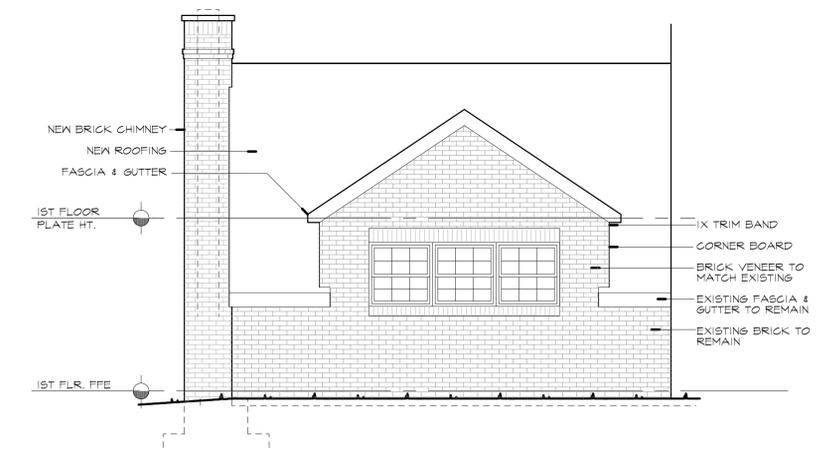
Electrical Notes



09 Elevation @ Rec. Room
scale 1/4" = 1'-0"



10 Elevation @ Rec. Room
scale 1/4" = 1'-0"



11 Elevation @ Rec. Room
scale 1/4" = 1'-0"



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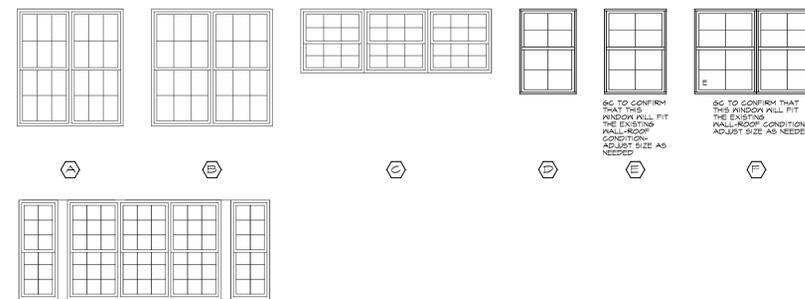
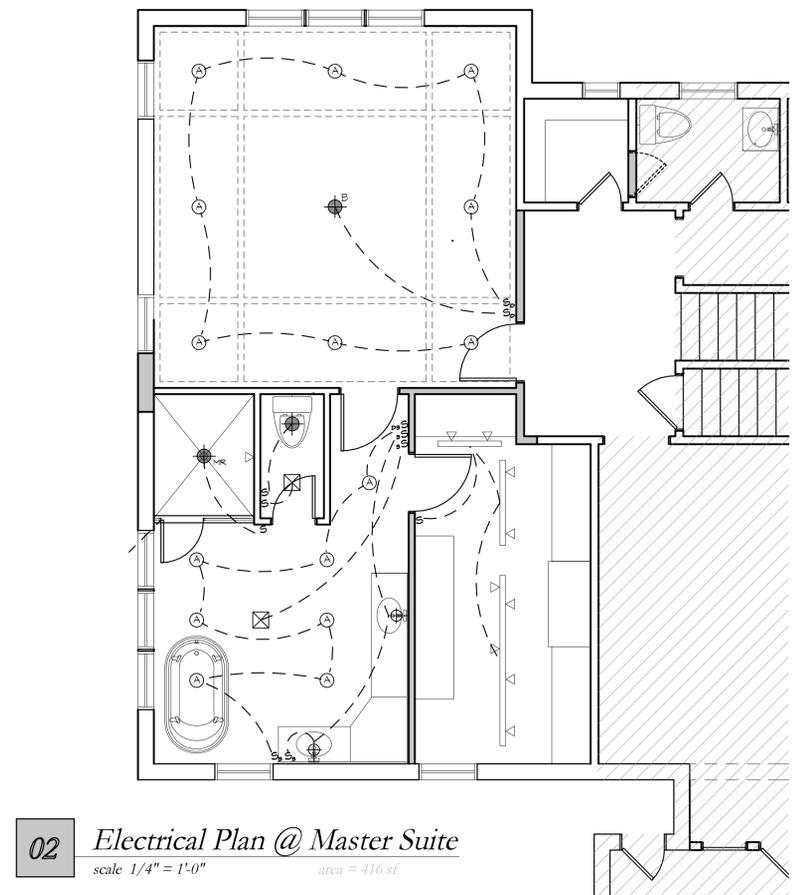
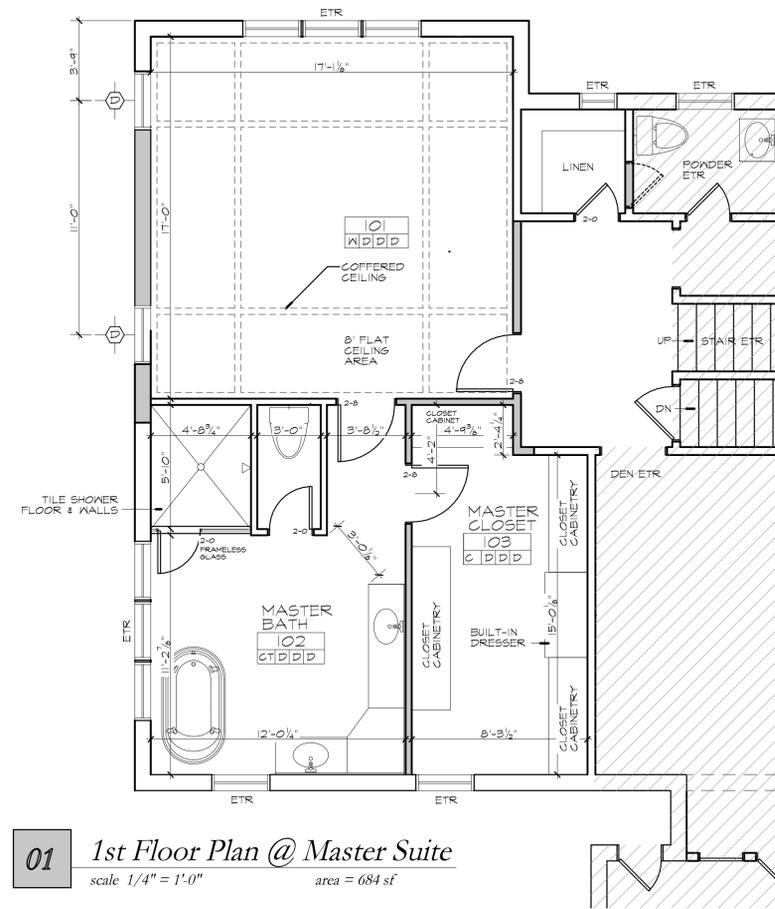
Renovations & Additions to Reynolds Residence 24 Cedar Cliff Rd. Asheville, NC



project no. 11514
 designer jey
 drawn by jey
 date 02/05/16
 scale As Shown
 issued for Permit

revisions

Sheet No. **A1.1**
 rec room plans, elevations
 2/14/2016 1:20 PM



WINDOW SCHEDULE

MARK	JELD-WEN #	TYPE	ROUGH OPENING	HD. HT. AFF	GLAZING	COMMENTS
A	EGD2460-2	DOUBLE HUNG	54 1/2" X 60 3/4"	6'-8"	LOW-E	UNITS MULLED TOGETHER
B	EGD3360-2	DOUBLE HUNG	67 1/2" X 60 3/4"	6'-8"	LOW-E	UNITS MULLED TOGETHER
C	EGD3736-3	DOUBLE HUNG	112 7/8" X 36 3/4"	6'-8"	LOW-E	UNITS MULLED TOGETHER
D	EGD2448	DOUBLE HUNG	30 1/8" X 48 3/4"	6'-8"	LOW-E	
E	EGD3348	DOUBLE HUNG	34 1/8" X 48 3/4"	6'-8"	LOW-E	
F	EGD3736-2	DOUBLE HUNG EGRESS	75 1/2" X 36 3/4"	6'-8"	LOW-E	UNITS MULLED TOGETHER
G	EGD2456-3	DOUBLE HUNG	88 7/8" X 36 3/4"	6'-8"	LOW-E	UNITS MULLED TO DOOR
H	EGD2156	DOUBLE HUNG	22 1/8" X 36 3/4"	6'-8"	LOW-E	

- NOTES:
- SCHEDULE BASED ON JELD-WEN WINDOWS, PREMIUM WOOD SITELINE EX SERIES
 - ALUM. GLAZ. STANDARD COLOR, STANDARD HARDWARE
 - INSTALL BRICK MOLDING PER WINDOW DETAILS
 - WITH GRILLES AS SHOWN

10 Window Schedule
scale 1/4" = 1'-0"

- SOLDERS AND FLUX HAVING A LEAD CONTENT IN EXCESS OF TWO TENTHS OF ONE PERCENT SHALL NOT BE USED IN THE INSTALLATION OR REPAIR OF ANY PLUMBING PROVIDING WATER FOR HUMAN CONSUMPTION WHICH ARE CONNECTED TO WATER SYSTEMS
- PLUMBING FIXTURES SHALL BE AS FOLLOWS:
WATER CLOSET: 1.6 GALLON PER FLUSH (MAX)
SHOWER HEADS: 2.5 GALLONS PER MINUTE (MAX)
LAVATORY AND SINK FAUCETS: 2.5 GALLONS PER MIN. (MAX)
HOT WATER SHALL BE THE LEFT FITTING AT ALL FAUCETS
FIXTURE STYLES, COLORS, AND PLUMBING TRIM SHALL BE AS SELECTED BY OWNER
- THE WATER HEATER TEMPERATURE/PRESSURE RELIEF VALVE SHALL HAVE ATTACHED A PIPE WHICH WILL RUN OUTSIDE THE BUILDING WITH THE END OF THE PIPE BETWEEN 6 AND 24 INCHES ABOVE GRADE AND POINTED DOWN.
- SHOWERHEADS, LAVATORY AND SINK FAUCETS SHALL HAVE A MAX. FLOW RATE AS DETERMINED BY LOCAL CODES
- WATER HEATERS SHALL BE SECURED TO RESIST EARTHQUAKES WHERE GOVERNED BY LOCAL CODES.
- PROVIDE CHECK VALVE IN SUPPLY TO EACH WATER HEATER
- INCOMING WATER SUPPLY PIPING SHALL BE TYPE K COPPER, INTERIOR SUPPLY PIPING SHALL BE TYPE L COPPER OR SCH. 40 CPVC.
- PROVIDE THREADED PIPE FOR ALL GAS FIXTURES (SIZED BY OTHERS)
- PROVIDE EXT. HOSE BIBBS AS DIRECTED BY OWNER.
- PROVIDE FLOOR CONDENSATE DRAIN AND PIPING IN BASEMENT MECH. AREA
- PROVIDE DRAIN LINE & TRAP WITH OVERFLOW CATCH PAN AT WASHING MACHINE LOCATION.

Plumbing Notes



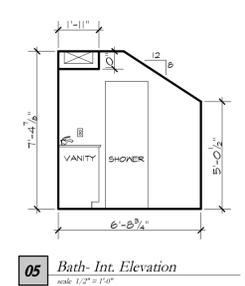
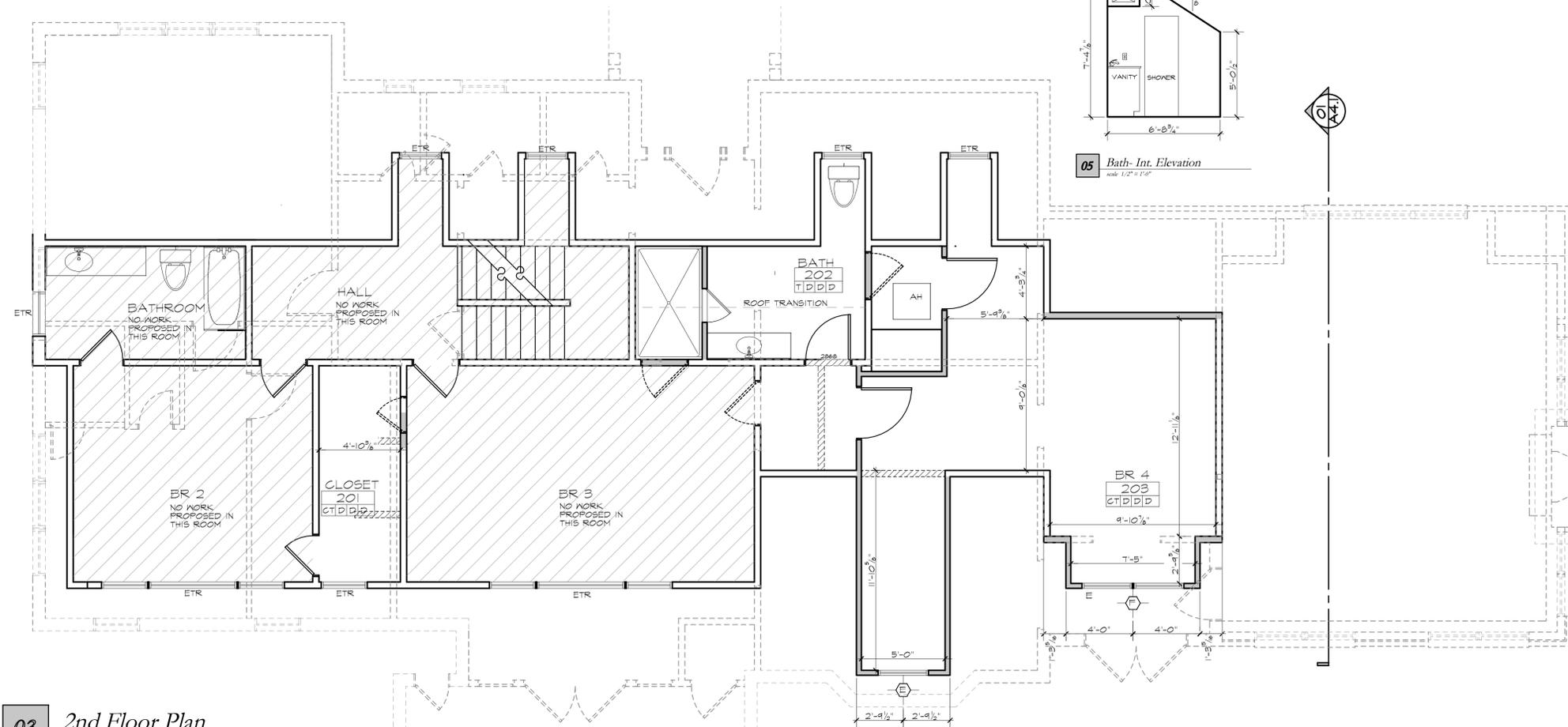
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drawn by jey

date 02/05/16
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Sheet No.

A1.3
master bedroom plans



Plan Legend

	EXISTING WALL TO REMAIN
	EXISTING WALL TO BE REMOVED
	NEW WALL
	WINDOW
	EXISTING DOOR TO REMAIN
	EXISTING DOOR TO BE REMOVED
	NEW DOOR

03 2nd Floor Plan
scale 1/4" = 1'-0" area = 336 sf



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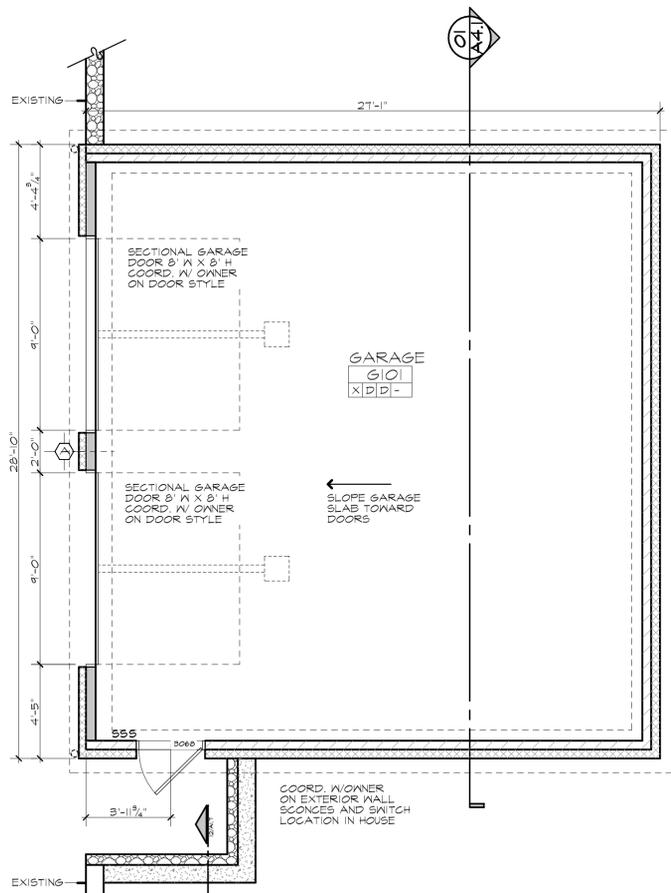


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scale As Shown
issued for Permit

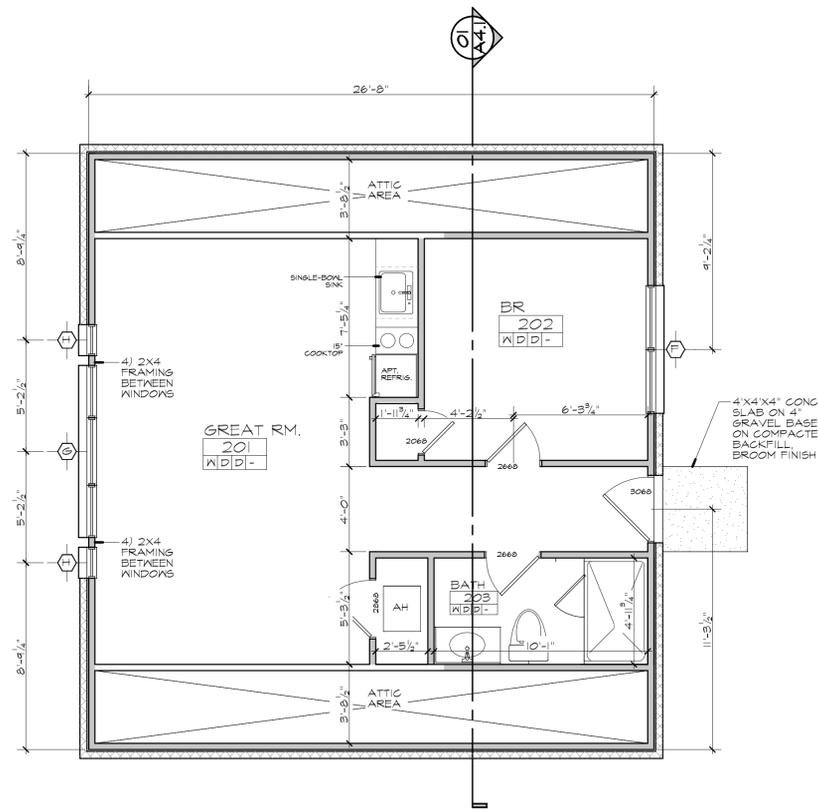
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Sheet No. **A1.4**
floor 2 plans

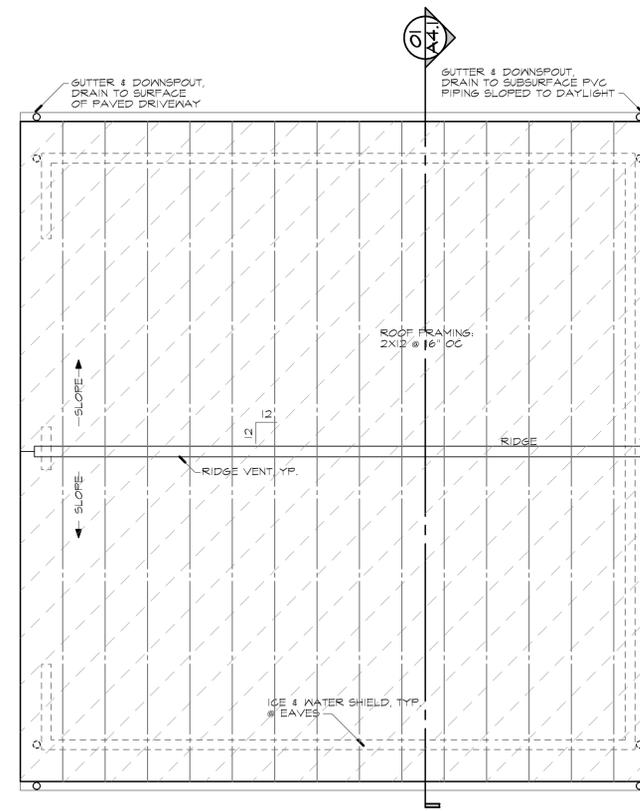
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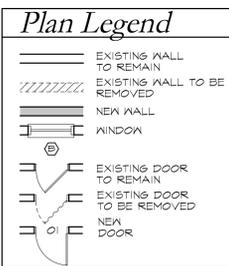
01 Floor 1 Plan
scale 1/4" = 1'-0" area = 742 sf



02 Floor 2 Plan
scale 1/4" = 1'-0" area = 546 sf



03 Roof Plan
scale 1/4" = 1'-0" area = 784 sf



- FOUNDATION, HOLD-DOWN, & ANCHOR BOLT NOTES**
- IF ADVERSE SOIL CONDITIONS ARE ENCOUNTERED, A SOILS INVESTIGATION REPORT MAY BE REQUIRED.
 - PROVIDE 1 3/4" MIN. EDGE DIMENSION FROM CENTERLINE OF BOLTS TO EDGE OF CONCRETE OR MASONRY.
 - PLATE WASHERS ARE REQUIRED FOR ALL ANCHOR BOLTS. NUTS SHALL BE FINGER TIGHT AND 1/2" WRENCH TURN.
 - ALL FOUNDATION HARDWARE MUST BE SECURED IN PLACE PRIOR TO FOUNDATION INSPECTION.
 - FOUNDATION SILLS SHALL BE FT. WOOD.
 - ALL BOLT HOLES SHALL BE DRILLED 1/32" TO 1/16" OVERSIZED.

- EXPANSIVE SOIL NOTES**
- DEPTH OF FOOTINGS BELOW NATURAL AND FINISH GRADES SHALL NOT BE LESS THAN 18" FOR EXTERIOR AND 12" FOR INTERIOR FOOTINGS.
 - EXTERIOR WALLS AND INTERIOR BEARING WALLS SHALL BE SUPPORTED ON CONTINUOUS FOOTINGS.
 - FOOTINGS SHALL BE REINFORCED WITH 3) #4 CONT. BARS.
 - CONCRETE FLOOR SLABS ON GRADE SHALL BE REINF. W/ #3 @ 16" O/C EACH WAY & PLACED ON A 6 MIL. VISQUEEN MOISTURE BARRIER ON A 4" THICK BASE OF 1/2" CLEAN AGGREGATE.
 - SOIL BELOW INTERIOR FLOOR SLABS SHALL BE SATURATED W/ MOISTURE TO A DEPTH OF 18" PRIOR TO PLACING CONCRETE.

- ALL FOOTINGS SHALL BE FOUNDED ON UNDISTURBED SOIL OR COMPACTED FILL HAVING A BEARING CAPACITY OF 2000 PSF MINIMUM.
- CONCRETE IN THE FOLLOWING AREAS SHALL HAVE NATURAL FINE SAND AGGREGATE AND NORMAL WEIGHT COARSE AGGREGATES CONFORMING TO ASTM C33 TYPE I PORTLAND CEMENT CONFORMING TO ASTM C150, AND SHALL HAVE THE FOLLOWING MINIMUM COMPRESSIVE STRENGTH AT 28 DAYS:
FOOTINGS 3000 PSI
EXTERIOR SLAB ON GRADE 3000 PSI
- CONTRACTOR SHALL BE RESPONSIBLE FOR FURNISHING AND INSTALLING ANCHOR BOLTS, CLIPS, INSERTS, CONNECTION PLATES, SLEEVES, SLOTS, AND OTHER REQUIRED ITEMS IN ACCORDANCE WITH THE DRAWINGS AND IN COOPERATION WITH OTHER TRADES PRIOR TO PLACING CONCRETE.
- CONCRETE REINFORCEMENT BARS SHALL CONFORM TO ASTM A615 GRADE 60 REINFORCEMENT DESIGNATED AS CONTINUOUS SHALL LAP 36 BAR DIAMETERS AT SPLICES, U.O.N.
- PROVIDE 3" CONCRETE COVERAGE, SIDES AND BOTTOM, FOR FOOTING REINFORCING BARS.
- OVERLAP ALL SPLICES IN CONTINUOUS REINFORCING BARS 1'-8" MINIMUM.
- THICKENED SLAB WHERE INDICATED, TO BE 12" DEEP X 1'-4" WIDE (U.O.N.) AT BOTTOM WITH (3) #4 BARS, CONTINUOUS.
- PROVIDE FOUNDATION DAMPPROOFING PER SPECIFICATION SECTION 0150 'DAMP-PROOFING' AND THE N.C. BUILDING CODE.
- FOUNDATION WALL DETAILS REFERENCED ARE BASED ON HEIGHTS AND UNBALANCED FILL CONDITIONS INTERPRETED FROM SITE PLAN AND AVAILABLE SITE SURVEY INFORMATION. CONTRACTOR SHALL VERIFY FIELD CONDITIONS OF BOTH WALL HEIGHTS AND HEIGHT OF UNBALANCED FILL AND COORDINATE REQUIRED DETAILS DURING THE CONSTRUCTION. HEIGHT AND MAXIMUM UNBALANCED FILL SHOWN AT EACH DETAIL SHALL BE STRICTLY OBSERVED.
- WHERE SOLID ROCK PROHIBITS EXCAVATION FOR FOOTINGS, A LEVEL SURFACE MUST BE PROVIDED AND FOOTINGS MUST BE PINNED TO THE LEVELED SOLID ROCK. SEE PINNED FOOTING DETAIL.
- CRAWLSPACE AREAS TO BE EXCAVATED ONLY TO PROVIDE 24" MINIMUM CLEARANCE BETWEEN WOOD FRAMING AND GROUND.
- CUT FOOTINGS INTO UNDISTURBED EARTH 1'-0" MIN; BEAR FOOTINGS ON UNDISTURBED EARTH. PLACE BOTTOM OF EXTERIOR FOOTINGS 2'-0" MIN. AND INTERIOR FOOTINGS 1'-4" MIN. BELOW FIN. GRADE.
- STEP FOOTINGS WHERE REQUIRED IN RATIO OF TWO HORIZONTAL TO ONE VERTICAL; MAX. VERTICAL STEP, 4". FORM 50 FOOTINGS ARE CONTINUOUS.
- FOUNDATION WALLS, PIERS, AND PILLARS TO BE CONSTRUCTED OF CONCRETE MASONRY UNITS (CMU) UNLESS NOTED OTHERWISE.
- CONSTRUCT CONCRETE SLAB(S)-ON-GRADE 4" THICK, REINFORCED W/ 6X6 W/ 4 X W/ 4 W/ 4 OVER 6 MIL. POLYETHYLENE OVER 4" CRUSHED STONE BASE.
- ALL CONCRETE REINFORCEMENT BARS AND W/ 4 SHALL BE ACCURATELY AND SECURELY TIED AND ANCHORED IN PLACE TO PREVENT DISLOCATION DURING THE CONCRETE PLACEMENT OPERATION.
- PROVIDE CORNER REINFORCEMENT, 36 BAR DIAMETERS X 36 BAR DIAMETERS AT EACH CONTINUOUS FOOTING CHANGE IN DIRECTION.
- MINIMUM CONCRETE COVER PROTECTION FOR REINFORCEMENT BARS SHALL CONFORM TO THE AMERICAN CONCRETE INSTITUTE COMMITTEE 318, SECTION 7.1 U.O.N. (3" TYPICAL).
- WELDED WIRE MESH SHALL CONFORM TO ASTM A183. MESH SHALL BE FURNISHED IN FLAT SHEETS, LAP O.C. FULL MESH.

09 Foundation - General Notes

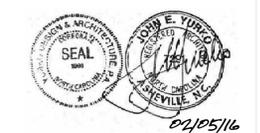
- General Floor Framing Notes**
- BEAMS INDICATED AS 1 3/4" & 3 1/2" THICK ARE MICRO-LAM LVL MANUFACTURED BY TRUS-JOIST. MACMILLAN. BEAMS INDICATED AS 5" AND 6 3/4" THICK ARE GLULAM BEAMS.
 - UNLESS INDICATED OTHERWISE, APPROPRIATE METAL FRAMING CONNECTORS WHERE CONDITIONS DO NOT ALLOW SUITABLE BEARING FOR FRAMING ELEMENTS.
 - GANG STUDS AT BEAM OR GIRDER TRUSS BEARING POINTS AS SHOWN IN THE DRAWINGS OR IF NOT SHOWN PER IRC, QUESTIONABLE CONDITIONS NOT SPECIFICALLY SHOWN SHOULD BE DIRECTED TO THE ARCHITECT.
 - BEAMS ARE CONCEALED WITHIN THEIR RESPECTIVE FRAMING SYSTEMS UNLESS SHOWN AS DROPPED OR OTHERWISE IN THE DRAWINGS.
 - STRUCTURAL DIMENSION LUMBER (GIRDERS, JOISTS) ARE SIZED BASED ON THE USE OF #2 KD SYP.
 - ALL LUMBER NOTED AS P.T. (PRESSURE TREATED) SHALL BE PRESSURE TREATED WITH WATER-BORNE PRESERVATIVES. PRESSURE TREATMENT SHALL COMPLY WITH REQUIREMENTS OF AWPB STANDARDS C2 AND U1-C2.
 - PROVIDE AN ADDITIONAL FRAMING MEMBER UNDER ALL WALLS OR PORTIONS OF WALLS RUNNING PARALLEL TO FRAMING. IF PIPING OR OTHER ELEMENTS PENETRATE THE WALL AT THE SILL, PROVIDE TWO FRAMING MEMBERS SPACED THE WIDTH OF THE WALL TO PERMIT PENETRATIONS INTO THE FLOOR SYSTEM WITHOUT CUTTING THE FRAMING.
 - PCOT STANDS FOR METAL-PLATE-CONNECTED WOOD PARALLEL CHORD FLOOR TRUSSES. THESE ARE TO BE BOTTOM CHORD BEARING AT ENDS UNLESS NOTED OTHERWISE.
 - DESIGNATED HEADERS ARE 2" X 2" WITH TWO LAYERS OF 1/2" PLYWOOD OR 2" X 2" W/ 1 LAYER OF 1/2" PLYWOOD, DEPENDING ON THE WALL THICKNESS.
 - WHERE TWO TRUSS SPANS MEET AT BEARING WALLS, BEAMS, OR GIRDERS, BUTT ENDS OF TRUSSES TOGETHER (I.E. ALIGN TRUSSES) TO PROVIDE MAXIMUM FREE AREA FOR DUCTWORK.
 - AT ALL LOCATIONS WHERE A DECK IS ATTACHED TO A FLOOR SYSTEM FRAMED WITH WOOD TRUSSES OR ENGINEERED WOOD PRODUCT (JOISTS (I.E. T-J JOISTS OR EQUIVALENT), A REVIEW AND CERTIFICATION FROM A REGISTERED ENGINEER FROM THE TRUSS OR JOIST MANUFACTURING COMPANY IS REQUIRED BY THE NC BUILDING CODE. THE TRUSS MANUFACTURER ENGINEER MUST SPECIFICALLY STATE ON THE TRUSS SHOP DRAWINGS THAT THE DECK ATTACHMENT IS ALLOWED. THE ENGINEER MUST PROVIDE THE METHOD OF ATTACHMENT AND FLASHING DETAILS, AND REVIEW ALL ASSOCIATED DETAILS.
 - KEEP HVAC CHASES CLEAR OF FRAMING. HEADER CHASE OPENINGS AS REQUIRED.
 - PROVIDE SUBTERRANEAN TERMITES CONTROL USING THE TERMITES BAITING PROGRAM BY TERMINIX.
 - GC TO CONSULT TRUSS INSTALLATION MANUAL FOR ALL FLOOR FRAMING DETAILS, SPECS, AND INSTALLATION METHODS.
 - SUBFLOOR TO BE GULLED AND SCREENED, TYPICAL.
 - ALL STRUCTURAL LUMBER SHALL CONFORM TO THE MOST CURRENT APPLICABLE SPECIFICATIONS OF THE AMERICAN INSTITUTE OF TIMBER CONSTRUCTION.
 - ALL STRUCTURAL LUMBER SHALL BE MINIMUM NO. 2 SOUTHERN YELLOW PINE, WITH MAXIMUM MOISTURE CONTENT OF 18%.
 - PROVIDE NAILING PATTERN IN COMPLIANCE WITH THE IRC STATE BUILDING CODE RECOMMENDED FASTENING SCHEDULE WHEN JOINING TWO OR MORE FRAMING MEMBERS.

Framing



20 Tipton Lane
Weaverville, NC 28787
828-275-4102
yurkodesign@gmail.com

Renovations & Additions
to
Reynolds Residence
24 Cedar Cliff Rd.
Asheville, NC

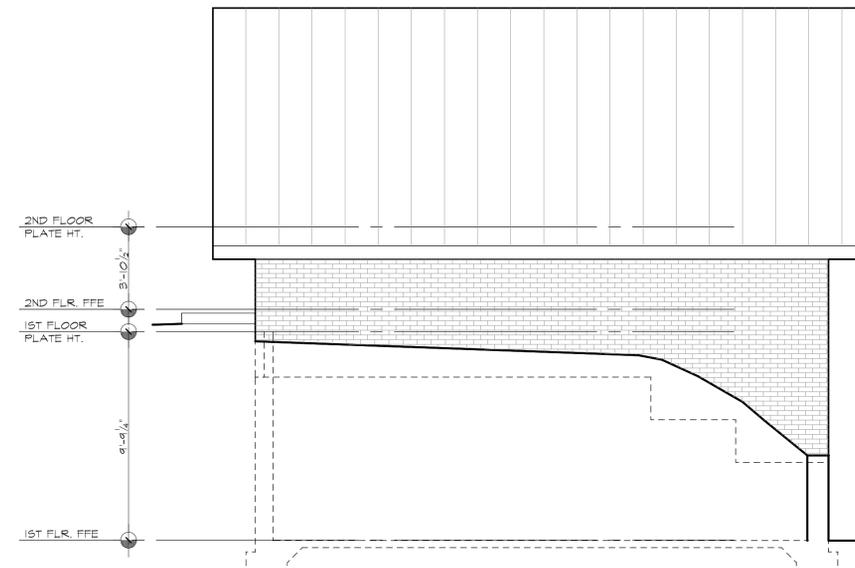


project no. 11514
designer jey
drawn by jey

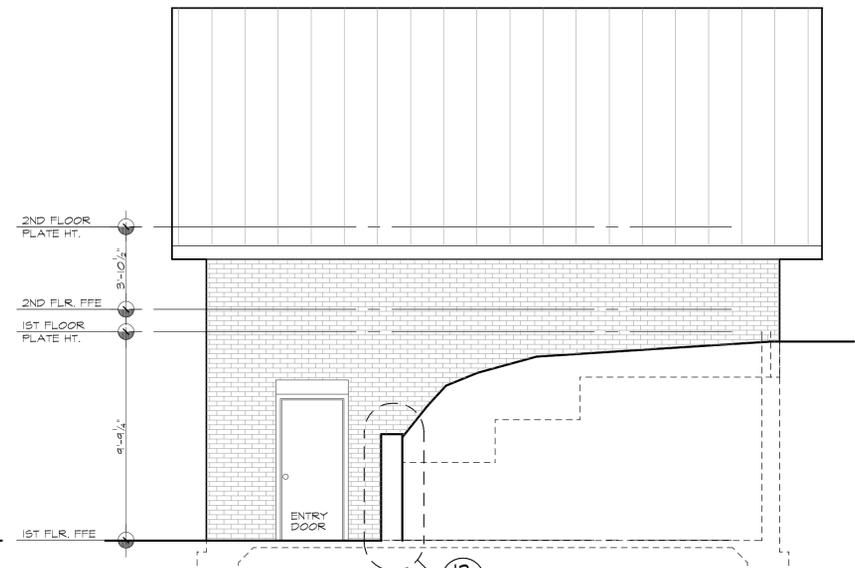
date 02/05/16
scale As Shown
issued for Permit

revisions

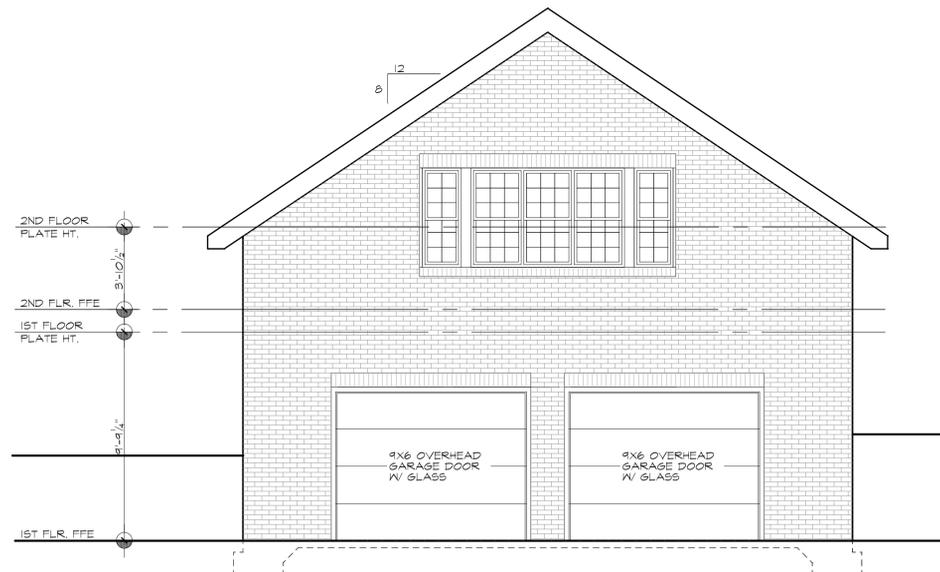
Sheet No.
A1.5
garage plans



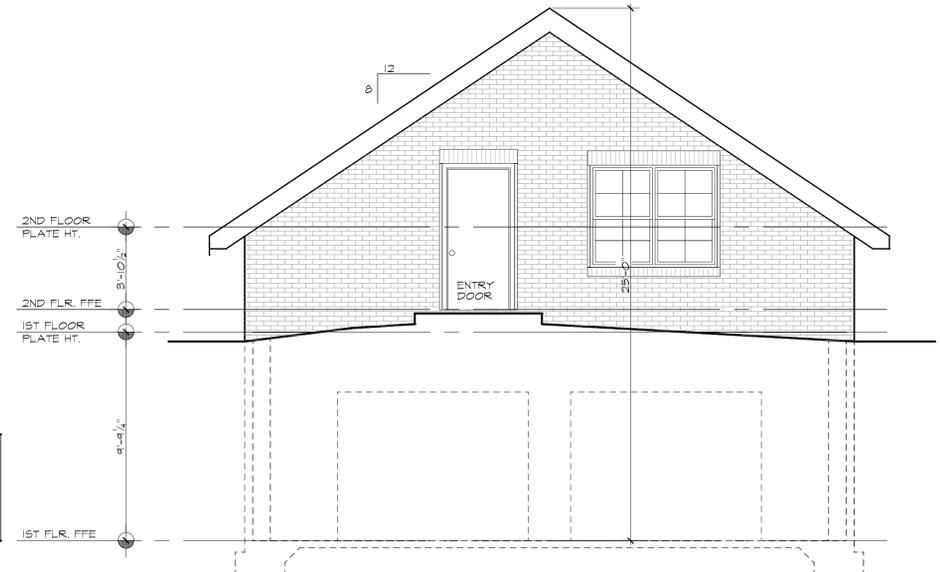
07 Side Elevation
scale 1/4" = 1'-0"



08 Side Elevation
scale 1/4" = 1'-0"



10 Front Elevation
scale 1/4" = 1'-0"



11 Back Elevation
scale 1/4" = 1'-0"



20 Tipton Lane
Weaverville, NC 28787
828-275-4102
yurkodesign@gmail.com

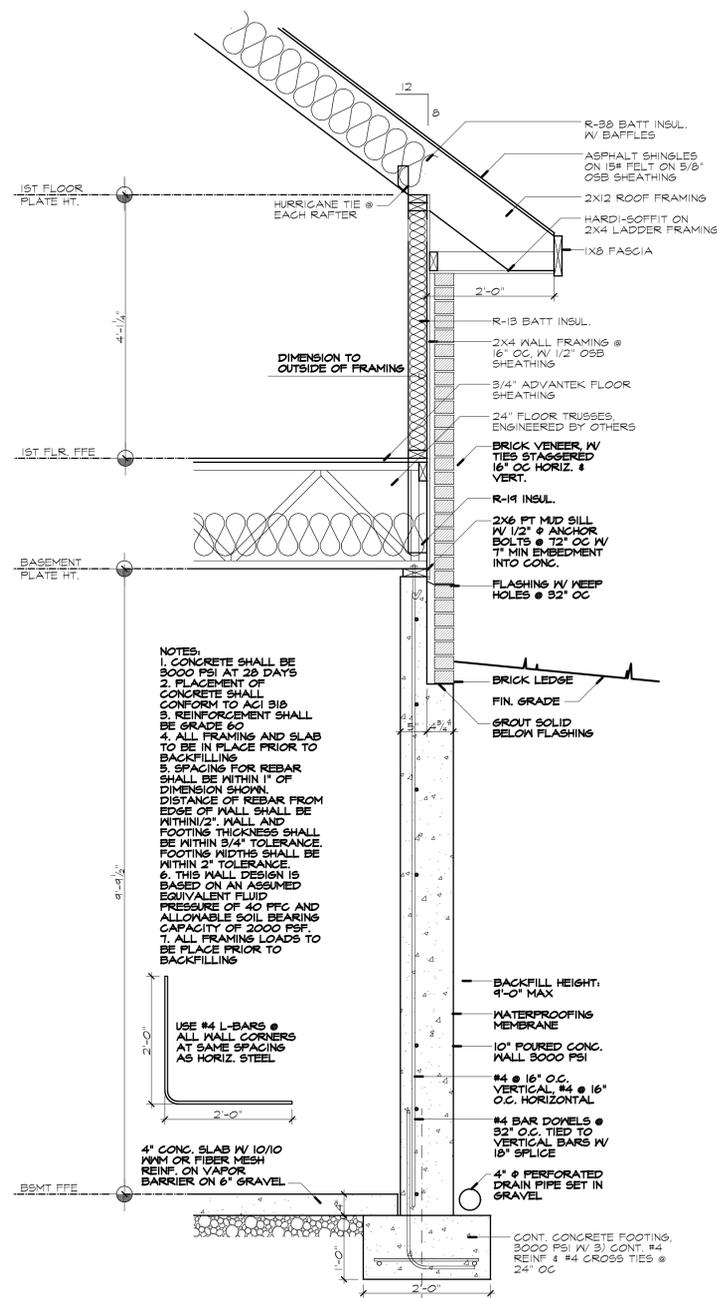
Renovations & Additions to Reynolds Residence 24 Cedar Cliff Rd. Asheville, NC



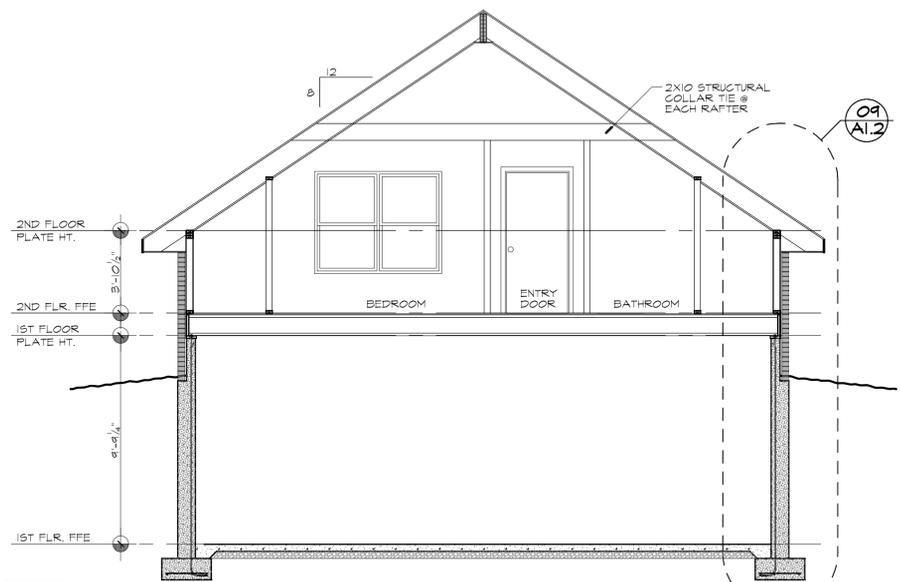
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designer jey
drawn by jey
date 02/05/16
scale As Shown
issued for Permit

revisions

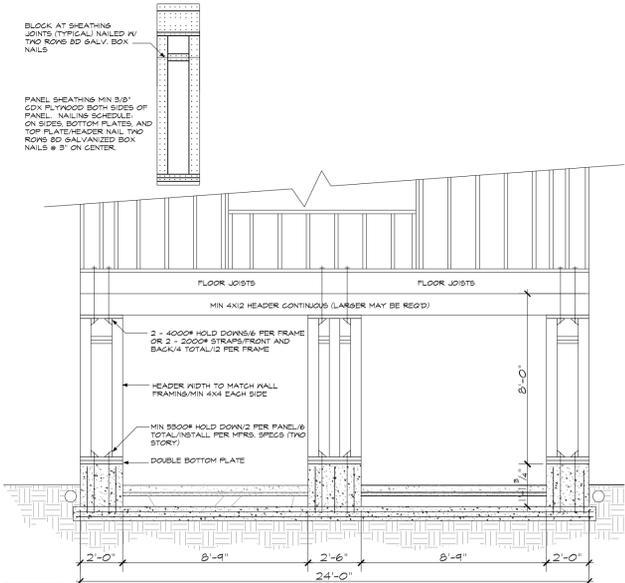
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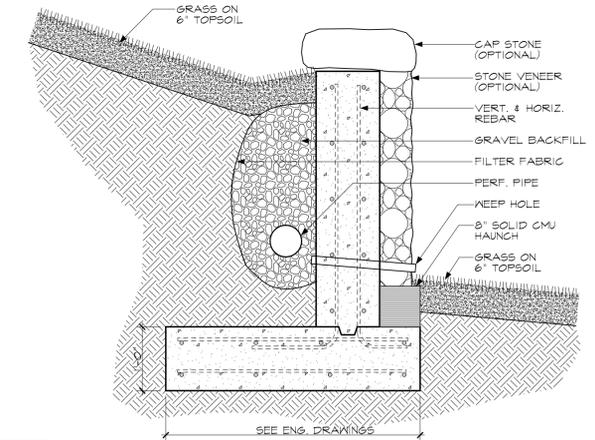
09 Wall Section
scale 3/4" = 1'-0"



07 Building Section
scale 1/4" = 1'-0"



11 Detail at Garage Door Wall Framing
scale 1/4" = 1'-0"



12 Detail at Concrete Retaining Wall
scale 3/4" = 1'-0"

NOTES:
 1. CONCRETE SHALL BE 3000 PSI AT 28 DAYS
 2. PLACEMENT OF CONCRETE SHALL CONFORM TO ACI 318
 3. REINFORCEMENT SHALL BE GRADE 60
 4. ALL FRAMING AND SLAB TO BE IN PLACE PRIOR TO BACKFILLING
 5. SPACING FOR REBAR SHALL BE WITHIN 1" OF DIMENSION SHOWN
 6. DISTANCE OF REBAR FROM EDGE OF WALL SHALL BE WITHIN 1/2" WALL AND FOOTING THICKNESS SHALL BE WITHIN 3/4" TOLERANCE
 7. FOOTING WIDTHS SHALL BE WITHIN 2" TOLERANCE
 8. THIS WALL DESIGN IS BASED ON AN ASSUMED EQUIVALENT FLUID PRESSURE OF 40 PFC AND ALLOWABLE SOIL BEARING CAPACITY OF 2000 PSF
 9. ALL FRAMING LOADS TO BE PLACED PRIOR TO BACKFILLING

USE #4 L-BARS @ ALL WALL CORNERS AT SAME SPACING AS HORIZ. STEEL

4" CONC. SLAB W/ 10/10 W/M OR FIBER MESH REINF. ON VAPOR BARRIER ON 6" GRAVEL

BACKFILL HEIGHT: 9'-0" MAX

WATERPROOFING MEMBRANE

10" FOURS CONG. WALL 3000 PSI

#4 @ 16" O.C. VERTICAL, #4 @ 16" O.C. HORIZONTAL

#4 BAR DOVELS @ 32" O.C. TIED TO VERTICAL BARS W/ 18" SPLICE

4" PERFORATED DRAIN PIPE SET IN GRAVEL

CONT. CONCRETE FOOTING, 3000 PSI W/ 3" CONT. #4 REINF. @ 14" GROSS TIES @ 24" O.C.



project no. 11514
designer jey
drawn by jey

date 02/05/16
scale As Shown
issued for Permit

revisions



MEMORANDUM
JULY 11, 2016

To: Board of Adjustment
From: Jonathan Kanipe, Town Administrator
Re: Case 3 – 6 Southwood Road
Date: July 1, 2016

Case 3

Property Owner: Norwood and Sidney Thornton
Property Address: 6 Southwood Road
Zoning District: R-1
Lot Size: 1.834 +/- acres
Application Request: Conditional Use Permit Request for Accessory Building

Mr. and Mrs. Thornton request permission from the Board to construct a new detached garage on the vacant lot located at 6 Southwood Road. There is an existing home site and a new residence being designed at present. The applicants request permission from the Board to begin construction of the detached garage that will be located on the property while the design for the home is being finalized.

If approved, the detached garage would be the one allowed accessory building on the lot. The proposed garage and its location is in compliance with the maximum accessory building allowance and meets the impervious surface requirements of the zoning ordinance. Further, the proposed location conforms to all setback requirements.

Since this building would function as the one allowable accessory building (per conditional use permit approval) there is no variance required from the Board.

Zoning Application

Property Identification

Name

Norwood and Sidney Thornton

Address

6 Southwood Road, Biltmore Forest, North Carolina 28803

Phone

(828) 243-1070

Email

gcloos@msn.com

Zoning

R-1

Lot Size (Acres)

1.834

Email -Submission Verification

gcloos@msn.com

Scope of Project-Roof Coverage

Does the project include increasing roof coverage?

Yes

What is the proposed roof coverage?

5,727

Is the proposed roof coverage greater than the permitted maximum roof coverage?

No

Scope of Project-Impervious Surface

Does the project include increasing the impervious surface coverage?

Yes

What is the proposed impervious surface coverage?

17,529

Is the proposed impervious surface coverage greater than the permitted maximum impervious surface coverage?

No

Scope of Project-Setbacks

Does any part of the project fall within the front yard?

No

Does any part of the project fall within the side/rear yard setback(s)s?

No

Scope of Project-Accessory Structures

Does the project include a detached structure or building?

Yes

An application for a conditional use permit will be required in addition to this zoning application.

Will there be more than the approved number of accessory structures/buildings?

No

Project Description

Brief Description of Project

Norwood and Sidney Thornton have purchased Lot 6 on Southwood Road, which previously contained a house that has been demolished. Plans for a new house are being developed, but the owners would like to move forward with a Phase 1 structure consisting of a secondary garage as shown on the site plan submitted. Architectural plans for this garage will be submitted subsequently by Houston Hammond. The owners are currently seeking Zoning Compliance and Conditional Use approval for the secondary garage only. Submitted by Gregory Cloos, Cloos Landscape Architecture (828) 243-1070.

Estimated Cost of Project

120,000

Estimated Completion Date

11/30/2016

Please attach any drawings, renderings, photographs or other supporting documentation.

Thornton Phase 1 Site Plan 6-27-16.pdf

Conditional Use Permit Application

I hereby petition the Board of Adjustment to issue a Conditional Use Permit for:

Name

Norwood and Sidney Thornton

Property Address

6 Southwood Road

Phone

(828) 243-1070

Email

gcloos@msn.com

Type of Conditional Use

802.07 Accessory Buildings

Email-Submission Verification

gcloos@msn.com

Description of Project

Norwood and Sidney Thornton have purchased Lot 6 on Southwood Road, which previously contained a house that has been demolished. Plans for a new house are being developed, but the owners would like to move forward with a Phase 1 structure consisting of a secondary garage as shown on the site plan submitted. Architectural plans for this garage will be submitted subsequently by Houston Hammond. The owners are currently seeking Zoning Compliance and Conditional Use approval for the secondary garage only. Submitted by Gregory Cloos, Cloos Landscape Architecture (828) 243-1070.

Explain why the project would not adversely affect the public interest of those living in the neighborhood:

The proposed 18'x26' secondary garage will be located away from the lot's property lines, and only a handful of existing trees will be removed for it's construction. The architectural design for this structure (currently being developed by Houston Hammond) will be in keeping with the neighborhood character. Total roof coverage and impervious surface area for the full project will be well below the limits set forth in the zoning ordinance.

I certify that the information presented by the undersigned in this application is accurate to the best of my knowledge, information and belief.

Signature

Date

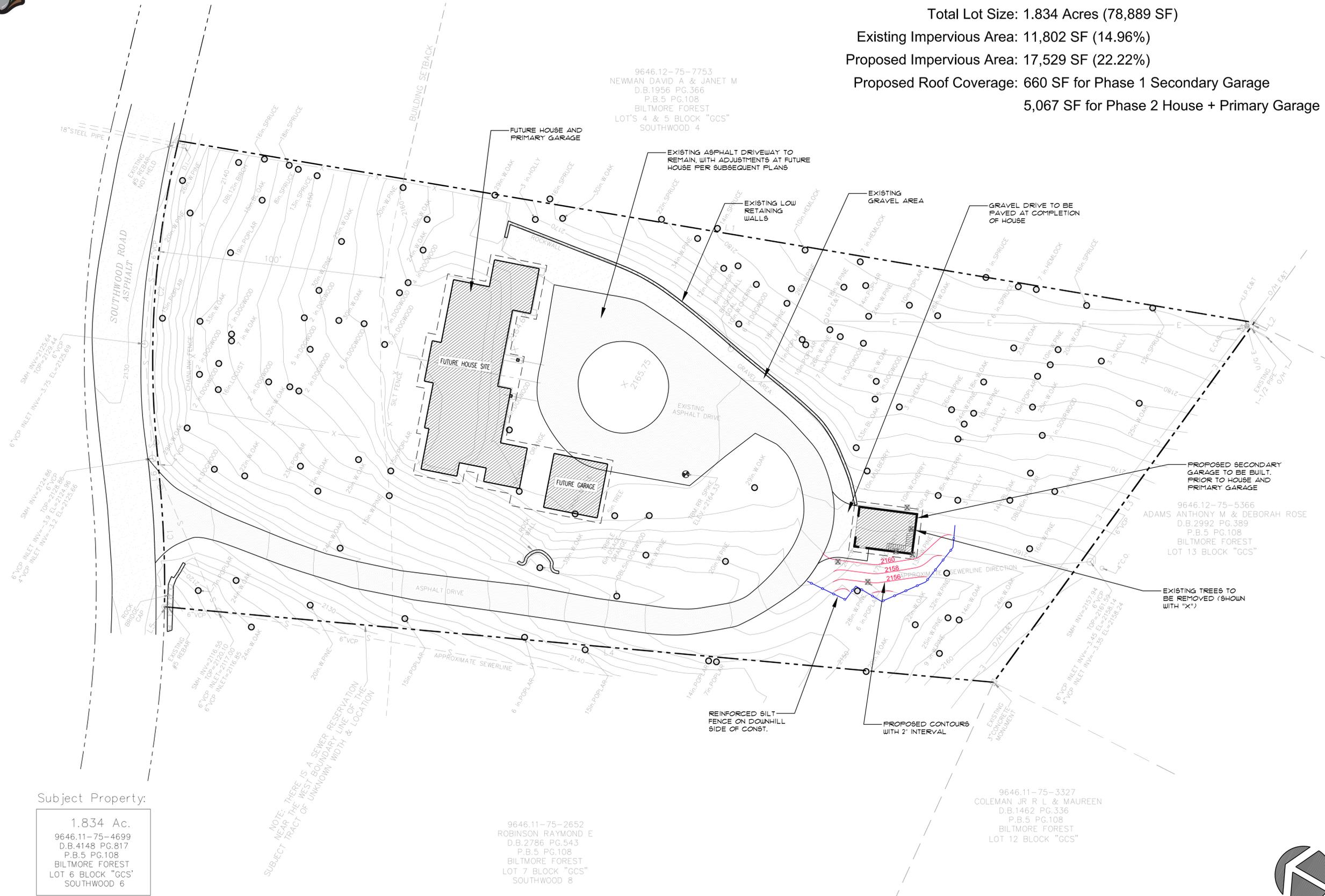
6/27/2016





PROJECT SUMMARY

Total Lot Size: 1.834 Acres (78,889 SF)
 Existing Impervious Area: 11,802 SF (14.96%)
 Proposed Impervious Area: 17,529 SF (22.22%)
 Proposed Roof Coverage: 660 SF for Phase 1 Secondary Garage
 5,067 SF for Phase 2 House + Primary Garage



Subject Property:

1.834 Ac.
 9646.11-75-4699
 D.B.4148 PG.817
 P.B.5 PG.108
 BILTMORE FOREST
 LOT 6 BLOCK "GCS"
 SOUTHWOOD 6

NOTE: THERE IS A SEWER RESERVATION NEAR THE WEST BOUNDARY LINE OF THE SUBJECT TRACT OF UNKNOWN WIDTH & LOCATION

9646.11-75-2652
 ROBINSON RAYMOND E
 D.B.2786 PG.543
 P.B.5 PG.108
 BILTMORE FOREST
 LOT 7 BLOCK "GCS"
 SOUTHWOOD 8

9646.11-75-3327
 COLEMAN JR R L & MAUREEN
 D.B.1462 PG.336
 P.B.5 PG.108
 BILTMORE FOREST
 LOT 12 BLOCK "GCS"

9646.12-75-5366
 ADAMS ANTHONY M & DEBORAH ROSE
 D.B.2992 PG.389
 P.B.5 PG.108
 BILTMORE FOREST
 LOT 13 BLOCK "GCS"

9646.12-75-7753
 NEWMAN DAVID A & JANET M
 D.B.1956 PG.366
 P.B.5 PG.108
 BILTMORE FOREST
 LOT'S 4 & 5 BLOCK "GCS"
 SOUTHWOOD 4

Note: Client is responsible for obtaining structural design from registered engineer for any retaining wall over 5' tall.

Note:
 Survey Info Provided By NC
 Survey, P.C. (828) 252-1530



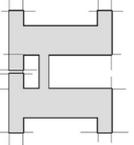
Norwood and Sidney Thornton Residence
 Southwood Road, Lot 6, Block GCS
 Town of Biltmore Forest, Buncombe County

Site Plan for Phase 1
 Secondary Garage

Date: June 27, 2016

L-1.2

Home Design by
**HOUSTON
 HAMMOND**
 22 Weston Heights Dr.
 Asheville, NC 28805
 (704) 628-6000
 homedesign@hha.com



Cloos Landscape Architecture, P.A.
 47 YELLOWOOD LANE, HORSE SHOE, NC 28742
 PHONE: 828-243-1070 - EMAIL: gct008@msnr.com



MEMORANDUM
JULY 11, 2016

To: Board of Adjustment
From: Jonathan Kanipe, Town Administrator
Re: Case 4 - 20 Cedarcliff Road
Date: July 5, 2016

Case 4

Property Owner: Tucker and Barbara Veach
Property Address: 20 Cedarcliff Road
Zoning District: R-1
Lot Size: 1.228 +/- acres
Application Request: Conditional Use Permit Request for Retaining Wall and Variance Application for Encroachment into Front and Side Yard Setback

Mr. and Mrs. Veach request permission from the Board of Adjustments to construct a new driveway extension within the front and side yard setbacks. The current driveway will remain and this extension will loop back around on the western border of the property, tie back in to the original drive, and then exit onto Cedarcliff Road. The existing drive will be removed and either repaved or replaced with concrete, including a segment of the existing drive that already exists in the eastern side setback.

The dry stacked stone wall will be forty-seven (47) linear feet and is two (2) feet in average height. The applicants have expressed that this driveway alignment and encroachment into the setback will result in the preservation of multiple large shade trees. Further, the dry stacked retaining wall will lessen the impact on the site by using the retaining wall to minimize grading and prevent unnecessary tree removal.

The applicant is in compliance with the impervious surface requirement and has provided the exact calculations on the site development plan. Mr. and Mrs. Veach presented plans to the Design Review Board in late 2014 for the renovation of the home which has been on-going.

Zoning Application

Property Identification

Name

Amy Fahmy

Address

20 Cedarcliff Rd, Biltmore Forest, North Carolina 28803

Phone

(828) 216-0702

Email

afahmy@siteworkstudios.com

Zoning

R-1

Lot Size (Acres)

1.228

Email -Submission Verification

afahmy@siteworkstudios.com

Scope of Project-Roof Coverage

Does the project include increasing roof coverage?

No

Is the proposed roof coverage greater than the permitted maximum roof coverage?

No

Scope of Project-Impervious Surface

Does the project include increasing the impervious surface coverage?

Yes

What is the proposed impervious surface coverage?

7,693

Is the proposed impervious surface coverage greater than the permitted maximum impervious surface coverage?

No

Scope of Project-Setbacks

Does any part of the project fall within the front yard?

Yes

Does any part of the project fall within the side/rear yard setback(s)?

Yes

An application for a variance to encroach the side/rear yard setback(s) will be required in addition to this zoning application.

Scope of Project-Accessory Structures

Does the project include a detached structure or building?

No

Will there be more than the approved number of accessory structures/buildings?

No

Project Description

Brief Description of Project

Encroachment into the front and side setback includes repair to an existing driveway, a new driveway 'loop' extension and a low dry stack stone wall (2 foot average height, 47 linear feet). Storm water will be directed into the existing roadside drainage swale. The owners would like to preserve existing large shade trees that contribute to the wooded character of the neighborhood. Granting this conditional use permit allows for the least impact to the site by using the retaining wall to minimize grading and preventing unnecessary tree removal.

Estimated Cost of Project

50,000

Estimated Completion Date

9/15/2016

Please attach any drawings, renderings, photographs or other supporting documentation.

L-100-24x36.pdf

Conditional Use Permit Application

I hereby petition the Board of Adjustment to issue a Conditional Use Permit for:

Name

Amy Fahmy

Property Address

20 Cedarcliff Rd

Phone

(828) 216-0702

Email

afahmy@siteworkstudios.com

Type of Conditional Use

802.07 Accessory Buildings

Email-Submission Verification

afahmy@siteworkstudios.com

Description of Project

Encroachment into setback includes a new driveway and a low dry stone stack wall (2 ft average height, 47 LF). Storm water will be directed into the existing roadside drainage swale.

Explain why the project would not adversely affect the public interest of those living in the neighborhood:

The owners would like to preserve existing large shade trees that contribute to the wooded character of the neighborhood. Granting this conditional use permit allows for the least impact to the site by using the retaining wall to minimize grading and preventing unnecessary tree removal.

I certify that the information presented by the undersigned in this application is accurate to the best of my knowledge, information and belief.

Signature

Date

6/27/2016



Variance Application

I hereby petition the Board of Adjustment for a variance(s) from the provisions of the Zoning Ordinance for the real property stated below.

Name

Amy Fahmy

Property Address

20 Cedar Cliff Rd.

Email

afahmy@siteworkstudios.com

Phone

(828) 216-0702

Email-Submission Verification

afahmy@siteworkstudios.com

Variance to Zoning Ordinance Section(s) (Select all that apply)

1104 Accessory Structures & Accessory Buildings

Reason Variance(s) is(are) being requested:

Encroachment into the setback includes a new driveway and a low drystack stone wall (2 ft average height, 47 LF). Stormwater will be directed into the existing roadside drainage swale. The owners would like to preserve existing large shade trees that contribute to the wooded character of the neighborhood. Granting this variance allows for the least impact to the site by using the retaining wall to minimize grading and prevent unnecessary tree removal.

In granting any variance, the Board of Adjustment may prescribe appropriate conditions and safeguards in conformity with the Zoning Ordinance. Violations of the provisions of the variance granted including any conditions or safeguards which are part of the granting of the variance, shall be deemed a violation of the Zoning Ordinance. I hereby certify that the information set forth above is true and accurate to the best of my knowledge.

Signature



Date

6/27/2016



MEMORANDUM
JULY 11, 2016

To: Board of Adjustment
From: Jonathan Kanipe, Town Administrator
Re: Case 5 – 1 Stuyvesant Road
Date: July 5, 2016

Case 5

Property Owner: Dr. Blair and Mrs. Gabriel Holl
Property Address: 1 Stuyvesant Road
Zoning District: R-1
Lot Size: 1.37 +/- acres
Application Request: Conditional Use Permit Request for Accessory Structures and Variance Application

Dr. and Mrs. Holl request permission from the Board to replace two accessory structures within the side setback. A stone wall will replace an existing timber wall in the same location, and black metal fencing and a wood fence will replace white plastic panel fencing.

The application for conditional use also includes a new stone retaining wall (2-3 feet in height) that is in compliance with all setbacks requirements. The new stone retaining wall is on the southwestern side of the property and will be incorporated with large plantings and an evergreen hedge. Please note the property is a corner lot and the owners have observed and noted the thirty (30) foot side setback that is applicable to corner lots. There are several structures (the pool house and gravel garden, as noted on the site development plan) which are already within the existing 30 foot side yard setback and have likely been in that location since prior to the development of the zoning ordinance.

Two other elements are included for review which do not require Board approval but will be considered by the Design Review Board. These include the replacement of an existing awning with a new awning and the replacement of an existing deck with a new, smaller deck.

Zoning Application

Property Identification

Name

Amy Fahmy

Address

1 Stuyvesant Road, Biltmore Forest, North Carolina 28803

Phone

(828) 216-0702

Email

afahmy@siteworkstudios.com

Zoning

R-1

Lot Size (Acres)

1.37 acres

Email -Submission Verification

afahmy@siteworkstudios.com

Scope of Project-Roof Coverage

Does the project include increasing roof coverage?

No

Is the proposed roof coverage greater than the permitted maximum roof coverage?

No

Scope of Project-Impervious Surface

Does the project include increasing the impervious surface coverage?

No

Scope of Project-Setbacks

Does any part of the project fall within the front yard?

No

Does any part of the project fall within the side/rear yard setback(s)?

Yes

An application for a variance to encroach the side/rear yard setback(s) will be required in addition to this zoning application.

Scope of Project-Accessory Structures

Does the project include a detached structure or building?

No

Will there be more than the approved number of

accessory structures/buildings?

No

Project Description

Brief Description of Project

The project contains accessory structures (wall and fencing and fireplace) in the rear setback. The stone wall replaces an existing railroad timber wall in the same location. Black metal fence and wood fence replace undesirable white plastic panel fencing. A new, smaller deck replaces an existing deck in the same location. A new awning replaces an old awning same location. A low (2'-3' HT) stone retaining wall and additional privacy plantings are new elements. The proposed fireplace would be built into the existing stone wall and would not extend beyond the back face of the wall. No structures would be visible from adjacent properties in the neighborhood. The owners would like to remove several large mature evergreen trees that are leaning and/or declining. These will be replaced with large evergreens.

Estimated Cost of Project

60,000

Estimated Completion Date

10/31/2016

Please attach any drawings, renderings, photographs or other supporting documentation.

Site Dev Plan Zoning Application.pdf

Conditional Use Permit Application

I hereby petition the Board of Adjustment to issue a Conditional Use Permit for:

Name

Amy Fahmy

Property Address

1 Stuyvesant Road

Phone

(828) 216-0702

Email

afahmy@siteworkstudios.com

Type of Conditional Use

802.07 Accessory Buildings

Email-Submission Verification

afahmy@siteworkstudios.com

Description of Project

The project contains accessory structures (wall and fencing) in the side setback. The stone wall replaces an existing railroad timber wall in the same location. Black metal fence and wood fence replace undesirable white plastic panel fencing. A new, smaller deck replaces an existing deck in the same location. A new awning replaces an old awning same location. A low (2'-3') stone retaining wall and additional privacy plantings are new elements. The property owners would like to remove several mature evergreen trees that are leaning and/or declining. These will be replaced with large evergreens.

Explain why the project would not adversely affect the public interest of those living in the neighborhood:

The accessory structures will not be visible from adjacent properties within the neighborhood. The proposed wall and deck improve overall safety and beauty. The black metal pool fencing is required for safety, and is more attractive and sturdy than the white plastic panel fence. All proposed elements blend with architectural elements of the home and the character and quality of the neighborhood. Granting this Conditional Use Permit would allow replacement wall and fence to be located in the setback as were the original wall and fence.

I certify that the information presented by the undersigned in this application is accurate to the best of my knowledge, information and belief.

Signature



Date

6/27/2016

Variance Application

I hereby petition the Board of Adjustment for a variance(s) from the provisions of the Zoning Ordinance for the real property stated below.

Name

Amy Fahmy

Property Address

1 Stuyvesant Road

Email

afahmy@siteworkstudios.com

Phone

(828) 216-0702

Email-Submission Verification

afahmy@siteworkstudios.com

Variance to Zoning Ordinance Section(s) (Select all that apply)

1104 Accessory Structures & Accessory Buildings

Reason Variance(s) is(are) being requested:

Encroachment into side setback. The project contains accessory structures (walls and fencing) in the side setback. The retaining wall around the pool replaces an existing railroad timber wall in the same location. Black metal fence and wood fence replace undesirable existing white plastic panel fencing. These additions are improvements to the existing conditions - they are in keeping with the quality of the neighborhood and the character of the home. The old wall and fence were unsafe, and did not meet pool security requirements. Adding dense evergreen plantings will provide extra privacy.

In granting any variance, the Board of Adjustment may prescribe appropriate conditions and safeguards in conformity with the Zoning Ordinance. Violations of the provisions of the variance granted including any conditions or safeguards which are part of the granting of the variance, shall be deemed a violation of the Zoning Ordinance. I hereby certify that the information set forth above is true and accurate to the best of my knowledge.

Signature



Date

6/27/2016



WOOD PRIVACY FENCE (WHITE STAIN)
4' HT (34 LF) AT MECHANICAL EQUIPMENT
3' HT (75 LF) AT VEGETABLE GARDEN



AMERISTAR MONTAGE
SINGLE SWING GATE



BUILT-IN FIREPLACE
STONE TO MATCH EXISTING



MORTARED WALL GREY TN FIELDSTONE THICK



SNAPPED STONE STEPS



AWNING - BLACK & WHITE STRIPE

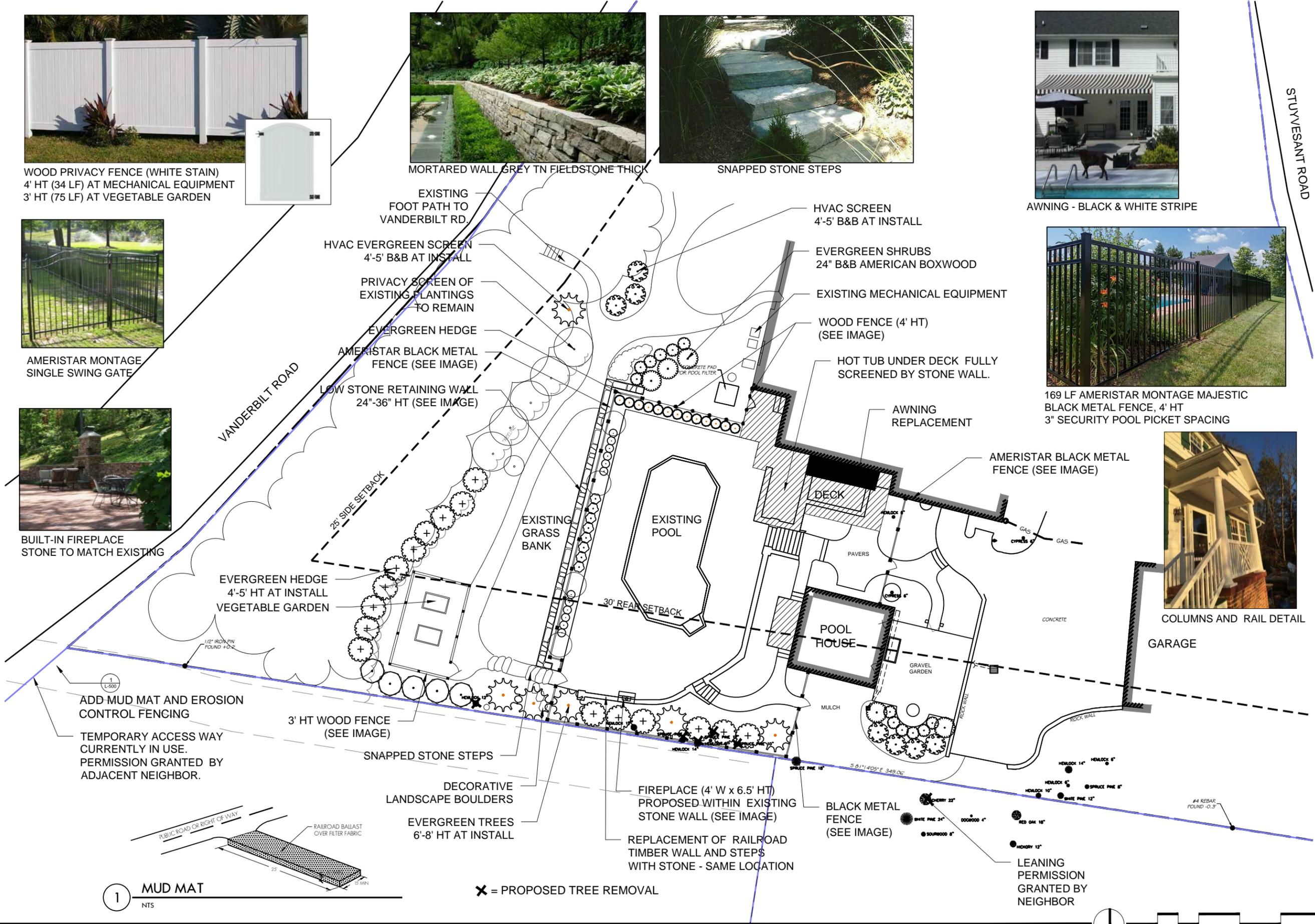


169 LF AMERISTAR MONTAGE MAJESTIC
BLACK METAL FENCE, 4' HT
3" SECURITY POOL PICKET SPACING



COLUMNS AND RAIL DETAIL

GARAGE



CONSULTANT

HOLL RESIDENCE

PREPARED FOR:
BLAIR AND GABRIEL HOLL
1 STUYVESANT ROAD
BILTMORE FOREST, NORTH CAROLINA 28803

NO.	REVISIONS	DATE



DATE:
7.6.16
SHEET TITLE:
PRELIMINARY
SITE
DEVELOPMENT
PLAN

SHEET NO.
L-100

1 MUD MAT
NTS

X = PROPOSED TREE REMOVAL

